



CITY OF ONTARIO DEVELOPMENT ADVISORY BOARD

AGENDA

September 18, 2017

- ▶ **All documents for public review are on file in the Planning Department located in City Hall at 303 East “B” St., Ontario, CA 91764.**

**MEETING WILL BE HELD AT 1:30 PM IN ONTARIO CITY COUNCIL CHAMBERS
LOCATED AT 303 East “B” St.**

Al Boling, City Manager
Hassan Haghani, Development Director
John P. Andrews, Economic Development Director
Kevin Shear, Building Official
Scott Murphy, Planning Director
Louis Abi-Younes, City Engineer
Chief Brad Kaylor, Police Department
Fire Marshal Paul Ehrman, Fire Department
Scott Burton, Utilities General Manager
Brent Schultz, Housing and Municipal Services Director

PUBLIC COMMENTS

Citizens wishing to address the Development Advisory Board on any matter that is not on the agenda may do so at this time. Please state your name and address clearly for the record and limit your remarks to five minutes.

Please note that while the Development Advisory Board values your comments, the members cannot respond nor take action until such time as the matter may appear on the forthcoming agenda.

AGENDA ITEMS

For each of the items listed below the public will be provided an opportunity to speak. After a staff report is provided, the chairperson will open the public hearing. At that time the applicant will be allowed five (5) minutes to make a presentation on the case. Members of the public will then be allowed five (5) minutes each to speak. The Development Advisory Board may ask the speakers questions relative to the case and the testimony provided. The question period will not count against your time limit. After all persons have spoken, the applicant will be allowed three minutes to summarize or rebut any public testimony. The chairperson will then close the public hearing portion of the hearing and deliberate the matter.

CONSENT CALENDAR ITEMS

A. MINUTES APPROVAL

Development Advisory Board Minutes of September 6, 2017, approved as written.

PUBLIC HEARING ITEMS

- B. ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE NO. PDEV16-035:** A Development Plan to construct an 18,600-square foot industrial building on 1.43 acres of land located at the southeasterly corner of Excise Avenue and Metro Way, within the Business Park land use district of the Acco Airport Center Specific Plan. The environmental impacts of this project were previously reviewed in conjunction with Acco Airport Center Specific Plan (File No. 4351-SP), for which an Environmental Impact Report (State Clearinghouse No. 90021134) was adopted by the City Council on January 19, 1993. This project introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP). (APN: 0211-272-14); **submitted by RedRock Development, Inc. CONTINUED FROM SEPTEMBER 6, 2017.**

1. CEQA Determination

No action necessary – use of previous EIR

2. File No. PDEV16-035

Motion to Approve / Deny

- C. ENVIRONMENTAL ASSESSMENT, DEVELOPMENT PLAN AND VARIANCE REVIEW FOR FILE NOS. PDEV17-008 & PVAR17-003:** A Development Plan (PDEV17-008) to construct a 10,487 square foot commercial building on 0.88 acres of land and a Variance (PVAR17-003) to deviate from the minimum parking street setback, along Euclid Avenue, from 20 to 9 feet, and to reduce the required parking from 42 to 40 spaces, for property located at the northwest corner of Francis Street and Euclid Avenue, within

the CN (Neighborhood Commercial) zoning district and EA (Euclid Avenue) Overlay district. Staff has determined that the project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Sections 15305 (Class 5-Minor Alterations of Land Use Limitations) and 15332 (Class 32, In-Fill Development Projects) of the CEQA guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the ONT Airport Land Use Compatibility Plan (ALUCP). (APNs: 1050-281-01, 1050-281-02 and 1050-281-03); **submitted by Clarkson Properties, LP. Planning Commission action is required. CONTINUED FROM SEPTEMBER 6, 2017.**

1. **CEQA Determination**

No action necessary – Exempt: CEQA Guidelines Sections §15305 & §15332

2. **File No. PVAR17-003 (Variance)**

Motion to recommend Approval/Denial

3. **File No. PDEV17-008 (Development Plan)**

Motion to recommend Approval/Denial

- D. **ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE NO. PDEV16-044:** A Development Plan (File No. PDEV16-044) to construct a residential apartment complex consisting of 6-units on 0.3 acres of land located at 1444 W. Stoneridge Court, within the MDR-25 (Medium Density Residential - 18.1 to 25.0 DUs/Acre) zoning district. Staff has determined that the project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, In-Fill Development Projects) of the CEQA Guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP); (APNs: 1010-551-06); **submitted by Brother Home Trading Corp. Planning Commission action is required.**

3. **CEQA Determination**

No action necessary – Exempt: CEQA Guidelines Section § 15332

4. **File No. PDEV16-044 (Development Plan)**

Motion to recommend Approval/Denial

- E. **ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE NO. PDEV17-023:** A Development Plan (File No. PDEV17-023) approval to construct 75 single-family residential dwellings on 10.87 acres of land located within the Conventional Small Lot Residential district of Planning Area 24 of the Subarea 29 Specific Plan, located at the southeast corner of Celebration Avenue and Parkview Street. The

environmental impacts of this project were previously analyzed in an addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) that was adopted by the City Council on April 21, 2015. All adopted mitigation measures of the addendum shall be a condition of approval for the project and are incorporated herein by reference. The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and Chino Airport and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plans (ALUCP) for ONT and Chino Airports. (APNs: 0218-033-01, 0218-033-02, 0218-033-03(POR) & 0218-033-04(POR)); **submitted by The New Home Company Southern California, LLC. Planning Commission Action Required.**

4. CEQA Determination

No action necessary – use of previous EIR

5. File No. PDEV17-023 (Development Plan)

Motion to recommend Approval/Denial

- F. ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE NO. PDEV17-025:** A Development Plan to construct 102 single-family dwellings on 10.39 acres of land, located at the northeast corner of Merrill and Celebration Avenues, within Planning Area 26 of the Subarea 29 Specific Plan. The environmental impacts of this project were previously reviewed in conjunction with an Addendum to the Subarea 29 Specific Plan EIR (SCH #2004011009), which was prepared in conjunction with File No. PSPA14-002, and was adopted by the City Council on April 21, 2015. This project introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP); (APNs: 0218-033-03, 0218-033-04, 0218-033-05, and 0218-033-06) **submitted by SL Ontario Development Company, LLC. Planning Commission action is required.**

1. CEQA Determination

No action necessary – use of previous EIR

2. File No. PDEV17-025 (Development Plan)

Motion to recommend Approval/Denial

If you wish to appeal a decision of the **Development Advisory Board**, you must do so within ten (10) days of the **Development Advisory Board** action. Please contact the **Planning Department** for information regarding the appeal process.

If you challenge any action of the **Development Advisory Board** in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the **Development Advisory Board** at, or prior to, the public hearing.

The next **Development Advisory Board** meets on **October 2, 2017**.

I, Maureen Duran, Office Specialist of the City of Ontario, or my designee, hereby certify that a true, accurate copy of the foregoing agenda was posted on or before **September 14, 2017**, at least 72 hours prior to the meeting per Government Code Section 54954.2 at 303 East "B" Street, Ontario.

Maureen Duran

CITY OF ONTARIO

Development Advisory Board

Minutes

September 6, 2017

BOARD MEMBERS PRESENT

Khoi Do, Chairman, Engineering Department
Pedro Rico, Building Department
Joe De Sousa, Housing and Municipal Services Agency
Rudy Zeledon, Planning Department
Doug Sorel, Police Department

BOARD MEMBERS ABSENT

Charity Hernandez, Economic Development Agency
Paul Ehrman, Fire Department
Sheldon Yu, Municipal Utilities Company

STAFF MEMBERS PRESENT

Jeanie Aguilo, Planning Department
Antonio Alejos, Engineering Department
Luis Batres, Planning Department
Denny Chen, Planning Department
Gwen Berendsen, Planning Department
Maureen Duran, Planning Department

PUBLIC COMMENTS

No one responded from the audience.

CONSENT CALENDAR ITEMS

- A. **APPROVAL OF MINUTES:** Motion to approve the minutes of the August 21, 2017, meeting of the Development Advisory Board was made by Mr. Sorel; seconded by Mr. De Sousa; and approved unanimously by those present (5-0).

PUBLIC HEARING ITEMS

- B. ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE NO. PDEV16-035:** A Development Plan to construct an 18,600-square foot industrial building on 1.43 acres of land located at the southeasterly corner of Excise Avenue and Metro Way, within the Business Park land use district of the Acco Airport Center Specific Plan. The environmental impacts of this project were previously reviewed in conjunction with Acco Airport Center Specific Plan (File No. 4351-SP), for which an Environmental Impact Report (State Clearinghouse No. 90021134) was adopted by the City Council on January 19, 1993. This project introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP). (APN: 0211-272-14); **submitted by RedRock Development, Inc.**

Representative Michael Morris of RedRock Development was present and stated there were minor engineering issues that should be addressed. Mr. Morris referred to section 2.30 regarding the water ready system. Section 2.30 stated the construction of a connection to the recycled water main shall be applicant's responsibility. Mr. Morris' concern was that since there are three parcels, the responsibility might be shared by all three parcels. Mr. Morris also referred to section 2.45 with regard to the fiber optics. He asked for clarification on these conditions. Mr. Do informed Mr. Morris they would provide that clarification as well as work with RedRock with regard to water lines on Haven and Francis. Mr. Do stated the project would be continued to the next Development Advisory Board meeting to make certain further information is provided.

This item was continued to the next Development Advisory Board Meeting on September 18, 2017.

- C. ENVIRONMENTAL ASSESSMENT, DEVELOPMENT PLAN AND VARIANCE REVIEW FOR FILE NOS. PDEV17-008 & PVAR17-003:** A Development Plan (PDEV17-008) to construct a 10,487 square foot commercial building on 0.88 acres of land and a Variance (PVAR17-003) to deviate from the minimum parking street setback, along Euclid Avenue, from 20 to 9 feet, and to reduce the required parking from 42 to 40 spaces, for property located at the northwest corner of Francis Street and Euclid Avenue, within the CN (Neighborhood Commercial) zoning district and EA (Euclid Avenue) Overlay district. Staff has determined that the project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15305 (Class 5-Minor Alterations of Land Use Limitations) and 15332 (Class 32, In-Fill Development Projects) of the CEQA guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the ONT Airport Land Use Compatibility Plan (ALUCP). (APNs: 1050-281-01, 1050-281-02 and 1050-281-03); **submitted by Clarkson Properties, LP.**

Representative Hubie Byrne of Clarkson Properties was present and stated there were numerous issues to clarify and discuss. Mr. Byrne referred to several sections in the report that needed additional consideration and stated they could not continue at this time because of these issues. He asked the item be continued at this time. Mr. Do agreed and stated the item would be continued to the next Development Advisory Board meeting on September 18, 2017. Mr. Byrne thanked the board for their understanding. There were no further comments.

This item was continued to the next Development Advisory Board Meeting on September 18, 2017.

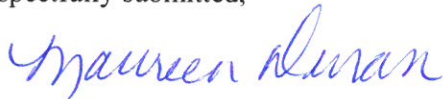
- D. ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE NO. PDEV17-019:** A Development Plan to construct a 4,086-square foot drive-thru restaurant (Raising Cane's Chicken Fingers) on 1.47 acres of land located at 4360 East Mills Circle, within the Commercial/Office land use district of the California Commerce Center North/Ontario Gateway Plaza/Wagner Properties Specific Plan. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, In-Fill Development Projects) of the CEQA Guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP). (APN: 0238-014-21); **submitted by Raising Cane's Chicken Fingers.**

Applicant Kristen Roberts of Raising Cane's Chicken Fingers was present and informed the board she appreciated city staff's efforts in working with her. Ms. Roberts stated there was a concern regarding the reciprocal access. She asked if they could entertain other options regarding this item. Mr. Do stated that the applicant's site plan would not work with our Solid Waste Department. He stated they would not have the adequate turnaround movements with that radius. Mr. Do asked if they would agree to the current conditions. Mr. Zeledon stated that he believed there is a reciprocal access agreement between the project site and adjacent parcel. He assured them they could work something out with regard to the reciprocal access conditions of approval. Ms. Roberts agreed to the conditions of approval. There were no further comments or concerns. No one else wished to speak on the project.

Motion to approve **File No. PDEV17-019** subject to conditions of approval was made by Mr. De Sousa; seconded by Mr. Sorel; and approved unanimously by those present (5-0).

There being no further business, the meeting was adjourned.

Respectfully submitted,



Maureen Duran
Recording Secretary



Development Advisory Board Decision

September 18, 2017

DECISION NO.: [insert #]

FILE NO.: PDEV16-035

DESCRIPTION: A Development Plan to construct an 18,600-square foot industrial building on 1.43 acres of land located at the southeasterly corner of Excise Avenue and Metro Way, within the Business Park land use district of the Acco Airport Center Specific Plan (APN: 0211-272-14); **submitted by Cucamonga Vintners.**

Part I—BACKGROUND & ANALYSIS

CUCAMONGA VINTNERS, (herein after referred to as “Applicant”) has filed an application requesting Development Plan approval, File No. PDEV16-035, as described in the subject of this Decision (herein after referred to as "Application" or "Project").

(1) **Project Setting:** The project site is comprised of 1.43 acres of land located at the southeasterly corner of Excise Avenue and Metro Way, within, the Business Park land use district of the Acco Airport Center Specific Plan, and is depicted in Exhibit A: Aerial Photograph, attached. Existing land uses, General Plan and zoning designations, and specific plan land uses on and surrounding the project site are as follows:

	<i>Existing Land Use</i>	<i>General Plan Designation</i>	<i>Zoning Designation</i>	<i>Specific Plan Land Use</i>
<i>Site</i>	Vacant	OC (Office Commercial)	Acco Airport Center Specific Plan	Business Park
<i>North</i>	Majestic Home Loan (Mortgage Broker)	OC (Office Commercial)	Acco Airport Center Specific Plan	Business Park
<i>South</i>	Railroad	Rail	ONT (Ontario International Airport)	n/a
<i>East</i>	Services	OC (Office Commercial)	Acco Airport Center Specific Plan	Business Park
<i>West</i>	East Ontario Metrolink Train Station	OC (Office Commercial)	OL (Low Intensity Office)	n/a

(2) **Project Description:** A Development Plan to construct an 18,600-square foot industrial building on 1.43 acres of land located at the southeasterly corner of Excise Avenue and Metro Way, within the Business Park land use district of the Acco Airport Center Specific Plan. The building is oriented to the southwest portion of the site. The building is situated with a 10-foot building setback from the west property line. Parking will be primarily situated to the north of the building for visitor parking, with additional parking provided within the secured yard area to the rear of the proposed building.

The proposed industrial warehouse building is concrete tilt-up construction. Architecturally, the building incorporates smooth-painted concrete, recessed reveals, storefront windows with anodized aluminum mullions and clear blue glazing, and decorative aluminum canopies at the office entry.

A secured yard area is located at the rear of the site, and is designed for tractor-trailer parking, truck maneuvering, loading activities, and outdoor staging. The yard area will be screened from view of public streets by new screen walls with view-obscuring gates. The screen wall is proposed at 8 feet in height, and is to be constructed of tilt-up concrete, matching the architecture of the building.

(3) **Burrowing Owls (BUOW) and Delhi Sands Flower-Loving Fly (DSFF) Surveys:** Ecological Sciences conducted a burrowing owl survey to document the presence or absence of burrowing owls previously observed within the boundaries of the project site. The final burrowing owl survey was conducted on July 9, 2017 indicating there were no burrowing owls observed on the project site.

On June 14, 2017, Ecological Sciences also conducted reconnaissance-level field survey of all remaining undeveloped parcels within Acco Airport Center, including the subject site, to evaluate the potential for DSFF habitat. Based on results of the June 2017 habitat suitability evaluation, existing conditions present at the project site are not consistent with those known or expected to support DSFF. The full report of DSFF surveys can be found in *Exhibit E: Ecological Sciences Surveys*, attached.

Part II—RECITALS

WHEREAS, the Application is a project pursuant to the California Environmental Quality Act (Public Resources Code Section 21000 et seq.) ("CEQA"); and

WHEREAS, the environmental impacts of this project were previously reviewed in conjunction with Acco Airport Center Specific Plan (File No. 4351-SP) for which an Environmental Impact Report (SCH#90021134) was certified by the City Council on January 19, 1993, and this Application introduces no new significant environmental impacts; and

WHEREAS, the City's "Local Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed; and

WHEREAS, the Application is a project pursuant to CEQA (Public Resources Code Section 21000 et seq.), and an initial study has been prepared to determine possible environmental impacts; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board ("DAB") the responsibility and authority to review and act on the subject Application; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan ("ALUCP"), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed;

WHEREAS, on September 18, 2017, the DAB of the City of Ontario conducted a hearing on the Application and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.

Part III—THE DECISION

NOW, THEREFORE, IT IS HEREBY FOUND AND DETERMINED by the Development Advisory Board of the City of Ontario, as follows:

SECTION 1: Environmental Determination and Findings. As the “decision-making” body for the Project, the DAB has reviewed and considered the information contained in the previous previously adopted Acco Airport Center Specific Plan (File No. 4351-SP) for which an Environmental Impact Report (SCH#90021134) and supporting documentation. Based upon the facts and information contained in the previous Environmental Impact Report (SCH#90021134) and supporting documentation, the DAB finds as follows:

(1) The environmental impacts of this project were previously reviewed in conjunction with the Acco Airport Center Specific Plan (File No. 4351-SP) for which an Environmental Impact Report (SCH#90021134) was certified by the City Council on January 19, 1993.

(2) The previous Acco Airport Center Specific Plan Environmental Impact Report (SCH#90021134) contains a complete and accurate reporting of the environmental impacts associated with the Project; and

(3) The previous Acco Airport Center Specific Plan Environmental Impact Report (SCH#90021134) was completed in compliance with CEQA and the Guidelines promulgated thereunder, and the City of Ontario Local CEQA Guidelines; and

(4) The previous Acco Airport Center Specific Plan Environmental Impact Report (SCH#90021134) reflects the independent judgment of the City Council; and

(5) The proposed project will introduce no new significant environmental impacts beyond those previously analyzed in the previous Acco Airport Center Specific Plan Environmental Impact Report (SCH#90021134), and all mitigation measures previously adopted with the Certified EIR, are incorporated herein by this reference.

SECTION 2: Subsequent or Supplemental Environmental Review Not Required. Based on the information presented to the DAB, and the specific findings set forth in Section 1, above, the DAB finds that the preparation of a subsequent or supplemental Certified EIR is not required for the Project, as the Project:

(1) Does not constitute substantial changes to the Certified EIR that will require major revisions to the Certified EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and

(2) Does not constitute substantial changes with respect to the circumstances under which the Certified EIR was prepared, that will require major revisions to the Certified EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of the previously identified significant effects; and

(3) Does not contain new information of substantial importance that was not known and could not have been known with the exercise of reasonable diligence at the time the Certified EIR was certified/adopted, that shows any of the following:

(a) The project will have one or more significant effects not discussed in the Certified EIR; or

(b) Significant effects previously examined will be substantially more severe than shown in the Certified EIR; or

(c) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the Project, but the City declined to adopt such measures; or

(d) Mitigation measures or alternatives considerably different from those analyzed in the Certified EIR would substantially reduce one or more significant effects on the environment, but which the City declined to adopt.

SECTION 3: Housing Element Compliance. Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the decision-making body for the Project, the DAB finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan, as the project site is not one of the properties in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix.

SECTION 4: Ontario International Airport Land Use Compatibility Plan (“ALUCP”) Compliance. The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land use Compatibility Plan (“ALUCP”), establishing the Airport Influence Area for Ontario International Airport (“ONT”), which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the decision-making body for the Project, the DAB has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the DAB, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

SECTION 5: Concluding Facts and Reasons. Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the specific findings set forth in Sections 1 through 4, above, the DAB hereby concludes as follows:

(1) **The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.** The proposed Project is located within the Office Commercial land use district of the Policy Plan Land Use Map, and the Business Park land use district of the Acco Airport Center Specific Plan. The development standards and conditions under which the proposed Project will be

constructed and maintained, is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan; and

(2) ***The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located.*** The Project has been designed consistent with the requirements of the City of Ontario Development Code and the Business Park land use district of the Acco Airport Center Specific Plan zoning district, including standards relative to the particular land use proposed (industrial building), as-well-as building intensity, building and parking setbacks, building height, number of off-street parking and loading spaces, on-site and off-site landscaping, and fences, walls and obstructions; and

(3) ***The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed project.*** The Development Advisory Board has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the Acco Airport Center Specific Plan are maintained; [ii] the project will not endanger the public health, safety or general welfare; [iii] the project will not result in any significant environmental impacts; [iv] the project will be in harmony with the area in which it is located; and [v] the project will be in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan, and the Acco Airport Center Specific Plan; and

(4) ***The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.*** The proposed Project has been reviewed for consistency with the general development standards and guidelines of the Acco Airport Center Specific Plan that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of off-street parking and loading spaces, parking lot dimensions, design and landscaping, bicycle parking, on-site landscaping, and fences and walls, as-well-as those development standards and guidelines specifically related to the particular land use being proposed (industrial). As a result of this review, the Development Advisory Board has determined that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the development standards and guidelines described in the Acco Airport Center Specific Plan.

SECTION 6: *Development Advisory Board Action.* Based on the findings and conclusions set forth in Sections 1 through 5, above, the DAB hereby APPROVES the Application subject to each and every condition set forth in the Department reports included as Attachment 1 of this Decision, and incorporated herein by this reference.

SECTION 7: *Indemnification.* The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

SECTION 8: *Custodian of Records.* The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

APPROVED AND ADOPTED this 18th day of September 2017.

Development Advisory Board Chairman

Exhibit A—PROJECT LOCATION MAP

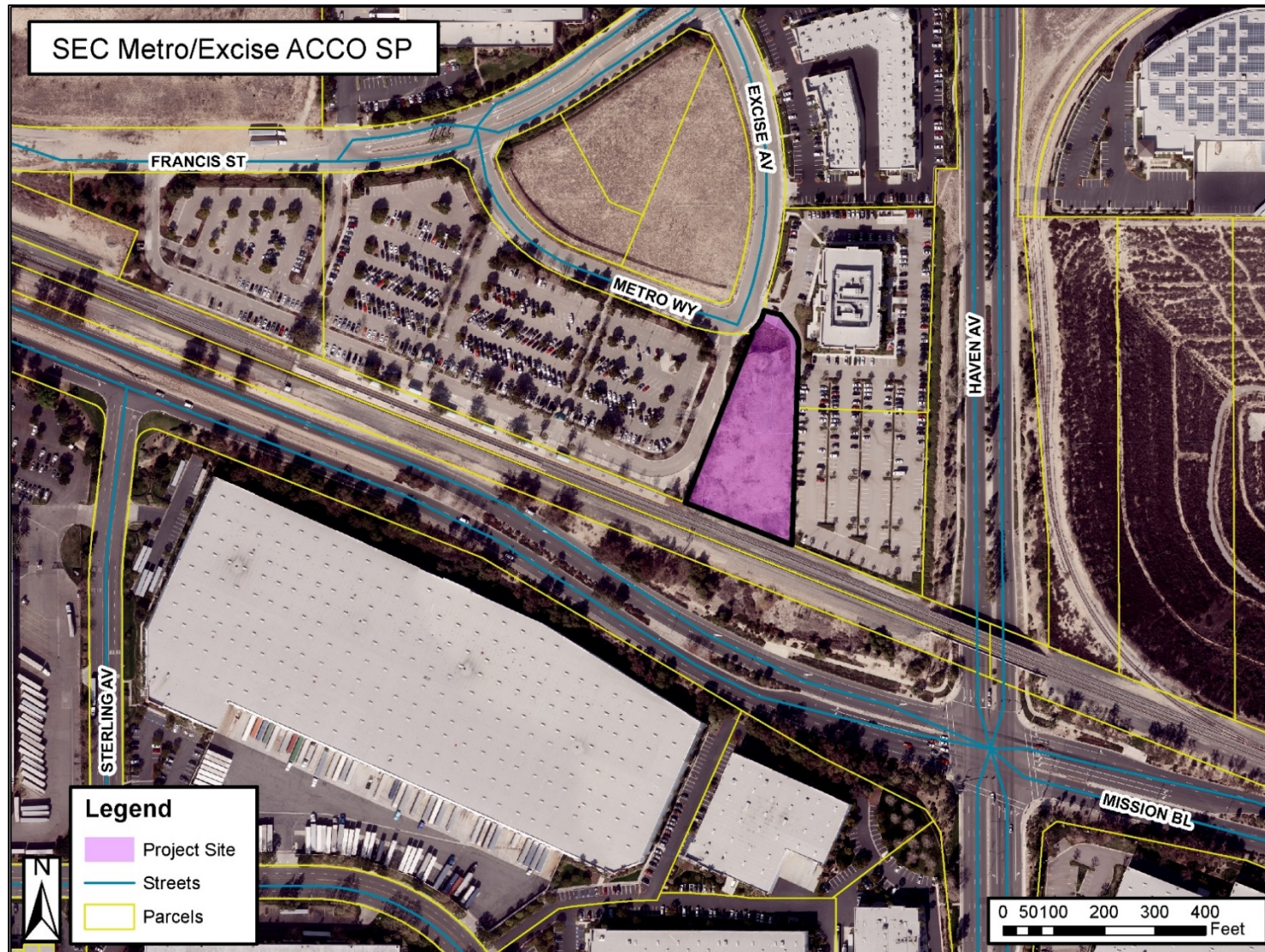


Exhibit B—SITE PLAN

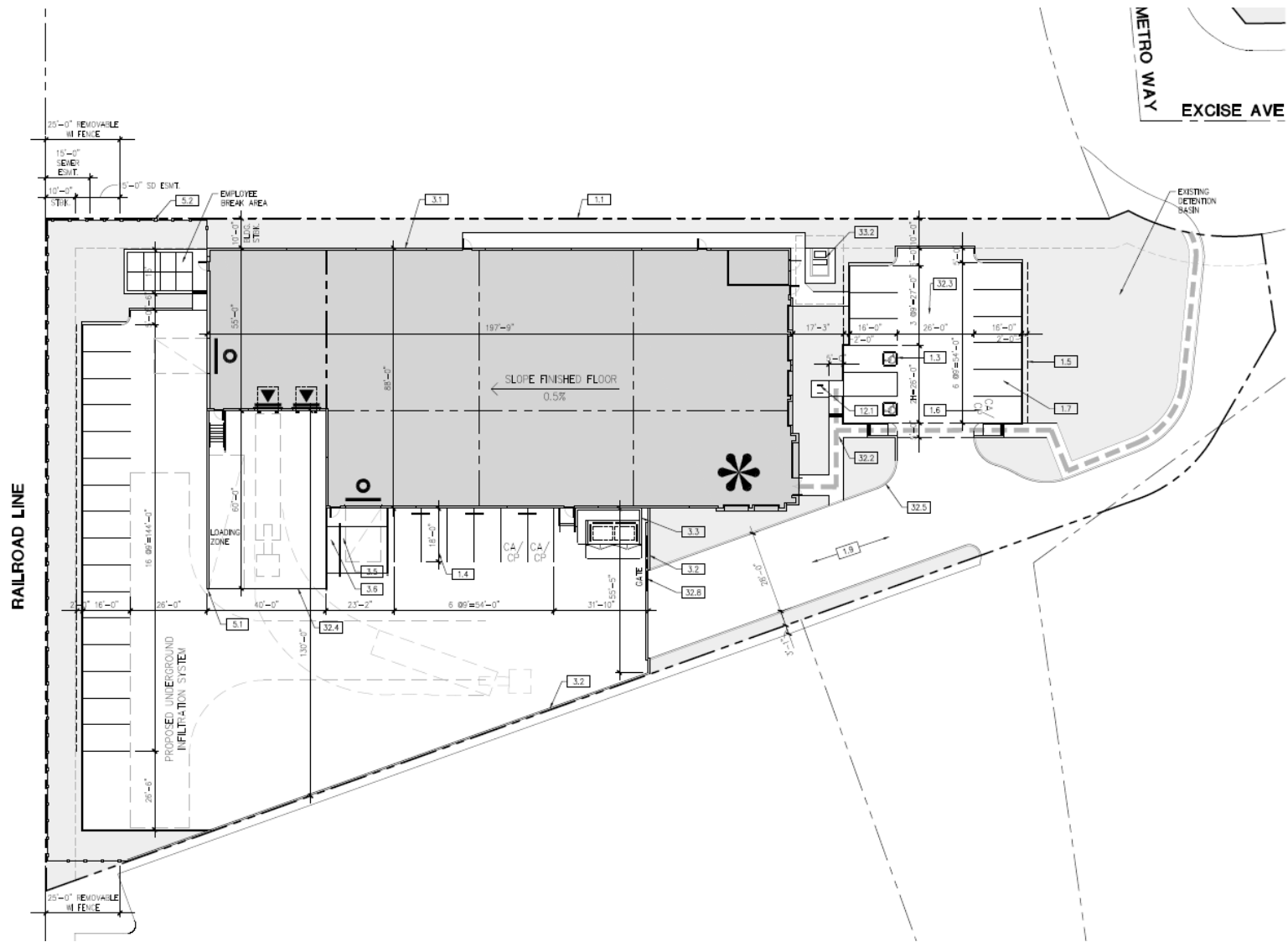


Exhibit C—EXTERIOR ELEVATIONS



SOUTH ELEVATION | 3/32"=1'-0" | **4**



WEST ELEVATION | 3/32"=1'-0" | **3**

Exhibit C—EXTERIOR ELEVATIONS (CONTINUED)



NORTH ELEVATION | 3/32"=1'-0" | **2**



EAST ELEVATION | 3/32"=1'-0" | **1**

Exhibit D—LANDSCAPE PLAN

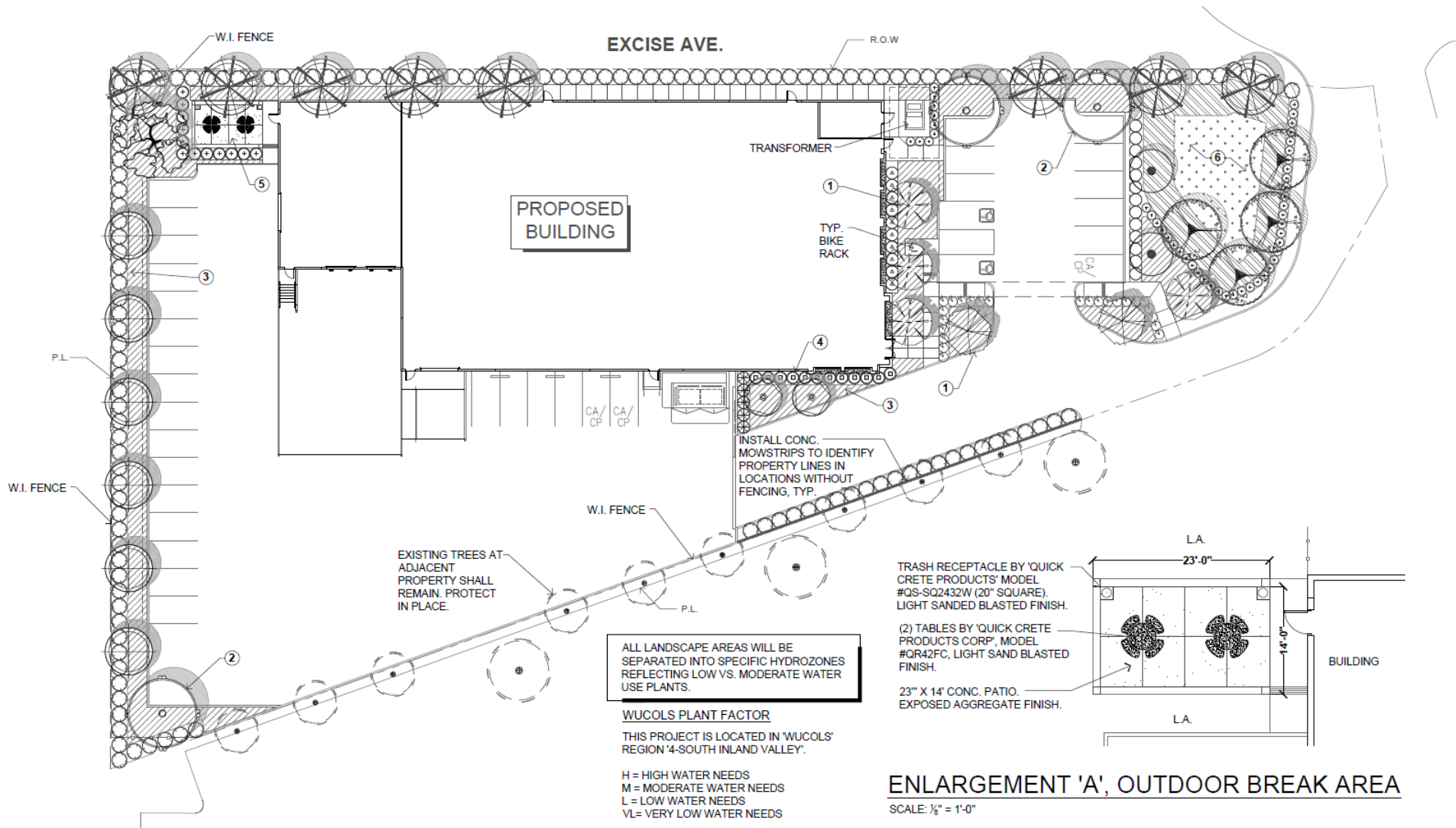


Exhibit E— ECOLOGICAL SCIENCES SURVEYS

(Surveys follow this page)



July 11, 2017

Cucamonga Vintners, LLC
Acco Airport Center III, LLC
c/o RedRock Development, Inc.
4340 Von Karman Avenue, Ste. 140
Newport Beach, CA. 92660

SUBJECT: Results of Focused Western Burrowing Owl Surveys, ±12.27-acre Site, City of Ontario, San Bernardino County, California

Ladies and Gentlemen:

This letter report presents results of a focused survey conducted to evaluate the presence/absence of the special-status western burrowing owl (*Athene cunicularia hypugea*-BUOW) on a ±12.27-acre site.

Introduction

The site is regionally located in the City of Ontario (City), San Bernardino County, California (**Plate 1**). Specifically, the project site is located west of Haven Avenue, north of Mission Avenue, and south of Jurupa Avenue. The site occurs on the “Guasti” USGS 7.5-minute topographic map, Township 1 South, Range 7 West, Section 35 (**Plate 2**). **Plate 3** provides an aerial view of the site.

Projects proposed in the area that contain potentially suitable habitat to support sensitive biological resources must demonstrate to reviewing agencies [e.g., U.S. Fish and Wildlife Service (FWS), California Department of Fish and Wildlife/Game (CDFW/CDFG), County of San Bernardino (County), City of Ontario (City)] that potential project-related impacts to sensitive biological resources are adequately addressed and mitigated pursuant to the California Environmental Quality Act (CEQA) and other environmental regulations as part of project approval. For the purposes of this report, both the 1995 CDFG Staff Report on Burrowing Owl Mitigation and the 2012 CDFG Staff Report on Burrowing Owl Mitigation are referenced to provide background information.

Selected Species Overview / Regulatory Background

The **western burrowing owl** is considered a California Species of Special Concern, Federal Species of Concern, Partners in Flight Priority Bird Species, and Fish and Wildlife Service Species of Management Concern because of declines of suitable habitat, as well as localized and statewide population declines (CDFG 1995, 2012). Burrowing owls range across most of western North America. In coastal southern California, they occur in annual and perennial grasslands, agricultural areas, and coastal dunes. Habitat characteristics also include deserts and arid scrublands that contain low-growing vegetation (Zarn 1974). It is believed that burrowing owls may potentially occur wherever there are ground squirrel (e.g., *Spermophilus beecheyi*) colonies as this owl uses ground squirrel burrows throughout the year. Burrows are the essential component of burrowing owl habitat (CDFG 1995), however, burrowing owls are also known to use artificial burrows under certain circumstances such as abandoned concrete structures and debris piles. The BUOW generally prefers moderately to heavily grazed grasslands for nesting and roosting and avoids recently cultivated/disc'd fields. BUOW may utilize multiple burrows/sites throughout the year (e.g., small seasonal migrations), although in central and southern California, owls are predominantly non-migratory (CBOC 2000).

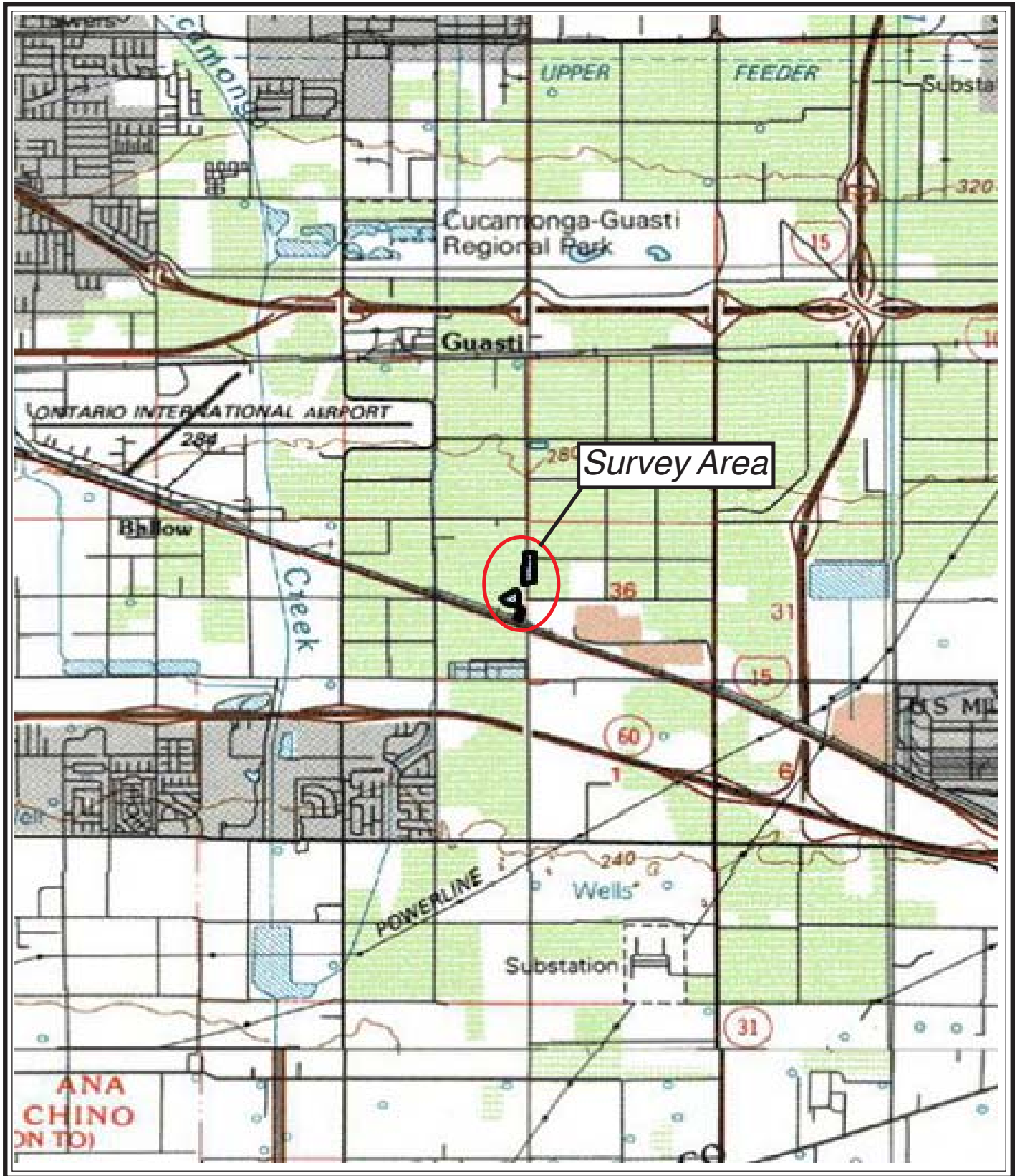


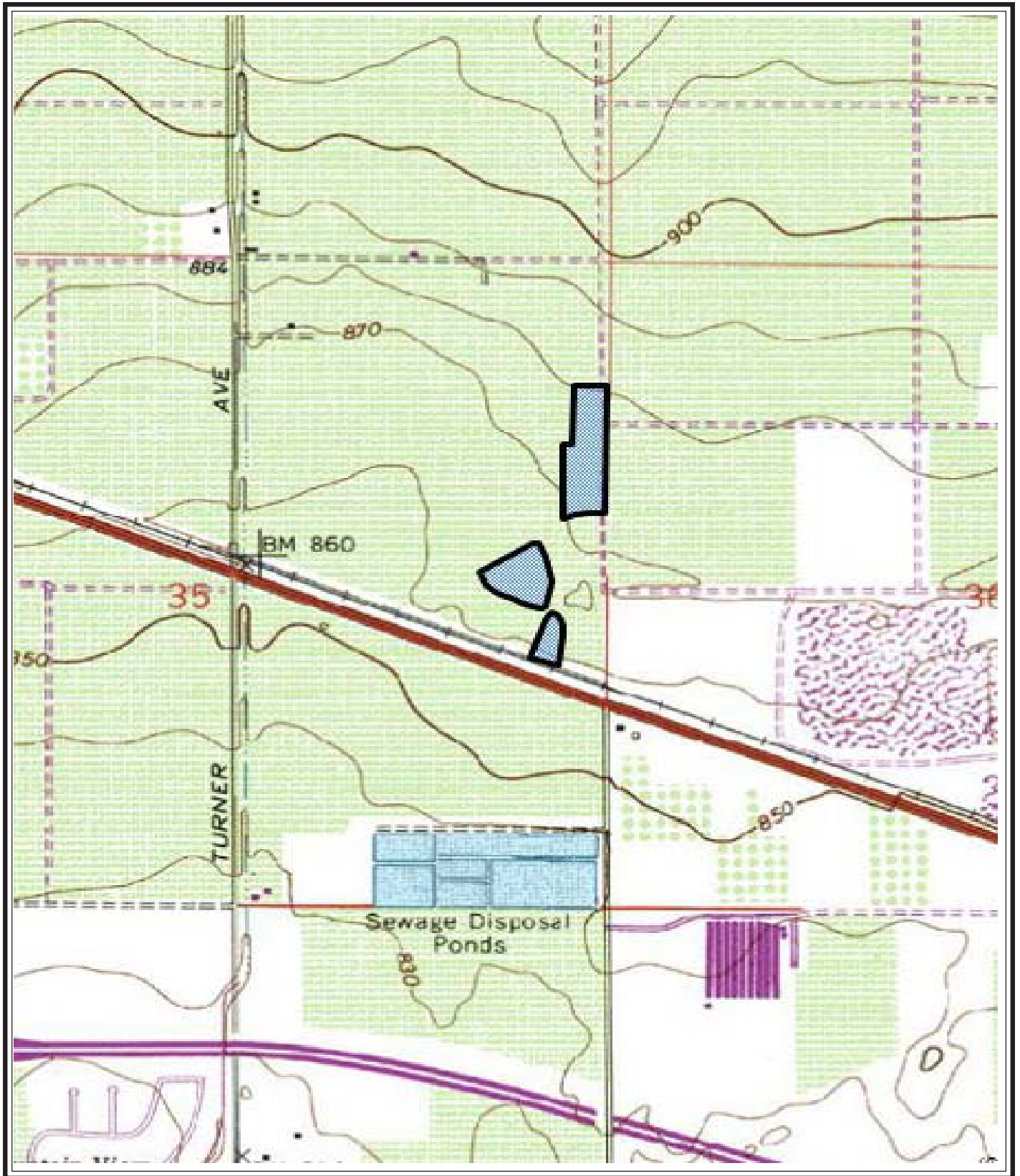
plate 1

Regional Site Location

12.27-acre Site



July 2017



 = Study Areas

plate 2

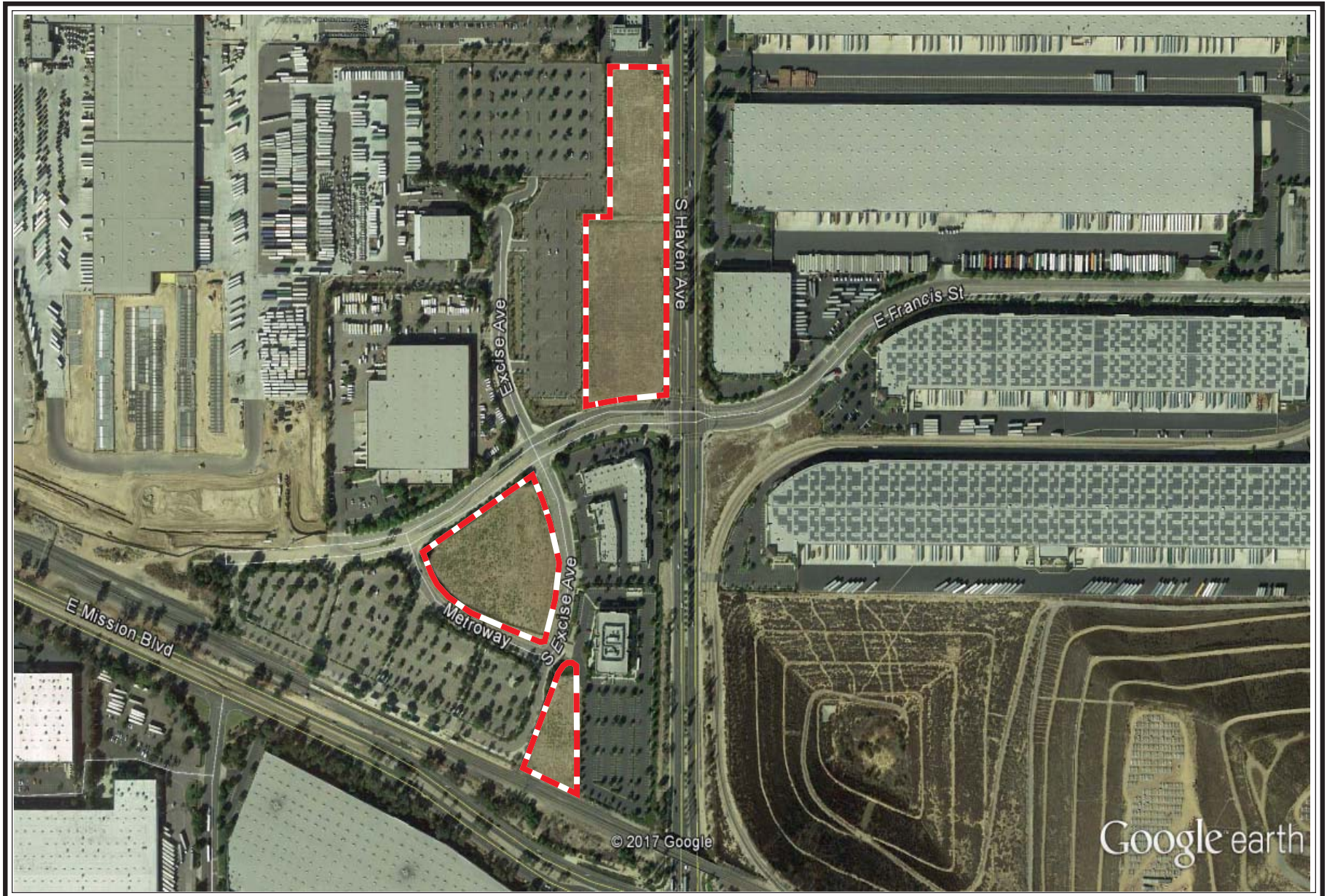


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USGS Topographic Vicinity Map

12.27-acre Site



--- = Study Areas



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plate 3

Aerial Photograph

12.27-acre Site

Item B - 17 of 67

While this special-status species is not protected by state or federal endangered species acts, take, possession or destruction of individual burrowing owls, their nests and eggs is prohibited under CDFG code sections 3503, 3503.5 and 3513, as well as the federal Migratory Bird Treaty Act (MBTA) of 1918 (16 U.S.C. 703-711). Under CEQA, goals would consist of measures that would avoid, minimize and mitigate impacts to a less than significant level. For individual projects, mitigation must be roughly proportional to the level of impacts, including cumulative impacts, in accordance with the provisions of CEQA (CEQA Guidelines, §§ 15126.4(a)(4)(B), 15064, 15065, and 16355). If it were later determined that active nests would be lost as a result of site-preparation, it would be in conflict with these regulations, and could also be considered a significant impact under CEQA without mitigation. In order to avoid violation of the MBTA and CDFG Code requirements, CDFG guidelines (1995, 2012) suggest that project-related disturbances at active nesting territories be reduced or eliminated during the BUOW nesting/breeding cycle (typically February 1 to August 31). Accordingly, construction should take place, as much as possible, outside of the breeding season for BUOW (i.e., construction between September 1 to January 31) to avoid or reduce potential impacts to this species. However, BUOW nesting activity is variable, and as such the time frame should be adjusted accordingly based on specific site information.

Owl survival can be adversely affected by disturbance (e.g., foraging habitat loss) even when impacts to individual birds and nest/burrows are avoided (CDFG 1995). Recommended restricted activity dates and setback distances by level of disturbance for burrowing owls (Scobie and Faminow 2000 in 03/7/12 CDFG BUOW Staff Report) are provided below in Table 1.

Table 1- CDFG Recommended Restricted Activity Dates and Setback Distances by Level of Disturbance for BUOW

Location	Time of Year	Level of Disturbance		
		Low	Medium	High
Nesting sites	April 1-Aug 15	200 m*	500 m	500 m
Nesting sites	Aug 16-Oct 15	200 m	200 m	500 m
Nesting sites	Oct 16-Mar 31	50 m	100 m	500 m

* meters (m). Table and text excerpted directly from 2012 CDFG BUOW Staff Report

Note: Based on existing vegetation, human development, and land uses in an area, resource managers may decide to allow human development or resource extraction closer to these area/sites than recommended above. However, if it is decided to allow activities closer than the setback distances recommended, a broad-scale, long-term, scientifically-rigorous monitoring program ensures that burrowing owls are not detrimentally affected by alternative approaches.

Mitigation measures detailed in the CDFG 1995 staff report include: (1) preservation of habitat, (2) artificial burrow construction, and (3) provide funding for long-term management and monitoring of protected mitigation lands. Mitigation measures successfully implemented for this species also include giving the FWS/CDFW right of first refusal for actively relocating any BUOW present. Currently occupied receiving sites may be available where this species has a greater chance of successful long-term relocation. Other minimization measures include eliminating actions that reduce burrowing owl forage and burrowing surrogates (e.g. ground squirrel), or introduce/facilitate burrowing owl predators. Actions that could influence these factors include reducing livestock grazing rates and/or changing the timing or duration of grazing or vegetation management that could result in less suitable habitat (CDFG 2012).

Implementation of avoidance and minimization measures would be triggered by positive owl presence on the site where project activities would occur. The development of avoidance and minimization approaches would be developed by monitoring. BUOW may re-colonize a site after only a few days. Time lapses (i.e. construction delays) between project activities would trigger subsequent take avoidance surveys including but not limited to a final survey conducted within 24 hours prior to ground disturbance (CDFG 2012). Should eggs or fledglings be discovered in any owl burrow or native nest, these resources cannot be disturbed (pursuant to CDFG guidelines) until the young have hatched and fledged (matured to a stage that they can leave the nest on their own). Take of active nests should always be avoided. If

owls must be moved away from the disturbance area, passive relocation techniques (where applicable outside of the breeding season before breeding behavior is exhibited and after the burrow is confirmed empty by site surveillance) should be used rather than trapping (CDFG 2012). If burrow exclusion and/or burrow closure is implemented, BUOWs should not be excluded from burrows unless or until: (1) a Burrowing Owl Exclusion Plan is developed and approved by the applicable local CDFG office; and (2) permanent loss of occupied burrow(s) and habitat is mitigated in accordance with the Mitigating Impacts (CDFG 2012).

Methodology

Review of Existing Information

Existing documentation pertinent to the distribution and habitat requirements of the burrowing owl was reviewed and analyzed. This included a review of: (1) the California Natural Diversity Data Base (CNDDDB 2017), (2) both the 1995 CDFG Staff Report on Burrowing Owl Mitigation and the 2012 CDFG Staff Report on Burrowing Owl Mitigation, and (3) other literature pertaining to habitat requirements of the BUOW as referenced herein.

2017 Focused BUOW Survey

Breeding Season Surveys (CDFG 2012)

Number of visits and timing. Conduct 4 survey visits: 1) at least one site visit between 15 February and 15 April, and 2) a minimum of three survey visits, at least three weeks apart, between 15 April and 15 July, with at least one visit after 15 June. *Survey method.* Rosenberg et al. (2007 in 03/7/12 CDFG BUOW Staff Report) confirmed walking line transects were most effective in smaller habitat patches. Conduct surveys in all portions of the project site that were identified in the Habitat Assessment and fit the description of habitat. Conduct surveys by walking straight-line transects spaced 7 m to 20 m apart, adjusting for vegetation height and density (Rosenberg et al. 2007 in 03/7/12 CDFG BUOW Staff Report). At the start of each transect and, at least, every 100 m, scan the entire visible project area for burrowing owls using binoculars. During walking surveys, record all potential burrows used by burrowing owls as determined by the presence of one or more burrowing owls, pellets, prey remains, whitewash, or decoration. Some burrowing owls may be detected by their calls, so observers should also listen for burrowing owls while conducting the survey. Care should be taken to minimize disturbance near occupied burrows during all seasons and not to “flush” burrowing owls especially if predators are present to reduce any potential for needless energy expenditure or burrowing owl mortality. Burrowing owls may flush if approached by pedestrians within 50 m (Conway et al. 2003 in 03/7/12 CDFG BUOW Staff Report). If raptors or other predators are present that may suppress burrowing owl activity, return at another time or later date for a follow-up survey.

Ecological Sciences' Principal Biologist, Scott Cameron, initiated the first of four total focused BUOW surveys on March 14, 2017. Mr. Cameron has extensive experience conducting habitat assessments and focused burrowing owl surveys over the past 20 years, and has recorded numerous BUOW over the course of 100+ surveys throughout southern California. Mr. Cameron has also conducted passive relocation activities, used burrow cameras, and conducted burrow closing procedures for multiple projects throughout southern California. Subsequent surveys were conducted by Mr. Cameron at three week intervals on May 17, June 10, and July 9. The BUOW surveys were conducted in accordance with the March 7, 2012 CDFG Staff Report on Burrowing Owl Mitigation.

Focused BUOW surveys were conducted to determine if the BUOW was foraging or nesting on or adjacent to the site. Suitable burrows (burrows that are open and wide enough for owl use), regardless if owl sign was recorded, were noted. Burrows (where present) were inspected with the aid of a mirror to better view burrow interiors. Per protocol, surveys were conducted during weather that was conducive to observing owls outside their burrows and detecting BUOW sign. Focused surveys were conducted two hours before sunset until evening civil twilight (highest detection probabilities). Appropriately-scaled

aerial photographs and/or topographic maps were used to generally map suitable burrows and any owl sightings. Weather conditions through the survey period included clear skies, scattered clouds, partly cloudy, 1-8 mph variable breezes, and air temperatures ranging between 60-88°F. Accordingly, weather conditions were conducive for above-ground BUOW activity. Daily weather conditions and survey times are presented below in Table 2.

Table 2 - Daily Weather Conditions and Survey Times

Date (2017)	Weather Conditions			Start/End Time
	Temperature	Wind	Cloud Cover/Visibility	
March 14	75-82°F	1-8	Mostly cloudy	6:00-7:30pm
May 17	60-62°F	1-5	Scattered clouds	6:30-8:15pm
June 10	66-70°F	1-6	Scattered clouds	7:00-8:30pm
July 9	84-88°F	1-4	Partly cloudy	7:00-8:30pm

Existing Site Conditions

The study area is characterized as a highly degraded and disturbed site dominated by non-native ruderal plant species (grasses and forbs). The site was historically used for viticulture (grape) cultivation and currently all the vines have been removed and recently disced such that little standing vegetation is present. The most southern parcel has above-ground irrigation infrastructure. Surrounding land uses include only commercial development. **Plates 4a-4b** photographically illustrate existing conditions.

Vegetation

Ruderal plants recorded on site included various non-native grasses and weedy species such as foxtail chess (*Bromus madritensis* spp. *rubens*), ripgut grass (*Bromus diandrus*), Mediterranean grass (*Schismus barbatus*), filaree (*Erodium* spp.), Russian thistle (*Salsola tragus*), pigweed (*Chenopodium album*), short-podded mustard (*Hirschfeldia incana*), golden crownbeard (*Verbesina encelioides*), common sow thistle (*Sonchus oleraceus*), and bur clover (*Medicago polymorpha*). Native plant species recorded included truncated telegraph weed and annual bur-sage. Vegetation coverage was estimated about 80 percent prior to discing.

Survey Results

No direct BUOW observations were recorded during the 2017 focused BUOW breeding season surveys. None of the potential burrows inspected during the surveys were determined to be currently occupied by BUOW based on absence of BUOW observations and sign (feathers, pellets, fecal material, prey remains, etc.) at or near burrow entrances/aprons. BUOW were also not observed utilizing the site for foraging purposes on or adjacent (developed) to the site.

Common reptile species observed included side-blotched lizard (*Uta stansburiana*). Special-status reptile species observed included San Diego horned lizard (*Phrynosoma coronatum blainvillii*), a federal species of concern (not a formal protection level) and a California species of special concern. Avian species observed on site included common raven (*Corvus corax*), European starling (*Sturnus vulgaris*), Say's phoebe (*Sayornis saya*), rock pigeon (*Columba livia*), mourning dove (*Zenaida macroura*), northern mockingbird (*Mimus polyglottos*), western meadowlark (*Sturnella neglecta*), house finch (*Carpodacus mexicanus*), and house sparrow (*Passer domesticus*). Mammal species directly observed, or of which sign was detected, included California ground squirrel (*Spermophilus beecheyi*) and pocket gopher (*Thomomys bottae*).

Despite that fact that the site has been exposed to long-standing disturbances, BUOW often occur in less than optimal and/or disturbed conditions. If it were later determined that active nests of BUOW would be lost as a result of site-preparation, it could result in CEQA significant adverse impacts and would be in conflict with CDFG code sections. Although no BUOW were recorded on site, it is



View to south of northern parcel



View to north of northern parcel



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plate **4a**

Site Photographs

12.27-acre Site

Item B - 21 of 67



View to west of central parcel



View to south of southern parcel



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plate 4b

Site Photographs

12.27-acre Site

Item B - 22 of 67

recommended by CDFW to complete an initial take avoidance survey (preconstruction) no less than 14 days prior to initiating ground disturbance activities. Implementation of avoidance and minimization measures would be triggered by positive owl presence on the site where project activities would occur. The development of avoidance and minimization approaches would be evaluated by monitoring burrowing owls (if present on site). BUOW may re-colonize a site after only a few days. Time lapses between project activities trigger subsequent take avoidance surveys including but not limited to a final survey conducted within 24 hours prior to ground disturbance (CDFG 2012).

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this biological survey, and that the facts, statements, and information presented herein are true and correct to the best of my knowledge and belief.

Sincerely,

Ecological Sciences, Inc.



Scott D. Cameron
Principal Biologist

References

California Burrowing Owl Consortium. 1993. Burrowing Owl Survey Protocol and Mitigation Guidelines. April 1993. 12 pp.

California Burrowing Owl Consortium and The Santa Cruz Predatory Bird Research Group. [online]. Burrowing Owl Consortium Survey Protocol. Available: www2.ucsc.edu/~scpbrg. (2000) May.

California Department of Fish and Game. 1995. Staff Report on Burrowing Owl Mitigation. C. F. Raysbrook Interim Director. October 17, 1995. 7 pp.

California Department of Fish and Game. 2012. Staff Report on Burrowing Owl Mitigation. State of California. Natural Resources Agency. March 7.

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Hickman, James C., ed. 1993. *The Jepson Manual*. University of California Press, Berkeley and Los Angeles, California. 1400 pp.

Zarn, M. 1974. Burrowing owl. U.S. Department of Interior, Bureau of Land Management. Technical Note T-N 250. Denver, Colorado. 25 pp. in California Department of Fish and Game (1995), Staff Report on Burrowing Owl Mitigation. C. F. Raysbrook Interim Director. October 17, 1995. 7 pp.



July 17, 2017

Cucamonga Vintners, LLC
Acco Airport Center III, LLC
c/o RedRock Development, Inc.
4340 Von Karman Avenue, Ste. 140
Newport Beach, CA. 92660

SUBJECT: Results of a Habitat Suitability Evaluation, ±12.27-acre Site, City of Ontario, San Bernardino County, California

Ladies and Gentlemen:

This letter report presents findings of a reconnaissance-level survey conducted to generally evaluate the suitability of a ±12.27-acre site to support the federally-listed endangered Delhi Sands flower-loving fly (*Rhaphiomidas terminatus abdominalis*-herein DSFF).

Introduction

The site is regionally located in the City of Ontario (City), San Bernardino County, California (**Plate 1**). Specifically, the project site is located west of Haven Avenue, north of Mission Avenue, and south of Jurupa Avenue. The site occurs on the "Guasti" USGS 7.5-minute topographic map, Township 1 South, Range 7 West, Section 35 (**Plate 2**). **Plate 3** provides an aerial photograph of the site. Projects proposed in the area that contain potentially suitable habitat to support sensitive biological resources such as the DSFF must demonstrate to reviewing agencies that potential project-related impacts to sensitive biological resources are avoided or minimized. In order to meet the environmental documentation and review requirements, potentially occurring sensitive biological resources must be addressed to demonstrate the applicant's conformance to California Environmental Quality Act (CEQA) and the federal Endangered Species Act (Act) of 1973, as amended. As such, this report is intended to provide biological information to the applicant and reviewing agencies in support of the environmental review process.

As a federally listed endangered species, the DSFF is protected under the Act. As such, federal law prohibits "take" of listed species. The term "take" means to harass, harm, pursue, hunt, shoot, wound, kill, trap, capture or collect, or attempt to engage in any such conduct. In some cases, habitat modification can constitute prohibitive "take". A section 10(a) permit is required for projects where a determination of "take" is likely to occur during a proposed non-federal activity. If the project were to require a federal permit (e.g., USACE 404 permit), the federal agency issuing the permit would consult with the Service to determine how the action may affect the DSFF under Section 7 of the Act.

The Service routinely reviews environmental documentation for proposed development projects in the area, and as such, would recommend that any impacts to sensitive biological resources be adequately addressed and mitigated pursuant to the Act and CEQA. Due to the inherent limitations of unseasonal or habitat-based data, definitive conclusions regarding the actual presence or absence of DSFF cannot be made in this evaluation. Accordingly, this report is intended to provide the applicant with general information relative to the potential occurrence of DSFF based solely on the nature of habitat present.

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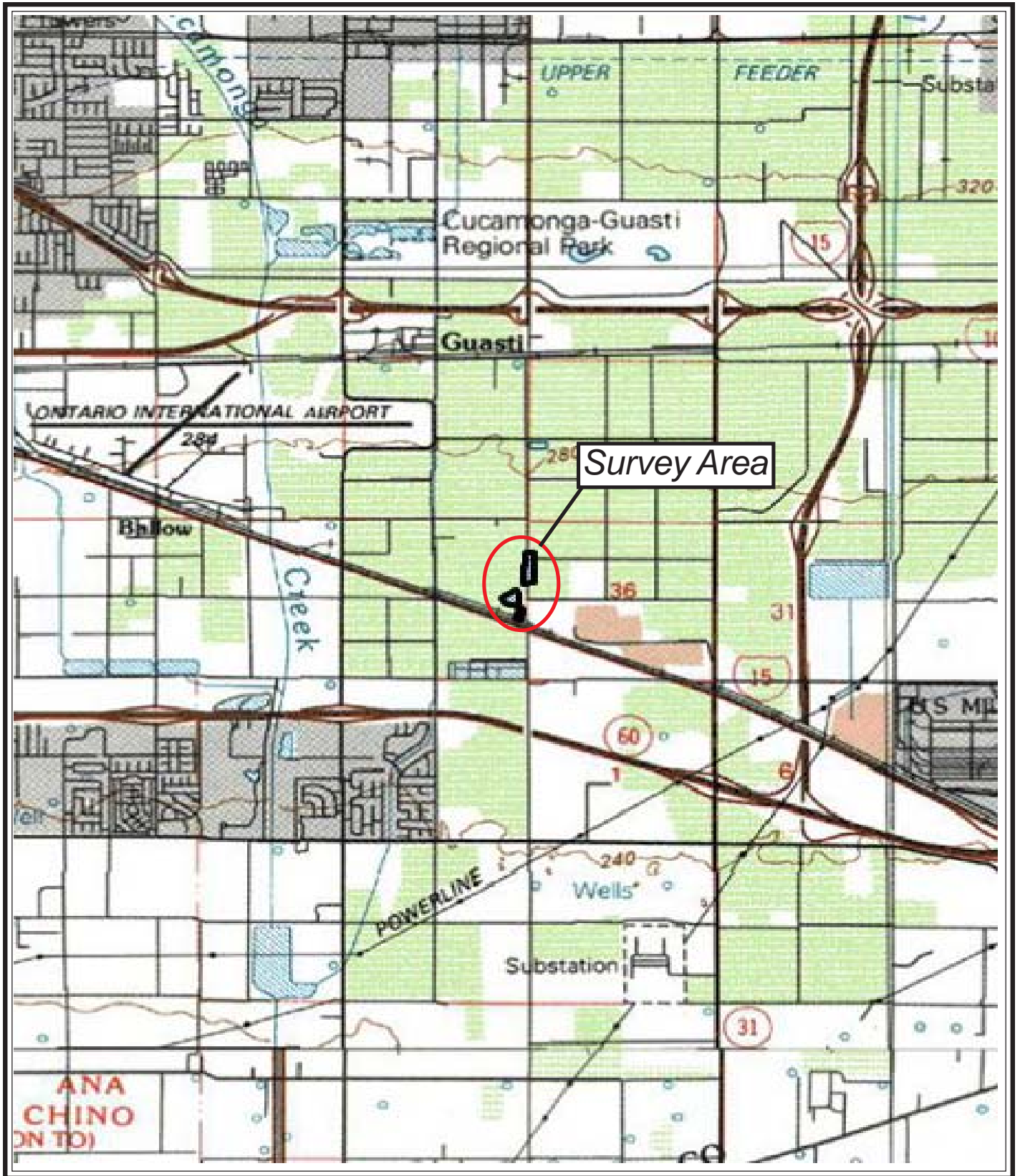


plate 1

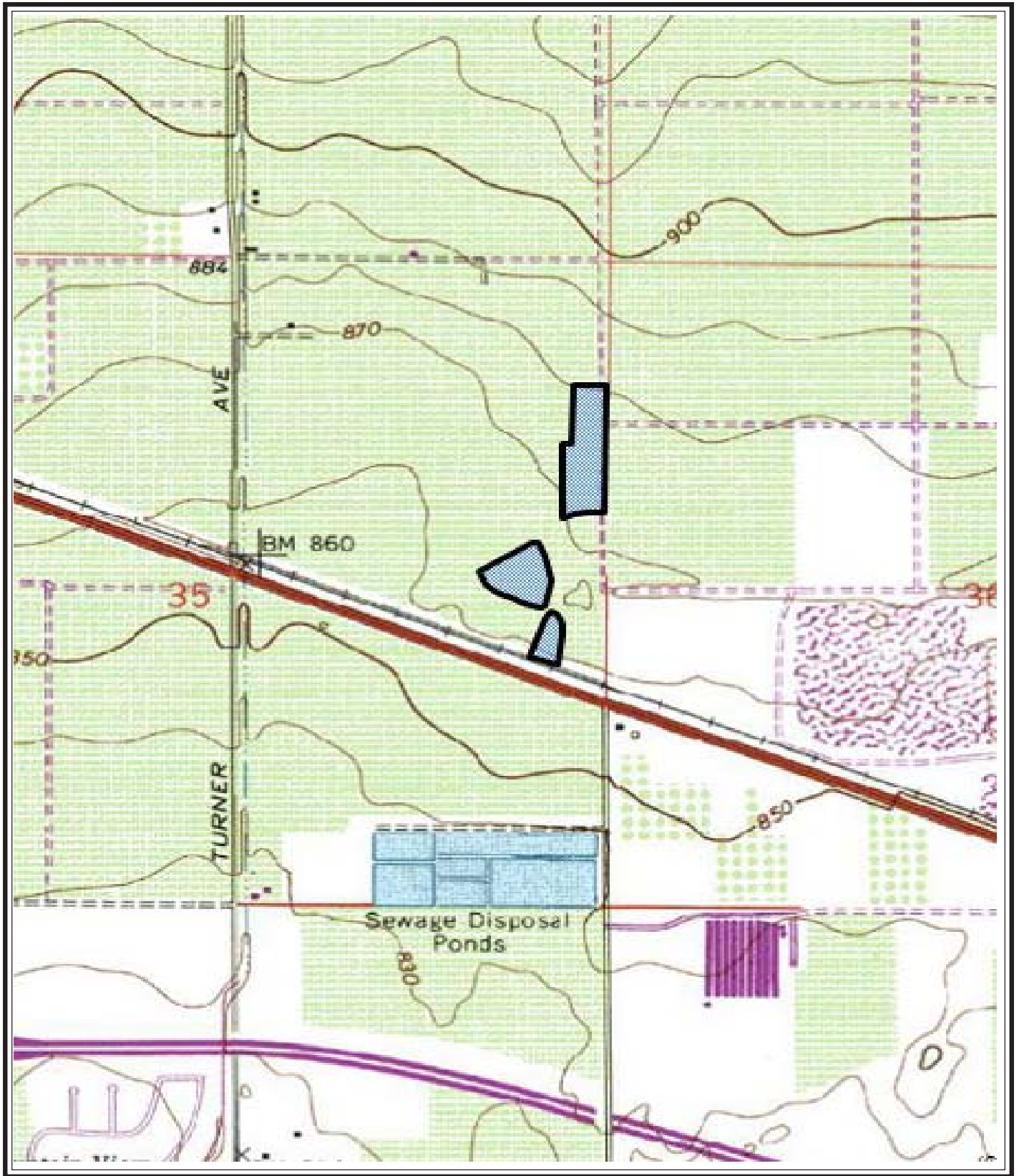
Regional Site Location

12.27-acre Site



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 = Study Areas

plate 2

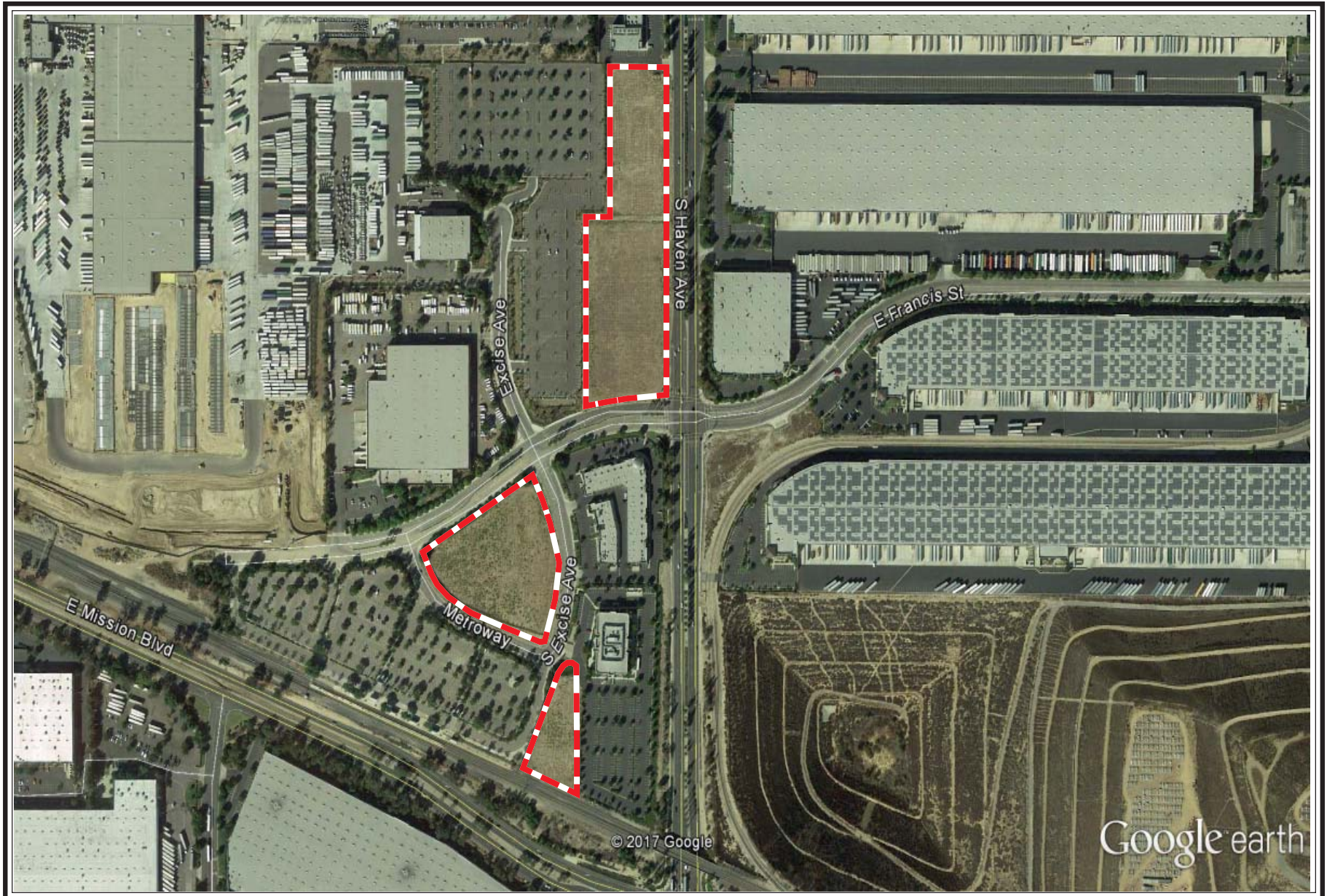


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USGS Topographic Vicinity Map

12.27-acre Site



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--- = Study Areas

plate 3

Aerial Photograph

12.27-acre Site

Item B - 28 of 67

Selected Species Overview

The Service listed the DSFF as an endangered species on September 23, 1993. This species is only known to occur in association with Delhi sand deposits (USFWS 1997), primarily on twelve disjunct sites within a radius of about eight miles in the cities of Colton, Rialto, and Fontana in southwestern San Bernardino and northwestern Riverside counties. However, recent survey data (1997-03) indicates that DSFF occur in low numbers in Ontario, and also in sub-optimal habitat conditions. The DSFF is restricted to the Colton Dunes, which covers approximately 40 square miles. More than 95 percent of the formerly known habitat has been converted to human uses or severely affected by human activities, rendering it apparently unsuitable for occupation by the species (Smith 1993, USFWS 1997 in Kingsley 1996).

General Habitat Characteristics

Areas containing sandy substrates with a sparse cover of perennial shrubs and other vegetation constitute the primary habitat requirements for *Rhaphiomidas* flies (USFWS 1997). Potential habitat for the DSFF is typically defined as areas comprised of sandy soil (Delhi series) in open areas commonly dominated by three indicator plant species: California buckwheat (*Eriogonum fasciculatum*), California croton (*Croton californica*), and telegraph weed (*Heterotheca grandiflora*). Annual bur-sage (*Ambrosia acanthicarpa*), Rancher's fireweed (*Amsinckia menziesii*), autumn vinegar weed (*Lessingia glandulifera*), sapphire eriastrum (*Eriastrum sapphirinum*), primrose (*Oenothera* sp.), and Thurber's buckwheat (*Eriogonum thurberi*) are also commonly present at occupied DSFF sites. In addition, insect indicator species such as *Apiocera* and *Nemomydas* are also typically associated with occupied DSFF habitat. It is also important to note that the presence or absence of indicator species does not determine presence/absence of DSFF. Rather, these indicator species exhibit a strong correlation to habitats occupied by DSFF. A gradient of habitat suitability exists for DSFF, composed of varying degrees of both natural and artificial conditions.

Federal DSFF Recovery Units / Core Reserves

Subregional areas encompassing smaller areas known to be inhabited by the DSFF or encompassing areas that contain restorable habitat for the DSFF have been grouped into three Recovery Units (RUs) by the Service based on geographic proximity, similarity of habitat, and potential genetic exchange (USFWS 1997). The subject site is located within an area designated as the Ontario RU. The Ontario RU historically contained the largest block of the Colton Dunes; however, most lands in this RU have been converted to agriculture, or developed for commercial and residential projects (USFWS 1997). The Ontario RU contains several areas that currently support DSFF, and additional areas have been proposed for restoration in the DSFF Recovery Plan. The occupied and/or potentially restorable habitat in the RUs includes only those areas that, at a minimum, contain Delhi Series soils. Further, RUs do not include residential and commercial development, or areas that have been otherwise permanently altered by human actions (USFWS 1997). DSFF will continue to exist in the Ontario RU only with land conservation, a cessation of current habitat-degrading land management practices and recreational uses, and/or a restoration or natural reversion of ecologically damaged lands back to an ecological community typical of Delhi sands formations.

Potentially suitable habitats remaining in the Ontario RU are highly fragmented, and as such, the establishment of a permanent long-term reserve in this RU is currently unresolved. While many degraded sites are currently unsuitable to support DSFF, DSFF have been recorded on certain properties that have been heavily disturbed in the past (e.g., previously graded and/or scraped sites where a cessation of disturbance-related land uses have occurred such that a degree of natural conditions now occur). Accordingly, DSFF may persist on, or disperse to, certain properties that have not been exposed to recurring and/or recent land disturbances. These previously disturbed properties may be important for future preservation of the species in the region. In addition, individual DSFF have been recorded in areas generally considered unsuitable to support this taxon, and with no apparent connectivity to occupied DSFF habitats.

Additional data will be needed on reproduction and mortality rates, dispersal, and habitat variables before



further refinement of RU boundaries, development of alternative RU preserve designs, and analyses of population can be made (USFWS 1997). Until such data is obtained, the highest priority will be to protect existing populations of the DSFF (USFWS 1997). To achieve downlisting, areas containing occupied and/or restorable habitat and dispersal corridors need to be evaluated relative to the extent of distribution patterns necessary to support secure populations. Sites to be protected should be selected based on habitat needs of adults and larvae, and willingness of landowners to participate in recovery efforts (USFWS 1997). Several “Core Reserve Areas” have been initially identified by the Service, but to our knowledge, the actual extent of the proposed reserve areas has not been finalized.

Focused DSFF Survey Guidelines

The Service prepared Presence/Absence Survey Guidelines for the DSFF in December 1996 (USFWS 1996), with revisions in April 2004. In general, the guidelines maintain that in order to more fully determine the presence or absence of DSFF such that the results are acceptable to the Service, a survey following these guidelines must be conducted. The guidelines require that surveys be conducted in all areas containing Delhi sands twice weekly (two days per week) during the single annual flight period from July 1 to September 20. However, at the discretion of the Service, survey guidelines may be modified depending upon individual site circumstances (e.g., highly degraded sites that don't support constituent elements of potential DSFF habitat or early seasonal emergence periods). During the environmental review process, recommendations to perform focused DSFF surveys are evaluated by reviewing agencies on a site-by-site basis.

Methodology

Literature Search

Documentation pertinent to the biological resources in the vicinity of the site was reviewed and analyzed. Information reviewed included: (1) the Federal Register listing package for the federally listed endangered DSFF; (2) literature pertaining to habitat requirements of DSFF; (3) the California Natural Diversity Data Base (CNDDDB 2017) information regarding sensitive species potentially occurring on the site for the “Guasti” and surrounding USGS 7.5-minute quadrangle maps, and (4) review of available reports from the general vicinity of the project site.

2017 Habitat-Suitability Evaluation

Ecological Sciences conducted a reconnaissance-level field survey on the subject site to evaluate potential habitat for DSFF on June 14, 2017. The survey was conducted by Scott Cameron; Principal Biologist of Ecological Sciences, Inc. Mr. Cameron holds a current federal permit to conduct focused survey for this species (TE-808642-8). Ecological Sciences biologists have observed numerous DSFF in the field since 1995, and have extensive experience conducting both focused surveys and habitat evaluations for this sensitive taxon. Ecological Sciences is well versed with the biotic characteristics of a range of habitats occupied by DSFF, as well as other sensitive wildlife species potentially occurring in the area. The site was examined on foot by walking a series of meandering transects across the subject property. As mentioned, the primary objective of the one-day field visit was to generally evaluate the site's potential to support DSFF. Dominant plant species and other habitat characteristics present at the site were identified to assess the overall habitat value. Weather conditions included clear skies, 1-5 breezes, and an ambient temperature of 78-84 °F.

Existing Biological Environment

The study area is characterized as a highly degraded and disturbed site dominated by non-native ruderal plant species (grasses and forbs). The site was historically used for viticulture (grape) cultivation and currently all the vines have been removed and recently disced such that little standing vegetation is present. The most southern parcel has above-ground irrigation infrastructure. Surrounding land uses include only commercial development. **Plates 4a-4b** photographically illustrate existing conditions.





View to south of northern parcel



View to north of northern parcel



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plate **4a**

Site Photographs

12.27-acre Site

Item B - 31 of 67



View to west of central parcel



View to south of southern parcel



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plate **4b**

Site Photographs

12.27-acre Site

Item B - 32 of 67

Vegetation

Ruderal plants recorded on site included various non-native grasses and weedy species such as foxtail chess (*Bromus madritensis* spp. *rubens*), ripgut grass (*Bromus diandrus*), Mediterranean grass (*Schismus barbatus*), filaree (*Erodium* spp.), Russian thistle (*Salsola tragus*), pigweed (*Chenopodium album*), short-podded mustard (*Hirschfeldia incana*), golden crownbeard (*Verbesina encelioides*), common sow thistle (*Sonchus oleraceus*), and bur clover (*Medicago polymorpha*). Native plant species recorded included truncated telegraph weed and annual bur-sage. Vegetation coverage was estimated about 80 percent prior to discing.

General Soils Analysis / Soil Conservation Map Review

A review of soil maps prepared for the area by the Natural Resource Conservation Service (NRCS 2017) indicate that the subject site is located entirely within an area mapped as containing Delhi fine sand (Db). However, various long-standing anthropogenic site disturbances have significantly altered the site's surface soil characteristics from those more typical undisturbed Delhi series soils. A general surface soils analysis was conducted due to the close association of DSFF to mostly open, sandy friable soils. Soils were generally friable throughout the study area with some gravel assimilated particularly on the southern parcel.

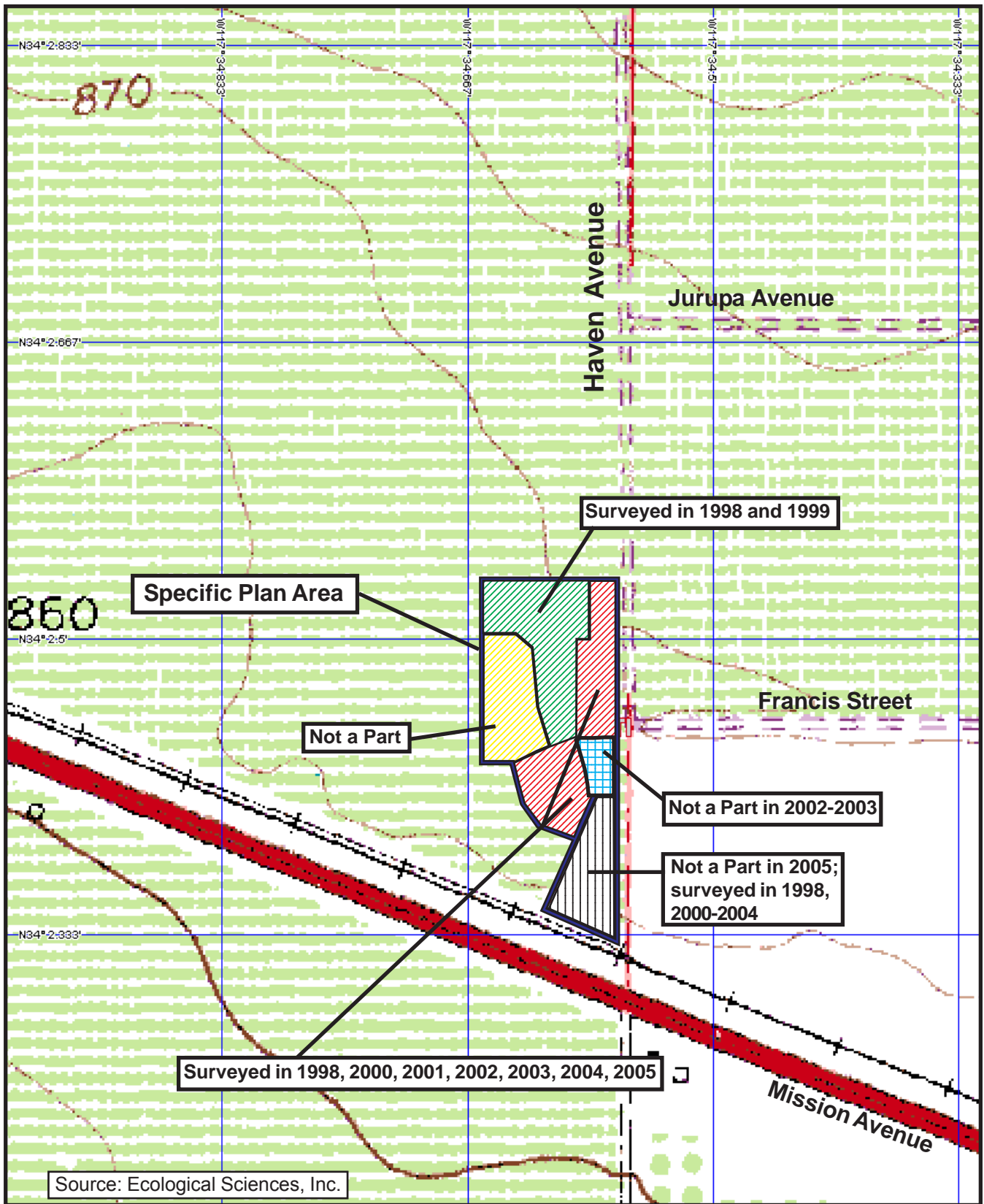
Discussion

DSFF have relatively narrow habitat requirements that are determined by appropriate plant species and open sand as defining characteristics (Kingsley 1996). The presence of Delhi soils appears to be the most determinative factor of whether an area can provide suitable DSFF habitat. Delhi sands constitute the primary component of a complex ecosystem. A variety of microhabitat characteristics generally constitute potential DSFF habitat (e.g., Delhi soils, vegetation composition, soil chemistry, topography, percent vegetative cover, frequency of non-native plant species, exposure to disturbances, etc.). However, it is widely acknowledged that a gradient of habitat suitability exists for DSFF, composed of varying degrees of natural and artificial conditions. Comprehensive DSFF population data is generally lacking and key factors regulating DSFF populations have not been fully identified. As such, whether this taxon would persist over a long-term basis in less than ideal conditions is currently unknown.

While the aforementioned microhabitat conditions are considered optimal/essential to support DSFF, DSFF sometimes occur in areas not typically considered suitable for this taxon. Although individual DSFF have been recorded from sites supporting mostly ruderal, non-native vegetation, most known DSFF-occupied sites contain areas, or are adjacent to areas, of relatively undisturbed exposed patches of friable, sandy soils in association with selected native plant species. History of DSFF colony sites indicates that previously disturbed (by grading, agriculture, etc.) Delhi sands formations may revert over a few years (through erosion, aeolian processes, fossorial animal activity, and natural vegetative succession) back to conditions capable of supporting DSFF populations. However, these natural processes are dependent upon a cessation of disturbance-related land uses, which prevent the natural reestablishment of a more characteristic Delhi sand community (associated with potential DSFF habitat).

There is no apparent connectivity to the subject site from the nearest historically known (to us) DSFF population (± 1.5 miles southeast of the site-population now thought extirpated) due to the presence of existing commercial development that entirely surrounds the site. While this species likely has the capability of dispersing over relatively large distances of seemingly unsuitable habitats under certain circumstances, it would be reasonable to assume (based on our current knowledge of the species) that the likelihood of DSFF dispersing to the subject site from the nearest known off-site occupied site would be low despite the fact that variables such as the length, width, and structural characteristics of dispersal corridors are not fully understood. Accordingly, the subject site would not be considered a viable property for preservation or restoration due to its geographic location and surrounding land uses which have fragmented potential DSFF habitat in the area.





July 2017

plate 5

Site Vicinity Survey Schematic

Previous Focused DSFF Surveys Conducted within the Specific Plan Area

The following summarizes focused DSFF surveys that have been conducted on and adjacent to the 2017 subject study area. **Plate 5** (previous page) illustrates historically where focused DSFF surveys have been conducted on and near the site since 1998.

1998 Focused DSFF Surveys (± 40 -acre area)- Per agreement between the Service and the landowner (Cucamonga Vintners, LLC) in 1998, the ± 40 acres of the Acco Airport Center site that had not yet been developed, were surveyed for only one (1) year in 1998, with the results of that survey dictating certain courses of action for the parties. As such, focused DSFF surveys were conducted over ± 40 acres of the ± 55 -acre specific plan in 1998. No DSFF or DSFF sign was recorded during the 1998 focused survey effort. Based on the 1998 survey results, nothing further was required of Cucamonga Vintners, LLC. Results of the surveys suggested that the site did not support high quality potential or optimal DSFF habitat, and that the site was not located directly adjacent to areas of known occupied DSFF habitat or high quality potential DSFF habitat.

1999 Focused DSFF Surveys (± 13 acre area)- Cucamonga Vintners conducted focused DSFF surveys on ± 13 acres of the remaining undeveloped ± 40 acres. Results of the surveys conducted in 1999 further suggested that the site did not support high quality potential or optimal DSFF habitat and no DSFF or DSFF sign was recorded during an otherwise productive year for DSFF aboveground activity.

2000 and 2001 Focused DSFF Surveys (± 20 -acre area)- Cucamonga Vintners conducted focused DSFF surveys on ± 20 acres of the remaining undeveloped acres in 2000 and 2001. Results of the surveys conducted in 2000 and 2001 further suggested that the site did not support high quality potential or optimal DSFF habitat and no DSFF or DSFF sign was recorded during otherwise productive years for DSFF aboveground activity.

2002-2005 Focused DSFF Surveys (± 16 -acre area)- Cucamonga Vintners conducted focused DSFF surveys on ± 16 acres of the remaining undeveloped acres in 2002, 2003, and 2004. Results of the surveys conducted in 2002-2004 further suggested that the site did not support high quality potential or optimal DSFF habitat and no DSFF or DSFF sign was recorded during otherwise productive years for DSFF aboveground activity.

Conclusion

Based on results of the June 2017 habitat suitability evaluation, existing conditions present at the site are not consistent with those known or expected to support DSFF. No exposed natural or semi-natural open areas with unconsolidated wind-worked granitic soils or dunes are present. Exposure to historic and recurring substrate disturbances (e.g., viticulture, discing) have substantial negative effects on potential DSFF habitat and may also prevent potentially suitable DSFF microhabitat soil conditions from developing. Substrate conditions are not consistent with those most often correlated with potential DSFF habitat. Although a few native plant species are present that are often associated with potential DSFF habitat, the context in which these species occur (e.g., scattered within highly disturbed site conditions) does not constitute a native plant community most commonly associated with potential DSFF habitat.

Under current conditions, the site would generally be considered prohibitive to DSSF occupation. The underlying soil environment appears to be the most definitive factor of whether an area could potentially support DSFF. Quality of Delhi soils present within the study area was rated for its potential to support DSFF. The area mapped as Delhi soils was visually inspected and rated based on a scale of 1 to 5, with 5 being the best quality and most suitable habitat in the biologist's judgment:

1. Soils dominated by heavy deposits of alluvial material including coarse sands and gravels with little or no Delhi sands and evidence of soil compaction. *Unsuitable*.



2. Delhi sands are present but the soil characteristics include a predominance of alluvial materials (Tujunga Soils). *Very Low Quality*.
3. Although not clean, sufficient Delhi sands are present to prevent soil compaction. Some sandy soils exposed on the surface due to fossorial animal activity. *Low Quality*.
4. Abundant clean Delhi sands with little or no alluvial material or Tujunga soils present. Moderate abundance of exposed sands on the soil surface. Low vegetative cover. Evidence of moderate degree of fossorial animal activity by vertebrates and invertebrates. *Moderate Quality*
5. Sand dune habitat with clean Delhi sands. High abundance of exposed sands on the soil surface. Low vegetative cover. Evidence (soil surface often gives under foot) of high degree of fossorial animal activity by vertebrates and invertebrates. *High Quality*

Based on the above ratings and existing site conditions, the study area would be considered *Low to Very Low Quality* for DSFF. In view of the site's highly disturbed condition, exposure to recurring surface disturbances, and analyses of correlative habitat information from a wide range (e.g., relatively disturbed to more natural habitats) of occupied DSFF habitats in the region, the ±12.27-acre site does not likely contain habitat suitable to support or sustain a viable DSFF population. Therefore, no impacts to DSFF are expected and no mitigation is required for less than significant impacts under CEQA.

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this biological survey, and that the facts, statements, and information presented herein are true and correct to the best of my knowledge and belief.

Sincerely,

Ecological Sciences, Inc.



Scott D. Cameron
Principal Biologist



References

California Natural Diversity Data Base (CNDDB). 2017. Computer Reports for the "Guasti" and surrounding USGS 7.5-minute quadrangle maps.

Kingsley, Kenneth J. 1996. Behavior of the Delhi Sands Flower-Loving Fly (Diptera: Mydidae), a Little Known Endangered Species. *Ann. Entomol. Soc. Am.* 89(6): 883-891.

Natural Resource Conservation Service (NRCS). 2017. Custom Soil Resource Report for San Bernardino County, Southwestern Part, California. U.S. United States Department of Agriculture. NRCS website accessed June 2017.

U.S. Fish and Wildlife Service. 1993. Endangered and Threatened Wildlife and Plants: Determination of Endangered Status for the Delhi Sands Flower-loving Fly. U.S. Department of Interior. *Federal Register*, 58 (183): 49881-49887.

U.S. Fish and Wildlife Service. 1996. Interim General Survey Guidelines for the Delhi Sands Flower-loving Fly. December 30.

U.S. Fish and Wildlife Service. 1997. Delhi sands Flower-loving Fly (*Rhaphiomidas terminatus abdominalis*) Recovery Plan. U.S. Fish and Wildlife Service, Portland, OR. 51 pp.

U.S. Fish and Wildlife Service. 2004. General Survey Guidelines for the Delhi Sands Flower-loving Fly. April 30.



Attachment 1—Departmental Conditions of Approval

(Departmental conditions of approval follow this page)



City of Ontario
Planning Department
303 East B Street
Ontario, California 91764
Phone: 909.395.2036
Fax: 909.395.2420

Planning Department Land Development Division Conditions of Approval

Meeting Date: September 18, 2017
File No: PDEV16-035
Related Files: Acco Airport Center Specific Plan (File No. 4351-SP)

Project Description: A Development Plan (File No. PDEV16-035) to construct an industrial building totaling 18,600 square feet on 1.43 acres of land located at the southeasterly corner of Excise Avenue and Metro Way, within the Business Park land use district of the Acco Airport Center Specific Plan (APN: 0211-272-14); **submitted by Cucamonga Vintners.**

Prepared By: Jeanie Irene Aguilo, Assistant Planner
Phone: 909.395.2418 (direct)
Email: jaguilo@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

1.0 Standard Conditions of Approval. The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

2.0 Special Conditions of Approval. In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

2.1 Time Limits. Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

2.2 General Requirements. The Project shall comply with the following general requirements:

(a) All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

(b) The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

(c) The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

2.3 Landscaping.

(a) The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

(b) Comply with the conditions of approval of the Planning Department; Landscape Planning Division.

(c) Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

(d) Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

2.4 Walls and Fences. All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

2.5 Parking, Circulation and Access.

(a) The Project shall comply with the applicable off-street parking, loading and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

(b) All drive approaches shall be provided with an enhanced pavement treatment. The enhanced paving shall extend from the back of the approach apron, into the site, to the first intersecting drive aisle or parking space.

(c) Areas provided to meet the City's parking requirements, including off-street parking and loading spaces, access drives, and maneuvering areas, shall not be used for the outdoor storage of materials and equipment, nor shall it be used for any other purpose than parking.

(d) The required number of off-street parking spaces and/or loading spaces shall be provided at the time of site and/or building occupancy. All parking and loading spaces shall be maintained in good condition for the duration of the building or use.

(e) Parking spaces specifically designated and conveniently located for use by the physically disabled shall be provided pursuant to current accessibility regulations contained in State law (CCR Title 24, Part 2, Chapters 2B71, and CVC Section 22507.8).

(f) Bicycle parking facilities, including bicycle racks, lockers, and other secure facilities, shall be provided in conjunction with development projects pursuant to current regulations contained in CALGreen (CAC Title 24, Part 11).

2.6 Outdoor Loading and Storage Areas.

(a) Loading facilities shall be designed and constructed pursuant to Development Code Division 6.03 (Off-Street Parking and Loading).

(b) Areas designated for off-street parking, loading, and vehicular circulation and maneuvering, shall not be used for the outdoor storage of materials or equipment.

(c) Outdoor loading and storage areas, and loading doors, shall be screened from public view pursuant to the requirements of Development Code Paragraph 6.02.025.A.2 (Screening of Outdoor Loading and Storage Areas, and Loading Doors) et seq.

(d) Outdoor loading and storage areas shall be provided with gates that are view-obstructing by one of the following methods:

(i) Construct gates with a perforated metal sheet affixed to the inside of the gate surface (50 percent screen); or

(ii) Construct gates with minimum one-inch square tube steel pickets spaced at maximum 2-inches apart.

(e) The minimum gate height for screen wall openings shall be established based upon the corresponding wall height, as follows:

Screen Wall Height	Minimum Gate Height
14 feet:	10 feet
12 feet:	9 feet
10 feet:	8 feet
8 feet:	8 feet
6 feet:	6 feet

2.7 Site Lighting.

(a) All off-street parking facilities shall be provided with nighttime security lighting pursuant to Ontario Municipal Code Section 4-11.08 (Special Residential Building Provisions) and Section 4-11.09 (Special Commercial/Industrial Building Provisions), designed to confine emitted light to the parking areas. Parking facilities shall be lighted from sunset until sunrise, daily, and shall be operated by a photocell switch.

(b) Unless intended as part of a master lighting program, no operation, activity, or lighting fixture shall create illumination on any adjacent property.

2.8 Mechanical and Rooftop Equipment.

(a) All exterior roof-mounted mechanical, heating and air conditioning equipment, and all appurtenances thereto, shall be completely screened from public view by parapet walls or roof screens that are architecturally treated so as to be consistent with the building architecture.

(b) All ground-mounted utility equipment and structures, such as tanks, transformers, HVAC equipment, and backflow prevention devices, shall be located out of view from a public street, or adequately screened through the use of landscaping and/or decorative low garden walls.

2.9 Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

2.10 Signs. All Project signage shall comply with the requirements of Ontario Development Code Division 8.1 (Sign Regulations).

2.11 Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noised levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

2.12 Environmental Review.

(a) The environmental impacts of this project were previously reviewed in conjunction with Acco Airport Center Specific Plan (File No. 4351-SP) for which an Environmental Impact Report (SCH#90021134) was previously certified by the City Council on January 19, 1993. This application introduces no new significant environmental impacts. The City's "Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed. The previously adopted mitigation measures shall be a condition of project approval, and are incorporated herein by this reference.

(b) If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

(c) If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

2.13 Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

2.14 Additional Fees.

(a) Within 5 days following final application approval, the Notice of Determination (NOD) filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act (CEQA). Failure to provide said fee within the time specified may result in a 180-day extension to the statute of limitations for the filing of a CEQA lawsuit.

(b) After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.



ENGINEERING DEPARTMENT CONDITIONS OF APPROVAL

(Engineering Services Division [Land Development and Environmental], Traffic/Transportation Division, Ontario Municipal Utilities Company and Management Services Department conditions incorporated herein)

<input checked="" type="checkbox"/> DEVELOPMENT PLAN	<input type="checkbox"/> PARCEL MAP	<input type="checkbox"/> TRACT MAP
<input type="checkbox"/> OTHER	<input type="checkbox"/> FOR CONDOMINIUM PURPOSES	
PROJECT FILE NO. PDEV16-035		
RELATED FILE NO(S). _____		
<input type="checkbox"/> ORIGINAL <input checked="" type="checkbox"/> REVISED: 09/13/2017		

CITY PROJECT ENGINEER & PHONE NO:

Manoj Hariya, P.E., Sr. Associate Civil Engineer,
(909) 395-2155

M.B. Hariya
09/13/17

CITY PROJECT PLANNER & PHONE NO:

Jeanie Irene Aguilo, Assistant Planner,
(909) 395-2418

DAB MEETING DATE:

09/06/2017

PROJECT NAME / DESCRIPTION:

Development plan to construct 1 concrete tilt-up warehouses totaling 18,600 SF on 1.43 acres.

LOCATION:

South corner of Excise Avenue and Metro Way

APPLICANT:

Michael Morris, ACCO Airport Center III, LLC
949-433-8568

REVIEWED BY:

for *M.B. Hariya* *09/13/17*
Omar Gonzalez, P.E. Date
Sr. Associate Civil Engineer

APPROVED BY:

[Signature] *9/13/17*
Khoi Do, P.E. Date
Assistant City Engineer



THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE GENERAL STANDARD CONDITIONS OF APPROVAL ADOPTED BY THE CITY COUNCIL (RESOLUTION NO. 2010-021) AND THE PROJECT SPECIFIC CONDITIONS OF APPROVAL SPECIFIED IN HEREIN. ONLY APPLICABLE CONDITIONS OF APPROVAL ARE CHECKED. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL APPLICABLE CONDITIONS OF APPROVAL PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, ISSUANCE OF PERMITS AND/OR OCCUPANCY CLEARANCE, AS SPECIFIED IN THIS REPORT.

1. PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, APPLICANT SHALL: **Check When Complete**

- 1.01 Dedicate to the City of Ontario, the right-of-way, described below:
_____ feet on _____
Property line corner 'cut-back' required at the intersection of _____
and _____.
- 1.02 Dedicate to the City of Ontario, the following easement(s): _____

- 1.03 Restrict vehicular access to the site as follows: _____
- 1.04 Vacate the following street(s) and/or easement(s): _____
- 1.05 Submit a copy of a recorded private reciprocal use agreement or easement. The agreement or easement shall ensure, at a minimum, common ingress and egress and joint maintenance of all common access areas and drive aisles.
- 1.06 Provide (original document) Covenants, Conditions and Restrictions (CC&Rs) as applicable to the project and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&Rs shall provide for, but not be limited to, common ingress and egress, joint maintenance responsibility for all common access improvements, common facilities, parking areas, utilities, median and landscaping improvements and drive approaches, in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project. The CC&Rs shall also address the maintenance and repair responsibility for public improvements/utilities (sewer, water, storm drain, recycled water, etc.) located within open space/easements. In the event of any maintenance or repair of these facilities, the City shall only restore disturbed areas to current City Standards.
- 1.07 File an application for Reapportionment of Assessment, together with payment of a reapportionment processing fee, for each existing assessment district listed below. Contact the Management Services Department at (909) 395-2124 regarding this requirement.
(1) _____
(2) _____
- 1.08 File a Consent and Waiver to Annexation agreement, together with an annexation processing fee, to annex the subject property to a Street Lighting Maintenance Assessment District (SLMD). The agreement and fee shall be submitted a minimum of three (3) months prior to, and the annexation shall be completed, prior to final subdivision map approval or issuance of building permits, whichever occurs first. An annual special assessment shall be levied in the SLMD and will be collected along with annual property taxes. The special assessment will provide funding for costs associated with the annual operation and maintenance of the street lighting facilities and appurtenances that serve the property. Contact Management Services at (909) 395-2124 regarding this requirement.
- 1.09 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits,



whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Management Services at (909) 395-2353 to initiate the CFD application process.

- 1.10 New Model Colony (NMC) Developments:
 - 1) Provide evidence of final cancellation of Williamson Act contracts associated with this tract, prior to approval of any final subdivision map. Cancellation of contracts shall have been approved by the City Council.
 - 2) Provide evidence of sufficient storm water capacity availability equivalents (Certificate of Storm Water Treatment Equivalents).
 - 3) Provide evidence of sufficient water availability equivalents (Certificate of Net MDD Availability).
- 1.11 Other conditions: _____

2. PRIOR TO ISSUANCE OF ANY PERMITS, APPLICANT SHALL:

**A. GENERAL
 (Permits includes Grading, Building, Demolition and Encroachment)**

- 2.01 Record Parcel Map/Tract Map No. _____ pursuant to the Subdivision Map Act and in accordance with the City of Ontario Municipal Code.
- 2.02 Submit a duplicate photo mylar of the recorded map to the City Engineer's office.
- 2.03 **Note that the subject parcel is a recognized parcel in the City of Ontario per PM 14860-4 which was recorded on 03/17/2004 with County of San Bernardino.**
- 2.04 Note that the subject parcel is an 'unrecognized' parcel in the City of Ontario and shall require a Certificate of Compliance to be processed unless a deed is provided confirming the existence of the parcel prior to the date of _____ .
- 2.05 Apply for a: Certificate of Compliance with a Record of Survey; Lot Line Adjustment
 Make a Dedication of Easement.
- 2.06 **Provide (original document) Covenants, Conditions and Restrictions (CC&R's), as applicable to the project, and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&R's shall provide for, but not be limited to, common ingress and egress, joint maintenance of all common access improvements, common facilities, parking areas, utilities and drive approaches in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project.**
- 2.07 **Submit a soils/geology report.**
- 2.08 Other Agency Permit/Approval: Submit a copy of the approved permit and/or other form of approval of the project from the following agency or agencies:
 - State of California Department of Transportation (Caltrans)
 - San Bernardino County Road Department (SBCRD)
 - San Bernardino County Flood Control District (SBCFCD)
 - Federal Emergency Management Agency (FEMA)



- Cucamonga Valley Water District (CVWD) for sewer/water service
- United States Army Corps of Engineers (USACE)
- California Department of Fish & Game
- Inland Empire Utilities Agency (IEUA)
- Other: _____

2.09 Dedicate to the City of Ontario the right-of-way described below: _____

_____ feet on _____

Property line corner 'cut-back' required at the intersection of _____ and _____.

2.10 Dedicate to the City of Ontario the following easement(s): _____

2.11 New Model Colony (NMC) Developments:

1) Submit a copy of the permit from the San Bernardino County Health Department to the Engineering Department and the Ontario Municipal Utilities Company (OMUC) for the destruction/abandonment of the on-site water well. The well shall be destroyed/abandoned in accordance with the San Bernardino County Health Department guidelines.

2) Make a formal request to the City of Ontario Engineering Department for the proposed temporary use of an existing agricultural water well for purposes other than agriculture, such as grading, dust control, etc. Upon approval, the Applicant shall enter into an agreement with the City of Ontario and pay any applicable fees as set forth by said agreement.

3) Design proposed retaining walls to retain up to a maximum of three (3) feet of earth. In no case shall a wall exceed an overall height of nine (9) feet (i.e. maximum 6-foot high wall on top of a maximum 3-foot high retaining wall).

2.12 **Submit a security deposit to the Engineering Department to guarantee construction of the public improvements required herein valued at 100 % of the approved construction cost estimate. Security deposit shall be in accordance with the City of Ontario Municipal Code. Security deposit will be eligible for release, in accordance with City procedure, upon completion and acceptance of said public improvements.**

2.13 **The applicant/developer shall submit all necessary survey documents prepared by a Licensed Surveyor registered in the State of California detailing all existing survey monuments in and around the project site. These documents are to be reviewed and approved by the City Survey Office.**

2.14 **Pay all Development Impact Fees (DIF) to the Building Department.**

2.15 **Other conditions:**

1. **The developer shall reserve a reciprocal access and parking easement across the project's site (driveways, parking isles and parking area) for the benefit of all the affected parcels.**
2. **The developer shall reserve the cross lot drainage easement across the project's site for the benefit of the adjacent parcels.**



B. PUBLIC IMPROVEMENTS
 (See attached Exhibit 'A' for plan check submittal requirements.)

2.16 Design and construct full public improvements in accordance with the City of Ontario Municipal Code, current City standards and specifications, master plans and the adopted specific plan for the area, if any. These public improvements shall include, but not be limited to, the following (checked boxes):

Improvement	Excise Ave	Francis St.		
Curb and Gutter	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace
AC Pavement (see 2.34)	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input checked="" type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions
PCC Pavement (Truck Route Only)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Drive Approach	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Sidewalk	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
ADA Access Ramp	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Parkway	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)
Raised Landscaped Median (see 2.34)	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input checked="" type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Fire Hydrant	<input type="checkbox"/> New <input type="checkbox"/> Relocation	<input type="checkbox"/> New <input type="checkbox"/> Relocation	<input type="checkbox"/> New <input type="checkbox"/> Relocation	<input type="checkbox"/> New <input type="checkbox"/> Relocation



Sewer (see Sec. 2.C)	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
Water (see Sec. 2.D)	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Recycled Water (see Sec. 2.E)	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Traffic Signal System (see Sec. 2.F) (see 2.34)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input checked="" type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Traffic Signing and Striping (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Street Light (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Relocation	<input type="checkbox"/> New <input type="checkbox"/> Relocation	<input type="checkbox"/> New <input type="checkbox"/> Relocation	<input type="checkbox"/> New <input type="checkbox"/> Relocation
Bus Stop Pad or Turn-out (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Storm Drain (see Sec. 2.G)	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
Overhead Utilities	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate
Fiber Optic Conduits (see Sec. 2.K)	<input checked="" type="checkbox"/> New	<input type="checkbox"/> New	<input type="checkbox"/> New	_____ _____ _____
Other Improvements	_____ _____ _____	_____ _____ _____	_____ _____ _____	_____ _____ _____

Specific notes for improvements listed in item no. 2.15, above: _____

2.17 Construct a 0.15' asphalt concrete (AC) grind and overlay on the following street(s): _____

2.18 Reconstruct the full pavement structural section based on existing pavement condition and approved street section design. Minimum limits of reconstruction shall be along property frontage, from street centerline to curb/gutter. 'Pothole' verification of existing pavement section required prior to acceptance/approval of street improvement plan.



- 2.19 Make arrangements with the Cucamonga Valley Water District (CVWD) to provide water service sewer service to the site. This property is within the area served by the CVWD and Applicant shall provide documentation to the City verifying that all required CVWD fees have been paid.
- 2.20 Other conditions: _____

C. SEWER

- 2.21 **A 12 inch sewer main is available for connection by this project along south boundary of project (Ref: Sewer plan bar code: S10127).**
- 2.22 Design and construct a sewer main extension. A sewer main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.23 Submit documentation that shows expected peak loading values for modeling the impact of the subject project to the existing sewer system. The project site is within a deficient public sewer system area. Applicant shall be responsible for all costs associated with the preparation of the model. Based on the results of the analysis, Applicant may be required to mitigate the project impact to the deficient public sewer system, including, but not limited to, upgrading of existing sewer main(s), construction of new sewer main(s) or diversion of sewer discharge to another sewer.
- 2.24 Other conditions: _____

D. WATER

- 2.25 **A 10 inch water main is available for connection by this project in Excise Avenue (Ref: Water plan bar code: W12809)**
- 2.26 Design and construct a water main extension. A water main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.27 **Other conditions: The Applicant/Developer shall be responsible to upgrade the existing fire Hydrant with break off check valve per the current City approved Standard Drawing 4101 along the project frontage and adjacent to the project driveway.**

E. RECYCLED WATER

- 2.28 **A 8 inch recycled water main will be available for connection by other project on Excise Avenue.**
 - 2.29 Design and construct an on-site recycled water system for this project. A recycled water main does exist in the vicinity of this project.
 - 2.30 **Design and construct an on-site recycled water ready system for this project. A recycled water main does not currently exist in the vicinity of this project, but is planned for the near future. Applicant shall be responsible for construction of a connection to the recycled water main for approved uses, when the main becomes available. The cost for connection to the main shall be borne solely by Applicant.**
 - 2.31 **Submit two (2) hard copies and one (1) electronic copy, in PDF format, of the Engineering Report (ER), for the use of recycled water, to the OMUC for review and subsequent submittal to the California Department of Public Health (CDPH) for final approval.**
- Note: The OMUC and the CDPH review and approval process will be approximately three (3) months. Contact the Ontario Municipal Utilities Company at (909) 395-2687 regarding this requirement.
- 2.32 **Other conditions: The applicant/developer for projects at APN 0211-263-32 , 0211-263-38, 0211-**



263-39 and 0211-263-40 will design and construct an 8" recycled water line on Francis St. from Haven to Excise, then south on Excise to Metroway, and connect to the existing recycled water line at Haven & Francis (Ref: Recycled Water plan bar code:P10126).

The applicant/developer for this project shall be responsible for pay in lieu fee for making the connection to proposed recycled water line based on approved City of Ontario's cost estimate. (Revised 09/13/17)

F. TRAFFIC / TRANSPORTATION

- 2.33 Submit a focused traffic impact study, prepared and signed by a Traffic/Civil Engineer registered in the State of California. The study shall address, but not be limited to, the following issues as required by the City Engineer:
1. On-site and off-site circulation
 2. Traffic level of service (LOS) at 'build-out' and future years
 3. Impact at specific intersections as selected by the City Engineer
- 2.34 Other conditions:
1. The Applicant/Developer shall be responsible to replace the existing street light fixtures with the current City approved LED equivalent fixtures along the project frontage and adjacent to the project driveway. Please refer to the Traffic and Transportation Design Guidelines Section 1.4 Street Light Plans.
 2. The project frontages of Metroway, and Excise Avenue shall be signed "No Parking Anytime".
 3. The Applicant/Developer shall be responsible to design and construct all improvements necessary to provide for dual eastbound and westbound left-turn pockets at the Haven Avenue/Francis Street intersection, including street improvements, signing and striping improvements, and traffic signal detection, to the satisfaction of the City Engineer. The City, through fees previously collected, will reimburse 50 percent of the construction costs, up to \$45,000 (the preliminary opinion of cost for the aforementioned improvements is approximately \$90,000.) The difference shall be the collective responsibility of PDEV 16-035 and projects at APN 0211-263-32 , 0211-263-38, 0211-263-39 and 0211-263-40. (Revised 09/13/17)

G. DRAINAGE / HYDROLOGY

- 2.35 Submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California. The study shall be prepared in accordance with the San Bernardino County Hydrology Manual and City of Ontario standards and guidelines. Additional drainage facilities, including, but not limited to, improvements beyond the project frontage, may be required to be designed and constructed, by Applicant, as a result of the findings of this study.
- 2.36 An adequate drainage facility to accept additional runoff from the site does not currently exist downstream of the project. Design and construct a storm water detention facility on the project site. 100 year storm event post-development peak flows from the site shall not exceed 80% of pre-development peak flows, in accordance with the approved hydrology study and improvement plans.
- 2.37 Submit a copy of a recorded private drainage easement or drainage acceptance agreement to the Engineering Department for the acceptance of any increase to volume and/or concentration of historical drainage flows onto adjacent property, prior to approval of the grading plan for the project.
- 2.38 Comply with the City of Ontario Flood Damage Prevention Ordinance (Ordinance No. 2409). The project site or a portion of the project site is within the Special Flood Hazard Area (SFHA) as indicated on the Flood Insurance Rate Map (FIRM) and is subject to flooding during a 100 year frequency storm. The site plan shall be subject to the provisions of the National Flood Insurance Program.
- 2.39 Pay Storm Drain Development Impact Fee, approximately \$32,000, Fee shall be paid to the Building Department. Final fee shall be determined based on the approved site plan.



- 2.40 Other conditions: A 36 inch storm drain main is available for connection by this project along south boundary of project (Ref: Storm Drain plan bar code: D10379).

H. STORM WATER QUALITY / NATIONAL POLLUTANT DISCHARGE AND ELIMINATION SYSTEM (NPDES)

- 2.41 401 Water Quality Certification/404 Permit – Submit a copy of any applicable 401 Certification or 404 Permit for the subject project to the City project engineer. Development that will affect any body of surface water (i.e. lake, creek, open drainage channel, etc.) may require a 401 Water Quality Certification from the California Regional Water Quality Control Board, Santa Ana Region (RWQCB) and a 404 Permit from the United States Army Corps of Engineers (USACE). The groups of water bodies classified in these requirements are perennial (flow year round) and ephemeral (flow during rain conditions, only) and include, but are not limited to, direct connections into San Bernardino County Flood Control District (SBCFCD) channels.
If a 401 Certification and/or a 404 Permit are not required, a letter confirming this from Applicant's engineer shall be submitted.
Contact information: USACE (Los Angeles District) (213) 452-3414; RWQCB (951) 782-4130.
- 2.42 Submit a Water Quality Management Plan (WQMP). This plan shall be approved by the Engineering Department prior to approval of any grading plan. The WQMP shall be submitted, utilizing the current San Bernardino County Stormwater Program template, available at: <http://www.sbcounty.gov/dpw/land/npdes.asp>.
- 2.43 Other conditions: _____

J. SPECIAL DISTRICTS

- 2.44 File a Consent and Waiver to Annexation agreement, together with an annexation processing fee, to annex the subject property to a Street Lighting Maintenance Assessment District (SLMD). The agreement and fee shall be submitted three (3) months prior to, and the annexation shall be completed prior to, final subdivision map approval or issuance of building permits, whichever occurs first. An annual special assessment shall be levied in the SLMD and will be collected along with annual property taxes. The special assessment will provide funding for costs associated with the annual operation and maintenance of the street lighting facilities and appurtenances that serve the property. Contact the Management Services Department at (909) 395-2124, regarding this requirement.
- 2.45 Other conditions: _____

K. FIBER OPTIC

- 2.46 Design and construct fiber optic system to provide access to the City's conduit and fiber optic system per the City's Fiber Optic Master Plan. Building entrance conduits shall start from the closest OntarioNet hand hole constructed along the project frontage in the ROW and shall terminate in the main telecommunications room for each building. Conduit infrastructure shall interconnect with the primary and/or secondary backbone fiber optic conduit system at the nearest OntarioNet hand hole. See Fiber Optic Exhibit herein.
- 2.47 Refer to the City's Fiber Optic Master Plan for design and layout guidelines. Contact the Information Technology Department at (909) 395-2000, regarding this requirement.

L. Solid Waste

- 2.48 Onsite solid waste shall be designed in accordance with the City's Solid Waste Manual location at:
<http://www.ontarioca.gov/municipal-utilities-company/solid-waste>



2.49 Other conditions: _____ 2.49

3. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, APPLICANT SHALL

- 3.01 Set new monuments in place of any monuments that have been damaged or destroyed as a result of construction of the subject project. Monuments shall be set in accordance with City of Ontario standards and to the satisfaction of the City Engineer.
- 3.02 Complete all requirements for recycled water usage.
 - 1) Procure from the OMUC a copy of the letter of confirmation from the California Department of Public Health (CDPH) that the Engineering Report (ER) has been reviewed and the subject site is approved for the use of recycled water.
 - 2) Obtain clearance from the OMUC confirming completion of recycled water improvements and passing of shutdown tests and cross connection inspection, upon availability/usage of recycled water.
 - 3) Complete education training of on-site personnel in the use of recycled water, in accordance with the ER, upon availability/usage of recycled water.
- 3.03 The applicant/developer shall submit all final survey documents prepared by a Licensed Surveyor registered in the State of California detailing all survey monuments that have been preserved, revised, adjusted or set along with any maps, corner records or Records of Survey needed to comply with these Conditions of Approvals and the latest edition of the California Professional Land Survey Act. These documents are to be reviewed and approved by the City Survey Office.
- 3.04 NMC Projects: For developments located at an intersection of any two collector or arterial streets, the applicant/developer shall set a benchmark if one does not already exist at that intersection. Contact the City Survey office for information on reference benchmarks, acceptable methodology and required submittals.
- 3.05 Confirm payment of all Development Impact Fees (DIF) to the Building Department.
- 3.06 Submit electronic copies (PDF and Auto CAD format) of all approved improvement plans, studies and reports (i.e. hydrology, traffic, WQMP, etc.).



EXHIBIT 'A'

**ENGINEERING DEPARTMENT
First Plan Check Submittal Checklist**

Project Number: PDEV16-035

The following items are required to be included with the first plan check submittal:

1. **A copy of this check list**
2. **Payment of fee for Plan Checking**
3. **One (1) copy of Engineering Cost Estimate (on City form) with engineer's wet signature and stamp.**
4. **One (1) copy of project Conditions of Approval**
5. Two (2) sets of Potable and Recycled Water demand calculations (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size).
6. **Three (3) sets of Public Street improvement plan with street cross-sections**
7. Three (3) sets of Private Street improvement plan with street cross-sections
8. Four (4) sets of Public Water improvement plan (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)
9. Four (4) sets of Recycled Water improvement plan (include recycled water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size and an exhibit showing the limits of areas being irrigated by each recycled water meter)
10. Four (4) sets of Public Sewer improvement plan
11. Five (5) sets of Public Storm Drain improvement plan
12. **Three (3) sets of Public Street Light improvement plan**
13. **Three (3) sets of Signing and Striping improvement plan**
14. **Three (3) sets of Fiber Optic plan (include Auto CAD electronic submittal)**
15. **Three (3) sets of Traffic Signal improvement plan and One (1) copy of Traffic Signal Specifications with modified Special Provisions. Please contact the Traffic Division at (909) 395-2154 to obtain Traffic Signal Specifications.**
16. **Two (2) copies of Water Quality Management Plan (WQMP)**
17. **One (1) copy of Hydrology/Drainage study**
18. **One (1) copy of Soils/Geology report**
19. Payment for Final Map/Parcel Map processing fee
20. Three (3) copies of Final Map/Parcel Map
21. One (1) copy of approved Tentative Map
22. One (1) copy of Preliminary Title Report (current within 30 days)
23. One (1) copy of Traverse Closure Calculations



- 24. One (1) set of supporting documents and maps (legible copies): referenced improvement plans (full size), referenced record final maps/parcel maps (full size, 18"x26"), Assessor's Parcel map (full size, 11"x17"), recorded documents such as deeds, lot line adjustments, easements, etc.
- 25. **Two (2) copies of Engineering Report and an electronic file (include PDF format electronic submittal) for recycled water use**
- 26. Other: _____



CITY OF ONTARIO

MEMORANDUM

TO: Otto Kroutil, Development Director
Scott Murphy, Planning Director (Copy of Memo only)
Cathy Wahlstrom, Principal Planner (Copy of memo only)
Charity Hernandez, Economic Development
Kevin Shear, Building Official
Khoi Do, Assistant City Engineer
Carolyn Bell, Landscape Planning Division
Sheldon Yu, Municipal Utility Company
Doug Sorel, Police Department
Art Andres, Deputy Fire Chief/Fire Marshal
Tom Danna, T. E., Traffic/Transportation Manager
Lorena Mejia, Associate Planner, Airport Planning
Steve Wilson, Engineering/NPDES
Bob Gluck, Code Enforcement Director
Jimmy Chang, IT Department
David Simpson, Development/IT (Copy of memo only)

FROM: Jeanie Aguilo,

DATE: July 27, 2016

SUBJECT: FILE #: PDEV16-034

Finance Acct#:

The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Wednesday, August 10, 2016**.

- Note:
- Only DAB action is required
 - Both DAB and Planning Commission actions are required
 - Only Planning Commission action is required
 - DAB, Planning Commission and City Council actions are required
 - Only Zoning Administrator action is required

PROJECT DESCRIPTION: A Development Plan to construct 3 Industrial Buildings totaling 58,000 square feet on 3.95 acres of land located at Corner of Excise Avenue, Metro Way, and Francis Street within the Business Park land use district of the ACCO Airport Specific Plan (APN(s): 0211-263-38, 0211-263-39, 0211-263-40).

- The plan does adequately address the departmental concerns at this time.
 - No comments
 - Report attached (1 copy and email 1 copy)
 - Standard Conditions of Approval apply

- The plan does not adequately address the departmental concerns.
 - The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

IT
Department

Signature

BROADBAND OPS MGR
Title

8/31/16
Date

PDEV16-035 V.1
 ACCO Excise Avenue Industrial Building
 Engineer: Dean Williams

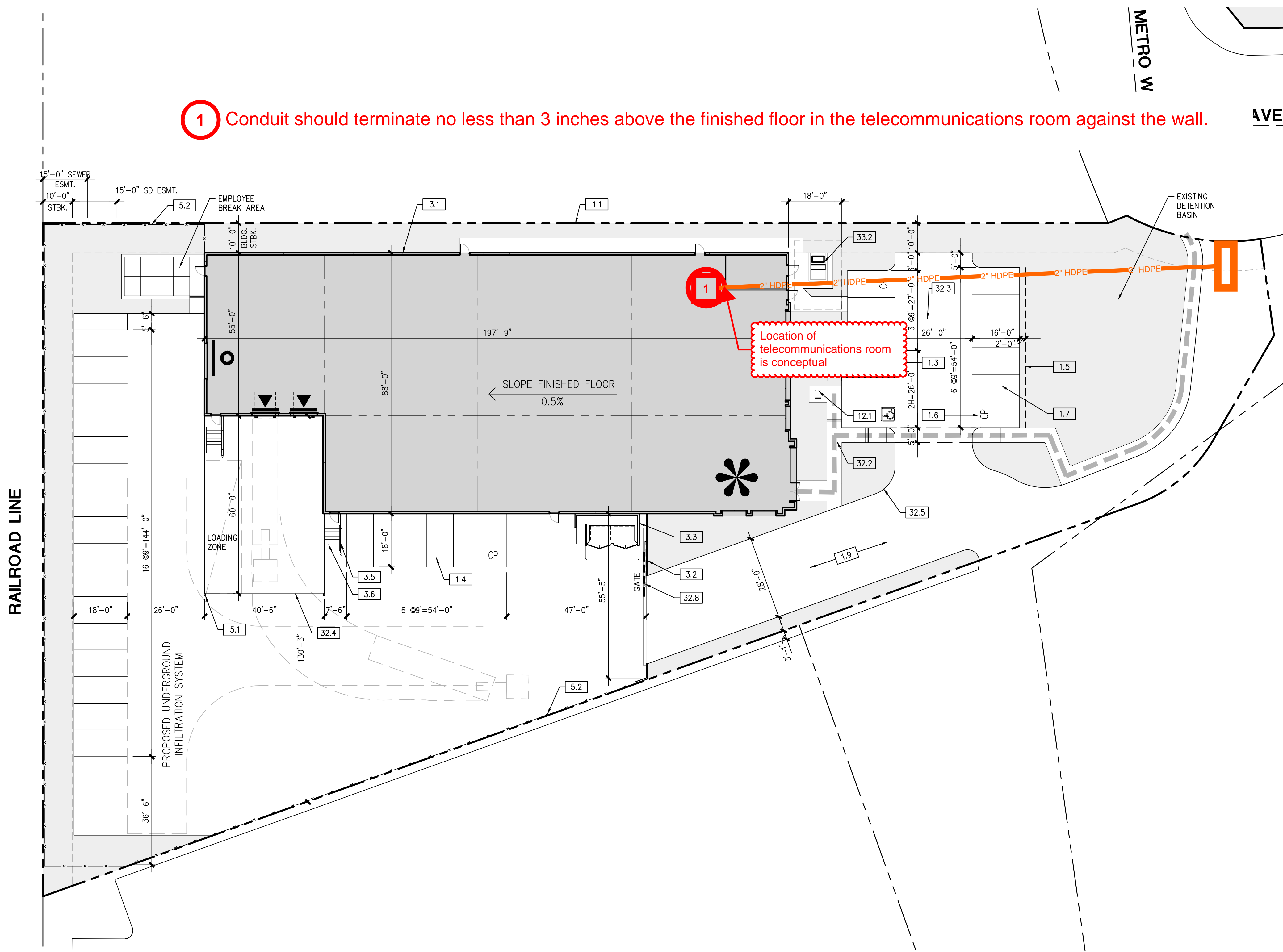
CALGREEN NOTES

CALGREEN NOTES:

- PROJECT SITE IS LARGER THAN ONE ACRE - A STORM WATER POLLUTION PLAN IS REQUIRED (CG 5.106.1).
 - VISITOR BICYCLE PARKING RACKS SHALL BE PROVIDED WITHIN 200 FEET OF BUILDING ENTRANCES, FOR A MINIMUM OF 5% NEW VISITOR VEHICULAR PARKING (CG 5.106.4.1).
 - IN BUILDINGS WITH OVER 10 TENANT-OCCUPANTS, SECURE, LONG-TERM BICYCLE ENCLOSURES OR LOCKERS SHALL BE PROVIDED ON-SITE, FOR A MINIMUM OF 5% NEW TENANT VEHICULAR PARKING (CG 5.106.5.1). COMPLIANCE WITH THIS SECTION WILL BE PROVIDED IN EACH PERMIT FOR TENANT IMPROVEMENT IN AMOUNTS PROPORTIONAL TO THE PARKING REQUIRED FOR EACH TENANT IMPROVEMENT.
 - 'CLEAN AIR' PARKING SPACES SHALL BE PROVIDED ON SITE FOR CARPOOLS & FUEL-EFFICIENT VEHICLES, FOR A MINIMUM NUMBER OF SPACES PROPORTIONAL TO REQUIRED VEHICLE PARKING (CG 5.106.5.2):
- | TOTAL NUMBER OF PARKING SPACES | NUMBER OF REQUIRED SPACES |
|--------------------------------|---------------------------|
| 0-9 | 0 |
| 10-25 | 1 |
| 26-50 | 3 |
| 51-75 | 6 |
| 76-100 | 8 |
| 101-150 | 11 |
| 151-200 | 16 |
| 200 and over | At least 8% of total |

- LIGHTING DESIGN SHALL LIMIT GLARE AND UPLIGHT AND COMPLY WITH LOCAL CODES AND CALGREEN (CG 5.106.8).
- THIS PROJECT'S PLUMBING FIXTURES SHALL BE 20% WATER-CONSERVING (CG 5.303.2). BEING A SHELL BUILDING, COMPLIANCE WITH THIS SECTION WILL BE PROVIDED IN EACH PERMIT FOR TENANT IMPROVEMENT.
- FOR PROJECTS WITH OVER 1,000 S.F. OF LANDSCAPING, SEPARATE SUBMETERS OR METERING DEVICES SHALL BE INSTALLED FOR OUTDOOR POTABLE WATER USE, AND IRRIGATION SYSTEM SHALL HAVE WEATHER- OR SOIL MOISTURE-BASED AUTOMATIC CONTROLLERS (CG 5.304.2&3).
- A CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE DEVELOPED, DEMONSTRATING A MINIMUM OF 50% RECYCLING AND/OR SALVAGING OF NON-HAZARDOUS CONSTRUCTION WASTE AND COMPLYING WITH CALGREEN REQUIREMENTS (CG 5.408.1).
- 100% OF LAND-CLEARED SOILS AND VEGETATION SHALL BE REUSED OR RECYCLED (CG 5.408.3).
- PER SECTION 5.410.2, EXCEPTIONS 1 & 2, COMMISSIONING IS NOT REQUIRED FOR DRY STORAGE WAREHOUSES OR AREAS USED FOR OFFICES LESS THAN 10,000 SF IN DRY STORAGE WAREHOUSES. (CG 5.410.2).
- ALL CONSTRUCTION MATERIALS TO COMPLY WITH THE VOC AND TOXIN LIMITS LISTED (CG 5.504).
- SMOKING SHALL BE PROHIBITED WITHIN 25 FEET OF BUILDING ENTRIES, AIR INTAKES, AND OPERABLE WINDOWS (CG 5.504.7).

1 Conduit should terminate no less than 3 inches above the finished floor in the telecommunications room against the wall.



Please refer to the Fiber Optic Master Plan for additional detail and information.

All conduit shall begin and terminate in a hand hole

Commercial properties shall terminate conduit in an electrical room adjacent to the wall no less than five inches above the finished floor. A 20" width X length 36" space shall be reserved on the plywood wall for OntarioNet equipment. This space shall be labeled "OntarioNet Only". Ontario Conduit shall be labeled "OntarioNet". OntarioNet conduit shall terminate directly below the space reserved for OntarioNet

Multifamily dwellings are considered commercial property.

Contractor is responsible for locating and connecting conduit to existing OntarioNet hand holes on adjacent properties. There should be no "Gaps" in conduit between the contractor's development and the adjacent property. OntarioNet hand holes are typically located in the right-of-way at the extreme edge of a property.

Install Ontario Fiber Optic Hand Holes. Per City Standard 1316. Conduits Sweeping into Hand Holes Shall Enter in Flush with the Cut Out Mouse Holes Aligned Parallel to the Bottom of the Box and Come In Perpendicular to the Wall of the Box. Conduits Shall Not Enter at any Angle Other Than Parallel. Provide 5' Min. Clearance From Existing /Proposed Utilities.

Construct and Install all Fiber Optic Conduit at a Minimum Depth of 36". Trenching Shall be Per City Standard 1306. (1) 7-way Microduct (Duraline - Orange) 13/16mm tubes and (1) 2" HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct. Install located/tracer wires min. 10AWG within conduit bank and fiber warning tape 12-inch above the uppermost duct.

All hand holes, conduits, conduit banks, materials and installations are per the City's Fiber Optic Master Plan and City Fiber Optic Cable and Duct Standards. All Hand holes, conduits and ducts shall be placed in the public right of way. All Hand holes will have 1/4 inch galvanized wire between the hand holes and the gravel its placed on.

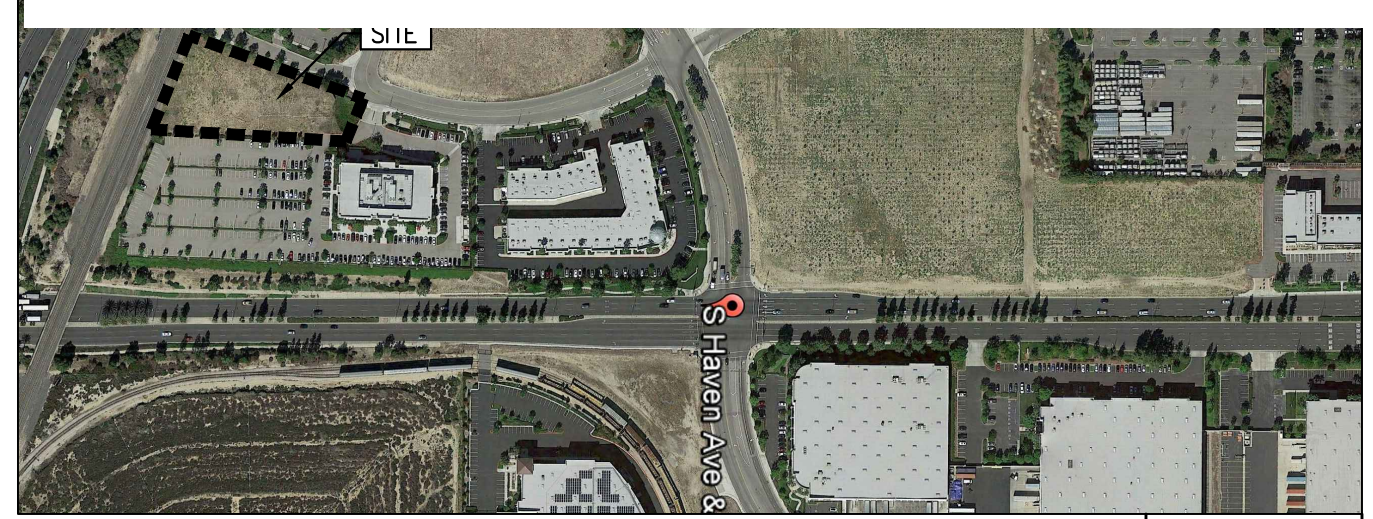
All unused conduits/ducts/microducts shall be protected with with ducts plugs that provide a positive seal. Ducts that are occupied shall be protected with industry accepted duct seal compound.

Conduit bank requires (1) 10AWG high strength (min. break load 600#) copper-clad steel w/ 30mil HDPE orange insulation for locate/tracer wire.

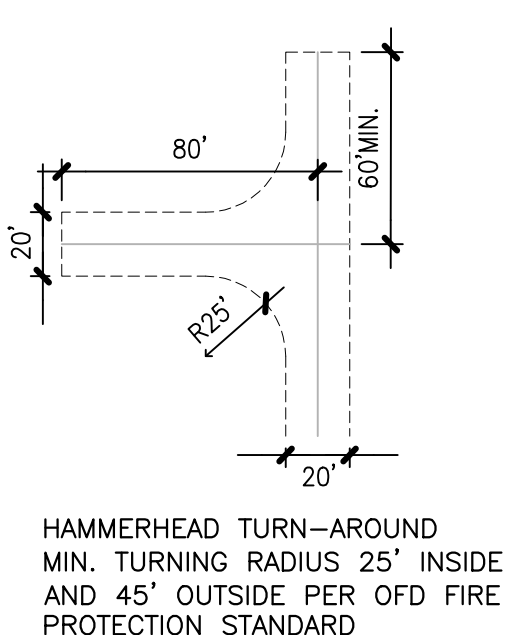
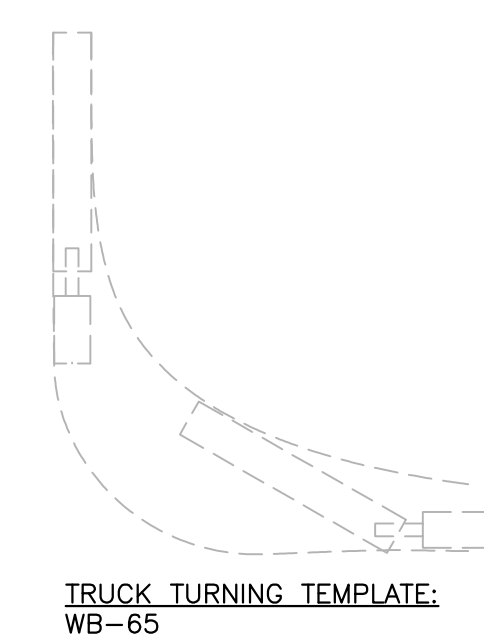
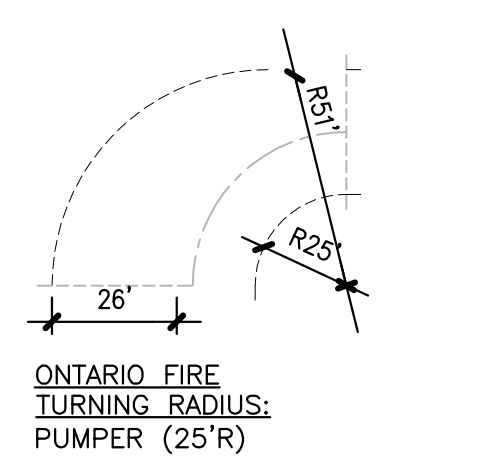
Comments/Reviewed By the Fiber Team (Anna Vaca) - 09/01/2016

FIRE DEPARTMENT NOTES:

- One (1) 7-way Micro Duct (Duraline) - 16mm Tubes or Equivalent
- One (1) 2-inch HDPE SDR-11 Smoothwall Orange Conduit
- One (1) 13x24x18 Composite Polymer Concrete Hand Hole (HH1)
- One (1) 17x30x24 Composite Polymer Concrete Hand Hole (HH2)
- One (1) 30x48x46 Composite Polyconcrete Hand Hole (HH3)
- One (1) 36x60x36 Composite Polymer Concrete Hand Hole (HH4)



- CA/CP PARKING STALL MARKING PER CALGREEN CLEAN AIR/VANPOOL/EV, TYP.
- LANDSCAPE AREA, REFER TO LANDSCAPE DRAWINGS
- FIRE LANE - PER FIRE DEPARTMENT REQUIREMENTS



62,501 S.F.	1.43 AC.
BUILDING A	
2,500 S.F.	
13,600 S.F.	
16,100 S.F.	
2,500 S.F.	
18,600 S.F.	
5.0%	9,375 S.F.
3.8%	14,900 S.F.
	25.76%
	29.76%
15%	0
15%	9
1/1000	19
2000	0
	28
	33
	1.8/1000
	2
	1
	1
0.000 sf	2.5
	8.0
ONS	2

GS	
2 CALGREEN 5.106.5.2	
3R ADDITIONAL INFORMATION REMOVE	
P. HIGH SIDE HANDRAIL	
3F VISITOR PARKING	
4 EMPLOYEE PARKING	
GS	
SE	
PE U.N.O.	
- 8" TALL	

G|A|A
 ARCHITECTS
 8811 Research Drive,
 Suite 200,
 Irvine, CA 92618
 T: 949 474 1775
 F: 949 553 9133

ACCO - EXCISE AVENUE INDUSTRIAL BUILDING
 EXCISE WAY
 ONTARIO, CA 91761
 DEVELOPED FOR:
 ACCO AIRPORT CENTER III, LLC c/o
 CUCAMONGA VINTNERS, LLC

DATE	
SUBMITTAL	7/21/16

SITE PLAN PROJECT TABULATIONS

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND THE SAME MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT.
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JOB NO:	RR0005.03	SHEET NO:	
DATE:	6/16/16		
DRAWN:	GAA		A11
FILE NAME:	RR0005_3_A11		

AIRPORT LAND USE COMPATIBILITY PLANNING

CONSISTENCY DETERMINATION REPORT



Project File No.: PDEV16-035
 Address: SEC Excise Ave & Metro Way
 APN: 0211-272-14
 Existing Land Use: Vacant
 Proposed Land Use: 18,600 SF Industrial Building
 Site Acreage: 1.43 Proposed Structure Height: 32 ft
 ONT-IAC Project Review: n/a
 Airport Influence Area: ONT

Reviewed By: Lorena Mejia
 Contact Info: 909-395-2276
 Project Planner: Jeanie Aguilo
 Date: 8/17/16
 CD No.: 2016-052
 PALU No.: n/a

The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input type="radio"/> High Terrain Zone	<input type="radio"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input checked="" type="checkbox"/> FAA Notification Surfaces	<input checked="" type="checkbox"/> Recorded Overflight Notification
<input type="radio"/> Zone 2	<input type="radio"/> 65 - 70 dB CNEL	<input checked="" type="checkbox"/> Airspace Obstruction Surfaces	<input type="radio"/> Real Estate Transaction Disclosure
<input type="radio"/> Zone 3	<input checked="" type="checkbox"/> 60 - 65 dB CNEL	<input type="radio"/> Airspace Avigation Easement Area	
<input type="radio"/> Zone 4		Allowable Height: 200 FT +	
<input type="radio"/> Zone 5			

The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1
 Zone 2
 Zone 3
 Zone 4
 Zone 5
 Zone 6
 Allowable Height: _____

CONSISTENCY DETERMINATION

This proposed Project is: Exempt from the ALUCP
 ● Consistent
 Consistent with Conditions
 Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

Airport Planner Signature: _____



CITY OF ONTARIO

MEMORANDUM

TO: Otto Kroutil, Development Director
Scott Murphy, Planning Director (Copy of Memo only)
Cathy Wahlstrom, Principal Planner (Copy of memo only)
Charity Hernandez, Economic Development
Kevin Shear, Building Official
Khoi Do, Assistant City Engineer
Carolyn Bell, Landscape Planning Division
Sheldon Yu, Municipal Utility Company
Doug Sorel, Police Department
Art Andres, Deputy Fire Chief/Fire Marshal
Tom Danna, T. E., Traffic/Transportation Manager
Lorena Mejia, Associate Planner, Airport Planning
Steve Wilson, Engineering/NPDES
Bob Gluck, Code Enforcement Director
Jimmy Chang, IT Department
David Simpson, Development/IT (Copy of memo only)

FROM: Jeanie Aguilo,

DATE: July 26, 2016

SUBJECT: FILE #: PDEV16-035

Finance Acct#:

The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Tuesday, August 9, 2016**.

- Note:**
- Only DAB action is required
 - Both DAB and Planning Commission actions are required
 - Only Planning Commission action is required
 - DAB, Planning Commission and City Council actions are required
 - Only Zoning Administrator action is required

PROJECT DESCRIPTION: A Development Plan to construct 1 industrial building totaling 18,600 square feet on approximately 1.43 acres of land located at the south corner of Excise Avenue and Metro Way, within the Business Park land use district of the ACCO Airport Center Specific Plan (APN(s): [0211-272-14]).

The plan does adequately address the departmental concerns at this time.

- No comments
- Report attached (1 copy and email 1 copy)
- Standard Conditions of Approval apply

The plan does not adequately address the departmental concerns.

- The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

Airport Planning Lorena Mejia Associate Planner 8/17/16
Department Signature Title Date

CD: 2016-052



CITY OF ONTARIO

MEMORANDUM

TO: "Vacant" , Development Director
Scott Murphy, Planning Director (Copy of memo only)
Cathy Wahlstrom, Principal Planner (Copy of memo only)
Charity Hernandez, Economic Development
Kevin Shear, Building Official
Khoi Do, Assistant City Engineer
Carolyn Bell, Landscape Planning Division
Sheldon Yu, Municipal Utility Company
Doug Sorel, Police Department
Art Andres, Deputy Fire Chief/Fire Marshal
Tom Danna, T. E., Traffic/Transportation Manager
Lorena Mejia, Associate Planner, Airport Planning
Steve Wilson, Engineering/NPDES
Bob Gluck, Code Enforcement Director
Jimmy Chang , IT Department
David Simpson , Development/IT (Copy of memo only)

FROM: Jeanie Irene Aguilo, Assistant Planner

DATE: February 06, 2017

REVISION NO. 2

SUBJECT: FILE #: PDEV16-035 Finance Acct#:

The following project has been resubmitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Monday, February 20, 2017**.

PROJECT DESCRIPTION: A Development Plan to construct an industrial building totaling 18,600 square feet on approximately 1.43 acres of land located at the south corner of Excise Avenue and Metro Way, within, the Business Park land use district of the ACCO Airport Center Specific Plan (APN: 0211-272-14).

The plan does adequately address the departmental concerns at this time.

- No comments
- See previous report for Conditions
- Report attached (1 copy and email 1 copy)
- Standard Conditions of Approval apply

The plan does not adequately address the departmental concerns.

- The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

2/6/17

Landscape Planning Carolyn Bell S. Landscape Architect
Department Signature Title Date

CITY OF ONTARIO
LANDSCAPE PLANNING DIVISION
 303 East "B" Street, Ontario, CA 91764

CONDITIONS OF APPROVAL

Sign Off

Carolyn Bell
 Carolyn Bell, Sr. Landscape Planner

2/8/17
 Date

Reviewer's Name: Carolyn Bell, Sr. Landscape Planner		Phone: (909) 395-2237
D.A.B. File No.: PDEV16-035 Rev 2		Case Planner: Jeanie Aquilo
Project Name and Location: ACCO Business Park South corner of Excise and Metro Way		
Applicant/Representative: GAA Architects – Roger Deitos 8811 Research Drive suite 200 Irvine, CA 92618		
<input checked="" type="checkbox"/>	A Preliminary Landscape Plan (dated 2/6/17) meets the Standard Conditions for New Development and has been approved with the consideration that the following conditions below be met upon submittal of the landscape construction documents.	
<input type="checkbox"/>	A Preliminary Landscape Plan (dated) has not been approved. Corrections noted below are required prior to Preliminary Landscape Plan approval.	
CORRECTIONS REQUIRED		

Civil Plans

- Show backflows and DCDA dimensioned with a 5' set back from paving for landscape screening. Show on level grade, adjust basin or swale locations. Move away from corner landscape
- Dimension basins and swales to be no greater than 50% of the on-site landscape area to allow for ornamental landscape. Provide a level grade minimum 4' from pedestrian paving for safety and min 5' along parking lots for hedge row and trees. Landscaped basins should be no greater than 3:1 slopes. Consider a shallow basin depth with engineered soil fill that has a 30% porosity.
- Locate light standards, fire hydrants, water and sewer lines to not conflict with required tree locations. Coordinate civil plans with landscape plans
- Note on grading plans: for compaction to be no greater than 85% at landscape areas. All finished grades at 1 1/2" below finished surfaces. Slopes to be maximum 3:1.
- Dimension all planters to have a minimum 5' wide inside dimension with 6" curbs and 12" wide curbs (or 6" curb plus 12" of DG paving) where parking spaces are adjacent to planters.

Landscape Plans

- Provide a tree inventory (along north and south PL) for existing trees include genus, species, trunk diameter, canopy width and condition. Show and note existing trees in good condition to remain and note trees proposed to be removed. Include existing trees within 15' of adjacent property that would be affected by new walls, footings or on-site tree planting. Limit mow strips within 5' of trees.
- Show large accent trees at driveways or entry areas where space allows.
- Show all utilities on landscape plan. Coordinate with civil so utilities are clear of tree locations.
- Landscape construction plans shall meet the requirements of the Landscape Development Guidelines. See <http://www.ontarioca.gov/landscape-planning/standards>
- After a project's entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council. Typical fees are:

Plan Check—5 or more acres	\$2,326.00
Plan Check—less than 5 acres	\$1,301.00
Inspection—Construction (up to 3 inspections)	\$278.00
Inspection—Field - additional.....	\$83.00

Once items are complete you may email an electronic set to: landscapeplancheck@ontarioca.gov



CITY OF ONTARIO

MEMORANDUM

TO: Jeanie Aguilo, Associate Planner
Planning Department

FROM: Adam A. Panos, Fire Protection Analyst
Fire Department

DATE: August 17, 2016

SUBJECT: PDEV16-035 / A Development Plan to construct an industrial building totaling 18,600 square feet on approximately 1.43 acres of land located at the south corner of Excise Avenue and Metro Way, within, the Business Park land use district of the ACCO Airport Center Specific Plan (APN: 0211-272-14).

-
- The plan **does** adequately address Fire Department requirements at this time.
- No comments.
 - Standard Conditions of Approval apply, as stated below.
- The plan **does NOT** adequately address Fire Department requirements.
- The comments contained in the attached report must be met prior to scheduling for Development Advisory Board.

SITE AND BUILDING FEATURES:

- A. 2013 CBC Type of Construction: III B Concrete tilt-up
- B. Type of Roof Materials: Wood non rated
- C. Ground Floor Area(s): 18,600 sq. ft.
- D. Number of Stories: 1 story
- E. Total Square Footage: 18,600 sq. ft.
- F. 2013 CBC Occupancy Classification(s): B, F-1, S-1

CONDITIONS OF APPROVAL:

1.0 GENERAL

- ☒ 1.1 The following are the Ontario Fire Department (“Fire Department”) requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards (“Standards.”) It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at www.ontarioca.gov, click on “Fire Department” and then on “Standards and Forms.”
- ☒ 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

2.0 FIRE DEPARTMENT ACCESS

- ☒ 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty (20) ft. wide. See Standard #B-004.
- ☒ 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25’) inside and forty-five feet (45’) outside turning radius per Standard #B-005.
- ☒ 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150’) in length shall have an approved turn-around per Standard #B-002.
- ☒ 2.4 Access drive aisles which cross property lines shall be provided with CC&Rs, access easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of building plan check.
- ☒ 2.5 "No Parking-Fire Lane" signs and /or red painted curbs with lettering are required to be installed in interior access roadways, in locations where vehicle parking would obstruct the minimum clear width requirement. Installation shall be per Standard #B-001.
- ☒ 2.6 Security gates or other barriers on fire access roadways shall be provided with a Knox brand key switch or padlock to allow Fire Department access. See Standards #B-003, B-004 and H-001.

3.0 WATER SUPPLY

- ☒ 3.1 The required fire flow per Fire Department standards, based on the 2013 California Fire Code, Appendix B, is 1500 gallons per minute (g.p.m.) for 3 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.

- 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300') apart, per Engineering Department specifications.
- 3.3 Buildings that exceed 100,000 square feet in floor area shall provide an onsite looped fire protection water line around the building(s.) The loops shall be required to have two or more points of connection from a public circulating water main.
- 3.4 The public water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

4.0 FIRE PROTECTION SYSTEMS

- 4.1 On-site private fire hydrants are required per Standard #D-005, and identified in accordance with Standard #D-002. Installation and locations(s) are subject to the approval of the Fire Department. An application with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- 4.2 Underground fire mains which cross property lines shall be provided with CC & R, easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of fire department plan check. The shared use of private fire mains or fire pumps is allowable only between immediately adjacent properties and shall not cross any public street.
- 4.3 An automatic fire sprinkler system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 13. All new fire sprinkler systems, except those in single family dwellings, which contain twenty (20) sprinkler heads or more shall be monitored by an approved listed supervising station. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- 4.4 Fire Department Connections (FDC) shall be located on the address side of the building within one hundred fifty feet (150') of a public fire hydrant on the same side of the street. Provide identification for all fire sprinkler control valves and fire department connections per Standard #D-007. Raised curbs adjacent to Fire Department connection(s) shall be painted red, five feet either side, per City standards.
- 4.5 A fire alarm system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 72. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- 4.6 Portable fire extinguishers are required to be installed prior to occupancy per Standard #C-001. Please contact the Fire Prevention Bureau to determine the exact number, type and placement required.
- 4.7 A fixed fire extinguishing system is required for the protection of hood, duct, plenum and cooking surfaces. This system must comply with National Fire Protection Association (NFPA)

Standards 17A and 96. An application with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.

- 4.8 Hose valves with two and one half inch (2 ½”) connections will be required on the roof, in locations acceptable to the Fire Department. These hose valves shall be take their water supply from the automatic fire sprinkler systems, and shall be included in the design submitted for these systems. Identification shall be provided for all hose valves per Standard #D-004.
- 4.9 Due to inaccessible rail spur areas, two and one half inch 2-1/2” fire hose connections shall be provided in these areas. These hose valves shall be take their water supply from the automatic fire sprinkler systems, and shall be included in the design submitted for these systems. Identification shall be provided for all hose valves per Standard #D-004.

5.0 BUILDING CONSTRUCTION FEATURES

- 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1.3280 of the Ontario Municipal Code and Standards #H-003 and #H-002.
- 5.3 Single station smoke alarms and carbon monoxide alarms are required to be installed per the California Building Code and the California Fire Code.
- 5.4 Multiple unit building complexes shall have building directories provided at the main entrances. The directories shall be designed to the requirements of the Fire Department, see Section 9-1.3280 of the Ontario Municipal Code and Standard #H-003.
- 5.5 All residential chimneys shall be equipped with an approved spark arrester meeting the requirements of the California Building Code.
- 5.6 Knox ® brand key-box(es) shall be installed in location(s) acceptable to the Fire Department. All Knox boxes shall be monitored for tamper by the building fire alarm system. See Standard #H-001 for specific requirements.
- 5.7 Placards shall be installed in acceptable locations on buildings that store, use or handle hazardous materials in excess of the quantities specified in the CFC. Placards shall meet the requirements of National Fire Protection Association (NFPA) Standard 704.
- 5.8 The building shall be provided with a Public Safety 800 MHZ radio amplification system per the Ontario Municipal Code Section 4-11.09 (n) and the CFC. The design and installation shall be approved by the Fire Department.

6.0 OTHER SPECIAL USES

- 6.1 The storage, use, dispensing, or handling of any hazardous materials shall be approved by the Fire Department, and adequate fire protection features shall be required. If hazardous materials are proposed, a Fire Department Hazardous Materials Information Packet, including Disclosure Form and Information Worksheet, shall be completed and submitted with Material Safety Data Sheets to the Fire Department along with building construction plans.
- 6.2 Any High Piled Storage, or storage of combustible materials greater than twelve (12') feet in height for ordinary (Class I-IV) commodities or storage greater than six feet (6') in height of high hazard (Group A plastics, rubber tires, flammable liquids, etc.) shall be approved by the Fire Department, and adequate fire protection features shall be required. If High Piled Storage is proposed, a Fire Department High Piled Storage Worksheet shall be completed and detailed racking plans or floor plans submitted prior to occupancy of the building.
- 6.3 Underground fuel tanks, their associated piping and dispensers shall be reviewed, approved, and permitted by Ontario Building Department, Ontario Fire Department, and San Bernardino County Fire Department Hazardous Materials Division. In fueling facilities, an exterior emergency pump shut-off switch shall be provided.

7.0 PROJECT SPECIFIC CONDITIONS

NONE

<END.>



CITY OF ONTARIO

MEMORANDUM

TO: Jeanie Aguilo, Planning Department

FROM: Douglas Sorel, Police Department

DATE: August 17, 2016

SUBJECT: PDEV16-035– A DEVELOPMENT PLAN TO CONSTRUCT A INDUSTRIAL BUILDING AT THE SOUTH CORNER OF EXCISE AVENUE AND METRO WAY

The “Standard Conditions of Approval” contained in Resolution No. 2010-021 apply. The applicant shall read and be thoroughly familiar with these conditions, including, but not limited to, the requirements below.

- Required lighting for all walkways, driveways, doorways, parking areas, and other areas used by the public shall be provided operate on photosensor. Photometrics shall be provided to the Police Department. Photometrics shall include the types of fixtures proposed and demonstrate that such fixtures meet the vandal-resistant requirement. Planned landscaping shall not obstruct lighting.
- Rooftop addresses shall be installed on the building as stated in the Standard Conditions. The numbers shall be at a minimum 3 feet tall and 1 foot wide, in reflective white paint on a flat black background, and oriented with the bottom of the numbers towards the addressed street.
- The Applicant shall comply with construction site security requirements as stated in the Standard Conditions.

The Applicant is invited to call Douglas Sorel at (909) 395-2873 regarding any questions or concerns.



CITY OF ONTARIO MEMORANDUM

TO: Otto Kroutil, Development Director
 Scott Murphy, Planning Director (Copy of Memo only)
 Cathy Wahlstrom, Principal Planner (Copy of memo only)
 Charity Hernandez, Economic Development
 Kevin Shear, Building Official
 Khoi Do, Assistant City Engineer
 Carolyn Bell, Landscape Planning Division
 Sheldon Yu, Municipal Utility Company
 Doug Sorel, Police Department
 Art Andres, Deputy Fire Chief/Fire Marshal
 Tom Danna, T. E., Traffic/Transportation Manager
 Lorena Mejia, Associate Planner, Airport Planning
 Steve Wilson, Engineering/NPDES
 Bob Gluck, Code Enforcement Director
 Jimmy Chang, IT Department
 David Simpson, Development/IT (Copy of memo only)

FROM: Jeanie Aguilo,

DATE: July 26, 2016

SUBJECT: FILE #: PDEV16-035

Finance Acct#:



The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Tuesday, August 9, 2016**.

- Note:
- Only DAB action is required
 - Both DAB and Planning Commission actions are required
 - Only Planning Commission action is required
 - DAB, Planning Commission and City Council actions are required
 - Only Zoning Administrator action is required

PROJECT DESCRIPTION: A Development Plan to construct 1 industrial building totaling 18,600 square feet on approximately 1.43 acres of land located at the south corner of Excise Avenue and Metro Way, within the Business Park land use district of the ACCO Airport Center Specific Plan (APN(s): [0211-272-14]).

- The plan does adequately address the departmental concerns at this time.
 - No comments
 - Report attached (1 copy and email 1 copy)
 - Standard Conditions of Approval apply
- The plan does not adequately address the departmental concerns.
 - The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

Code Joe Adams Supervisor 8-876

Department Signature Title Date

CITY OF ONTARIO

MEMORANDUM

TO: PLANNING DEPARTMENT, Jeanie Aguilo
FROM: BUILDING DEPARTMENT, Kevin Shear
DATE: July 29, 2016
SUBJECT: PDEV16-035

1. The plan **does** adequately address the departmental concerns at this time.
No comments.

KS:lm



CITY OF ONTARIO

MEMORANDUM

TO: Chairman and Members of the Development Advisory Board

FROM: Denny D. Chen, Associate Planner 

DATE: September 18, 2017

SUBJECT: ENVIRONMENTAL ASSESSMENT, DEVELOPMENT PLAN AND VARIANCE REVIEW FOR FILE NOS. PDEV17-008 & PVAR17-003: A Development Plan (PDEV17-008) to construct a 10,487 square foot commercial building on 0.88 acres of land and a Variance (PVAR17-003) to deviate from the minimum parking street setback, along Euclid Avenue, from 20 to 9 feet, and to reduce the required parking from 42 to 40 spaces, for property located at the northwest corner of Francis Street and Euclid Avenue, within the CN (Neighborhood Commercial) zoning district and EA (Euclid Avenue) Overlay district. Staff has determined that the project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15305 (Class 5-Minor Alterations of Land Use Limitations) and 15332 (Class 32, In-Fill Development Projects) of the CEQA guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the ONT Airport Land Use Compatibility Plan (ALUCP). (APNs: 1050-281-01, 1050-281-02 and 1050-281-03); **submitted by Clarkson Properties, LP. Planning Commission action is required.**

The applicant has requested for this item to be continued indefinitely to allow them time to re-evaluate the project.



Development Advisory Board Decision

September 18, 2017

DECISION NO.: [insert #]

FILE NO.: PDEV16-044

DESCRIPTION: A Development Plan (File No. PDEV16-044) to construct a residential apartment complex consisting of 6-units on 0.3 acres of land located at 1444 W. Stoneridge Court, within the MDR-25 (Medium-High Density Residential - 18.1 to 25.0 DUs/Acre) zoning district. APN: 1010-551-06; **submitted by Brother Home Trading Corp.**

Part I—BACKGROUND & ANALYSIS

Brother Home Trading Corp., (herein after referred to as “Applicant”) has filed an application requesting Development Plan approval, File No. PDEV16-044, as described in the subject of this Decision (herein after referred to as "Application" or "Project").

(1) **Project Setting:** The project site is comprised of 0.3 acres of land located at 1444 W. Stoneridge Court, within the HDR-25 (18.1 to 25 units/acre) zoning district, and is depicted in Exhibit A: Aerial Photograph, attached. The project site is bounded on the north by single family homes, to the east by a residential duplex, and to the west and south by multi-family residential apartments. The existing zoning designation of MDR-25 is consistent with the General Plan land use designation of Medium Density Residential. Existing land uses, General Plan and zoning designations, and specific plan land uses on and surrounding the project site are as follows:

	<i>Existing Land Use</i>	<i>General Plan Designation</i>	<i>Zoning Designation</i>	<i>Specific Plan Land Use</i>
<i>Site:</i>	Vacant	MDR	MDR-25 (18.1 to 25.0 DUs/Acre)	n/a
<i>North:</i>	Single Family Home	LDR	LDR-5 (2.1 TO 5.0 DUs/Acres)	n/a
<i>South:</i>	Stone Ridge Court & Residential Multi-Family Apartments	HDR	HDR-45 (25.1 to 45.0 DUs/Acres)	n/a
<i>East:</i>	Residential Duplex	MDR	MDR-25 (18.1 to 25.0 DUs/Acre)	n/a
<i>West:</i>	Residential Multi-Family Apartments	MDR	MDR-25 (18.1 to 25.0 DUs/Acre)	n/a

(2) **Project Description:** The applicant is requesting approval to develop a 6-unit residential apartment complex on 0.3 acres (13,374 sq. ft.). Staff has worked with the applicant to design a project that meets the goals and requirements of the HDR-25 zoning designation and the goals and policies of TOP. The project has been designed with the objective of creating a safe and attractive residential apartment design.

The 0.3-acre site is rectangular in shape with a lot width of 74.30' and lot depth of 180'. The narrow lot dimensions and the size of the parcel provided many challenges in meeting the minimum density requirement of 18.1 dwelling units per acre and ensuring compliance with the requirement standards (setbacks, circulation, parking, private and common open space). To address the site challenges, the project has been designed with one 3-story tall structure, therefore, allowing more space to comply with setbacks, parking and open space requirements. The first floor for each unit will feature the primary entrance to each apartment unit, a two-car garage (20' x 20'), laundry facility, storage space, and a private stairwell leading to the living areas on the second and third floors (**see Exhibit B: Site Plan**). The front of the units have been oriented toward the west of the site and the garage doors and entry drive aisle, toward the east side of the project site. Common open space has been provided along the north (passive space) and open space amenities at the northeast corner of the project site.

The development plan consist of six attached residential apartment units. Units 2, 3, 4, 5 will each have a total unit area of 1,692 square feet and Units 1 and 6 will each have a total unit area of 1,695 square feet. The building will be 3-stories tall at a maximum height of 32'-4". The project is proposing two different floor plans. Four of the units will feature 3-bedrooms and 2-1/2 baths and two of the units will feature 2-bedrooms and 2-1/2 baths. Each unit will feature individual 20' x 20' two-car garages with private storage area and a laundry area (**see Exhibit C & D: Floor Plans**). The second floor plan will have the kitchen, dining room, living room and a powder room. The third floor plan will feature two or 3-bedrooms, a master bath and a 1/2-bath.

Access

The project will provide one point of vehicular access along Stoneridge Court through a 24-foot wide drive aisle. The drive aisle will be located along the east side of the residential apartment building. Pedestrian access from Stoneridge Court will be provided along the west side of the project, along a 4-foot wide sidewalk.

Parking

A total of 16 parking spaces are required for the project. The Ontario Development Code requires two (2) spaces for 2-bedroom units and 2.5 spaces for 3-bedroom units, with one space within a garage or carport. Code also requires one (1) guest parking space per 4 units. The proposed project is in compliance with parking requirements, and will provide a total of 12 parking spaces within enclosed two-car garage units and 4 open guest parking spaces. Each apartment unit will be provided with a two car garage (20' x 20'). Guest parking will be access and will be located along the east side of the apartment building. All garage units will have direct access to the individual units.

Architecture

The HDR-25 Zoning District was established to accommodate medium-high density, multiple-family development in an urban environment. These medium-high density projects efficiently use the limited space found in the urban environment, while also maintaining the street grid and pedestrian pathways. The project is proposing a contemporary architecture design with Spanish Colonial influences. The mass and scale of the building is designed to be proportionate to the site, open space, and scale of the zoning land use area where it's located. The proposed architectural design of the building exceeds the architectural design guidelines of the Ontario Development Code, which encourage high quality architecture and a level of authenticity of styles through the use of appropriate design elements. Special attention was given to the colors, materials, massing, building form an architectural details (**see Exhibit E, F, H & I: Building Perspectives & Building Elevations**). This is exemplified through the use of:

- Articulation in the building's roof line.
- Exterior hump & bump stucco finish.
- Santa Cruz tile roof.

- Decorative lighting fixtures.
- Decorative tile shed roofs at key locations.
- Decorative window trims.
- Exposed decorative rafter tails.
- Decorative handcrafted ceramic tile along the north and south elevations.
- Decorative wrought iron balconies at key locations along the second and third floors; and
- Decorative metal trellis along the west and east side of the building.

Landscaping/Open Space

The project will provide a 20-foot landscape setback along Stoneridge Court, 15-feet along the west property line, 8-feet along the east property line and approximately 12-feet along the north property line. The parkway area will include a 5-foot sidewalk with a 9-foot wide landscape parkway. Decorative pavers will be utilized along the entry driveway setback area as well as along the pedestrian path from the street sidewalk to the front of each unit. The plant pallet will consist of shade trees, ground cover and shrubs (**see Exhibit G: Landscape Plan**).

The Ontario Development Code requires 150 square feet of private open space per unit and 250 square feet of common open space per unit. The project is proposing approximately 187 square feet of private open space per unit and approximately 274 square feet of common open space per unit. The private open space will be provided within private enclosed courtyards to each unit and outside balconies. The proposed 1,645 square feet (1,500 sq. ft. required) of common open space will be provide in the forms of:

- Private courtyards for each unit, paved with decorative paving with a customized overhead decorative trellis.
- BBQ area.
- Children’s playground area (Spintastic & Wave Rider Seesaw).
- Customized trellis patio
- Picnic tables
- Swing bench

Part II—RECITALS

WHEREAS, the Application is a project pursuant to the California Environmental Quality Act (Public Resources Code Section 21000 et seq.) ("CEQA"); and

WHEREAS, the Project is exempt from CEQA pursuant to a categorical exemption (listed in CEQA Guidelines Article 19, commencing with Section 15300) and the application of that categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board (“DAB”) the responsibility and authority to review and recommend approval to the Planning Commission on the subject Application; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan (“ALUCP”), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed;

WHEREAS, on September 18, 2017, the DAB of the City of Ontario conducted a hearing on the Application and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.

Part III—THE DECISION

NOW, THEREFORE, IT IS HEREBY FOUND AND DETERMINED by the Development Advisory Board of the City of Ontario, as follows:

SECTION 1: *Environmental Determination and Findings.* As the recommending body for the Project, the DAB has reviewed and considered the information contained in the administrative record for the Project. Based upon the facts and information contained in the administrative record, including all written and oral evidence presented to the DAB, the DAB finds as follows:

(i) The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, In-Fill Development Projects) of the CEQA Guidelines, which consists of : 1) The Project is consistent with the applicable general plan designation and all applicable general plan policies, as well as the applicable zoning designation and regulations. 2) The proposed development occurs within city limits, on a project site of no more than five acres, and is substantially surrounded by urban uses. 3) The project site has no value as habitat for endangered, rare, or threatened species. 4) Approval of the Project will not result in any significant effects relating to traffic, noise, air quality, or water quality; and 5) The Project site can be adequately served by all required utilities and public services.

(1) The application of the categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

(2) The determination of CEQA exemption reflects the independent judgment of the DAB.

SECTION 2: *Housing Element Compliance.* Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the recommending body for the Project, the DAB finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan, as the project site is not one of the properties in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix.

SECTION 3: *Ontario International Airport Land Use Compatibility Plan (“ALUCP”) Compliance.* The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires

that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land use Compatibility Plan (“ALUCP”), establishing the Airport Influence Area for Ontario International Airport (“ONT”), which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the recommending body for the Project, the DAB has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the DAB, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

SECTION 4: Concluding Facts and Reasons. Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the specific findings set forth in Sections 1 through 4, above, the DAB hereby concludes as follows:

(1) **The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.** The proposed Project is located within the MDR (Medium Density Residential) land use district of the Policy Plan Land Use Map, and the MDR-25 (Medium-High Density Residential - 18.1 to 25.0 DUs/Acre) zoning district. The development standards and conditions under which the proposed Project will be constructed and maintained, is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan; and

(2) **The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located.** The Project has been designed consistent with the requirements of the City of Ontario Development Code and the MDR-25 (Medium-High Density Residential - 18.1 to 25.0 DUs/Acre) zoning district, including standards relative to the particular land use proposed (6-Unit Residential Apartment Complex), as-well-as building intensity, building and parking setbacks, building height, number of off-street parking and loading spaces, on-site and off-site landscaping, and fences, walls and obstructions; and

(3) **The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed project.** The Development Advisory Board has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the MDR-25 (Medium-High Density Residential - 18.1 to 25.0 DUs/Acre) are maintained; [ii] the project will not endanger the public health, safety or general welfare; [iii] the project will not result in any significant environmental impacts; [iv] the project will be in harmony with the area in which it is located; and [v] the project will be in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan; and

(4) **The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.** The proposed Project has been reviewed for consistency with the general development standards and guidelines of the MDR-25 (Medium-High Density Residential - 18.1 to 25.0 DUs/Acre) zone that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of off-street parking and loading spaces, parking lot dimensions, design and landscaping, bicycle parking, on-site landscaping, and fences and walls, as-well-as those development

standards and guidelines specifically related to the particular land use being proposed (6-unit residential apartment complex). As a result of this review, the Development Advisory Board has determined that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the development standards and guidelines described in the MDR-25 (Medium-High Density Residential - 18.1 to 25.0 DUs/Acre) zone.

SECTION 5: *Development Advisory Board Action.* Based on the findings and conclusions set forth in Sections 1 through 4, above, the DAB hereby recommends the Planning Commission APPROVES the Application subject to each and every condition set forth in the Department reports included as Attachment A of this Decision, and incorporated herein by this reference.

SECTION 6: *Indemnification.* The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

SECTION 7: *Custodian of Records.* The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

APPROVED AND ADOPTED this 18th day of September, 2017.

Development Advisory Board Chairman

Exhibit A—PROJECT LOCATION MAP



Exhibit B—SITE PLAN

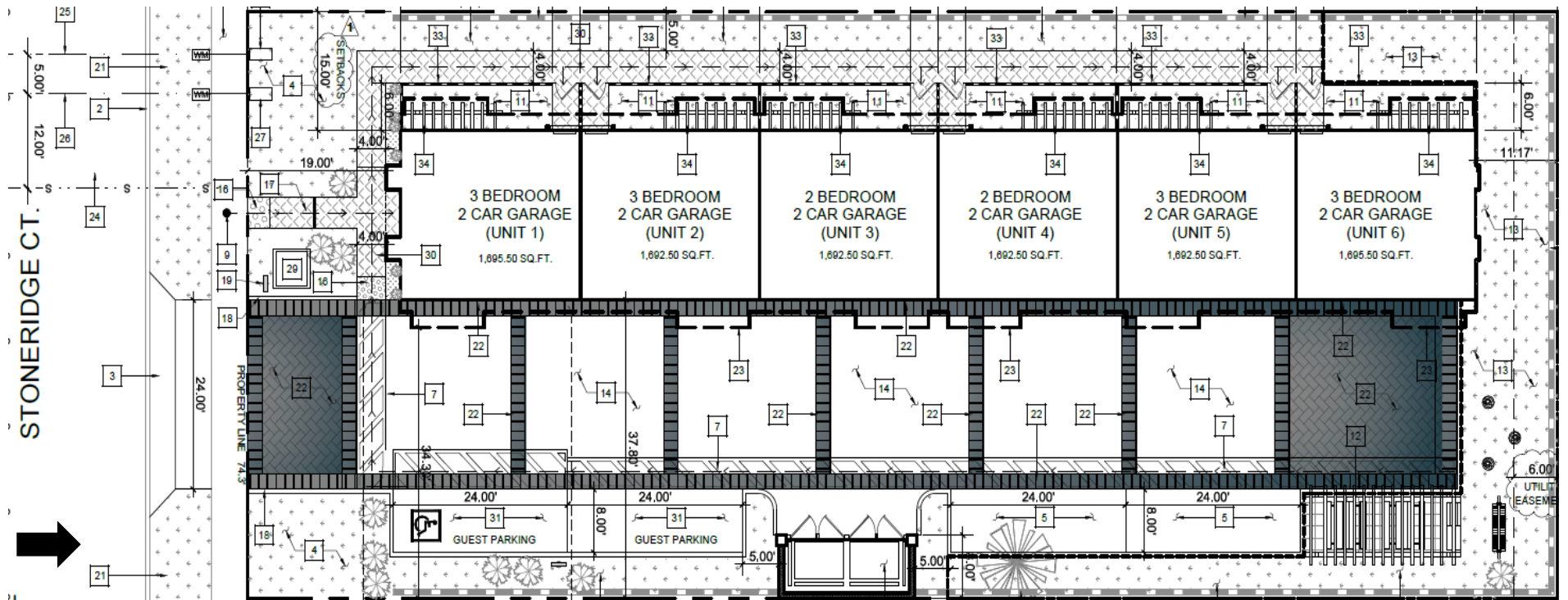
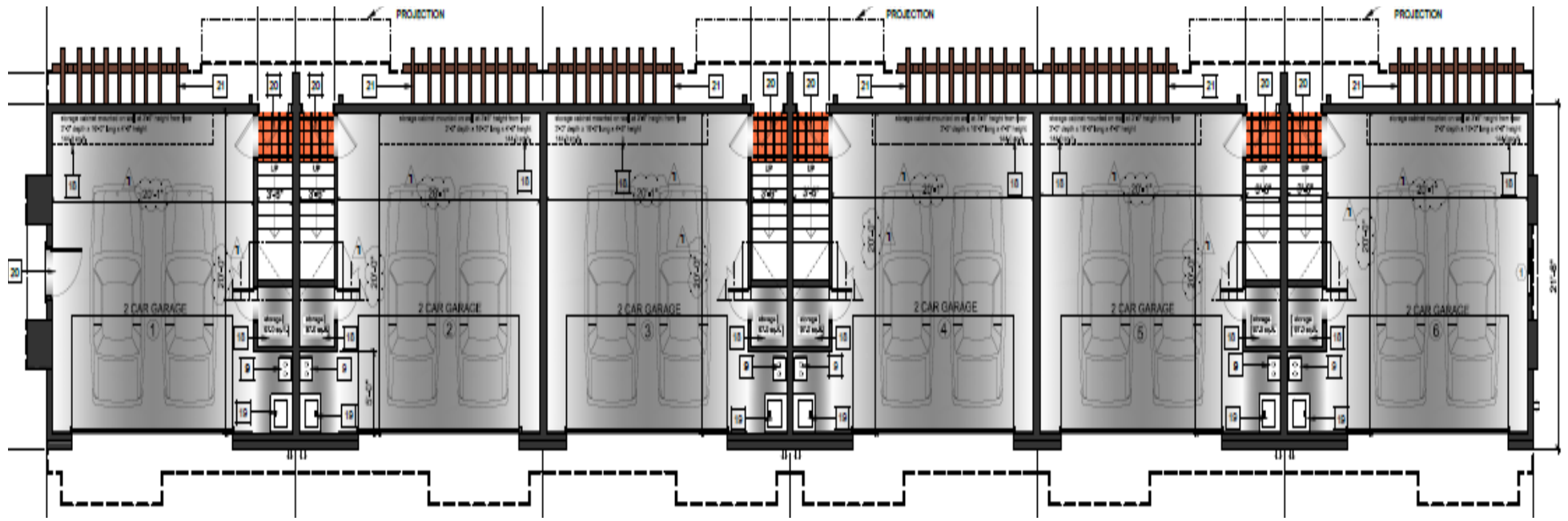
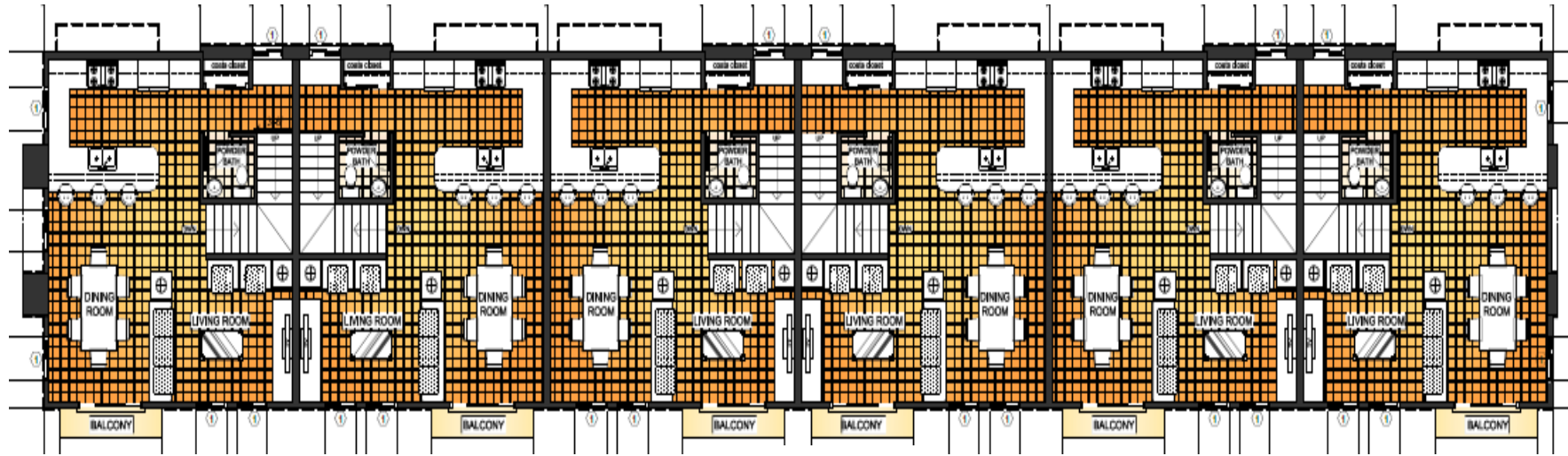


Exhibit C—FLOOR PLANS



1st FLOOR PLAN

Exhibit D—FLOOR PLANS



2ND FLOOR PLAN



3RD FLOOR PLAN

Exhibit E- NORHWEST PERSPECTIVE



Exhibit F- SOUTHWEST PERSPECTIVE



Exhibit G—LANDSCAPE PLAN



Exhibit H—ELEVATIONS



EAST ELEVATION



WEST ELEVATION

EXHIBIT I: ELEVATIONS



NORTH ELEVATIONS



SOUTH ELEVATION

Exhibit K: COLOR MATERIAL BOARD

COLOR AND MATERIAL BOARD
NEW MULTIFAMILY 6 UNIT APARTMENT COMPLEX
1444 W. STONERIDGE COURT, ONTARIO CA 91762

ROOFING, EAGLE
ROOF TILE
"SANTA CRUZ
BLEND" SMC 8402



8" DIAMETER
DECORATIVE CLAY
VENTS



POLYURETHANE
DECORATIVE DOUBLE
EDGE TRIM MOLDING



7/8" EXTERIOR HUMP AND
BUMP STUCCO FINISH,
BEHR PAINT COLOR:
WHISPER WHITE
HDC-MD-08 (PROVIDE
2-LAYER OF GRADE D
PAPER UNDER STUCCO
WHEN OVER WOOD
SHEATING)



DECORATIVE RAFTER TAIL,
DEATH BY
CHOCOLATE
COLOR



DECORATIVE
MEXICAN TILE
MODEL 10385



BRACKET DEATH BY
CHOCOLATE COLOR
WOOD FINISH LOOK.



DECORATIVE
WROUGHT IRON
RAILING (BEHR
PAINT, DEATH BY
CHOCOLATE MQI-54
OLOR).



EAST ELEVATION



Attachment 1—Departmental Conditions of Approval

(Departmental conditions of approval follow this page)



City of Ontario
Planning Department
303 East B Street
Ontario, California 91764
Phone: 909.395.2036
Fax: 909.395.2420

Planning Department Land Development Division Conditions of Approval

Meeting Date: September 18, 2017

File No: PDEV16-044

Related Files: n/a

Project Description: A Development Plan (File No. PDEV16-044) to construct a residential apartment complex consisting of 6-units on 0.3 acres of land located at 1444 W. Stoneridge Court, within the MDR-25 (Medium-High Density Residential - 18.1 to 25.0 DUs/Acre) zoning district. APN: 1010-551-06; **submitted by Brother Home Trading Corp.**

Prepared By: Luis Batres, Senior Planner 
Phone: 909.395.2431 (direct)
Email: Lbatres@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

1.0 Standard Conditions of Approval. The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

2.0 Special Conditions of Approval. In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

2.1 Time Limits.

(a) Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

2.2 General Requirements. The Project shall comply with the following general requirements:

(a) All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

(b) The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

(c) The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

2.3 Landscaping.

(a) The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

(b) Comply with the conditions of approval of the Planning Department; Landscape Planning Division.

(c) Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

(d) Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

2.4 Walls and Fences. All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

2.5 Parking, Circulation and Access.

(a) The Project shall comply with the applicable off-street parking, loading and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

(b) All drive approaches shall be provided with an enhanced pavement treatment. The enhanced paving shall extend from the back of the approach apron, into the site, to the first intersecting drive aisle or parking space.

(c) Areas provided to meet the City's parking requirements, including off-street parking and loading spaces, access drives, and maneuvering areas, shall not be used for the outdoor storage of materials and equipment, nor shall it be used for any other purpose than parking.

(d) The required number of off-street parking spaces and/or loading spaces shall be provided at the time of site and/or building occupancy. All parking and loading spaces shall be maintained in good condition for the duration of the building or use.

(e) Parking spaces specifically designated and conveniently located for use by the physically disabled shall be provided pursuant to current accessibility regulations contained in State law (CCR Title 24, Part 2, Chapters 2B71, and CVC Section 22507.8).

(f) Bicycle parking facilities, including bicycle racks, lockers, and other secure facilities, shall be provided in conjunction with development projects pursuant to current regulations contained in CALGreen (CAC Title 24, Part 11).

2.6 Outdoor Loading and Storage Areas.

(a) Loading facilities shall be designed and constructed pursuant to Development Code Division 6.03 (Off-Street Parking and Loading).

(b) Areas designated for off-street parking, loading, and vehicular circulation and maneuvering, shall not be used for the outdoor storage of materials or equipment.

(c) Outdoor loading and storage areas, and loading doors, shall be screened from public view pursuant to the requirements of Development Code Paragraph 6.02.025.A.2 (Screening of Outdoor Loading and Storage Areas, and Loading Doors) Et Seq.

(d) Outdoor loading and storage areas shall be provided with gates that are view-obstructing by one of the following methods:

(i) Construct gates with a perforated metal sheet affixed to the inside of the gate surface (50 percent screen); or

(ii) Construct gates with minimum one-inch square tube steel pickets spaced at maximum 2-inches apart.

(e) The minimum gate height for screen wall openings shall be established based upon the corresponding wall height, as follows:

Screen Wall Height	Minimum Gate Height
14 feet:	10 feet
12 feet:	9 feet
10 feet:	8 feet
8 feet:	8 feet
6 feet:	6 feet

2.7 Site Lighting.

(a) All off-street parking facilities shall be provided with nighttime security lighting pursuant to Ontario Municipal Code Section 4-11.08 (Special Residential Building Provisions) and Section 4-11.09 (Special Commercial/Industrial Building Provisions), designed to confine emitted light to the parking areas. Parking facilities shall be lighted from sunset until sunrise, daily, and shall be operated by a photocell switch.

(b) Unless intended as part of a master lighting program, no operation, activity, or lighting fixture shall create illumination on any adjacent property.

2.8 Mechanical and Rooftop Equipment.

(a) All exterior roof-mounted mechanical, heating and air conditioning equipment, and all appurtenances thereto, shall be completely screened from public view by parapet walls or roof screens that are architecturally treated so as to be consistent with the building architecture.

(b) All ground-mounted utility equipment and structures, such as tanks, transformers, HVAC equipment, and backflow prevention devices, shall be located out of view from a public street, or adequately screened through the use of landscaping and/or decorative low garden walls.

2.9 Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

2.10 Signs. All Project signage shall comply with the requirements of Ontario Development Code Division 8.1 (Sign Regulations).

2.11 Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noised levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

2.12 Disclosure Statements.

(a) A copy of the Public Report from the Department of Real Estate, prepared for the subdivision pursuant to Business and Professions Code Section 11000 et seq., shall be provided to each prospective buyer of the residential units and shall include a statement to the effect that:

(i) This tract is subject to noise from the Ontario International Airport and may be more severely impacted in the future.

(ii) Some of the property adjacent to this tract is zoned for agricultural uses and there could be fly, odor, or related problems due to the proximity of animals.

(iii) The area south of Riverside Drive lies within the San Bernardino County Agricultural Preserve. Dairies currently existing in that area are likely to remain for the foreseeable future.

(iv) This tract is part of a Landscape Maintenance District. The homeowner(s) will be assessed through their property taxes for the continuing maintenance of the district.

2.13 Environmental Review.

(a) The proposed project is categorically exempt from the requirements of the California Environmental Quality Act of 1970 (CEQA), as amended, and the Guidelines promulgated thereunder, pursuant to **Section 15332 (Class 32, In-Fill Development Projects)** of the CEQA Guidelines, meeting the following conditions:

(i) The Project is consistent with the applicable general plan designation and all applicable general plan policies, as well as the applicable zoning designation and regulations;

(ii) The proposed development occurs within city limits, on a project site of no more than five acres, and is substantially surrounded by urban uses;

(iii) The project site has no value as habitat for endangered, rare, or threatened species;

(iv) Approval of the Project will not result in any significant effects relating to traffic, noise, air quality, or water quality; and

(v) The Project site can be adequately served by all required utilities and public services.

(b) If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

(c) If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

2.14 Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of

Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

2.15 Additional Fees.

(a) Within 5 days following final application approval, the Notice of Determination (NOD) filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act (CEQA). Failure to provide said fee within the time specified may result in a 180-day extension to the statute of limitations for the filing of a CEQA lawsuit.

(b) After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

2.16 Additional Requirements.

(a) All exterior metal/wrought iron work shall be powder coated to prevent rust.

(b) The common open space trellis shall be constructed of metal.

(c) The proposed decorative wood trellis/patios for the main entry areas of the apartment building shall be constructed of metal.

(d) The path of travel/sidewalk along the west side of the project and the entry driveway shall feature decorative pavers.

(e) Floor area below the proposed decorative common open space trellis shall also feature decorative pavers to match the rest of the project.

(f) The west and east property lines shall feature a decorative 6-foot tall block wall with a decorative cap. Any damage to existing walls shall be repaired to industry standards. The minimum height of walls shall be 6-feet from finish grades.

(g) During plan check, the plans need to be coordinated so that the totals match.

(h) All exterior timber/post shall have a good mass/size. Applicant shall work with staff during the plan check process to finalize the size(s).

(i) Applicant shall work with staff during plan check to select a more decorative bench that will complement the architecture style proposed.

(j) All decorative pavers shall feature dark earth tone colors to provide a contrast with the color of the building.

(k) All parking lot light standards shall be decorative and shall complement the architecture style and the style of the decorative lights proposed.

(l) The common open space area with the overhead decorative trellis shall feature decorative light bollard around it to protect it from vehicles. Applicant shall work with staff during the plan check process to add them to the project. In addition, the applicant shall also work with staff to add them as well along the Paseo area along the west side of the project.

(m) Garage doors shall not be blocked by vehicles at any time.

(n) Required garage spaces (20' x 20') shall always be available for parking. Space shall not be blocked by the storage of other goods/materials.



**ENGINEERING DEPARTMENT
CONDITIONS OF APPROVAL**

(Environmental, Traffic/Transportation Division, Ontario Municipal Utilities Company
Information Technology and Management Services Department conditions incorporated herein)

<input checked="" type="checkbox"/> DEVELOPMENT PLAN <input type="checkbox"/> OTHER	<input type="checkbox"/> PARCEL MAP <input type="checkbox"/> TRACT MAP <input type="checkbox"/> FOR CONDOMINIUM PURPOSES
PROJECT FILE NO. <u>PDEV16-044</u> RELATED FILE NO(S). _____	
<input checked="" type="checkbox"/> ORIGINAL <input type="checkbox"/> REVISED: ___/___/___	

CITY PROJECT ENGINEER & PHONE NO: Antonio Alejos (909) 395-2384

CITY PROJECT PLANNER & PHONE NO: Luis Batres (909) 395-2431

DAB MEETING DATE: September 18th, 2017

PROJECT NAME / DESCRIPTION: PDEV16-044, a Development Plan to construct an apartment complex consisting of 6 multiple-family dwelling units on approximately 0.3 acres of land

LOCATION: 1444 West Stoneridge Court

APPLICANT: Brothers Home Trading Corporation

REVIEWED BY:  8/17/17
 Bryan Lirley, P.E. Date
 Principal Engineer

APPROVED BY:  8-23-17
 Khoi Do, P.E. Date
 Assistant City Engineer



THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE GENERAL STANDARD CONDITIONS OF APPROVAL ADOPTED BY THE CITY COUNCIL (RESOLUTION NO. 2010-021) AND THE PROJECT SPECIFIC CONDITIONS OF APPROVAL SPECIFIED IN HEREIN. ONLY APPLICABLE CONDITIONS OF APPROVAL ARE CHECKED. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL APPLICABLE CONDITIONS OF APPROVAL PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, ISSUANCE OF PERMITS AND/OR OCCUPANCY CLEARANCE, AS SPECIFIED IN THIS REPORT.

1. PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, APPLICANT SHALL: Check When Complete

- 1.01 Dedicate to the City of Ontario, the right-of-way, described below:
 _____ feet on _____
 Property line corner 'cut-back' required at the intersection of _____ and _____.
- 1.02 Dedicate to the City of Ontario, the following easement(s): _____

- 1.03 Restrict vehicular access to the site as follows: _____
- 1.04 Vacate the following street(s) and/or easement(s): _____
- 1.05 Submit a copy of a recorded private reciprocal use agreement or easement. The agreement or easement shall ensure, at a minimum, common ingress and egress and joint maintenance of all common access areas and drive aisles.
- 1.06 Provide (original document) Covenants, Conditions and Restrictions (CC&Rs) as applicable to the project and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&Rs shall provide for, but not be limited to, common ingress and egress, joint maintenance responsibility for all common access improvements, common facilities, parking areas, utilities, median and landscaping improvements and drive approaches, in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project. The CC&Rs shall also address the maintenance and repair responsibility for public improvements/utilities (sewer, water, storm drain, recycled water, etc.) located within open space/easements. In the event of any maintenance or repair of these facilities, the City shall only restore disturbed areas to current City Standards.
- 1.07 File an application for Reapportionment of Assessment, together with payment of a reapportionment processing fee, for each existing assessment district listed below. Contact the Management Services Department at (909) 395-2124 regarding this requirement.
 (1) _____
 (2) _____
- 1.08 Prepare a fully executed Subdivision Agreement (on City approved format and forms) with accompanying security as required, or complete all public improvements.
- 1.09 Provide a monument bond (i.e. cash deposit) in an amount calculated by the City's approved cost estimate spreadsheet (available for download on the City's website: www.ci.ontario.ca.us) or as specified in writing by the applicant's Registered Engineer or Licensed Land Surveyor of Record and approved by the City Engineer, whichever is greater.
- 1.10 Provide a preliminary title report current to within 30 days.
- 1.11 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of three (3) months prior to final subdivision map approval, and



the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Management Services at (909) 395-2353 to initiate the CFD application process.

- 1.12 New Model Colony (NMC) Developments:
- 1) Provide evidence of final cancellation of Williamson Act contracts associated with this tract, prior to approval of any final subdivision map. Cancellation of contracts shall have been approved by the City Council.
- 2) Provide evidence of sufficient storm water capacity availability equivalents (Certificate of Storm Water Treatment Equivalents).
- 3) Provide evidence of sufficient water availability equivalents (Certificate of Net MDD Availability).
- 1.13 Other conditions: _____

2. PRIOR TO ISSUANCE OF ANY PERMITS, APPLICANT SHALL:

**A. GENERAL
 (Permits includes Grading, Building, Demolition and Encroachment)**

- 2.01 Record Parcel Map/Tract Map No. _____ pursuant to the Subdivision Map Act and in accordance with the City of Ontario Municipal Code.
- 2.02 Submit a duplicate photo mylar of the recorded map to the City Engineer's office.
- 2.03 **Note that the subject parcel is a recognized parcel in the City of Ontario Per Tract No. 2676 Lot 10.**
- 2.04 Note that the subject parcel is an 'unrecognized' parcel in the City of Ontario and shall require a Certificate of Compliance to be processed unless a deed is provided confirming the existence of the parcel prior to the date of _____ .
- 2.05 Apply for a: Certificate of Compliance with a Record of Survey; Lot Line Adjustment
- Make a Dedication of Easement.
- 2.06 Provide (original document) Covenants, Conditions and Restrictions (CC&R's), as applicable to the project, and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&R's shall provide for, but not be limited to, common ingress and egress, joint maintenance of all common access improvements, common facilities, parking areas, utilities and drive approaches in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project.
- 2.07 Submit a soils/geology report.
- 2.08 Other Agency Permit/Approval: Submit a copy of the approved permit and/or other form of approval of the project from the following agency or agencies:
- State of California Department of Transportation (Caltrans)
 - San Bernardino County Road Department (SBCRD)
 - San Bernardino County Flood Control District (SBCFCD)
 - Federal Emergency Management Agency (FEMA)
 - Cucamonga Valley Water District (CVWD) for sewer/water service



- United States Army Corps of Engineers (USACE)
- California Department of Fish & Game
- Inland Empire Utilities Agency (IEUA)
- Other: _____

- 2.09 Dedicate to the City of Ontario the right-of-way described below:
_____ feet on _____
Property line corner 'cut-back' required at the intersection of _____
and _____
- 2.10 Dedicate to the City of Ontario the following easement(s): _____

- 2.11 New Model Colony (NMC) Developments:
 - 1) Submit a copy of the permit from the San Bernardino County Health Department to the Engineering Department and the Ontario Municipal Utilities Company (OMUC) for the destruction/abandonment of the on-site water well. The well shall be destroyed/abandoned in accordance with the San Bernardino County Health Department guidelines.
 - 2) Make a formal request to the City of Ontario Engineering Department for the proposed temporary use of an existing agricultural water well for purposes other than agriculture, such as grading, dust control, etc. Upon approval, the Applicant shall enter into an agreement with the City of Ontario and pay any applicable fees as set forth by said agreement.
 - 3) Design proposed retaining walls to retain up to a maximum of three (3) feet of earth. In no case shall a wall exceed an overall height of nine (9) feet (i.e. maximum 6-foot high wall on top of a maximum 3-foot high retaining wall).
- 2.12 **Submit a security deposit to the Engineering Department to guarantee construction of the public improvements required herein valued at 100% of the approved construction cost estimate. Security deposit shall be in accordance with the City of Ontario Municipal Code. Security deposit will be eligible for release, in accordance with City procedure, upon completion and acceptance of said public improvements.**
- 2.13 The applicant/developer shall submit all necessary survey documents prepared by a Licensed Surveyor registered in the State of California detailing all existing survey monuments in and around the project site. These documents are to be reviewed and approved by the City Survey Office.
- 2.14 **Pay all Development Impact Fees (DIF) to the Building Department.**
- 2.15 Other conditions: _____



B. PUBLIC IMPROVEMENTS
 (See attached Exhibit 'A' for plan check submittal requirements.)

- 2.16 Design and construct full public improvements in accordance with the City of Ontario Municipal Code, current City standards and specifications, master plans and the adopted specific plan for the area, if any. These public improvements shall include, but not be limited to, the following (checked boxes):

Improvement	Stoneridge Ct	Street 2	Street 3	Street 4
Curb and Gutter	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace
AC Pavement	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions
PCC Pavement (Truck Route Only)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Drive Approach	<input checked="" type="checkbox"/> New residential driveway	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Sidewalk	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
ADA Access Ramp	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Parkway	<input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)
Raised Landscaped Median	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Fire Hydrant	<input checked="" type="checkbox"/> Equip existing fire hydrant w/ break-off check valve	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation
Sewer (see Sec. 2.C)	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral



Water (see Sec. 2.D)	<input checked="" type="checkbox"/> Service for domestic <input checked="" type="checkbox"/> Service for irrigation <input checked="" type="checkbox"/> Service for fire	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Recycled Water (see Sec. 2.E)	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Traffic Signal System (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Traffic Signing and Striping (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Street Light (see Sec. 2.F)	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation
Bus Stop Pad or Turn-out (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Storm Drain (see Sec. 2.G)	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
Fiber Optics (see Sec. 2.K)	<input checked="" type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances
Overhead Utilities	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate
Removal of Improvements	_____	_____	_____	_____
Other Improvements	_____	_____	_____	_____

Specific notes for improvements listed in item no. 2.15, above: _____

2.17 Construct a 0.15' asphalt concrete (AC) grind and overlay on the following street(s): _____



- 2.18 Reconstruct the full pavement structural section per City of Ontario Standard Drawing number 1011, based on existing pavement condition and approved street section design. Minimum limits of reconstruction shall be along property frontage, from street centerline to curb/gutter. 'Pothole' verification of existing pavement section required prior to acceptance/approval of street improvement plan.
- 2.19 Make arrangements with the Cucamonga Valley Water District (CVWD) to provide water service sewer service to the site. This property is within the area served by the CVWD and Applicant shall provide documentation to the City verifying that all required CVWD fees have been paid.
- 2.20 Other conditions: _____

C. SEWER

- 2.21 **An 8-inch sewer main is available for connection by this project in Stoneridge Court. (Ref: Sewer plan bar code: S12631)**
- 2.22 Design and construct a sewer main extension. A sewer main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.23 Submit documentation that shows expected peak loading values for modeling the impact of the subject project to the existing sewer system. The project site is within a deficient public sewer system area. Applicant shall be responsible for all costs associated with the preparation of the model. Based on the results of the analysis, Applicant may be required to mitigate the project impact to the deficient public sewer system, including, but not limited to, upgrading of existing sewer main(s), construction of new sewer main(s) or diversion of sewer discharge to another sewer.
- 2.24 **Other conditions:**
 1. **The applicant/developer shall install a sewer lateral with a clean-out per City Standard Drawing Numbers 1306 & 2003.**
 2. **The applicant/developer shall not construct any permanent structures within the public sewer easement located along the northerly property line.**

D. WATER

- 2.25 **A 6-inch water main is available for connection by this project in Stoneridge Court. (Ref: Water plan bar code: W11559)**
- 2.26 Design and construct a water main extension. A water main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.27 **Other conditions:**
 1. **The applicant/developer shall install a water service for domestic use only and equip the service with a master meter to sub-meter onto private property & backflow device per City Standard Drawing Numbers 1306, 4202 & 4206.**
 2. **The applicant/developer shall install a fire service with a DCDA per City Standard Drawing Numbers 1306 & 4208.**
 3. **The applicant/developer shall install a separate water service for irrigation use only and equip the service with a meter & backflow device per City Standard Drawing Numbers 1306, 4201 & 4206.**
 4. **The applicant/developer shall equip a break-off check valve to the existing fire hydrant located along the project frontage facing Stoneridge Court per City Standard Drawing Number 4101.**



E. RECYCLED WATER

- 2.28 A _____ inch recycled water main is available for connection by this project in _____. (Ref: Recycled Water plan bar code: _____)
 - 2.29 Design and construct an on-site recycled water system for this project. A recycled water main does exist in the vicinity of this project.
 - 2.30 Design and construct an on-site recycled water ready system for this project. A recycled water main does not currently exist in the vicinity of this project, but is planned for the near future. Applicant shall be responsible for construction of a connection to the recycled water main for approved uses, when the main becomes available. The cost for connection to the main shall be borne solely by Applicant.
 - 2.31 Submit two (2) hard copies and one (1) electronic copy, in PDF format, of the Engineering Report (ER), for the use of recycled water, to the OMUC for review and subsequent submittal to the California Department of Public Health (CDPH) for final approval.
- Note: The OMUC and the CDPH review and approval process will be approximately three (3) months. Contact the Ontario Municipal Utilities Company at (909) 395-2687 regarding this requirement.
- 2.32 Other conditions: _____

F. TRAFFIC / TRANSPORTATION

- 2.33 Submit a focused traffic impact study, prepared and signed by a Traffic/Civil Engineer registered in the State of California. The study shall address, but not be limited to, the following issues as required by the City Engineer:
 - 1. On-site and off-site circulation
 - 2. Traffic level of service (LOS) at 'build-out' and future years
 - 3. Impact at specific intersections as selected by the City Engineer
- 2.34 Other conditions:
 - 1. The applicant/developer shall construct a residential driveway approach per City Standard Drawing Number 1203.
 - 2. The applicant/developer shall paint the curb red along the entire project frontage facing Stoneridge Court.
 - 3. All landscaping, block walls and other obstructions shall be compatible with the stopping sight distance requirements per City Standard Drawing Number 1309.

G. DRAINAGE / HYDROLOGY

- 2.35 A _____ inch storm drain main is available to accept flows from this project in _____. (Ref: Storm Drain plan bar code: _____)
- 2.36 Submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California. The study shall be prepared in accordance with the San Bernardino County Hydrology Manual and City of Ontario standards and guidelines. Additional drainage facilities, including, but not limited to, improvements beyond the project frontage, may be required to be designed and constructed, by Applicant, as a result of the findings of this study.
- 2.37 An adequate drainage facility to accept additional runoff from the site does not currently exist downstream of the project. Design and construct a storm water detention facility on the project site. 100 year post-development peak flow shall be attenuated such that it does not exceed 80% of pre-development peak flows, in accordance with the approved hydrology study and improvement plans.
- 2.38 Submit a copy of a recorded private drainage easement or drainage acceptance agreement to the Engineering Department for the acceptance of any increase to volume and/or concentration of historical drainage flows onto adjacent property, prior to approval of the grading plan for the project.



- 2.39 Comply with the City of Ontario Flood Damage Prevention Ordinance (Ordinance No. 2409). The project site or a portion of the project site is within the Special Flood Hazard Area (SFHA) as indicated on the Flood Insurance Rate Map (FIRM) and is subject to flooding during a 100 year frequency storm. The site plan shall be subject to the provisions of the National Flood Insurance Program.
- 2.40 **Pay Storm Drain In-lieu Fee, approximately \$10,420.85, Fee shall be paid to the Engineering Department.**
- 2.41 Other conditions: _____

H. STORM WATER QUALITY / NATIONAL POLLUTANT DISCHARGE AND ELIMINATION SYSTEM (NPDES)

- 2.41 401 Water Quality Certification/404 Permit – Submit a copy of any applicable 401 Certification or 404 Permit for the subject project to the City project engineer. Development that will affect any body of surface water (i.e. lake, creek, open drainage channel, etc.) may require a 401 Water Quality Certification from the California Regional Water Quality Control Board, Santa Ana Region (RWQCB) and a 404 Permit from the United States Army Corps of Engineers (USACE). The groups of water bodies classified in these requirements are perennial (flow year round) and ephemeral (flow during rain conditions, only) and include, but are not limited to, direct connections into San Bernardino County Flood Control District (SBCFCD) channels.
If a 401 Certification and/or a 404 Permit are not required, a letter confirming this from Applicant's engineer shall be submitted.
Contact information: USACE (Los Angeles District) (213) 452-3414; RWQCB (951) 782-4130.
- 2.43 Submit a Water Quality Management Plan (WQMP). This plan shall be approved by the Engineering Department prior to approval of any grading plan. The WQMP shall be submitted, utilizing the current San Bernardino County Stormwater Program template, available at: <http://www.sbcounty.gov/dpw/land/npdes.asp>.
- 2.44 **Other conditions:**
 - 1. **The applicant/developer shall detain required run-off volume in proposed basins per Approved Preliminary Water Quality Management Plan (PWQMP).**

J. SPECIAL DISTRICTS

- 2.45 File an application, together with an initial payment deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community facilities District Act of 1982. The application and fee shall be submitted a minimum three (3) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact the Management Services Department at (909) 395-2353 to initiate the CFD application process.
- 2.46 Other conditions: _____

K. FIBER OPTIC

- 2.47 **Design and construct fiber optic system to provide access to the City's conduit and fiber optic system per the City's Fiber Optic Master Plan. Building entrance conduits shall start from the closest OntarioNet hand-hole constructed along the project frontage in the ROW and shall terminate in the main telecommunications room for each building. Conduit infrastructure shall interconnect with the primary and/or secondary backbone fiber optic conduit system at the nearest OntarioNet hand hole. Generally located along Stoneridge Court, see Fiber Optic Exhibit herein.**
- 2.48 **Refer to the City's Fiber Optic Master Plan for design and layout guidelines. Contact the Information Technology Department at (909) 395-2000, regarding this requirement.**



L. Solid Waste

- 2.49 Onsite solid waste shall be designed in accordance with the City's Solid Waste Manual location at:
<http://www.ontarioca.gov/municipal-utilities-company/solid-waste>
- 2.50 Other conditions:
 - 1. The applicant/developer shall construct a new 2-bin trash enclosure with a solid roof per the Refuse & Recycling Planning Manual.

3. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, APPLICANT SHALL:

- 3.01 Set new monuments in place of any monuments that have been damaged or destroyed as a result of construction of the subject project. Monuments shall be set in accordance with City of Ontario standards and to the satisfaction of the City Engineer.
- 3.02 Complete all requirements for recycled water usage.
 - 1) Procure from the OMUC a copy of the letter of confirmation from the California Department of Public Health (CDPH) that the Engineering Report (ER) has been reviewed and the subject site is approved for the use of recycled water.
 - 2) Obtain clearance from the OMUC confirming completion of recycled water improvements and passing of shutdown tests and cross connection inspection, upon availability/usage of recycled water.
 - 3) Complete education training of on-site personnel in the use of recycled water, in accordance with the ER, upon availability/usage of recycled water.
- 3.03 The applicant/developer shall submit all final survey documents prepared by a Licensed Surveyor registered in the State of California detailing all survey monuments that have been preserved, revised, adjusted or set along with any maps, corner records or Records of Survey needed to comply with these Conditions of Approvals and the latest edition of the California Professional Land Survey Act. These documents are to be reviewed and approved by the City Survey Office.
- 3.04 NMC Projects: For developments located at an intersection of any two collector or arterial streets, the applicant/developer shall set a benchmark if one does not already exist at that intersection. Contact the City Survey office for information on reference benchmarks, acceptable methodology and required submittals.
- 3.05 Confirm payment of all Development Impact Fees (DIF) to the Building Department.
- 3.06 Submit electronic copies (PDF and Auto CAD format) of all approved improvement plans, studies and reports (i.e. hydrology, traffic, WQMP, etc.).
- 3.07 Process a Fence Letter (Temporary Encroachment Agreement) for the existing block wall to remain within a public utility easement located along the northerly property line.



EXHIBIT 'A'

**ENGINEERING DEPARTMENT
First Plan Check Submittal Checklist**

Project Number: PDEV16-044, and/or Parcel Map/Tract Map No. _____

The following items are required to be included with the first plan check submittal:

1. **A copy of this check list**
2. **Payment of fee for Plan Checking**
3. **One (1) copy of Engineering Cost Estimate (on City form) with engineer's wet signature and stamp.**
4. **One (1) copy of project Conditions of Approval**
5. Two (2) sets of Potable and Recycled Water demand calculations (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size).
6. Three (3) sets of Public Street improvement plan with street cross-sections
7. Three (3) sets of Private Street improvement plan with street cross-sections
8. Four (4) sets of Public Water improvement plan (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)
9. Four (4) sets of Recycled Water improvement plan (include recycled water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size and an exhibit showing the limits of areas being irrigated by each recycled water meter)
10. Four (4) sets of Public Sewer improvement plan
11. Five (5) sets of Public Storm Drain improvement plan
12. Three (3) sets of Public Street Light improvement plan
13. Three (3) sets of Signing and Striping improvement plan
14. **Three (3) sets of Fiber Optic plan (include Auto CAD electronic submittal)**
15. Three (3) sets of Dry Utility plans within public right-of-way (at a minimum the plans must show existing and ultimate right-of-way, curb and gutter, proposed utility location including centerline dimensions, wall to wall clearances between proposed utility and adjacent public line, street work repaired per Standard Drawing No. 1306. Include Auto CAD electronic submittal)
16. Three (3) sets of Traffic Signal improvement plan and One (1) copy of Traffic Signal Specifications with modified Special Provisions. Please contact the Traffic Division at (909) 395-2154 to obtain Traffic Signal Specifications.
17. Two (2) copies of Water Quality Management Plan (WQMP), including one (1) copy of the approved Preliminary WQMP (PWQMP).
18. **One (1) copy of Hydrology/Drainage study**
19. One (1) copy of Soils/Geology report
20. Payment for Final Map/Parcel Map processing fee
21. Three (3) copies of Final Map/Parcel Map

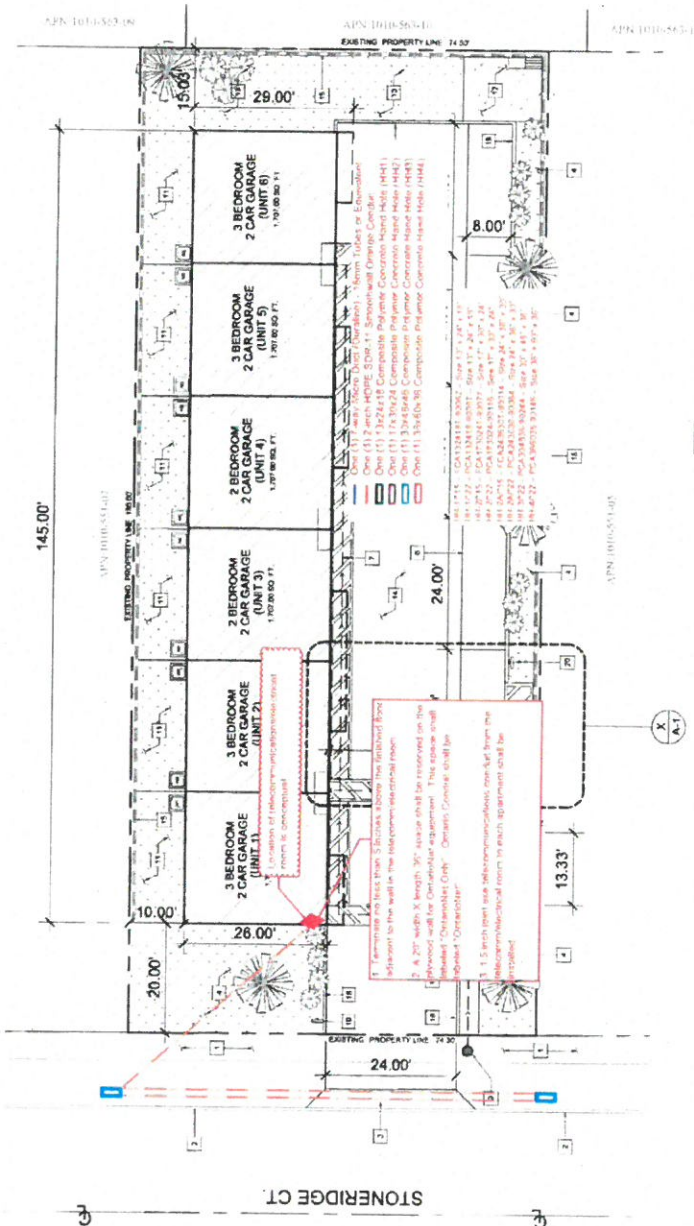


- 22. One (1) copy of approved Tentative Map
- 23. **One (1) copy of Preliminary Title Report (current within 30 days)**
- 24. One (1) copy of Traverse Closure Calculations
- 25. One (1) set of supporting documents and maps (legible copies): referenced improvement plans (full size), referenced record final maps/parcel maps (full size, 18"x26"), Assessor's Parcel map (full size, 11"x17"), recorded documents such as deeds, lot line adjustments, easements, etc.
- 26. Two (2) copies of Engineering Report and an electronic file (include PDF format electronic submittal) for recycled water use
- 27. **Other:**
 - 1. **Fence Letter (Temporary Encroachment Agreement)**

PDEV16-044
Fiber Optic Exhibit
1444 West Stoneridge Court

6 UNIT APARTMENT COMPLEX

FOR APN: 1010-055-06



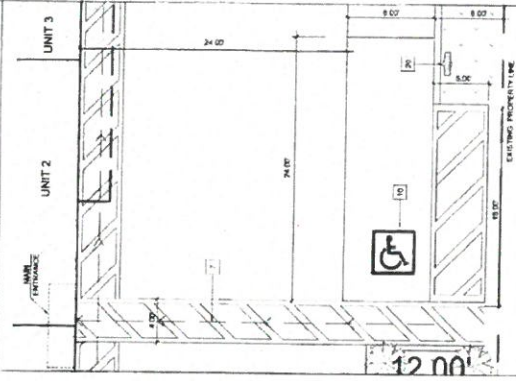
SITE PLAN

SCALE 1/8"=1'-0"

KEY NOTES

- EXISTING CONCRETE SIDEWALK
- EXISTING CURB
- NEW DRIVEWAY APPROACH
- NEW DRIVEWAY AREA
- NEW PARKING STALL (P. 10-1)
- NEW PARKING STALL (P. 10-2)
- ADJUSTED DRIVEWAY WIDTH (P. 10-3)
- ADJUSTED DRIVEWAY SLOPE OF 2%
- NEW NEW TRAILER ENCLOSURE (PER CITY STANDARD SET)
- ACCESSIBLE ROUTE TO PUBLIC STREET
- TYPICAL PARKING LOT PAVEMENT (PER CALIF. STATE SPEC. DIVISION)
- NO OCCUPANT IN UNIT ON PAVEMENT
- COMMON OPEN SPACE
- COMMON OPEN SPACE (PARKING LOT)
- DRIVEWAY ASPHALT PAVEMENT
- NEW 6" HIGH CURB (BLOCK WALL FENCE)
- MINIMUM 8" HIGH (BLOCK WALL FENCE) CIRCUMFERENCE (SEE P. 10-4)
- NEW RAMP 8" MIN. MAX.
- NEW CURB
- NEW HANDICAP SIGN AT ENTRANCE
- NEW HANDICAP SIGN AT DRIVEWAY 27" HD ON POLE (ADDITIONAL SIGN PLACING TO BE DETERMINED BY OWNER)

HANDICAP PARKING DETAIL



DETAIL X

SCALE 1/4"=1'-0"

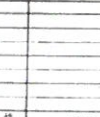


APARTMENT COMPLEX
NEW MULTI-FAMILY 6 UNIT
SITE PLAN

PROJECT ADDRESS: 1444 WEST STONERIDGE COURT, OAKLAND, CA 94612
 PROJECT ARCHITECT: PDEV16-044
 PROJECT ENGINEER: PDEV16-044

NO.	DATE	REVISION
1	05/11/16	ISSUE FOR PERMITTING
2	05/11/16	ISSUE FOR PERMITTING
3	05/11/16	ISSUE FOR PERMITTING
4	05/11/16	ISSUE FOR PERMITTING
5	05/11/16	ISSUE FOR PERMITTING
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32	05/11/16	ISSUE FOR PERMITTING

AEC | Moreno Corp
 1444 WEST STONERIDGE COURT
 OAKLAND, CA 94612
 TEL: (916) 331-1233
 FAX: (916) 331-1233



DATE: 05/11/16
 SHEET NO: A-1



CITY OF ONTARIO

MEMORANDUM

TO: Luis Batres, Planning Department

FROM: Lora L. Gearhart, Fire Protection Analyst
Fire Department

DATE: August 7, 2017

SUBJECT: PDEV16-044 - A Development Plan to construct an apartment complex consisting of 6 multiple-family dwelling units on approximately 0.3 acres of land located at 1444 West Stoneridge Court, within the MDR-25 (Medium Density Residential - 18.1 to 25.0 DUs/Acre) zoning district (APN: 1010-551-06).

-
- The plan **does** adequately address Fire Department requirements at this time.
- No comments.
- Standard Conditions of Approval apply, as stated below.
-

SITE AND BUILDING FEATURES:

- A. 2013 CBC Type of Construction: V-B
- B. Type of Roof Materials: Unknown
- C. Ground Floor Area(s): 3,420 SF
- D. Number of Stories: Three
- E. Total Square Footage: 9,816 SF
- F. 2013 CBC Occupancy Classification(s): R-2, U

CONDITIONS OF APPROVAL:

1.0 GENERAL

- 1.1 The following are the Ontario Fire Department ("Fire Department") requirements for this development project, based on the current edition of the California Fire Code (CFC), and the

current versions of the Fire Prevention Standards (“Standards.”) It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at www.ontarioca.gov, click on “Fire Department” and then on “Standards and Forms.”

- 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

2.0 FIRE DEPARTMENT ACCESS

- 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See Standard #B-004.
- 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25’) inside and forty-five feet (45’) outside turning radius per Standard #B-005.
- 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150’) in length shall have an approved turn-around per Standard #B-002.
- 2.6 Security gates or other barriers on fire access roadways shall be provided with a Knox brand key switch or padlock to allow Fire Department access. See Standards #B-003, B-004 and H-001.

3.0 WATER SUPPLY

- 3.1 The required fire flow per Fire Department standards, based on the 2016 California Fire Code, Appendix B, is 1500 gallons per minute (g.p.m.) for 2 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.
- 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300’) apart, per Engineering Department specifications.

4.0 FIRE PROTECTION SYSTEMS

- 4.3 An automatic fire sprinkler system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 13 R. All new fire sprinkler systems, except those in single family dwellings, which contain twenty (20) sprinkler heads or more shall be monitored by an approved listed supervising station. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- 4.4 Fire Department Connections (FDC) shall be located on the address side of the building within one hundred fifty feet (150’) of a public fire hydrant on the same side of the street. Provide identification for all fire sprinkler control valves and fire department connections per Standard

#D-007. Raised curbs adjacent to Fire Department connection(s) shall be painted red, five feet either side, per City standards.

- 4.6 Portable fire extinguishers are required to be installed prior to occupancy per Standard #C-001. Please contact the Fire Prevention Bureau to determine the exact number, type and placement required.

5.0 BUILDING CONSTRUCTION FEATURES

- 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.
- 5.3 Single station smoke alarms and carbon monoxide alarms are required to be installed per the California Building Code and the California Fire Code.
- 5.5 All residential chimneys shall be equipped with an approved spark arrester meeting the requirements of the California Building Code.

CITY OF ONTARIO
LANDSCAPE PLANNING DIVISION
 303 East "B" Street, Ontario, CA 91764

PRELIMINARY PLAN CORRECTIONS

Sign Off

Carolyn Bell
 Carolyn Bell, Sr. Landscape Planner

3/6/16
 Date

reviewer's Name:

Carolyn Bell, Sr. Landscape Planner

Phone:

(909) 395-2237

D.A.B. File No.:

PDEV16-044 Rev 1

Case Planner:

Luis Batres

Project Name and Location:

6 Unit Apartment Building
 1444 W Stoneridge Court

Applicant/Representative:

AEC/ Moreno – Telma Baylouni
 1430 E Cooley Dr ste 120
 Colton, CA 92324



A Preliminary Landscape Plan (dated 2/13/17) meets the Standard Conditions for New Development and has been approved with the consideration that the following conditions below be met upon submittal of the landscape construction documents.



A Preliminary Landscape Plan (dated) has not been approved. Corrections noted below are required prior to Preliminary Landscape Plan approval.

Architecture

1. Show actual design proposed, concrete patios, limited landscape, backflows devices and transformers at the front entry. Coordinate with civil and landscape for an true representation.

Civil Plans

2. Show backflows and transformers on plan, and locate and dimension a 5' set back from paving.
3. Show water and sewer lines and drainage line to avoid existing or proposed tree locations. Move drain lines to within 12" of hardscape Coordinate with landscape plans
4. Dimension all planters to have a minimum 5' wide inside dimension. Small planters 3' wide may be allowed at both sides of the trash enclosure, along west property line (in patio areas) or a 4'x4' tree well in patios.
5. Change pervious concrete to permeable pavers or other durable material in parking spaces.

Landscape Plans

6. Show all utilities on the landscape plans. Keep utilities clear of required tree locations. Coordinate relocation of proposed water and drain lines with civil.
7. Maximize lawn area to include the patio area. Trees in lawn shall have a 6' dia. mulch only zone.
8. Show narrow evergreen trees along project perimeter such as Tristania laurina, Callistemon, etc. include west side patios to have a min 3' planter or a 4'x4' well for a small evergreen patio tree.
9. Replace short lived, high maintenance or poor performing plants, Lavender, Macfadyena, Cassia, Grevillea, and Salvia. Consider durable plants for this type of project.
10. Consider plants for the wet or shady areas that tolerate saturated soil or drought conditions such as Carex panza, Festuca mairei, and Sesleria autumnalis.
11. Call out all fences and walls, materials proposed and heights, include wall or fence between units.
12. Show concrete mow strips to identify property lines
13. After a project's entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council. Typical fees are:

Plan Check—5 or more acres	\$2,326.00
Plan Check—less than 5 acres	\$1,301.00
Inspection—Construction (up to 3 inspections)	\$278.00
Inspection—Field - additional.....	\$83.00

Electronic plan check sets may be sent to: landscapeplancheck@ontarioca.gov



CITY OF ONTARIO

MEMORANDUM

TO: Luis Batres, Planning Department

FROM: Douglas Sorel, Police Department

DATE: November 15, 2016

SUBJECT: PDEV16-044 – A DEVELOPMENT PLAN TO CONSTRUCT AN APARTMENT COMPLEX AT 1444 WEST STONERIDGE COURT

“Standard Conditions of Approval” contained in Resolution No. 2010-021 apply. The Applicant shall read and be thoroughly familiar with the conditions regarding rooftop addressing, door and window hardware, building security and construction site security.

Required lighting for walkways, driveways, doorways, play areas, parking lots and other areas used by the public shall be provided. Required exterior lighting shall operate on a photosensor. Photometrics shall be provided and include the types of fixtures proposed and demonstrate that such fixtures meet the vandal-resistant requirement. Planned landscaping shall not obstruct lighting fixtures.

Bollards shall be placed along the perimeter of the proposed playground/barbeque area.

The project shall participate in the Ontario Police Department’s Crime Free Multi Housing program.

The applicant is invited to contact Douglas Sorel at (909) 395-2873 regarding any questions or concerns.

CITY OF ONTARIO MEMORANDUM

TO: PLANNING DEPARTMENT, Luis Batres
FROM: BUILDING DEPARTMENT, Kevin Shear
DATE: November 1, 2016
SUBJECT: PDEV16-044

1. The plan **does** adequately address the departmental concerns at this time.

No comments.

KS:lm

AIRPORT LAND USE COMPATIBILITY PLANNING CONSISTENCY DETERMINATION REPORT



Project File No.: PDEV16-044
 Address: 1444 West Stoneridge Court
 APN: 1010-551-06
 Existing Land Use: Vacant
 Proposed Land Use: Multi-family Residential Apartment Complex (6-units)
 Site Acreage: 0.3 Proposed Structure Height: 35 ft
 ONT-IAC Project Review: n/a
 Airport Influence Area: ONT

Reviewed By: Lorena Mejia
 Contact Info: 909-395-2276
 Project Planner: Luis Batres
 Date: 11/21/16
 CD No.: 2016-071
 PALU No.: n/a

The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input type="radio"/> High Terrain Zone	<input type="radio"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input checked="" type="checkbox"/> FAA Notification Surfaces	<input checked="" type="checkbox"/> Recorded Overflight Notification
<input type="radio"/> Zone 2	<input checked="" type="checkbox"/> 65 - 70 dB CNEL	<input checked="" type="checkbox"/> Airspace Obstruction Surfaces	<input checked="" type="checkbox"/> Real Estate Transaction Disclosure
<input type="radio"/> Zone 3	<input type="radio"/> 60 - 65 dB CNEL	<input type="radio"/> Airspace Avigation Easement Area	
<input type="radio"/> Zone 4		Allowable Height: 200 ft plus	
<input type="radio"/> Zone 5			

The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1
 Zone 2
 Zone 3
 Zone 4
 Zone 5
 Zone 6
 Allowable Height: _____

CONSISTENCY DETERMINATION

This proposed Project is: Exempt from the ALUCP
 Consistent
 Consistent with Conditions
 Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

See Attached Condition

Airport Planner Signature: _____

AIRPORT LAND USE COMPATIBILITY PLANNING

CONSISTENCY DETERMINATION REPORT

CD No.: 2016-071

PALU No.: _____

PROJECT CONDITIONS

New Residential land uses are required to have a Recorded Overflight Notification appearing on the Property Deed and Title incorporating the following language:

NOTICE OF AIRPORT IN VICINITY: This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you.



Development Advisory Board Decision

September 18, 2017

DECISION NO.: [insert #]

FILE NO.: PDEV17-023

DESCRIPTION: A Development Plan (File No. PDEV17-023) approval to construct 75 single-family residential dwellings on 10.87 acres of land located within the Conventional Small Lot Residential district of Planning Area 24 of the Subarea 29 Specific Plan, located at the southeast corner of Celebration Avenue and Parkview Street. (APNs: 0218-033-01, 0218-033-02, 0218-033-03(POR) & 0218-033-04(POR)); **submitted by The New Home Company Southern California, LLC.**

Part I—BACKGROUND & ANALYSIS

THE NEW HOME COMPANY SOUTHERN CALIFORNIA, LLC, (herein after referred to as "Applicant") has filed an application requesting Development Plan approval, File No. PDEV17-023, as described in the subject of this Decision (herein after referred to as "Application" or "Project").

(1) **Project Setting:** The project site is comprised of 10.87 acres of land located at the southeast corner of Celebration Avenue and Parkview Street, and is depicted in Exhibit A: Aerial Photograph, attached. Existing land uses, General Plan and zoning designations, and specific plan land uses on and surrounding the project site are as follows:

	<i>Existing Land Use</i>	<i>General Plan Designation</i>	<i>Zoning Designation</i>	<i>Specific Plan Land Use</i>
<i>Site</i>	Vacant with Previous Agricultural/Dairy Uses	Low Density Residential	Subarea 29 Specific Plan	Planning Area 24 (Conventional Small Lot)
<i>North</i>	Vacant with Previous Agricultural/Dairy Uses	Low Density Residential	Subarea 29 Specific Plan	Planning Area 23 (Conventional Small Lot)
<i>South</i>	Vacant with Previous Agricultural/Dairy Uses	Low Density Residential	Subarea 29 Specific Plan	Planning Area 26 (Cluster Homes)
<i>East</i>	Vacant with Previous Agricultural/Dairy Uses	Low Density Residential	Subarea 29 Specific Plan	Planning Area 25 (Cluster Homes)
<i>West</i>	Vacant with Previous Agricultural/Dairy Uses	Low Density Residential	Subarea 29 Specific Plan	Planning Area 18 (School)

(2) **Project Description:** A Development Plan (File No. PDEV17-023) approval to construct 75 single-family residential dwellings on 10.87 acres of land located within the Conventional Small Lot Residential district of Planning Area 24 of the Subarea 29 Specific Plan, located at the southeast corner of Celebration Avenue and Parkview Street (**See Exhibit B – Site Plan**).

The project proposes the development of 75 single-family conventional homes within Planning Area 24 of the Subarea 29 Specific Plan. The project includes three floor plans and four architectural styles. The three floor plans include the following:

- Plan 1: 2,398 square feet, 4 bedrooms, loft and 3 baths.
- Plan 2: 2,542 square feet, 4 bedrooms, loft and 3 baths.
- Plan 3: 2,641 square feet, 4 bedrooms, bonus room and 3 baths (option for 5th bedroom and 4th bath).

The proposed Development Plan has been designed to create architecture that reflects quality in design, simplicity in form and contributes charm and appeal to the neighborhoods within the Subarea 29 Specific Plan as a whole. All plans incorporate various design features, such as single and second-story massing, varied entries, front porches, optional covered patio, 2nd floor laundry facilities, a great room and a loft or bonus room. In addition, each home will provide a two-car garage and standard driveway. To minimize visual impacts of garages, second-story projections above garages, varied first and second-story roof massing and door header trim above the garage are proposed on all elevation (**Figure 2: Typical Plotting**). In addition, all homes will feature a mid to deep-recessed garage design, where the garage will be setback between 10' to 20' behind a porch or livable area.



Figure 2: Typical Plotting

Site Access/Circulation — The previously approved Tract Maps 18913 (“A” Map) and 18073 (“B” Map), facilitated the construction of the backbone streets including the primary access points into the central portion of the Subarea 29 (Park Place) community from Archibald Avenue and Merrill Avenue, as well as the construction of all the interior neighborhood streets within the subdivision. Primary access into the subdivision will be from Celebration Avenue, Parkview Street and Perennial Drive.

Parking – The proposed conventional single-family homes will provide a two-car garage and a standard two-car driveway, which meets the Subarea 29 Specific Plan and Development Code requirements.

Open Space — The Related Tentative Tract Map (File No. PMTT14-017/TT18073) will facilitate the construction of sidewalks, parkways, and open space areas within the project site. TOP Policy PR-1 requires new developments to provide a minimum of 2 acres of private park per 1,000 residents. The proposed project is required to provide a 0.57 acre park to meet the minimum TOP private park requirement.

To satisfy the park requirement, the applicant is proposing a 0.36-acre neighborhood park that is located within the southwest portion of the project site. However, to satisfy the private park requirements of the Policy Plan, the master developer (SL Ontario Development Company, LLC) was required by the Development Agreement (PDA06-001) to construct a total of 8 acres of private parks within the Park Place community (Phases 1, 2 & 3). Through the various tentative tract map approvals within Phases 1, 2 and 3 of the Park Place community, the applicant has provided 8.16 acres of private parks, which satisfies the Policy Plan private park requirements. Additionally, the applicant has constructed a 2.78-acre private recreation facility, consisting of a 16,000 square foot clubhouse. The recreation facility is located at the northeast corner of Parkplace Avenue and Merrill Avenue and features a clubhouse, pool and cabana, tennis courts and playground area. The residents of the subdivision will also have access to Celebration Park.

Architecture — The architectural philosophy Subarea 29 Specific Plan is based on architectural styles found in Ontario's historic neighborhoods. The inspiration and design intent is to re-capture the charm and essence of the historic home styles in Ontario and express them in the simple, honest manner that they originated. The proposed architectural styles include Spanish Colonial, Andalusian, American Traditional and Cottage. The styles were chosen to complement one another through the overall scale, massing, proportions, details and the ability to establish an attractive backdrop that will age gracefully over time.

Each architectural style will include the following details (**See Exhibit C – Floor Plan and Elevations**):

Spanish Colonial: Varying gable and hipped roofs with “S” roof tiles, decorative foam built-up eaves, stucco exterior, arched porch entryways, square and arched windows openings, shutters, wrought-iron pot shelves, cantilevered elements with corbels, faux chimneys and decorative barrel tiles below gables.



Plan 2: Spanish Colonial

Andalusian: Varying gable and hipped roofs with “S” roof tiles, stucco exterior, arched covered entries, square window openings, shutters, wrought-iron pot shelves, wood outlookers below gable ends, cantilevered elements with corbels, faux chimneys, and pot shelves with decorative tile bands.



Plan 1: Andalusian

American Traditional: Varying gable and shed roofs with flat concrete roof tiles, decorative vents under gable ends, stucco and horizontal siding, covered porches with decorative columns, square window openings, decorative window framing, shutters and pot shelves.



Plan 3: American Traditional

Cottage: Varying high-pitched gable roofs with concrete flat roof tiles, horizontal siding with corbels below gable ends, stucco exterior, stone veneer, cantilevered elements with corbels, square window openings, shutters and pot shelves.



Plan 1: Cottage

Part II—RECITALS

WHEREAS, the Application is a project pursuant to the California Environmental Quality Act (Public Resources Code Section 21000 et seq.) ("CEQA"); and

WHEREAS, the environmental impacts of this project were previously reviewed in conjunction with File No. PSPA14-002, a(n) Amendment to the Subarea 29 Specific Plan for which a(n) addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) was adopted by the City Council on April 21, 2015, and this Application introduces no new significant environmental impacts; and

WHEREAS, the City's "Local Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed; and

WHEREAS, the Application is a project pursuant to CEQA (Public Resources Code Section 21000 et seq.), and an initial study has been prepared to determine possible environmental impacts; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board ("DAB") the responsibility and authority to review and make recommendation to the Planning Commission on the subject Application; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan (“ALUCP”), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, to facilitate the construction of the proposed Development Plan, the Planning Commission of the City of Ontario approved a Tentative Tract Map (PMTT14-017/TT18073) on May 26, 2015, that subdivided the 10.87 acre project site into 75 single-family lots and 8 lettered lots and facilitated the construction of the backbone infrastructure and internal street circulation within the subdivision; and

WHEREAS, on September 18, 2017, the DAB of the City of Ontario conducted a hearing on the Application and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.

Part III—THE DECISION

NOW, THEREFORE, IT IS HEREBY FOUND AND DETERMINED by the Development Advisory Board of the City of Ontario, as follows:

SECTION 1: *Environmental Determination and Findings.* As the recommending body for the Project, the DAB has reviewed and considered the information contained in the previous addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) and supporting documentation. Based upon the facts and information contained in the previous addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) and supporting documentation, the DAB finds as follows:

(1) The environmental impacts of this project were previously reviewed in conjunction with File No. PSPA14-002, a(n) Amendment to the Subarea 29 Specific Plan for which a(n) addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) was adopted by the City Council on April 21, 2015.

(2) The previous addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) contains a complete and accurate reporting of the environmental impacts associated with the Project; and

(3) The previous addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) was completed in compliance with CEQA and the Guidelines promulgated thereunder, and the City of Ontario Local CEQA Guidelines; and

(4) The previous addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) reflects the independent judgment of the Planning Commission; and

(5) The proposed project will introduce no new significant environmental impacts beyond those previously analyzed in the previous addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009), and all mitigation measures previously adopted with the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009), are incorporated herein by this reference.

SECTION 2: *Subsequent or Supplemental Environmental Review Not Required.* Based on the information presented to the DAB, and the specific findings set forth in Section 1, above, the DAB finds

that the preparation of a subsequent or supplemental addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) is not required for the Project, as the Project:

(1) Does not constitute substantial changes to the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) that will require major revisions to the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and

(2) Does not constitute substantial changes with respect to the circumstances under which the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) was prepared, that will require major revisions to the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) due to the involvement of new significant environmental effects or a substantial increase in the severity of the previously identified significant effects; and

(3) Does not contain new information of substantial importance that was not known and could not have been known with the exercise of reasonable diligence at the time the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) was certified/adopted, that shows any of the following:

(a) The project will have one or more significant effects not discussed in the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009); or

(b) Significant effects previously examined will be substantially more severe than shown in the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009); or

(c) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the Project, but the City declined to adopt such measures; or

(d) Mitigation measures or alternatives considerably different from those analyzed in the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) would substantially reduce one or more significant effects on the environment, but which the City declined to adopt.

SECTION 3: *Housing Element Compliance.* Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the recommending body for the Project, the DAB finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan. The project site is one of the properties listed in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix, and the proposed project is consistent with the number of dwelling units (75) and density (6.90 DU/AC) specified in the Available Land Inventory.

SECTION 4: *Ontario International Airport Land Use Compatibility Plan ("ALUCP") Compliance.* The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land use Compatibility Plan ("ALUCP"), establishing the Airport Influence Area for Ontario International Airport ("ONT"), which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the recommending body for the Project, the DAB has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP

Map 2-5). As a result, the DAB, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

SECTION 5: Concluding Facts and Reasons. Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the specific findings set forth in Sections 1 through 4, above, the DAB hereby concludes as follows:

(1) **The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.** The proposed Project is located within the Low Density Residential land use district of the Policy Plan Land Use Map, and the Conventional Small Lot Residential (Planning Area 24) land use district of the Subarea 29 Specific Plan. The development standards and conditions under which the proposed Project will be constructed and maintained, is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan. The Development Plan has been required to comply with all provisions of Conventional Small Lot Residential Product Residential Development Standards of the Subarea 29 Specific Plan. Future neighborhoods within the Subarea 29 Specific Plan and surrounding area will provide for diverse housing and highly amenitized neighborhoods that will be compatible in design, scale and massing to the proposed development; and

(2) **The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located.** The Project has been designed consistent with the requirements of the City of Ontario Development Code and the Conventional Small Lot Residential (Planning Area 24) land use district of the Subarea 29 Specific Plan, including standards relative to the particular land use proposed (single-family residential), as-well-as building intensity, building and parking setbacks, building height, number of off-street parking and loading spaces, on-site and off-site landscaping, and fences, walls and obstructions. The Project has been designed consistent with the requirements of the Subarea 29 Specific Plan (Conventional Small Lot Residential Product) land use designations, including standards relative to the particular land use proposed (conventional single-family residential product), as well as building intensity, building and parking setbacks, building height, number of off-street parking spaces, on-site and off-site landscaping, and fences, walls and obstructions; and

(3) **The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed project.** The Development Advisory Board has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the Subarea 29 Specific Plan are maintained; [ii] the project will not endanger the public health, safety or general welfare; [iii] the project will not result in any significant environmental impacts; [iv] the project will be in harmony with the area in which it is located; and [v] the project will be in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan, and the Subarea 29 Specific Plan. Additionally, the environmental impacts of this project were previously reviewed in conjunction with the Subarea 29 Specific Plan Environmental Impact Report (SCH#2004011009). This application is consistent with the previously adopted EIR and introduces no new significant environmental impacts; and

(4) **The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.** The proposed Project has been reviewed for consistency with the general development standards and guidelines of the Subarea 29 Specific Plan that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of off-street parking, design and landscaping, on-site landscaping, and fences and walls, as-well-as those development standards and guidelines specifically related to the particular land use being proposed (conventional single-

family residential). As a result of this review, the Development Advisory Board has determined that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the development standards and guidelines described in the Subarea 29 Specific Plan. Additionally, the Development Plan complies with all provisions of Conventional Small Lot Residential Product Development Standards of the Subarea 29 Specific Plan.

SECTION 6: *Development Advisory Board Action.* Based on the findings and conclusions set forth in Sections 1 through 5, above, the DAB hereby recommends the Planning Commission APPROVES the Application subject to each and every condition set forth in the Department reports included as Attachment 1 of this Decision, and incorporated herein by this reference.

SECTION 7: *Indemnification.* The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

SECTION 8: *Custodian of Records.* The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

APPROVED AND ADOPTED this 18th day of September 2017.

Development Advisory Board Chairman

Exhibit A—PROJECT LOCATION MAP

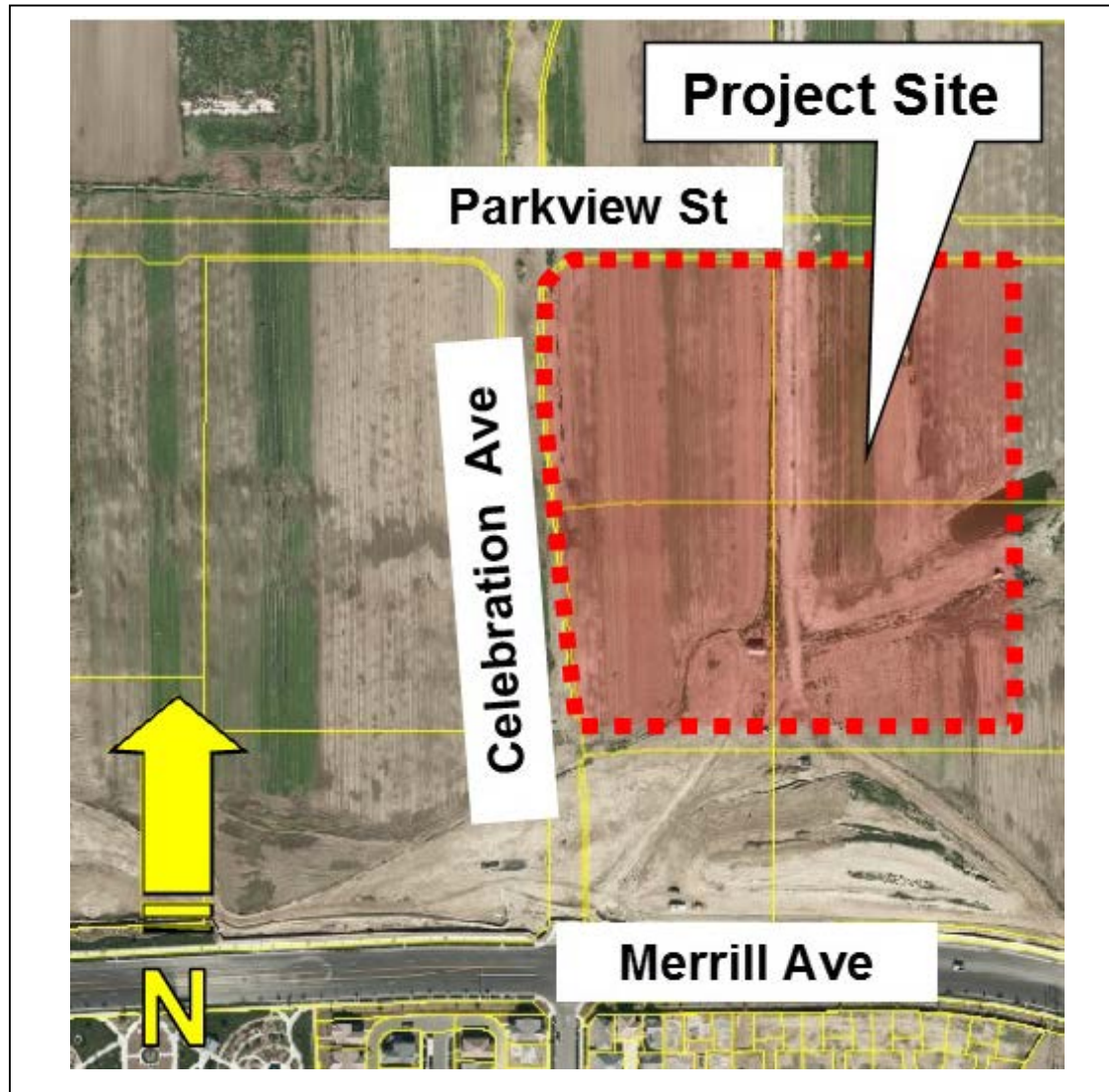


Exhibit B—SITE PLAN

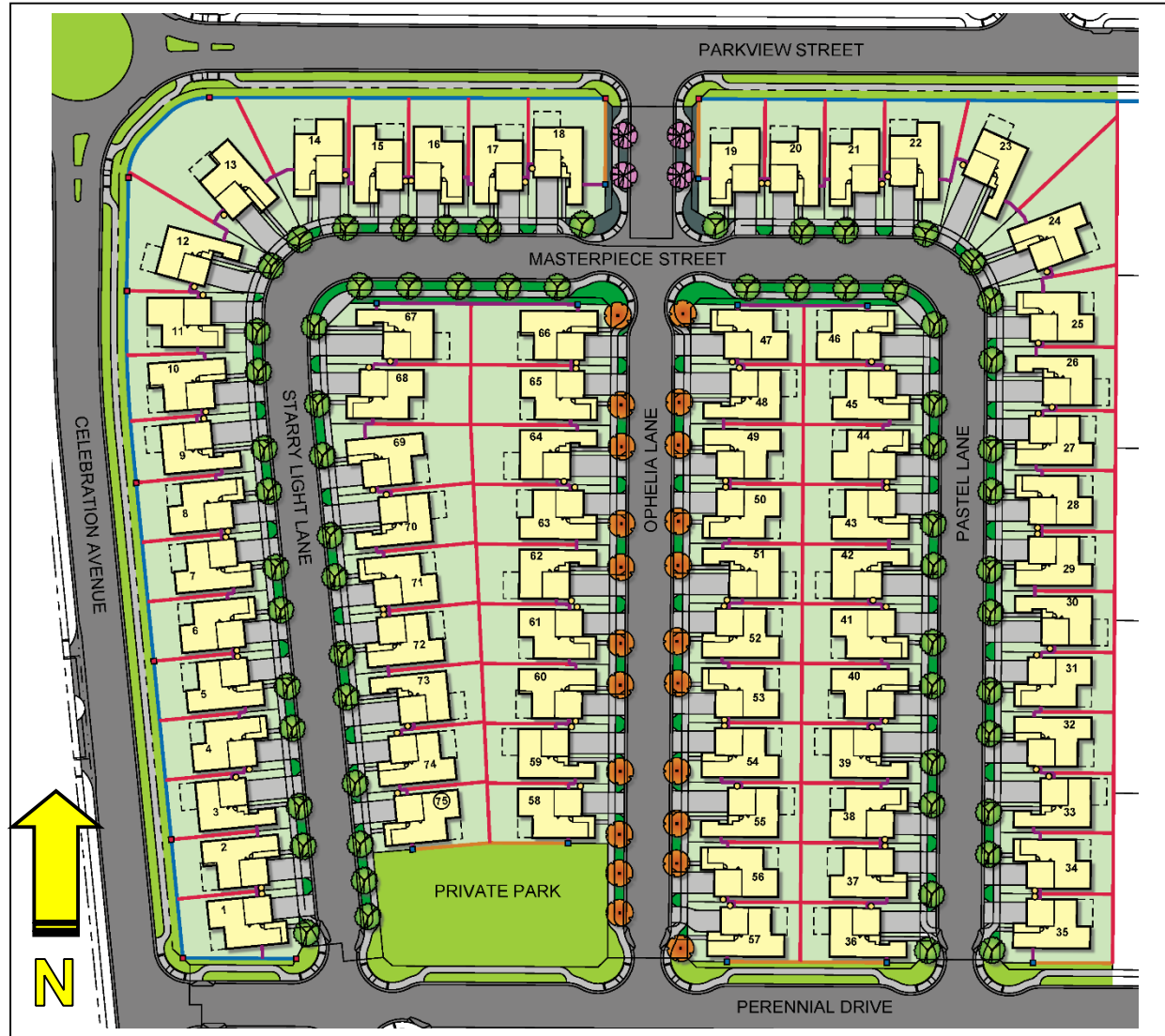


Exhibit C—FLOOR PLAN AND EXTERIOR ELEVATIONS – PLAN 1

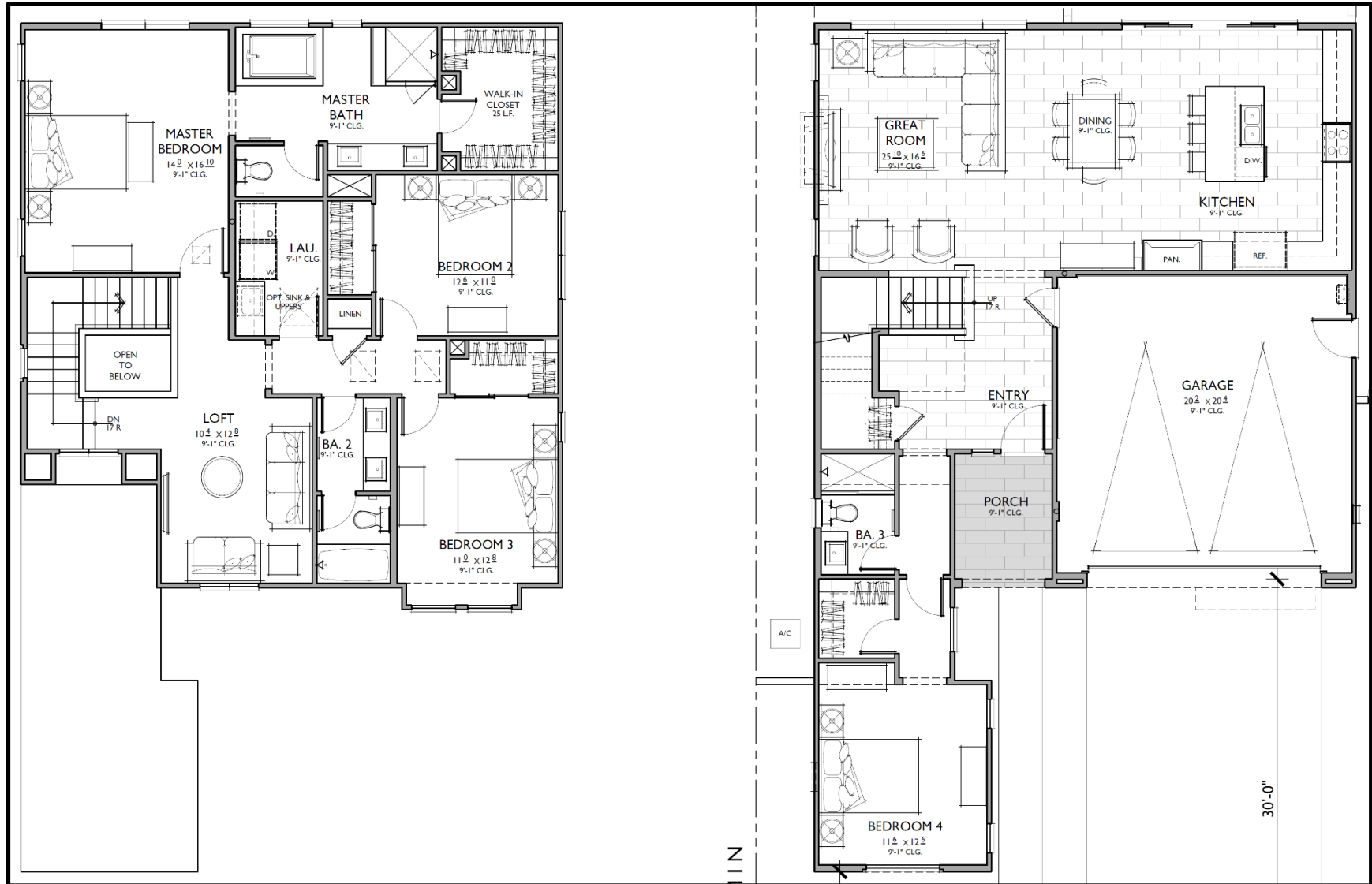


Exhibit C—FLOOR PLAN AND EXTERIOR ELEVATIONS – PLAN 1



Exhibit C—FLOOR PLAN AND EXTERIOR ELEVATIONS – PLAN 2

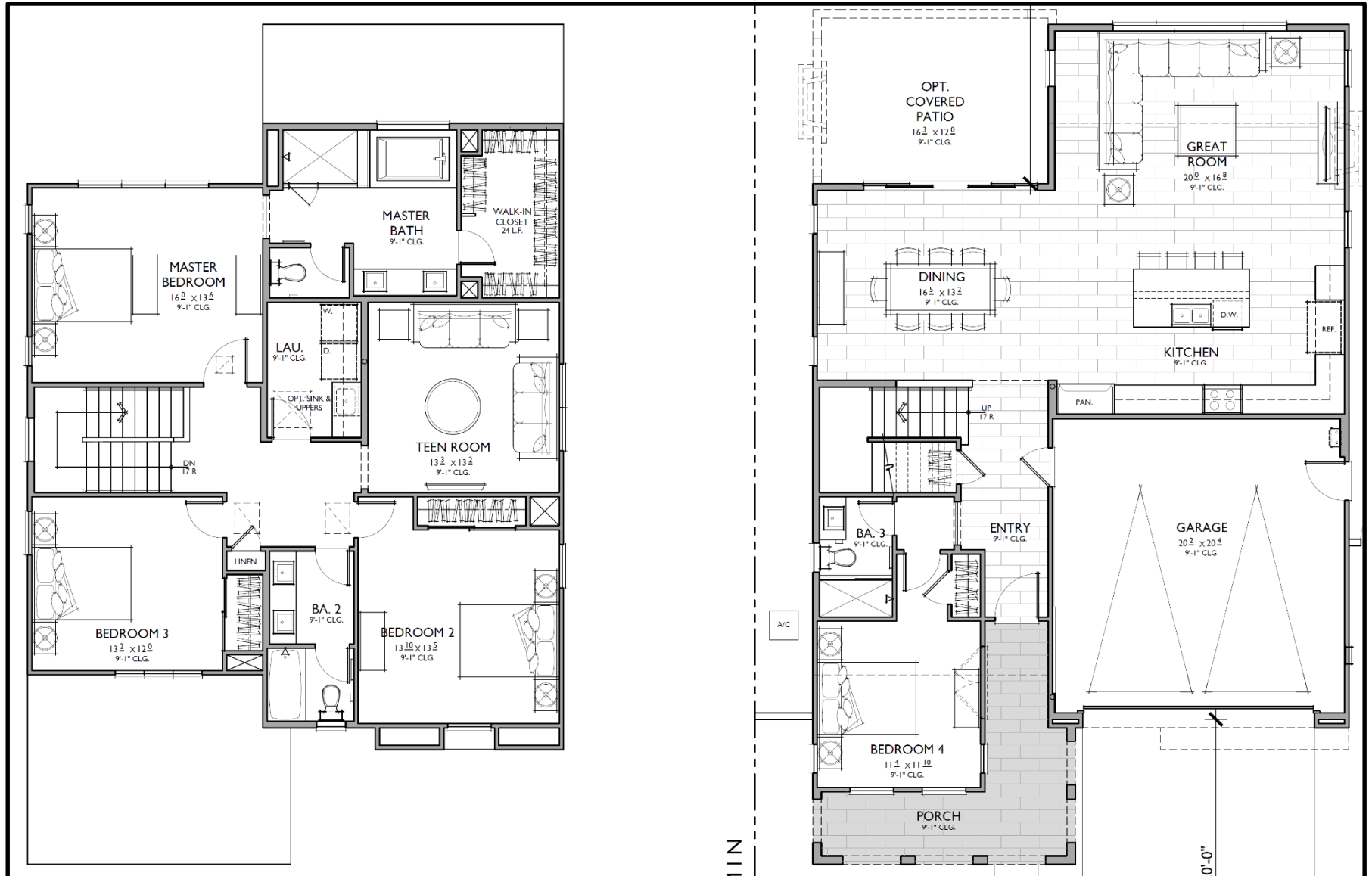


Exhibit C—FLOOR PLAN AND EXTERIOR ELEVATIONS – PLAN 2



Exhibit C—FLOOR PLAN AND EXTERIOR ELEVATIONS – PLAN 3

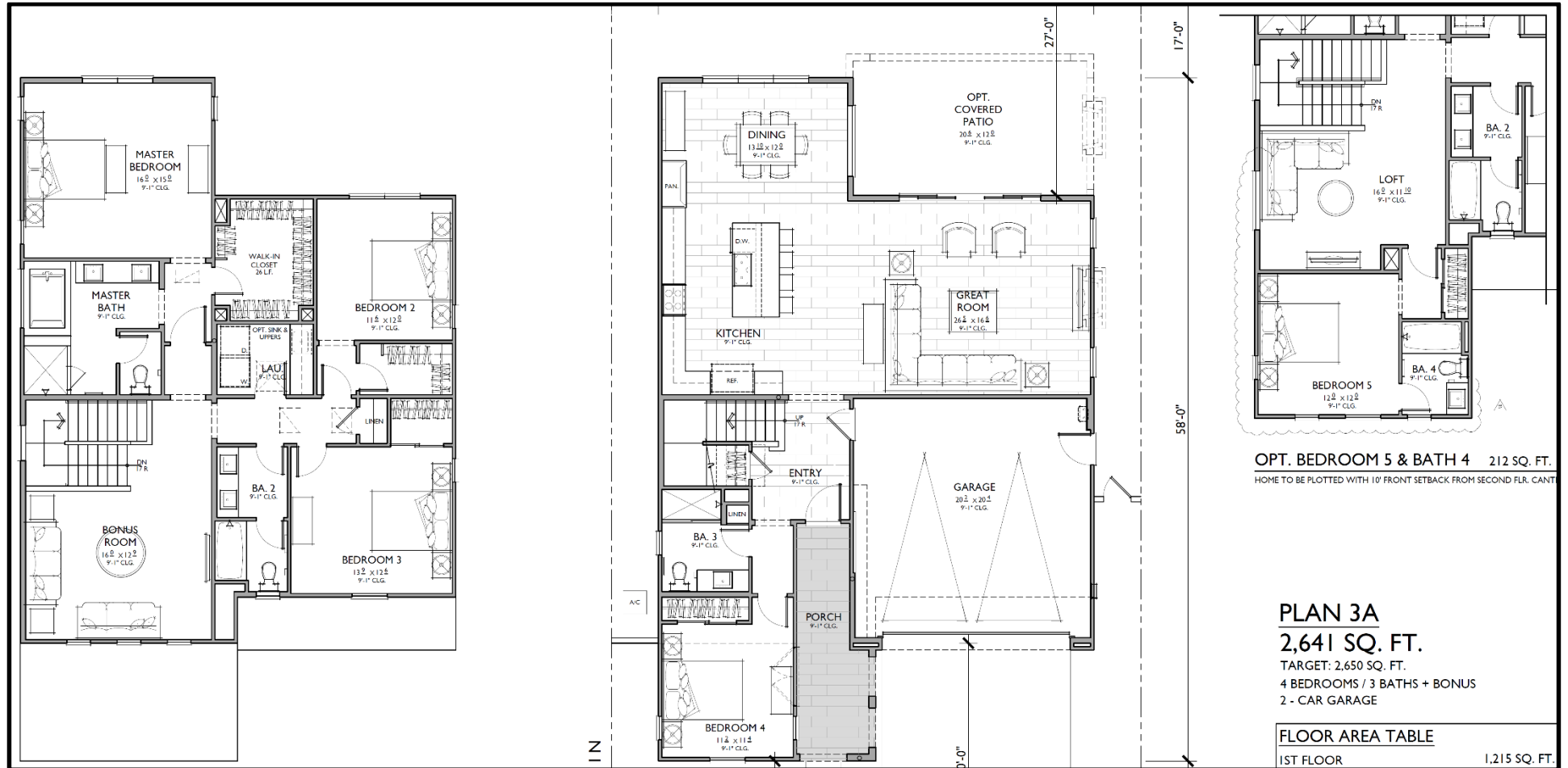


Exhibit C—FLOOR PLAN AND EXTERIOR ELEVATIONS – PLAN 3



Attachment 1—Departmental Conditions of Approval

(Departmental conditions of approval follow this page)



City of Ontario
Planning Department
303 East B Street
Ontario, California 91764
Phone: 909.395.2036
Fax: 909.395.2420

Planning Department Land Development Division Conditions of Approval

Meeting Date: September 18, 2017

File No: PDEV17-023

Related Files: PMTT14-017/TT18073

Project Description: A Development Plan (File No. PDEV17-023) approval to construct 75 single-family residential dwellings on 10.87 acres of land located within the Conventional Small Lot Residential district of Planning Area 24 of the Subarea 29 Specific Plan, located at the southeast corner of Celebration Avenue and Parkview Street. (APNs: 0218-033-01, 0218-033-02, 0218-033-03(POR) & 0218-033-04(POR)); **submitted by The New Home Company Southern California, LLC.**

Prepared By: Henry K. Noh, Senior Planner
Phone: 909.395.2429 (direct)
Email: hnoh@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

1.0 Standard Conditions of Approval. The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

2.0 Special Conditions of Approval. In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

2.1 Time Limits.

(a) Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

2.2 General Requirements. The Project shall comply with the following general requirements:

(a) All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

(b) The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

(c) The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

2.3 Landscaping.

(a) The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

(b) Comply with the conditions of approval of the Planning Department; Landscape Planning Division.

(c) Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

(d) Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

2.4 Walls and Fences. All Project walls and fences shall comply with the requirements of the Subarea 29 Specific Plan and Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

2.5 Parking, Circulation and Access.

(a) The Project shall comply with the applicable off-street parking, loading and lighting requirements of the Subarea 29 Specific Plan and City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

(b) Areas provided to meet the City's parking requirements, including off-street parking and loading spaces, access drives, and maneuvering areas, shall not be used for the outdoor storage of materials and equipment, nor shall it be used for any other purpose than parking.

2.6 Site Lighting.

(a) Unless intended as part of a master lighting program, no operation, activity, or lighting fixture shall create illumination on any adjacent property.

2.7 Mechanical and Rooftop Equipment.

(a) All exterior roof-mounted mechanical, heating and air conditioning equipment, and all appurtenances thereto, shall be completely screened from public view by parapet walls or roof screens that are architecturally treated so as to be consistent with the building architecture.

(b) All ground-mounted utility equipment and structures, such as tanks, transformers, HVAC equipment, and backflow prevention devices, shall be located out of view from a public street, or adequately screened through the use of landscaping and/or decorative low garden walls.

2.8 Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

2.9 Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noised levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

2.10 Covenants, Conditions and Restrictions (CC&Rs)/Mutual Access and Maintenance Agreements.

(a) CC&Rs shall be prepared for the Project and shall be recorded prior to the issuance of a building permit.

(b) The CC&Rs shall be in a form and contain provisions satisfactory to the City. The articles of incorporation for the property owners association and the CC&Rs shall be reviewed and approved by the City.

(c) CC&Rs shall ensure reciprocal parking and access between parcels, and common maintenance of:

- (i) Landscaping and irrigation systems within common areas;
- (ii) Landscaping and irrigation systems within parkways adjacent to the project site, including that portion of any public highway right-of-way between the property line or right-of-way boundary line and the curb line and also the area enclosed within the curb lines of a median divider (Ontario Municipal Code Section 7-3.03), pursuant to Ontario Municipal Code Section 5-22-02;
- (iii) Shared parking facilities and access drives; and
- (iv) Utility and drainage easements.

(d) CC&Rs shall include authorization for the City's local law enforcement officers to enforce City and State traffic and penal codes within the project area.

(e) The CC&Rs shall grant the City of Ontario the right of enforcement of the CC&R provisions.

(f) A specific methodology/procedure shall be established within the CC&Rs for enforcement of its provisions by the City of Ontario, if adequate maintenance of the development does not occur, such as, but not limited to, provisions that would grant the City the right of access to correct maintenance issues and assess the property owners association for all costs incurred.

2.11 Disclosure Statements.

(a) A copy of the Public Report from the Department of Real Estate, prepared for the subdivision pursuant to Business and Professions Code Section 11000 et seq., shall be provided to each prospective buyer of the residential units and shall include a statement to the effect that:

- (i) This tract is subject to noise from the Ontario International Airport and may be more severely impacted in the future.
- (ii) Some of the property adjacent to this tract is zoned for agricultural uses and there could be fly, odor, or related problems due to the proximity of animals.
- (iii) The area south of Riverside Drive lies within the San Bernardino County Agricultural Preserve. Dairies currently existing in that area are likely to remain for the foreseeable future.
- (iv) This tract is part of a Landscape Maintenance District. The homeowner(s) will be assessed through their property taxes for the continuing maintenance of the district.

2.12 Environmental Review.

(a) The environmental impacts of this project were previously reviewed in conjunction with File No. PSPA14-002, a(n) Amendment to the Subarea 29 Specific Plan for which a(n) addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) was adopted by the City Council on April 21, 2015. This application introduces no new significant environmental impacts. The City's "Guidelines for the

Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed. The previously adopted mitigation measures shall be a condition of project approval, and are incorporated herein by this reference.

(b) If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

(c) If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

2.13 Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

2.14 Additional Fees.

(a) Within 5 days following final application approval, the Notice of Determination (NOD) filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act (CEQA). Failure to provide said fee within the time specified may result in a 180-day extension to the statute of limitations for the filing of a CEQA lawsuit.

(b) After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

2.15 Additional Requirements.

(a) Off-Site Subdivision Signs.

The City Council has authorized the Baldy View Chapter of the Building Industry Association to manage a standardized off-site directional sign program on a non-profit basis. The program uses uniform sign structures and individual identification and directional signs for residential development. **No other off-site signing is authorized.** (For additional information, contact the Baldy View Chapter BIA at (909) 945-1884.

(b) The applicant shall contact the Ontario Post Office to determine the size and location of mailboxes for this project. The location of the mailboxes shall be submitted to the Planning Department for review and approval prior to the issuance of building permits.

(c) The applicant (Developer) shall be responsible for providing fiber to each home per City requirements and standards.

(d) Dairy Separation Requirement for Residential Development.

The following separation requirements from existing dairies/feed lots shall apply to new residential development or structures used for public assembly purposes from existing dairies/feed lots.

A minimum 100' separation shall be required between a new residential, commercial or industrial development or structure used for public assembly and an existing animal feed trough, corral/pen or an existing dairy/feed lot including manure stockpiles and related wastewater detention basins. The 100-foot separation requirement may be satisfied by an off-site easement acceptable to the Planning Director with adjacent properties, submitted with the initial final map and recorded prior to or concurrent with the final map.

(e) All applicable conditions of approval of Development Agreement (File No. PDA13-003) shall apply to this tract.

(f) All applicable conditions of approval of the Subarea 29 Specific Plan shall apply to this tract.

(g) All applicable conditions of approval of the "B" Map TT 18073 (File No. PMTT14-017) shall apply to this Development Plan.

(h) The Private Park (Lot A) shall be constructed prior to the issuance of the certificate of occupancy of the 37th home.

(i) The Ontario Climate Action Plan (CAP) requires new development to be 25% more efficient. The applicant has elected to utilize the Screening Tables provided in the CAP instead of preparing separate emissions calculations. By electing to utilize the Screening Tables the applicant shall be required to garner a minimum 100 points to be consistent with the reduction quantities outlined in the CAP. The applicant shall identify on the construction plans the items identified in the attached residential Screening Tables.



CITY OF ONTARIO MEMORANDUM

ENGINEERING DEPARTMENT CONDITIONS OF APPROVAL

(Traffic/Transportation Division and Municipal Utilities Agency, and Environmental Section Conditions incorporated)

DATE: June 8, 2017

PROJECT PLANNER: Henry Noh, Senior Planner

PROJECT: PDEV17-023 – A Development Plan to construct 75 single family homes on 10.87 acres within Planning Area 24 of the Subarea 29 Specific Plan (Reference File : TM 18073-PMTT14-017)

APN: 0218-033-01, 02, 03 and 04


LOCATION: SEC of Celebration Avenue and Parkview Street

PROJECT ENGINEER: Manoj Hariya, P.E, Sr. Associate Civil Engineer

The following items are the Conditions of Approval for the subject project:

1. The applicant/developer shall be responsible to complete all applicable conditions as specified in the Conditions of Approval for TM18073, TM18913-2 and Development Agreement between SL Ontario Development Company LLC and City of Ontario for Subarea 29 (Park Place) Specific Plan.
2. The applicant/developer shall provide fiber optic connection to each home per City Standards and guidelines.
3. Prior to Building Permits: Any changes to the already approved Engineering Report (ER), including landscaping plans, due to the proposed re-lotting, shall be amended with City and State. Please coordinate with Cynthia Heredia-Torres 909-395-2647, ctorres@ontarioca.gov to confirm immediately.

M. B. Hariya 06/12/17
Manoj Hariya , P.E. Date
Senior Associate Civil Engineer

 6/12/17
Khoi Do, P.E. Date
Assistant City Engineer



CITY OF ONTARIO

MEMORANDUM

TO: Henry Noh, Senior Planner
Planning Department

FROM: Lora L. Gearhart, Fire Protection Analyst
Fire Department

DATE: June 29, 2017

SUBJECT: PDEV17-023 – A Development Plan to construct 75 traditional single-family dwellings on 10.87 acres of land located within Planning Area 24 (Traditional Small Lot Product) of the Subarea 29 Specific Plan, located at the southeast corner of Celebration Avenue and Parkview Street (APNs: 0218-033-01, 0218-033-02, 0218-033-03 & 0218-033-04).

-
- The plan **does** adequately address Fire Department requirements at this time.
- No comments.
- Standard Conditions of Approval apply, as stated below.
-

SITE AND BUILDING FEATURES:

- A. 2013 CBC Type of Construction: Type V-B wood frame
- B. Type of Roof Materials: non-rated
- C. Ground Floor Area(s): Various
- D. Number of Stories: Two Story
- E. Total Square Footage: Various
- F. 2013 CBC Occupancy Classification(s): R-3, U

CONDITIONS OF APPROVAL:

1.0 GENERAL

- 1.1 The following are the Ontario Fire Department (“Fire Department”) requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards (“Standards.”) It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at www.ontarioca.gov, click on “Fire Department” and then on “Standards and Forms.”
- 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

2.0 FIRE DEPARTMENT ACCESS

- 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty (20) ft. wide. See Standard #B-004.
- 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25’) inside and forty-five feet (45’) outside turning radius per Standard #B-005.
- 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150’) in length shall have an approved turn-around per Standard #B-002.

3.0 WATER SUPPLY

- 3.1 The required fire flow per Fire Department standards, based on the 2016 California Fire Code, Appendix B, is 1500 gallons per minute (g.p.m.) for 2 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.
- 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300’) apart, per Engineering Department specifications.
- 3.4 The public water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

4.0 FIRE PROTECTION SYSTEMS

- 4.3 An automatic fire sprinkler system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 13 D. All new fire sprinkler systems, except those in single family dwellings, which contain twenty (20) sprinkler heads or more shall be monitored by an approved listed supervising station. An application along with

detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.

5.0 BUILDING CONSTRUCTION FEATURES

- 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.
- 5.3 Single station smoke alarms and carbon monoxide alarms are required to be installed per the California Building Code and the California Fire Code.
- 5.5 All residential chimneys shall be equipped with an approved spark arrester meeting the requirements of the California Building Code.



CITY OF ONTARIO
MEMORANDUM

TO: Hassan Haghani, Development Director
Scott Murphy, Planning Director (Copy of memo only)
Cathy Wahlstrom, Principal Planner (Copy of memo only)
Charity Hernandez, Economic Development
Kevin Shear, Building Official
Khoi Do, Assistant City Engineer
Carolyn Bell, Landscape Planning Division
Sheldon Yu, Municipal Utility Company
Doug Sorel, Police Department
Paul Ehrman, Deputy Fire Chief/Fire Marshal
Jay Bautista, T. E., Traffic/Transportation Manager
Lorena Mejia, Senior Planner
Steve Wilson, Engineering/NPDES
Bob Gluck, Code Enforcement Director
Jimmy Chang , IT Department
David Simpson , Development/IT (Copy of memo only)

FROM: Henry Noh, Senior Planner

DATE: July 18, 2017

REVISION NO. 1

SUBJECT: FILE #: PDEV17-023

Finance Acct#:

The following project has been resubmitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Tuesday, August 1, 2017**.

PROJECT DESCRIPTION: A Development Plan to construct 75 traditional single-family dwellings on 10.87 acres of land located within Planning Area 24 (Traditional Small Lot Product) of the Subarea 29 Specific Plan, located at the southeast corner of Celebration Avenue and Parkview Street (APNs: 0218-033-01, 0218-033-02, 0218-033-03 & 0218-033-04).

- The plan does adequately address the departmental concerns at this time.
- No comments
 - See previous report for Conditions
 - Report attached (1 copy and email 1 copy)
 - Standard Conditions of Approval apply
- The plan does not adequately address the departmental concerns.
- The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

Landscape Planning Carolyn Bell Sr Landscape Architect
Department Signature Title Date 8/18/17

CITY OF ONTARIO
LANDSCAPE PLANNING DIVISION
 303 East "B" Street, Ontario, CA 91764

PRELIMINARY PLAN CORRECTIONS

Sign Off

Carolyn Bell
 Carolyn Bell, Sr. Landscape Planner

8/7/17
 Date

Reviewer's Name: **Carolyn Bell, Sr. Landscape Planner** Phone: **(909) 395-2237**

D.A.B. File No.: **PDEV17-023** Case Planner: **Henry Noh**

Project Name and Location:
Park Place Planning Area 24 TM 18073
SEC Celebration ave and Park View St

Applicant/Representative:
BMLA landscape Architects
310 N Joy St.
Corona, CA 92879

- A Preliminary Landscape Plan (dated 7/17/17) meets the Standard Conditions for New Development and has been approved with the consideration that the following conditions below be met upon submittal of the landscape construction documents.**
- A Preliminary Landscape Plan (dated) has not been approved. Corrections noted below are required prior to Preliminary Landscape Plan approval.**

CORRECTIONS REQUIRED

Landscape Plans

1. Landscape plans for the private parks: **Remove separation between park and HOA landscape at corners and parkways; all HOA maintained and same irrigation system. Note dripline irrigation including turf grass areas. Add canopy tree types such as Quercus agrifolia, Q. Virginia, Pistache, Pinus canariensis, Podocarpus gracilior.**
 18073 - Add 2 more large trees in NE and NW corners;
 18074 – Add play equipment where space allows in playground area
 18998 - Move tree in NW corner toward middle of planter to match SW corner.
2. **Coordinate with the civil to include light standards, fire hydrants, water and sewer lines to not conflict with required tree locations 30' oc and 25' from BCR.**
3. **Show street trees and front yard trees on the overall concept landscape plan. Show utilities on landscape plans to ensure front yard trees occur where street trees are limited. Limit or avoid turf grass in single family homes. Not completed**
4. **Change street trees to fit the smaller lot sizes, for example: Koelreuteria paniculata, Quercus virginiana 'Heritage', Eucalyptus nicholii, Ulmus p. 'True Green'. Change Cercis to small front yard tree instead of street tree.**
5. **Plant Palettes: use appropriate size trees for the small front yards: Camphor, Cedrus or Platanus are too large for 6' planter areas, 3' from a wall.**
6. **Change Prunus cerasifera – short lived and disease prone.**
7. **Change rotary nozzles for all subsurface drip line, including turf parkways. Note 2" cover of soil.**
8. **After a project's entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council. Invoice # 212973 \$2604.00**

Landscape construction plans with building permit number for plan check may be emailed to:
landscapeplancheck@ontarioca.gov



CITY OF ONTARIO

MEMORANDUM

TO: "Vacant", Development Director
Scott Murphy, Planning Director (Copy of memo only)
Cathy Wahlstrom, Principal Planner (Copy of memo only)
Charity Hernandez, Economic Development
Kevin Shear, Building Official
Khoi Do, Assistant City Engineer
Carolyn Bell, Landscape Planning Division
Sheldon Yu, Municipal Utility Company
Doug Sorel, Police Department
Art Andres, Deputy Fire Chief/Fire Marshal
Tom Danna, T. E., Traffic/Transportation Manager
Lorena Mejia, Associate Planner, Airport Planning
Steve Wilson, Engineering/NPDES
Bob Gluck, Code Enforcement Director
Jimmy Chang , IT Department
David Simpson, Development/IT (Copy of memo only)

FROM: Henry Noh, Senior Planner

DATE: June 05, 2017

SUBJECT: FILE #: PDEV17-023

Finance Acct#:

The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Monday, June 19, 2017**.

- Note:**
- Only DAB action is required
 - Both DAB and Planning Commission actions are required
 - Only Planning Commission action is required
 - DAB, Planning Commission and City Council actions are required
 - Only Zoning Administrator action is required

PROJECT DESCRIPTION: A Development Plan to construct 75 conventional single-family homes on 10.87 acres of land located within Planning Area 24 (Conventional Small Lot Residential Product) of the Subarea 29 Specific Plan, located at the southeast corner of Celebration Avenue and Parkview Street. APN's:0218-033-01, 02, 03 and 04.

- The plan does adequately address the departmental concerns at this time.
 - No comments
 - Report attached (1 copy and email 1 copy)
 - Standard Conditions of Approval apply
- The plan does not adequately address the departmental concerns.
 - The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

Airport Planner Lorena Mejia Senior Planner 7/10/17
Department Signature Title Date

AIRPORT LAND USE COMPATIBILITY PLANNING

CONSISTENCY DETERMINATION REPORT



Project File No.: PDEV17-023
 Address: SEC of Celebration Avenue & Parkview Street
 APN: 0218-033-01, 02, 03 and 04
 Existing Land Use: Vacant
 Proposed Land Use: 75 Single Family Residential Units
 Site Acreage: 10.87 acres Proposed Structure Height: 29 ft
 ONT-IAC Project Review: n/a
 Airport Influence Area: ONT Airport

Reviewed By: Lorena Mejia
 Contact Info: 909-395-2276
 Project Planner: Henry Noh
 Date: 7/10/17
 CD No.: 2017-040
 PALU No.: n/a

The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input type="radio"/> High Terrain Zone	<input type="radio"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input type="radio"/> FAA Notification Surfaces	<input type="radio"/> Recorded Overflight Notification
<input type="radio"/> Zone 2	<input type="radio"/> 65 - 70 dB CNEL	<input type="radio"/> Airspace Obstruction Surfaces	<input checked="" type="checkbox"/> Real Estate Transaction Disclosure
<input type="radio"/> Zone 3	<input type="radio"/> 60 - 65 dB CNEL	<input type="radio"/> Airspace Avigation Easement Area	
<input type="radio"/> Zone 4		Allowable Height: 200 ft plus	
<input type="radio"/> Zone 5			

The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1
 Zone 2
 Zone 3
 Zone 4
 Zone 5
 Zone 6
 Allowable Height: _____

CONSISTENCY DETERMINATION

This proposed Project is: Exempt from the ALUCP
 Consistent
 Consistent with Conditions
 Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT, provided the following condition is met:

Airport Planner Signature: _____

AIRPORT LAND USE COMPATIBILITY PLANNING

CONSISTENCY DETERMINATION REPORT

CD No.: 2017-040

PALU No.: n/a

PROJECT CONDITIONS

The applicant is required to meet the Real Estate Transaction Disclosure in accordance with California Codes (Business and Professions Code Section 11010-11024). New residential subdivisions within an Airport Influence Area are required to file an application for a Public Report consisting of a Notice of Intention (NOI) and a completed questionnaire with the Department of Real Estate and include the following language within the NOI:

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you.



CITY OF ONTARIO MEMORANDUM

TO: "Vacant", Development Director
 Scott Murphy, Planning Director (Copy of memo only)
 Cathy Wahlstrom, Principal Planner (Copy of memo only)
 Charity Hernandez, Economic Development
Kevin Shear, Building Official
 Khoi Do, Assistant City Engineer
 Carolyn Bell, Landscape Planning Division
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 Art Andres, Deputy Fire Chief/Fire Marshal
 Tom Danna, T. E., Traffic/Transportation Manager
 Lorena Mejia, Associate Planner, Airport Planning
 Steve Wilson, Engineering/NPDES
 Bob Gluck, Code Enforcement Director
 Jimmy Chang , IT Department
 David Simpson, Development/IT (Copy of memo only)

FROM: Henry Noh, Senior Planner

DATE: June 05, 2017

SUBJECT: FILE #: PDEV17-023

Finance Acct#:



The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Monday, June 19, 2017**.

- Note:**
- Only DAB action is required
 - Both DAB and Planning Commission actions are required
 - Only Planning Commission action is required
 - DAB, Planning Commission and City Council actions are required
 - Only Zoning Administrator action is required

PROJECT DESCRIPTION: A Development Plan to construct 75 conventional single-family homes on 10.87 acres of land located within Planning Area 24 (Conventional Small Lot Residential Product) of the Subarea 29 Specific Plan, located at the southeast corner of Celebration Avenue and Parkview Street. APN's: 0218-033-01, 02, 03 and 04.

The plan does adequately address the departmental concerns at this time.

- No comments
- Report attached (1 copy and email 1 copy)
- Standard Conditions of Approval apply

The plan does not adequately address the departmental concerns.

- The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

Building
Department

Signature

Title

Date

CITY OF ONTARIO

MEMORANDUM

TO: PLANNING DEPARTMENT, Henry Noh
FROM: BUILDING DEPARTMENT, Kevin Shear
DATE: June 6, 2017
SUBJECT: PDEV17-023

-
- The plan **does** adequately address the departmental concerns at this time.
 No comments
 Report below.

Conditions of Approval

1. Standard Conditions of Approval apply.

KS:lm





CITY OF ONTARIO

MEMORANDUM

TO: "Vacant", Development Director
Scott Murphy, Planning Director (Copy of memo only)
Cathy Wahlstrom, Principal Planner (Copy of memo only)
Charity Hernandez, Economic Development
Kevin Shear, Building Official
Khoi Do, Assistant City Engineer
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Steve Wilson, Engineering/NPDES
Bob Gluck, Code Enforcement Director
Jimmy Chang , IT Department
David Simpson, Development/IT (Copy of memo only)

FROM: Henry Noh, Senior Planner

DATE: June 05, 2017

SUBJECT: FILE #: PDEV17-023

Finance Acct#:

The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Monday, June 19, 2017**.

- Note:
- Only DAB action is required
 - Both DAB and Planning Commission actions are required
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 - DAB, Planning Commission and City Council actions are required
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PROJECT DESCRIPTION: A Development Plan to construct 75 conventional single-family homes on 10.87 acres of land located within Planning Area 24 (Conventional Small Lot Residential Product) of the Subarea 29 Specific Plan, located at the southeast corner of Celebration Avenue and Parkview Street. APN's:0218-033-01, 02, 03 and 04.

- The plan does adequately address the departmental concerns at this time.
 - No comments
 - Report attached (1 copy and email 1 copy)
 - Standard Conditions of Approval apply
- The plan does not adequately address the departmental concerns.
 - The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

Police
Department

Douglas Sorel
Signature

MANAGEMENT ANALYST
Title

6-26-17
Date

TOP-Zoning Consistency Determination



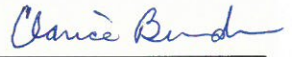
File No.: PDEV17-023

Prepared By:
Clarice Burden

Location: Planning Area 24 of the Subarea 29 Specific Plan

Date:
6/19/17 (rev)

Project Description:
A Development Plan to construct 75 traditional single-family dwellings on 10.87 acres of land located within Planning Area 24 of the Subarea 29 Specific Plan, located at the southeast corner of Celebration Avenue and Parkview Street (APNs: 0218-033-01, 0218-033-02, 0218-033-03 & 0218-033-04).

Signature:


This project has been reviewed for consistency with The Ontario Plan Zoning Consistency project. The following was found:

- The existing TOP land use designation of the property is: **Low Density Residential (2.1-5 du/ac)**
The existing zoning of the property is: **Conventional Small Lot, Subarea 29 SP (5-9 du/ac) PA24**
- A change to the TOP land use designation has been proposed which would change the land use designation of the property to:
This proposed TOP land use change will:
 - Make the existing zoning of the property consistent with the proposed General Plan Amendment;
 - Make the proposed project consistent with The Ontario Plan.
- The zoning of the property will need to be changed in order to be consistent with The Ontario Plan. Through the TOP-Zoning Consistency effort, the zoning of the property is proposed to be changed to:
This proposed zone change will:
 - Make the zoning of the property consistent with The Ontario Plan;
 - Without the Zone Change described above, the proposed project is not consistent with The Ontario Plan. A finding of consistency with The Ontario Plan is required in order to approve this project.
- Additional Comments:
The density of the project, in conjunction with the balance of the Subarea 29 Specific Plan, falls within the allowed density of the General Plan. No changes in Specific Plan land use or General Plan are required.



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**Table 1: GHG Reduction Measures
 Screening Table for
 Residential Development**

Feature	Description	Assigned Point Values	Project Point Values
Reduction Measure PS E1: Residential Energy Efficiency			
Building Envelope			
Insulation	2008 Baseline (walls: R-13; roof/attic: R-30)	0	12
	Modestly Enhanced Insulation (walls: R-13; roof/attic: R-38)	⑫	
	Enhanced Insulation (rigid wall insulation: R-13; roof/attic: R-38)	15	
	Greatly Enhanced Insulation (spray foam wall insulated walls R-15 or higher, roof/attic R-38 or higher)	18	
Windows	2008 Baseline Windows (0.57 U-factor, 0.4 solar heat gain coefficient (SHGC))	0	7
	Modestly Enhanced Window Insulation (0.4 U-Factor, 0.32 SHGC)	6	
	Enhanced Window Insulation (0.32 U-Factor, 0.25 SHGC)	⑦	
	Greatly Enhanced Window Insulation (0.28 or less U-Factor, 0.22 or less SHGC)	9	
Cool Roof	Modest Cool Roof (CRRRC Rated 0.15 aged solar reflectance, 0.75 thermal emittance)	⑩	10
	Enhanced Cool Roof (CRRRC Rated 0.2 aged solar reflectance, 0.75 thermal emittance)	12	
	Greatly Enhanced Cool Roof (CRRRC Rated 0.35 aged solar reflectance, 0.75 thermal emittance)	14	
Air Infiltration	Minimizing leaks in the building envelope is as important as the insulation properties of the building. Insulation does not work effectively if there is excess air leakage.		10
	Air barrier applied to exterior walls, caulking, and visual inspection such as the HERS Verified Quality Insulation Installation (Q11 or equivalent)	⑩	
	Blower Door HERS Verified Envelope Leakage or equivalent	8	
Thermal Storage of Building	Thermal storage is a design characteristic that helps keep a constant temperature in the building. Common thermal storage devices include strategically placed water filled columns, water storage tanks, and thick masonry walls.		n/a
	Modest Thermal Mass (10% of floor or 10% of walls: 12" or more thick exposed concrete or masonry. No permanently installed floor covering such as carpet, linoleum, wood or other insulating materials)	2	
	Enhanced Thermal Mass (20% of floor or 20% of walls: 12" or more thick exposed concrete or masonry. No permanently installed floor covering such as carpet, linoleum, wood or other insulating materials)	4	
Heating/Cooling Distribution System	Minimum Duct Insulation (R-4.2 required)	0	19
	Modest Duct insulation (R-6)	⑦	
	Enhanced Duct Insulation (R-8)	8	
	Distribution loss reduction with inspection (HERS Verified Duct leakage or equivalent)	⑫	

(20141216)

Table 1: GHG Reduction Measures Screening Table for Residential Development

Feature	Description	Assigned Point Values	Project Point Values
Space Heating/ Cooling Equipment	2008 Minimum HVAC Efficiency (SEER 13/60% AFUE or 7.7 HSPF)	0	7
	Improved Efficiency HVAC (SEER 14/65% AFUE or 8 HSPF)	4	
	High Efficiency HVAC (SEER 15/72% AFUE or 8.5 HSPF)	7	
	Very High Efficiency HVAC (SEER 16/80% AFUE or 9 HSPF)	9	
Water Heaters	2008 Minimum Efficiency (0.57 Energy Factor)	0	18
	Improved Efficiency Water Heater (0.675 Energy Factor)	12	
	High Efficiency Water Heater (0.72 Energy Factor)	15	
	Very High Efficiency Water Heater (0.92 Energy factor)	18	
	Solar Pre-heat System (0.2 Net Solar Fraction)	4	
	Enhanced Solar Pre-heat System (0.35 Net Solar Fraction)	8	
Daylighting	Daylighting is the ability of each room within the building to provide outside light during the day, reducing the need for artificial lighting during daylight hours:	0	0
	▪ All peripheral rooms within the living space have at least one window (required)	1	
	▪ All rooms within the living space have daylight (through use of windows, solar tubes, skylights, etc.)	2	
	▪ All rooms daylighted		
Artificial Lighting	2008 Minimum (required)	0	12
	Efficient lights (25% of In-unit fixtures considered high efficacy. High efficacy is defined as 40 lumens/watt for 15 watt or less fixtures; 50 lumens/watt for 15 to 40 watt fixtures, 60 lumens/watt for fixtures >40watt)	8	
	High Efficiency lights (50% of in-unit fixtures are high efficacy)	10	
	Very High Efficiency Lights (100% of in-unit fixtures are high efficacy)	12	
Appliances	Energy Star Refrigerator (new)	1	1
	Energy Star Dish Washer (new)	1	
	Energy Star Washing Machine (new)	1	
Building Placement	North/South alignment of building or other building placement such that the orientation of the buildings optimizes natural heating, cooling, and lighting.	5	n/a
Shading	At least 90% of south-facing glazing will be shaded by vegetation or overhangs at noon on Jun 21st*	4	n/a
Energy Star Homes	EPA Energy Star for Homes (version 3 or above)	25	25
Independent Energy Efficiency Calculations	Provide point values based upon energy efficiency modeling of the Project. Note that engineering data will be required documenting the energy efficiency and point values based upon the proven efficiency beyond Title 24 Energy Efficiency Standards.	TBD	
Other	This allows innovation by the applicant to provide design features that increases the energy efficiency of the project not provided in the table. Note that engineering data will be required documenting the energy efficiency of innovative designs and point values given based upon the proven efficiency beyond Title 24 Energy Efficiency Standards.	TBD	

Table 1: GHG Reduction Measures Screening Table for Residential Development

Feature	Description	Assigned Point Values	Project Point Values
Existing Residential Retrofits	<p>The applicant may wish to provide energy efficiency retrofit projects to existing residential dwelling units to further the point value of their project. Retrofitting existing residential dwelling units within the City is a key reduction measure that is needed to reach the reduction goal. The potential for an applicant to take advantage of this program will be decided on a case by case basis and must have the approval of the Ontario Planning Department. The decision to allow applicants to participate in this program will be evaluated based upon, but not limited to, the following;</p> <ul style="list-style-type: none"> ▪ Will the energy efficiency retrofit project benefit low income or disadvantaged residents? ▪ Does the energy efficiency retrofit project fit within the overall assumptions in reduction measures associated with existing residential retrofits? ▪ Does the energy efficiency retrofit project provide co-benefits important to the City? ▪ Point value will be determined based upon engineering and design criteria of the energy efficiency retrofit project. 	TBD	n/a
Reduction Measure PS E2: Residential Renewable Energy Generation			
Photovoltaic	<p>Solar Photovoltaic panels installed on individual homes or in collective neighborhood arrangements, such that the total power provided augments:</p> <ul style="list-style-type: none"> ▪ Solar Ready Homes (sturdy roof and solar ready service panel) ▪ 10% of the power needs of the project ▪ 20% of the power needs of the project ▪ 30% of the power needs of the project ▪ 40% of the power needs of the project ▪ 50% of the power needs of the project ▪ 60% of the power needs of the project ▪ 70% of the power needs of the project ▪ 80% of the power needs of the project ▪ 90% of the power needs of the project ▪ 100% of the power needs of the project 	<p style="text-align: center;">②</p> <p>10 15 20 28 35 38 42 46 52 58</p>	2
Wind Turbines	<p>Some areas of the City lend themselves to wind turbine applications. Analysis of the area's capability to support wind turbines should be evaluated prior to choosing this feature.</p> <p>Individual wind turbines at homes or collective neighborhood arrangements of wind turbines such that the total power provided augments:</p> <ul style="list-style-type: none"> ▪ 10% of the power needs of the project ▪ 20% of the power needs of the project ▪ 30% of the power needs of the project ▪ 40% of the power needs of the project ▪ 50% of the power needs of the project ▪ 60% of the power needs of the project ▪ 70% of the power needs of the project ▪ 80% of the power needs of the project 	<p>10 15 20 28 35 38 42 46</p>	n/a

Table 1: GHG Reduction Measures Screening Table for Residential Development

Feature	Description	Assigned Point Values	Project Point Values
	<ul style="list-style-type: none"> ▪ 90% of the power needs of the project ▪ 100% of the power needs of the project 	52 58	
Off-Site Renewable Energy Project	The applicant may submit a proposal to supply an off-site renewable energy project, such as renewable energy retrofits of existing homes that will help implement renewable energy within the City. These off-site renewable energy retrofit project proposals will be determined on a case by case basis, and must be accompanied by a detailed plan that documents the quantity of renewable energy the proposal will generate. Point values will be determined, based upon the energy generated by the proposal.	TBD	n/a
Other Renewable Energy Generation	The applicant may have innovative designs or unique site circumstances (such as geothermal) that allow the project to generate electricity from renewable energy not provided in the table. The ability to supply other renewable energy, and the point values allowed, will be decided based upon engineering data documenting the ability to generate electricity.	TBD	n/a
Reduction Measure PS W1: Residential Water Conservation			
Irrigation and Landscaping			
Water Efficient Landscaping	Limit conventional turf to < 50% of required landscape area	0	n/a
	limit conventional turf to < 25% of required landscape area	4	
	No conventional turf (warm season turf to < 50% of required landscape area and/or low water using plants are allowed)	6	
	Only California Native Plants that requires no irrigation or some supplemental Irrigation	8	
Water Efficient Irrigation Systems	Low precipitation spray heads <. 75"/hour, or drip irrigation	②	5
	Weather based Irrigation control systems or moisture sensors (demonstrate systems 20% reduced water use)	③	
Recycled Water	Recycled connections (purple pipe) to irrigation system on site	⑥	6
Water Reuse	Gray water Reuse System collects Gray water from clothes washers, showers and faucets for Irrigation use,	12	n/a
Storm Water Reuse Systems	Innovative on-site stormwater collection, filtration and reuse systems are being developed that provide supplemental irrigation water and provide vector control. These systems can greatly reduce the irrigation needs of a project. Point values for these types of systems will be determined based upon design and engineering data documenting the water savings.	TBD	n/a
Potable Water			
Showers	Water Efficient Showerheads (2.0 gpm)	③	3
Toilets	Water Efficient Toilets (1.5 gpm)	③	3
Faucets	Water Efficient faucets (1.28 gpm)	③	3
Dishwasher	Water Efficient Dishwasher (6 gallons per cycle or less)	①	1
Washing Machine	Water Efficient Washing Machine (Water factor < 5.5)	1	
WaterSense	EPA WaterSense Certification	⑫	12

Table 1: GHG Reduction Measures Screening Table for Residential Development

Feature	Description	Assigned Point Values	Project Point Values
Reduction Measure PS T1: Land Use Based Trips and VMT Reduction			
Mixed Use	Mixes of land uses that complement one another in a way that reduces the need for vehicle trips can greatly reduce GHG emissions. The point value of mixed use projects will be determined based upon a Transportation Impact Analysis (TIA) demonstrating trip reductions and/or reductions in vehicle miles traveled. Suggested ranges: <ul style="list-style-type: none"> Diversity of land uses complementing each other (2-28 points) Increased destination accessibility other than transit (1-18 points) Increased transit accessibility (1-25 points) Infill location that reduces vehicle trips or VMT beyond the measures described above (points TBD based on traffic data). 	TBD	n/a
Residential Near Local Retail (residential only projects)	Having residential developments within walking and biking distance of local retail helps to reduce vehicle trips and/or vehicle miles traveled. The point value of residential projects in close proximity to local retail will be determined based upon traffic studies that demonstrate trip reductions and/or reductions in vehicle miles traveled {VMT}	TBD	n/a
Other Trip Reduction Measures	Other trip or VMT reduction measures not listed above with TIA and/or other traffic data supporting the trip and/or VMT for the project.	TBD	n/a
Reduction Measure PS T2: Bicycle Master Plan			
Bicycle Infrastructure	Ontario's Bicycle Master Plan is extensive and describes the construction on 11.5 miles of Class I bike paths and 23 miles of Class II and Class III bikeways to build upon the current 8 miles of bikeways.	TBD	n/a
	Provide bicycle paths within project boundaries.	TBD	
	Provide bicycle path linkages between residential and other land uses.	2	
	Provide bicycle path linkages between residential and transit.	5	
Reduction Measure PS T3: Neighborhood Electric Vehicle Infrastructure			
Electric Vehicle Recharging	Provide circuit and capacity in garages of residential units for use by an electric vehicle. Charging stations are for on-road electric vehicles legally able to drive on all roadways including Interstate Highways and freeways	①	1
	Install electric vehicle charging stations in the garages of residential units	8	
Total Points Earned by Residential Project:			157



Development Advisory Board Decision

September 18, 2017

DECISION NO.: [insert #]

FILE NO.: PDEV17-025

DESCRIPTION: A Development Plan (File No. PDEV17-025) to construct 102 single-family dwellings on 10.39 acres of land, located at the northeast corner of Merrill and Celebration Avenues, within Planning Area 26 of the Subarea 29 Specific Plan. (APNs: 0218-033-03, 0218-033-04, 0218-033-05, and 0218-033-06); **SL Ontario Development Company, LLC.**

Part I—BACKGROUND & ANALYSIS

SL ONTARIO DEVELOPMENT COMPANY, LLC, (herein after referred to as “Applicant”) has filed an application requesting Development Plan approval, File No. PDEV17-025, as described in the subject of this Decision (herein after referred to as "Application" or "Project").

(1) **Project Setting:** The project site is comprised of 10.39 acres of land located at the northeast corner of Merrill and Celebration Avenues, within Planning Area 26 of the Subarea 29 Specific Plan, and is depicted in *Exhibit A: Aerial Photograph*, attached. Existing land uses, General Plan and zoning designations, and specific plan land uses on and surrounding the project site are as follows:

	<i>Existing Land Use</i>	<i>General Plan Designation</i>	<i>Zoning Designation</i>	<i>Specific Plan Land Use</i>
<i>Site</i>	Mass Graded	Low Density Residential	Subarea 29 Specific Plan	Planning Area 26 (Cluster Homes)
<i>North</i>	Vacant with Previous Agricultural/Dairy Uses	Low Density Residential	Subarea 29 Specific Plan	Planning Area 24 & 25 (Cluster Homes)
<i>South</i>	Single-Family Residential	Low Density Residential	Subarea 29 Specific Plan	Planning Area 13 (Cluster Homes)
<i>East</i>	Vacant with Previous Agricultural/Dairy Uses	Low Density Residential	Subarea 29 Specific Plan	SCE Corridor and Planning Area 28 (Conventional Medium Lot)
<i>West</i>	Vacant with Previous Agricultural/Dairy Uses	Low Density Residential	Subarea 29 Specific Plan	Planning Area 14 (Green Core)

(2) **Project Description:** Proposed, is a Development Plan (File No. PDEV17-024) to construct 88 single-family dwellings on 14.35 acres of land located within the Conventional Medium Lot Residential district within Planning Area 4 of the Subarea 29 Specific Plan, located at the southeast corner of Archibald Avenue and Parkview Street (see *Exhibit B – Site Plan*).

The project proposes the development of 102 single-family 4-pack and 6-pack motor court cluster homes within Planning Area 26 of the Subarea 29 Specific Plan. The motor court cluster product is characterized

by a private drive that serves to provide both garage and front entry access to each of the rear units. Along the street frontage, one of the front two units will take garage access from the private drive, while the opposing front unit will take garage access from the public street. Additionally, the front entry for both front units faces the public street.

Three, two-story floor plans are proposed, each with three elevations per plan. The three plans include the following:

- Plan 1: 1,830 square feet, 3 bedrooms, loft, and 2 ½ baths.
- Plan 2/2X: 2,044 square feet, 3 bedrooms, loft/optional bedroom, and 2 ½ baths.
- Plan 3: 2,299 square feet, 4 bedrooms, loft/optional bedroom, and 3 baths.

The design features incorporated into all three plans includes, single and second story massing, varied entries, front porches, covered patios, second floor laundry facilities, and open dining and living areas. All homes will have a two-car garage that will be accessed from the private lane or street.

Site Access/Circulation — Construction of the backbone streets, including the primary access points into the central portion of the Subarea 29 (Park Place) community from Archibald Avenue and Merrill Avenue, as-well-as the construction of all interior neighborhood streets within the subdivision, was facilitated by Tract Map Nos. 18913 (“A” Map) and 18998 (“B” Map). Primary access into the subdivision will be from Celebration Avenue and Perennial Drive. The project developer is responsible for the construction of the project’s interior neighborhood streets, including Starry Night Lane, Painted Crescent Street, and Monarch Place. To minimize visual impacts of garages along the private drive aisle, front porches and second story projections above garages, varied first and second story roof massing, and door header trim above garages, will be incorporated on all dwellings.

Parking — Each cluster product will have a two-car garage and all units, excepting Plan 2X floor plan, will have a standard two-car driveway. On-street parking will be available for visitor parking along the north and south sides of Perennial Drive and Painted Crescent Street, as well as the east and west sides of Starry Night Lane and Monarch Place.

Architecture — The architectural philosophy of the Subarea 29 Specific Plan is based on architectural styles found in Ontario’s historic neighborhoods. The inspiration and design intent is to recapture the charm and essence of the historic home styles in Ontario and express them in the simple, honest manner that they originated. The proposed architectural styles include Spanish Colonial, Cottage, and American Traditional. The styles were chosen to complement one another through the overall scale, massing, proportions, details and the ability to establish an attractive backdrop that will age gracefully over time.

Each architectural style will include the following details (see *Exhibit C – Typical Cluster Plan and Exhibit D – Elevations*):

- Spanish Colonial: Varying gable roofs with “S” type roof tiles, stucco exterior, square windows openings, arched porch and entryways, decorative barrel tiles below gable ends, wrought-iron elements, shutters and cantilevered elements with corbels.
- Cottage: High and low gable roofs with flat concrete tiles with a moderate overhang and intersecting gables at the front elevation, horizontal siding below gables with trim and dentals, covered porch entries, decorative windows with stucco trim, wood shutters, cantilevered elements with corbels, covered porches with arched columns, stone base treatment, and decorative window framing.

- American Traditional: Varying gable and cross gable roofs with flat brushed concrete roof tiles, horizontal wood siding, cantilevered elements with corbels, covered porches with wood columns with brick base treatments, gable vents, and decorative window framing.

Part II—RECITALS

WHEREAS, the Application is a project pursuant to the California Environmental Quality Act (Public Resources Code Section 21000 et seq.) ("CEQA"); and

WHEREAS, the environmental impacts of this project were previously reviewed in conjunction with an Addendum to the Subarea 29 Specific Plan EIR (SCH #2004011009), which was prepared in conjunction with File No. PSPA14-002, and was adopted by the City Council on April 21, 2015, and this Application introduces no new significant environmental impacts; and

WHEREAS, the City's "Local Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed; and

WHEREAS, the Application is a project pursuant to CEQA (Public Resources Code Section 21000 et seq.), and an initial study has been prepared to determine possible environmental impacts; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board ("DAB") the responsibility and authority to review and act on the subject Application; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan ("ALUCP"), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, to facilitate the construction of the proposed Development Plan, the Planning Commission of the City of Ontario approved a Tentative Tract Map (PMTT14-019/TT18998) on July 28, 2015, that subdivided the 10.39 acre project site into 102 single-family lots and facilitated the construction of the backbone infrastructure and internal street circulation within the subdivision; and

WHEREAS, on September 18, 2017, the DAB of the City of Ontario conducted a hearing on the Application and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.

Part III—THE DECISION

NOW, THEREFORE, IT IS HEREBY FOUND AND DETERMINED by the Development Advisory Board of the City of Ontario, as follows:

SECTION 1: *Environmental Determination and Findings.* As the recommending body for the Project, the DAB has reviewed and considered the information contained in the previous Subarea 29 Specific Plan EIR (SCH# 2004011009) and supporting documentation. Based upon the facts and information contained in the previous Subarea 29 Specific Plan EIR (SCH# 2004011009) and supporting documentation, the DAB finds as follows:

(1) The environmental impacts of this project were previously reviewed in conjunction with File No. PSPA14-002, an Amendment to the Subarea 29 Specific Plan for which an addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) was adopted by the City Council on April 21, 2015.

(2) The previous addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) contains a complete and accurate reporting of the environmental impacts associated with the Project; and

(3) The previous addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) was completed in compliance with CEQA and the Guidelines promulgated thereunder, and the City of Ontario Local CEQA Guidelines; and

(4) The previous addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) reflects the independent judgment of the Planning Commission; and

(5) The proposed project will introduce no new significant environmental impacts beyond those previously analyzed in the previous addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009), and all mitigation measures previously adopted with the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009), are incorporated herein by this reference.

SECTION 2: *Subsequent or Supplemental Environmental Review Not Required.* Based on the information presented to the DAB, and the specific findings set forth in Section 1, above, the DAB finds that the preparation of a subsequent or supplemental addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) is not required for the Project, as the Project:

(1) Does not constitute substantial changes to the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) that will require major revisions to the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and

(2) Does not constitute substantial changes with respect to the circumstances under which the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) was prepared, that will require major revisions to the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) due to the involvement of new significant environmental effects or a substantial increase in the severity of the previously identified significant effects; and

(3) Does not contain new information of substantial importance that was not known and could not have been known with the exercise of reasonable diligence at the time the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) was certified/adopted, that shows any of the following:

(a) The project will have one or more significant effects not discussed in the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009); or

(b) Significant effects previously examined will be substantially more severe than shown in the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009); or

(c) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the Project, but the City declined to adopt such measures; or

(d) Mitigation measures or alternatives considerably different from those analyzed in the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) would substantially reduce one or more significant effects on the environment, but which the City declined to adopt.

SECTION 3: Housing Element Compliance. Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the recommending body for the Project, the DAB finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan. The project site is one of the properties listed in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix, and the proposed project is consistent with the number of dwelling units (102) and density (9.81 DU/AC) specified in the Available Land Inventory.

SECTION 4: Ontario International Airport Land Use Compatibility Plan (“ALUCP”) Compliance. The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land use Compatibility Plan (“ALUCP”), establishing the Airport Influence Area for Ontario International Airport (“ONT”), which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the recommending body for the Project, the DAB has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the DAB, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

SECTION 5: Concluding Facts and Reasons. Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the specific findings set forth in Sections 1 through 4, above, the DAB hereby concludes as follows:

(1) **The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.** The proposed Project is located within the Low Density Residential land use district of the Policy Plan Land Use Map, and the Cluster Homes (Planning Area 26) land use district of the Subarea 29 Specific Plan. The development standards and conditions under which the proposed Project will be constructed and maintained, is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan. The Development Plan has been required to comply with all provisions of Cluster Homes Residential Product: Motorcourt Cluster B Residential Development Standards of the Subarea 29 Specific Plan. Future neighborhoods within the Subarea 29 Specific Plan and surrounding area will provide for diverse housing and highly amenitized neighborhoods that will be compatible in design, scale and massing to the proposed development; and

(2) **The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located.** The Project has been designed consistent with the requirements of the City of Ontario Development Code and the Cluster Homes (Planning Area 26) land use district of the Subarea 29 Specific Plan (Cluster Homes Residential Product, including standards relative to the particular land use proposed (Motorcourt Cluster residential product), as-well-as building intensity, building and parking setbacks, building height, number of off-street parking and loading spaces, on-site and off-site landscaping, and fences, walls and obstructions; and

(3) **The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed project.** The Development Advisory Board has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the Subarea 29 Specific Plan are maintained; [ii] the project will not endanger the public health, safety or general welfare; [iii] the project will not result in any significant environmental impacts; [iv] the project will be in harmony with the area in which it is located; and [v] the project will be in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan, and the Subarea 29 Specific Plan. Additionally, the environmental impacts of this project were previously reviewed in conjunction with the Subarea 29 Specific Plan Environmental Impact Report (SCH#2004011009). This application is consistent with the previously adopted EIR and introduces no new significant environmental impacts; and

(4) **The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.** The proposed Project has been reviewed for consistency with the general development standards and guidelines of the Subarea 29 Specific Plan that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of off-street parking, design and landscaping, on-site landscaping, and fences and walls, as-well-as those development standards and guidelines specifically related to the particular land use being proposed (motorcourt cluster residential product). As a result of this review, the Development Advisory Board has determined that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the development standards and guidelines described in the Subarea 29 Specific Plan. Additionally, the Development Plan complies with all provisions of Cluster Homes: Motorcourt Cluster B Development Standards of the Subarea 29 Specific Plan.

SECTION 6: Development Advisory Board Action. Based on the findings and conclusions set forth in Sections 1 through 5, above, the DAB hereby recommends the Planning Commission APPROVES the Application subject to each and every condition set forth in the Department reports included as Attachment 1 of this Decision, and incorporated herein by this reference.

SECTION 7: Indemnification. The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

SECTION 8: Custodian of Records. The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

APPROVED AND ADOPTED this 18th day of September 2017.

Development Advisory Board Chairman

Exhibit A—PROJECT LOCATION MAP

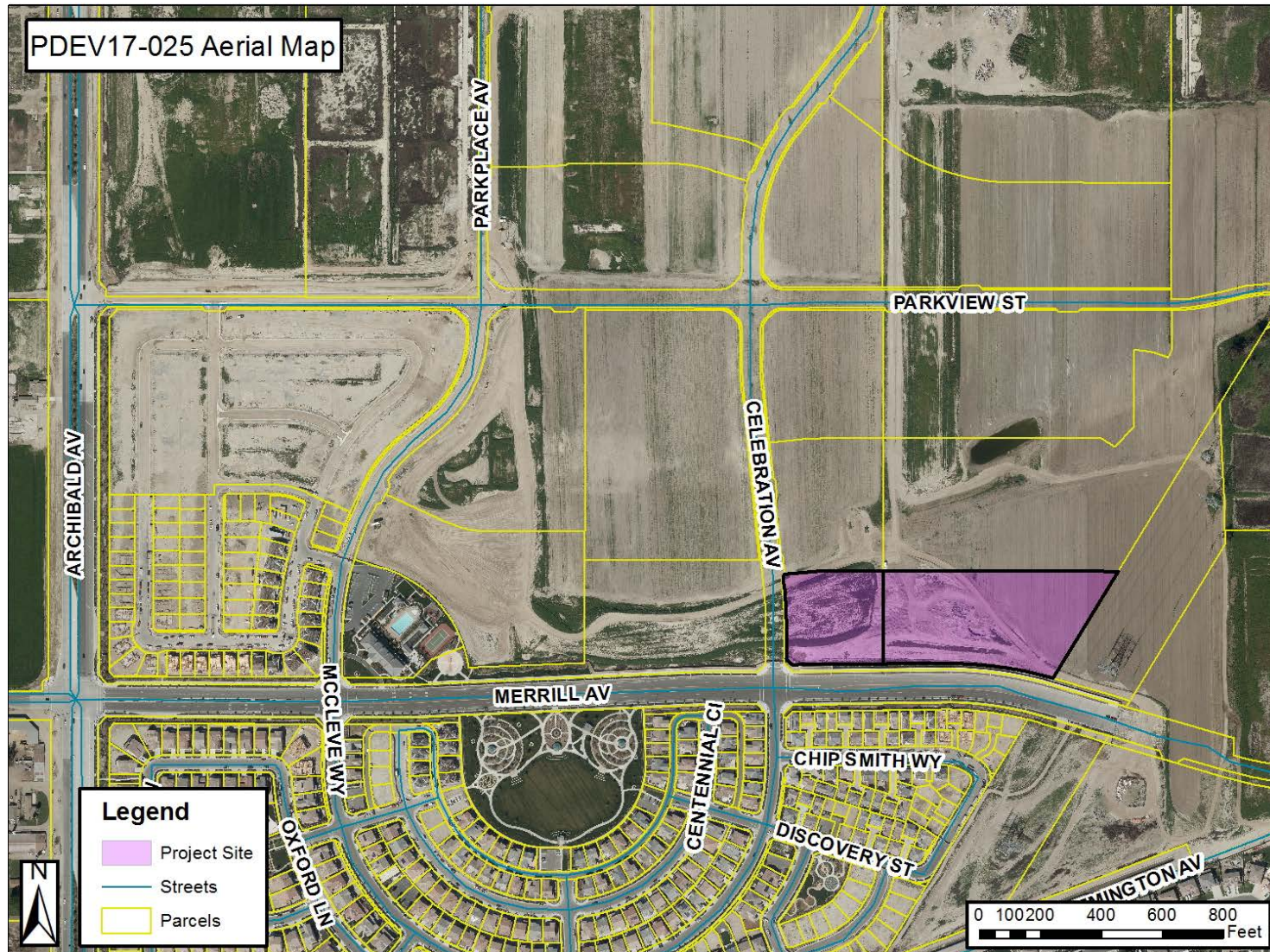


Exhibit B—SITE PLAN



Exhibit C—TYPICAL CLUSTER PLAN

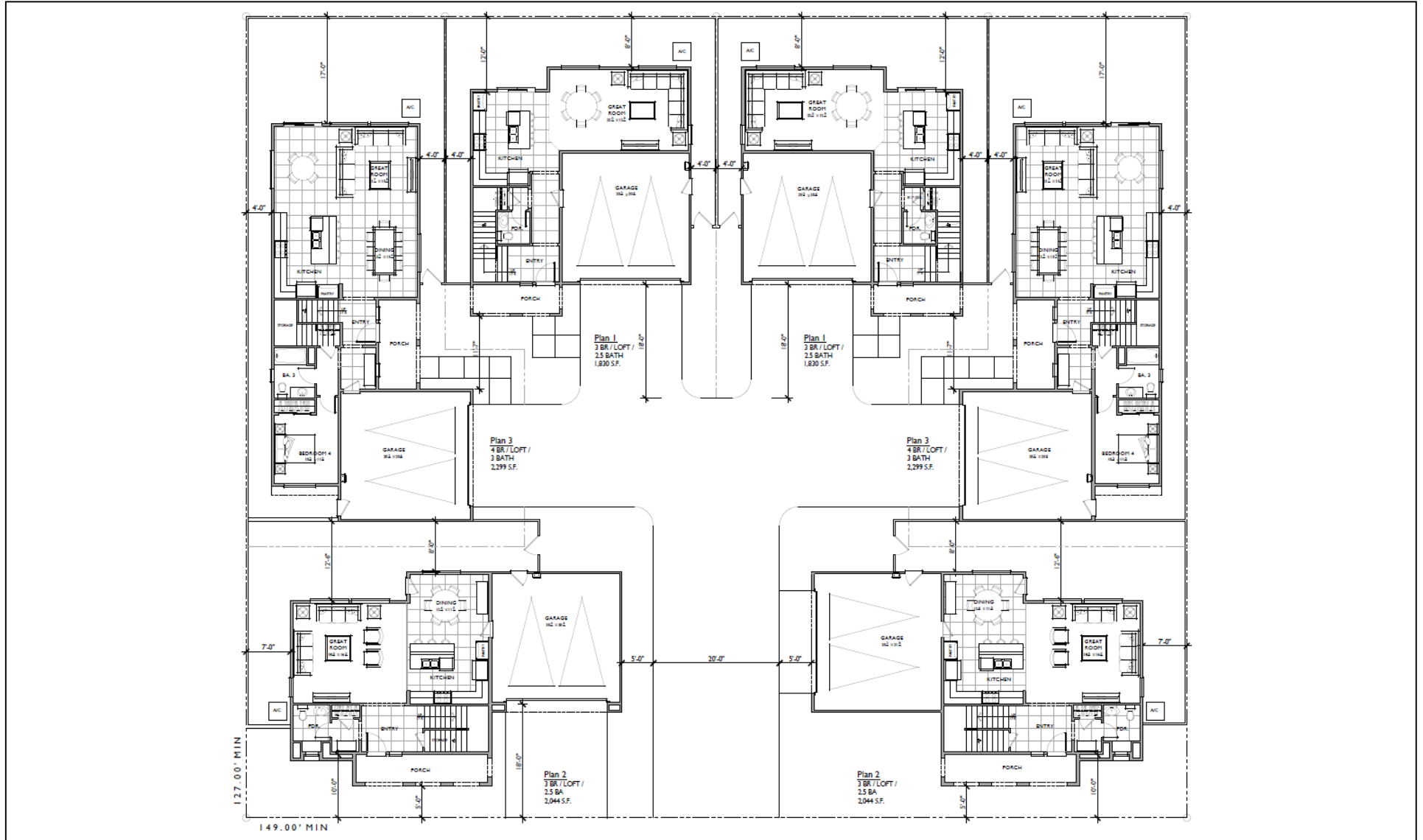


Exhibit D—ELEVATION 1 (PLAN 2 AND PLAN 2X)



PLAN 2
COTTAGE STYLE

PLAN 2X
SPANISH STYLE

Exhibit D—ELEVATION 2 (PLAN 1 AND PLAN 3)



PLAN 1
TRADITIONAL STYLE

PLAN 3
COTTAGE STYLE

Attachment 1—Departmental Conditions of Approval

(Departmental conditions of approval follow this page)



City of Ontario
Planning Department
303 East B Street
Ontario, California 91764
Phone: 909.395.2036
Fax: 909.395.2420

*Planning Department
Land Development Division
Conditions of Approval*

Meeting Date: September 18, 2017

File No: PDEV17-025

Related Files: PMTT14-019

Project Description: A Development Plan (File No. PDEV17-025) to construct 102 single-family dwellings on 10.39 acres of land, located at the northeast corner of Merrill and Celebration Avenues, within Planning Area 26 of the Subarea 29 Specific Plan. (APNs: 0218-033-03, 0218-033-04, 0218-033-05, and 0218-033-06); **SL Ontario Development Company, LLC.**

Prepared By: Jeanie Irene Aguilo, Assistant Planner
Phone: 909.395.2418 (direct)
Email: jaguilo@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

1.0 Standard Conditions of Approval. The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

2.0 Special Conditions of Approval. In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

2.1 Time Limits.

(a) Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

2.2 General Requirements. The Project shall comply with the following general requirements:

(a) All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

(b) The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

(c) The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

2.3 Landscaping.

(a) The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

(b) Comply with the conditions of approval of the Planning Department; Landscape Planning Division.

(c) Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

(d) Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

2.4 Walls and Fences. All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

2.5 Parking, Circulation and Access.

(a) The Project shall comply with the applicable off-street parking, loading and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

(b) Areas provided to meet the City's parking requirements, including off-street parking and loading spaces, access drives, and maneuvering areas, shall not be used for the outdoor storage of materials and equipment, nor shall it be used for any other purpose than parking.

(c) The required number of off-street parking spaces and/or loading spaces shall be provided at the time of site and/or building occupancy. All parking and loading spaces shall be maintained in good condition for the duration of the building or use.

2.6 Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

2.7 Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noised levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

2.8 Covenants, Conditions and Restrictions (CC&Rs)/Mutual Access and Maintenance Agreements.

(a) CC&Rs shall be prepared for the Project and shall be recorded prior to the issuance of a building permit.

(b) The CC&Rs shall be in a form and contain provisions satisfactory to the City. The articles of incorporation for the property owners association and the CC&Rs shall be reviewed and approved by the City.

(c) CC&Rs shall ensure reciprocal parking and access between parcels.

(d) CC&Rs shall ensure reciprocal parking and access between parcels, and common maintenance of:

- (i) Landscaping and irrigation systems within common areas;
- (ii) Landscaping and irrigation systems within parkways adjacent to the project site, including that portion of any public highway right-of-way between the property line or right-of-way boundary line and the curb line and also the area enclosed within the curb lines of a median divider (Ontario Municipal Code Section 7-3.03), pursuant to Ontario Municipal Code Section 5-22-02;
- (iii) Shared parking facilities and access drives; and
- (iv) Utility and drainage easements.

(e) CC&Rs shall include authorization for the City's local law enforcement officers to enforce City and State traffic and penal codes within the project area.

(f) The CC&Rs shall grant the City of Ontario the right of enforcement of the CC&R provisions.

(g) A specific methodology/procedure shall be established within the CC&Rs for enforcement of its provisions by the City of Ontario, if adequate maintenance of the development does not occur, such as, but not limited to, provisions that would grant the City the right of access to correct maintenance issues and assess the property owners association for all costs incurred.

2.9 Disclosure Statements.

(a) A copy of the Public Report from the Department of Real Estate, prepared for the subdivision pursuant to Business and Professions Code Section 11000 et seq., shall be provided to each prospective buyer of the residential units and shall include a statement to the effect that:

- (i) This tract is subject to noise from the Ontario International Airport and may be more severely impacted in the future.
- (ii) Some of the property adjacent to this tract is zoned for agricultural uses and there could be fly, odor, or related problems due to the proximity of animals.
- (iii) The area south of Riverside Drive lies within the San Bernardino County Agricultural Preserve. Dairies currently existing in that area are likely to remain for the foreseeable future.
- (iv) This tract is part of a Landscape Maintenance District. The homeowner(s) will be assessed through their property taxes for the continuing maintenance of the district.

2.10 Environmental Review.

(a) The environmental impacts of this project were previously reviewed in conjunction with an Addendum to the Subarea 29 Specific Plan EIR (SCH #2004011009), which was prepared in conjunction with File No. PSPA14-002, and was adopted by the City Council on April 21, 2015. This application introduces no new significant environmental impacts. The City's "Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed. The previously adopted mitigation measures shall be a condition of project approval.

(b) If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

(c) If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is

determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

2.11 Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

2.12 Additional Fees.

(a) Within 5 days following final application approval, the Notice of Determination (NOD) filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act (CEQA). Failure to provide said fee within the time specified may result in a 180-day extension to the statute of limitations for the filing of a CEQA lawsuit.

(b) After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

2.13 Additional Requirements.

(a) Shutters shall be constructed of wood or vinyl.

(b) Off-Site Subdivision Signs. The City Council has authorized the Baldy View Chapter of the Building Industry Association to manage a standardized off-site directional sign program on a non-profit basis. The program uses uniform sign structures and individual identification and directional signs for residential development. **No other off-site signing is authorized.** (For additional information, contact the Baldy View Chapter BIA at 909.945.1884.

(c) The applicant shall contact the Ontario Post Office to determine the size and location of mailboxes for this project. The location of the mailboxes shall be submitted to the Planning Department for review and approval prior to the issuance of building permits.

(d) The applicant (Developer) shall be responsible for providing fiber to each home per City requirements and standards.

(e) Dairy Separation Requirement for Residential Development. The following separation requirements from existing dairies/feed lots shall apply to new residential development or structures used for public assembly purposes from existing dairies/feed lots.

A minimum 100' separation shall be required between a new residential, commercial or industrial development or structure used for public assembly and an existing animal feed trough, corral/pen or an existing dairy/feed lot including manure stockpiles and related wastewater detention basins. The 100-foot separation requirement may be satisfied by an off-site easement acceptable to the Planning Director with adjacent properties, submitted with the initial final map and recorded prior to or concurrent with the final map.

(f) All applicable conditions of approval of Development Agreement (File No. PDA13-003) shall apply to this tract.

(g) All applicable conditions of approval of the Subarea 29 Specific Plan shall apply to this tract.

(h) All applicable conditions of approval of the "B" Map TT 18266 (File No. PMTT14-010) shall apply to this Development Plan.

(i) The Private Park (Lot A) shall be constructed prior to the issuance of the certificate of occupancy of the 52nd home.