

CITY OF ONTARIO PLANNING COMMISSION/ HISTORIC PRESERVATION MEETING AGENDA

September 26, 2017

Ontario City Hall
303 East "B" Street, Ontario, California 91764

6:30 PM

WELCOME to a meeting of the Ontario Planning/Historic Preservation Commission.

All documents for public review are on file in the Planning Department located at 303 E. B Street, Ontario, CA 91764.

- *Anyone wishing to speak during public comment or on a particular item should fill out a green slip and submit it to the Secretary.*
- *Comments will be limited to 5 minutes. Speakers will be alerted when their time is up. Speakers are then to return to their seats and no further comments will be permitted.*
- *In accordance with State Law, remarks during public comment are to be limited to subjects within the Commission's jurisdiction. Remarks on other agenda items will be limited to those items.*
- *Remarks from those seated or standing in the back of the chambers will not be permitted. All those wishing to speak including Commissioners and Staff need to be recognized by the Chair before speaking.*
- *The City of Ontario will gladly accommodate disabled persons wishing to communicate at a public meeting. Should you need any type of special equipment or assistance in order to communicate at a public meeting, please inform the Planning Department at (909) 395-2036, a minimum of 72 hours prior to the scheduled meeting.*
- *Please turn off all communication devices (phones and beepers) or put them on non-audible mode (vibrate) so as not to cause a disruption in the Commission proceedings.*

ROLL CALL

DeDiemar __ Delman __ Downs __ Gage __ Gregorek __ Reyes __ Willoughby __

PLEDGE OF ALLEGIANCE TO THE FLAG

ANNOUNCEMENTS

- 1) Agenda Items
- 2) Commissioner Items

PUBLIC COMMENTS

Citizens wishing to address the Planning/Historic Preservation Commission on any matter that is not on the agenda may do so at this time. Please state your name and address clearly for the record and limit your remarks to five minutes.

Please note that while the Planning/Historic Preservation Commission values your comments, the Commission cannot respond nor take action until such time as the matter may appear on the forthcoming agenda.

CONSENT CALENDAR ITEMS

All matters listed under CONSENT CALENDAR will be enacted by one summary motion in the order listed below. There will be no separate discussion on these items prior to the time the Commission votes on them, unless a member of the Commission or public requests a specific item be removed from the Consent Calendar for a separate vote. In that case, the balance of the items on the Consent Calendar will be voted on in summary motion and then those items removed for separate vote will be heard.

A-01. MINUTES APPROVAL

Planning/Historic Preservation Commission Minutes of August 22, 2017, approved as written.

A-02. ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW

FOR FILE NO. PDEV16-044: A Development Plan (File No. PDEV16-044) to construct a residential apartment complex consisting of 6-units on 0.3 acres of land located at 1444 W. Stoneridge Court, within the MDR-25 (Medium Density Residential - 18.1 to 25.0 DUs/Acre) zoning district. Staff has determined that the project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, In-Fill Development Projects) of the CEQA Guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP); (APNs: 1010-551-06); **submitted by Brother Home Trading Corp.**

A-03. ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW

FOR FILE NO. PDEV17-023: A Development Plan (File No. PDEV17-023) approval to construct 75 single-family residential dwellings on 10.87 acres of land located within the Conventional Small Lot Residential district of Planning Area 24 of the Subarea 29 Specific Plan, located at the southeast corner of Celebration Avenue and Parkview Street. The environmental impacts of this project were previously analyzed in an addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) that was adopted by the City Council on April 21, 2015. All adopted mitigation measures of the addendum shall be a condition of approval for the project and are incorporated herein by reference. The

proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and Chino Airport and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plans (ALUCP) for ONT and Chino Airports. (APNs: 0218-033-01, 0218-033-02, 0218-033-03(POR) & 0218-033-04(POR)); **submitted by The New Home Company Southern California, LLC.**

- A-04. ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE NO. PDEV17-025:** A Development Plan to construct 102 single-family dwellings on 10.39 acres of land, located at the northeast corner of Merrill and Celebration Avenues, within Planning Area 26 of the Subarea 29 Specific Plan. The environmental impacts of this project were previously reviewed in conjunction with an Addendum to the Subarea 29 Specific Plan EIR (SCH #2004011009), which was prepared in conjunction with File No. PSPA14-002, and was adopted by the City Council on April 21, 2015. This project introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP); (APNs: 0218-033-03, 0218-033-04, 0218-033-05, and 0218-033-06) **submitted by Christopher Homes**

PLANNING COMMISSION PUBLIC HEARING ITEMS

For each of the items listed under PUBLIC HEARING ITEMS, the public will be provided an opportunity to speak. After a staff report is provided, the chairperson will open the public hearing. At that time the applicant will be allowed five (5) minutes to make a presentation on the case. Members of the public will then be allowed five (5) minutes each to speak. The Planning Commission may ask the speakers questions relative to the case and the testimony provided. The question period will not count against your time limit. After all persons have spoken, the applicant will be allowed three minutes to summarize or rebut any public testimony. The chairperson will then close the public hearing portion of the hearing and deliberate the matter.

HISTORIC PRESERVATION ITEMS

- B. LOCAL LANDMARK DESIGNATION FOR FILE NO. PHP17-018:** A request for a Local Landmark designation for a 1,218 square foot, one story, California Ranch style single-family residential building, a Non-Contributor to the College Park Historic District within the LDR-5 (Low Density Residential-2.1 to 5.0 DU/Acre) Zoning District located at 318 East Princeton Street. The designation is not considered a project pursuant to Section 21065 of the CEQA Guidelines. (APN: 1047-543-33); **submitted by Mark Rivas. City Council action is required.**

1. CEQA Determination

No action necessary – Not a project pursuant to CEQA Guidelines Section § 21065

2. File No. PHP17-018 (Landmark Designation)

Motion to recommend Approval/Denial

C. **ENVIRONMENTAL ASSESSMENT AND CERTIFICATE OF APPROPRIATENESS REVIEW FOR FILE NO. PHP17-021:** A request for a Certificate of Appropriateness to allow for a façade and storefront replacement of an existing 28,635 square foot, single-tenant, commercial building, a Non-Contributor to the Euclid Avenue Historic District, on approximately 1.74 acres of land located at the northwest corner of G Street and Euclid Avenue, within the MU-1 (Downtown Mixed Use) and EA (Euclid Avenue Overlay) zoning districts. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15331 (Historical Resource Restoration/Rehabilitation). The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT), and was evaluated and found to be consistent with the policies and criteria of the ONT Airport Land Use Compatibility Plan (ALUCP). (APN: 1048-271-19); **submitted by Dillway Associates, LLC.**

1. **CEQA Determination**

No action necessary – Exempt: CEQA Guidelines Section § 15331

2. **File No. PHP17-021** (Certificate of Appropriateness)

Motion to Approve/Deny

PLANNING COMMISSION ITEMS

D. **ENVIRONMENTAL ASSESSMENT AND SPECIFIC PLAN REVIEW FOR FILE NO. PSP15-002:** A public hearing to consider certification of the Environmental Impact Report, including the adoption of a Statement of Overriding Considerations and a Mitigation Monitoring Program, for File No. PSP15-002, a Specific Plan (Armstrong Ranch) request to establish land use designations, development standards, and design guidelines for 189.8 acres, which includes the potential development of 891 dwelling units and a 10-acre elementary school site. The project site is bounded by Riverside Drive to the north, Chino Avenue to the south, Cucamonga Creek Channel to the east, and Vineyard Avenue to the west. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP). (APNs:0218-101-01, 0218-101-02, 0218-101-03, 0218-101-04, 0218-101-05, 0218-101-06, 0218-101-07, 0218-101-08, 0218-102-10, 0218-102-11, 0218-111-04, 0218-111-05, 0218-111-06, 0218-111-08, 0218-111-09, 0218-111-11, 0218-111-12, 0218-111-45 0218-111-49 and 0218-111-50); **submitted by CVRC Ontario Investments, LLC. City Council action is required.**

1. **CEQA Determination**

Motion to recommend Approval/Denial of a Certification of an EIR, including the adoption of a Statement of Overriding Considerations

2. **File No. PSP15-002** (Specific Plan)

Motion to recommend Approval/Denial

- E. **ENVIRONMENTAL ASSESSMENT, DEVELOPMENT PLAN, CERTIFICATE OF APPROPRIATENESS AND VARIANCE REVIEW FOR FILE NOS. PDEV17-008, PHP17-014 & PVAR17-003**: A Development Plan (File No. PDEV17-008) and a Certificate of Appropriateness (File No. PHP17-014) to allow for construction a 10,487 square foot commercial building on 0.88 acres of land and a Variance (File No. PVAR17-003) request to deviate from the minimum parking street setback, along Euclid Avenue, from 20 to 9 feet, and to reduce the required parking from 42 to 40 spaces, for property located at the northwest corner of Francis Street and Euclid Avenue, within the CN (Neighborhood Commercial) zoning district and EA (Euclid Avenue) Overlay district. Staff has determined that the project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15305 (Class 5-Minor Alterations of Land Use Limitations), 15332 (Class 32, In-Fill Development Projects) and 15331 (Historical Resource Restoration/Rehabilitation) of the CEQA guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the ONT Airport Land Use Compatibility Plan (ALUCP). (APNs: 1050-281-01, 1050-281-02 and 1050-281-03); **submitted by Clarkson Properties, LP.**

1. **CEQA Determination**

No action necessary – Exempt: CEQA Guidelines Section § 15305 & 15332 & 15331

2. **File No. PHP17-014** (Certificate of Appropriateness)

Motion to Approve/Deny

3. **File No. PVAR17-003** (Variance)

Motion to Approve/Deny

4. **File No. PDEV17-008** (Development Plan)

Motion to Approve/Deny

MATTERS FROM THE PLANNING/HISTORIC PRESERVATION COMMISSION

- 1) Old Business
 - Reports From Subcommittees
 - Historic Preservation (Standing):
- 2) New Business

- 3) Nominations for Special Recognition

DIRECTOR'S REPORT

- 1) Monthly Activity Report

If you wish to appeal any decision of the Planning/Historic Preservation Commission, you must do so within ten (10) days of the Commission action. Please contact the Planning Department for information regarding the appeal process.

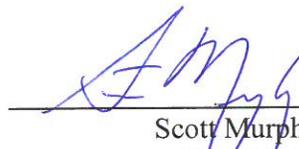
If you challenge any action of the Planning/Historic Preservation Commission in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning/Historic Preservation Commission at, or prior to, the public hearing.



I, Gwen Berendsen, Administrative Assistant, of the City of Ontario, or my designee, hereby certify that a true, accurate copy of the foregoing agenda was posted on **Friday, September 22, 2017**, at least 72 hours prior to the meeting per Government Code Section 54954.2 at 303 East "B" Street, Ontario.



Gwen Berendsen, Secretary Pro Tempore



Scott Murphy, Planning Director
Planning/Historic Preservation
Commission Secretary

**CITY OF ONTARIO PLANNING COMMISSION/
HISTORIC PRESERVATION MEETING**

MINUTES

August 22, 2017

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**CITY OF ONTARIO PLANNING COMMISSION/
HISTORIC PRESERVATION MEETING**

MINUTES

August 22, 2017

REGULAR MEETING: City Hall, 303 East B Street
Called to order by Chairman Delman at 6:30 PM

COMMISSIONERS

Present: Chairman Delman, Vice-Chairman Willoughby, DeDiemar, Gage, Gregorek, and Reyes

Absent: Downs

OTHERS PRESENT: Planning Director Murphy, City Attorney Carvahlo, Principal Planner Zeledon, Senior Planner Batres, Senior Planner Mercier, Senior Planner Mejia, Senior Planner R. Ayala, Assistant City Engineer Do, and Planning Secretary Berendsen

PLEDGE OF ALLEGIANCE TO THE FLAG

The Pledge of Allegiance was led by Commissioner Reyes.

ANNOUNCEMENTS

No one responded from the audience.

PUBLIC COMMENTS

No one responded from the audience.

CONSENT CALENDAR ITEMS

A-01. MINUTES APPROVAL

Planning/Historic Preservation Commission Minutes of July 25, 2017, approved as written.

PLANNING COMMISSION ACTION

It was moved by DeDiemar, seconded by Willoughby, to approve the Planning Commission Minutes of July 25, 2017, as written. The motion was carried 6 to 0.

PUBLIC HEARING ITEMS

- B. ENVIRONMENTAL ASSESSMENT AND SPECIFIC PLAN REVIEW FOR FILE NO. PSP15-001:** A public hearing to consider certification of the Environmental Impact Report, including the adoption of a Statement of Overriding Considerations, for File No. PSP15-001 and a Specific Plan (Colony Commerce Center West) request (File No. PSP15-001) to establish land use designations, development standards, design guidelines and infrastructure improvements for approximately 123.17 acres of land, which includes the potential development of 2,951,146 square feet of industrial development. The project site is bounded by Merrill Avenue to the north, Remington Avenue to the south, Carpenter Avenue to the west and the Cucamonga Creek Flood Control Channel to the east. The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and Chino Airport, and was evaluated and found to be consistent with the policies and criteria of both the ONT Airport and Chino Airport Land Use Compatibility Plans (ALUCP). (APNs: 0218-261-24, 0218-292-05, 0218-311-11, 0218-292-12, 0218-292-09, 0218-292-13, 0218-292-10, 0218-292-14); **submitted by Cap Rock-Partners. City Council action is required.**
(Continued from July 25, 2017)

Senior Planner, Luis Batres, presented the staff report. Mr. Batres described the project area and showed and described the surrounding areas. Project is located within the southern portion of Ontario, within the Ontario Ranch area, that includes approximately 123.17 acres of land. The Specific Plan is consistent with The Ontario Plan (TOP) and will regulate the orderly development of the site by providing zoning regulations, development standards, parking, landscape and open space requirements, infrastructure, circulation, and design guidelines. Mr. Batres described the two planning areas: planning area one along the northern portion of the project encompasses 57.58 acres and includes 1,379,501 square feet of industrial development and planning area two at the southern portion of the site, encompasses 65.60 acres and includes 1,571,645 square feet of industrial development. Other improvements required by the developer would be traffic signals, water, sewer, storm drain, and Merrill Ave. and Carpenter Ave. improvements and landscape.

Mr. Batres explained the Environmental Impact Report (EIR) and the procedures that were followed to complete it and potential impacts. Three items were not able to be mitigated, being identified as significant and unavoidable: air quality, agricultural, transportation/traffic. He stated that staff is recommending the Planning Commission recommend to City Council approval of the EIR including the Statement of Overriding Considerations to be adopted and File No. PSP15-001, pursuant to the facts and reasons contained in the staff report and attached resolution, and subject to the conditions of approval.

Mr. Willoughby asked when the traffic signal at Merrill and Carpenter would be installed.

Mr. Batres responded it will be installed once the very first development plan is approved within the specific plan area.

Mr. Willoughby asked if there is any existing recycled water running down in the area.

Mr. Murphy responded that there is a line that runs along Carpenter that Inland Empire Utility Agency installed a few years ago and then another line at Archibald Ave.

Mr. Reyes wanted to clarify that the width of the landscape buffer on Merrill is to be 23 feet, in addition to the parkway and the sidewalk.

Mr. Batres stated that is correct.

Mr. Reyes wanted to clarify if on Carpenter there would be a 4 foot parkway and sidewalk.

Mr. Batres stated it would be a 4 foot landscape parkway and sidewalk.

Mr. Gage asked if when we were annexing the agricultural preserve to Ontario, was the use of this area designated for industrial use.

Mr. Murphy stated yes it was.

PUBLIC TESTIMONY

Patrick Daniels with Caprock Partners appeared and spoke. He went over the history of working with the city staff for almost 4 years on the property, and stated staff is the most professional and collaborative team to work with. The EIR is over 1000 pages and every aspect has been extensively considered regarding their impact. He feels the architectural standards exceed what has been previously required within the city. Specific aspects include the water conservation, GHG checklist, as well as a collaborative effort with other cities, and regional infrastructure. He is proud of the design standards for this project and believes it is delivering a state of the art project, above all others.

Mr. Murphy stated letters were before the commissioners that were received regarding the item. One from Prologis in support of the project and the other from the City of Chino, which restates previous concerns they had, but introduces no new concerns.

Damon Austin with Prologis, which has contracted with the Borba Family Trust, the owner of Planning Area One, stated he was here to offer their support to the project. He stated how infrastructure poor this area is and the extensive effort put into bringing it into the area. He feels that the infrastructure is the keystone piece that will spur development, progress, fees and new jobs into this part of town. He also wanted to thank the staff for doing a tremendous job and reiterate Mr. Daniel's comments that it has been a collaborative effort.

As there was no one else wishing to speak, Chairman Delman closed the public testimony

Mr. Gregorek asked where the truck traffic is anticipated to come from and go to and what are the city's expectations for it from the applicants.

Mr. Murphy stated truck traffic will be coming out of the ports, but once it gets here and disperse it could go in any direction. We see Merrill Avenue, Archibald Avenue, and

Euclid Avenue as truck routes. Looking at the location, trucks would most likely use Archibald Ave. being the proximity to the project.

Mr. Gregorek asked if incoming from west, will they go to Archibald or come down Euclid.

Mr. Murphy stated it is difficult to say what direction, but our general assumption is that they will tend to go to Archibald Avenue, because of the proximity to the site, and the amount of congestion we are already seeing on Euclid Avenue. Truck drivers tend to use the path of least resistance.

Mr. Gregorek asked how are the pavement section designed for Archibald, are the traffic indexes high enough to withstand that amount of truck traffic.

Mr. Murphy stated Archibald is designed as a truck route. All the intersections along Archibald and along Ontario Ranch Road that have recently been installed all have concrete intersections, recognizing these as a truck routes. Merrill will be designed with concrete intersection as well, so that we won't have to be maintaining roads on too frequent of a basis.

Mr. Gage stated that he was here when the General Plan was made and what kind of use the Ag preserve was going to have. It was an exhaustive process involving land owners, and the city. We knew it would have residential, commercial and industrial with some sort of a balance where people could live and work. He sees this as an extension of first General Plan, the industrial part where people will get to work in the area. There are some unfavorable aspects like air quality and traffic and how it effects global climate change and some of these cannot be overridden. This not an easy decision, but that is why we made a General Plan. However, this is a reasonable implementation of the General Plan where people can live and work. He feels the trade-off of the environmental negatives are significant and reasonable and he will be voting for this.

Ms. DeDiemar wanted to know, regarding the letter from the City of Chino, that Mr. Murphy mentioned, they had brought these matters up previously, and if these matters remain unresolved.

Mr. Murphy stated this letter was a surprise to staff being that as early as two weeks ago, our Engineering staff met with them and went through the items of concern and we thought we had come to an understanding. The analysis that has been done is appropriate for the site. He stated that we will continue to work with the City of Chino with all issues, being that we have common boundary along Merrill Ave.

Ms. DeDiemar asked if they have asked for any action or anything from the Planning Commission.

Mr. Murphy stated the letter raised particular areas of concern, like how the trip distribution was done. We believe that the analysis done in the EIR was appropriate. We likewise had concerns about the analysis done in their EIR. We may not always agree, but the purpose of the EIR is to provide information for you to make an informed decision.

Ms. DeDiemar stated that the City of Eastvale made no comments.

Mr. Murphy stated that is correct.

Mr. Reyes asked regarding the signal light on the corner of Carpenter and Merrill on PA1. Does it state any kind of proposed entry monumentation signage that lets you know you are entering this new area. It would be nice especially on this corner, as it's a transition area from Chino to Ontario, to have some monument signage.

Mr. Murphy stated that nothing is identified in the specific plan but there would be most likely entry monumentation signage for the tenants along Merrill and Carpenter. This could be reviewed with tenants as they come forward with their sign programs.

Mr. Reyes would be great if the applicant would work with staff to have the kind of signage that we have when you head south, like at Home Depot (Euclid and Riverside), where they have a nice Ontario sign. It be nice to have this kind of element as you head east bound and thinks it could be worked out with applicant to do something here.

Mr. Murphy stated that the streetscape master plan that we currently have in place for the Ontario Ranch Area identifies a hierarchy of city identification signs, similar to what Mr. Reyes referenced. Merrill and Euclid does have what he is referring to. There is also entry monumentation at Ontario Ranch Road and Euclid, and Archibald has a tower element in the median that is very nice. We have created that hierarchy within the city for more city identification, but as we move forward with PA1, we certainly can look at that with the tenants.

Mr. Willoughby asked about the City of Chino's letter regarding item 5 stating that Hellman Ave alignment is not shown correctly, and if this has been corrected.

Mr. Murphy stated that Hellman Ave is sometimes referred to Ontario Avenue which runs to the west of Cucamonga Channel, in the City of Chino their Hellman Avenue runs further to the west and it lines up with what we refer to as Walker. The street is there, but we may have the name wrong.

Mr. Willoughby wanted to comment on the design standards, he commended staff that in the recent years we have tried to step up and what he sees here reflects that.

Before the vote Mr. Delman wanted to echo Mr. Willoughby's comments regarding the quality of the project and all the departments that Mr. Daniels worked with in this city and wanted to thank him for his comments that the staff are very professional.

PLANNING COMMISSION ACTION

It was moved by Willoughby, seconded by Reyes, to recommend adoption of the EIR including the Statement of Overriding Considerations. Roll call vote: AYES, DeDiemar, Delman, Gage, Gregorek, Reyes, and Willoughby; NOES, none; RECUSE, none; ABSENT, Downs. The motion was carried 6 to 0.

It was moved by Gregorek, seconded by DeDiemar, to recommend adoption of a resolution to approve the Specific Plan, File No., PSP15-001, subject to conditions of approval. Roll call vote: AYES, DeDiemar, Delman, Gage, Gregorek, Reyes, and Willoughby; NOES, none; RECUSE, none; ABSENT, Downs. The motion was carried 6 to 0.

- C. **ENVIRONMENTAL ASSESSMENT DEVELOPMENT AGREEMENT, DEVELOPMENT PLAN AND TENTATIVE PARCEL MAP REVIEW FOR FILE NOS. PDEV16-002 AND PMTT16-001/PM 19643:** A Development Agreement (File No. PDA16-001) between the City of Ontario and CLDFI Remington, LLC, to establish the terms and conditions for the development of Tentative Parcel Map 19643 (File No. PMTT16-001) to subdivide approximately 65.60 acres of land into two parcels to facilitate a Development Plan (File No. PDEV16-002) to construct two industrial buildings totaling 1,289,292 square feet, located approximately 1,160 feet south of Merrill Avenue, north of Remington Avenue, east of the Cucamonga Creek Flood Control Channel and west of Carpenter Avenue, within Planning Area 2 of the Colony Commerce Center West Specific Plan. The environmental impacts of this project were analyzed in the EIR (SCH# 2015061023) prepared for the Colony Commerce Center West Specific Plan (File No. PSP15-001). All adopted mitigation measures of the related EIR shall be a condition of project approval and are incorporated herein by reference. The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and Chino Airport, and was evaluated and found to be consistent with the policies and criteria of both the ONT Airport and Chino Airport Land Use Compatibility Plans. (APNs: 0218-292-09, 0218-292-10, 0218-292-12, 0218-292-13, 0218-292-14); **submitted by Cap Rock-Partners.**
- D. **ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT AGREEMENT REVIEW FOR FILE NO. PDA16-001:** A Development Agreement (File No. PPDA16-001) between the City of Ontario and CLDFI Remington, LLC, to establish the terms and conditions for the development of Tentative Parcel Map 19643 (File No. PMTT16-001), located approximately 1,160 feet south of Merrill Avenue, north of Remington Avenue, east of the Cucamonga Creek Flood Control Channel and west of Carpenter Avenue, within Planning Area 2 of the Colony Commerce Center West Specific Plan. The environmental impacts of this project were analyzed in the EIR (SCH# 2015061023) prepared for the Colony Commerce Center West Specific Plan (File No. PSP15-001). All adopted mitigation measures of the related EIR shall be a condition of project approval and are incorporated herein by reference. The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and Chino Airport, and was evaluated and found to be consistent with the policies and criteria of both the ONT Airport and Chino Airport Land Use Compatibility Plans. (APNs: 0218-292-09, 0218-292-10, 0218-292-12, 0218-292-13, 0218-292-14); **submitted by Cap Rock-Partners. City Council Action Required.**

Mr. Murphy stated they would be taking Items C and D as one staff report.

Senior Planner, Luis Batres, presented the staff report for Planning Area 2 of the Colony Commerce Center West Specific Plan. He described the 65.60 acres site, being divided into two parcels in order to construct two industrial buildings totaling 1,289,292 square feet. Mr. Batres described a site plan, access, parking, landscape, setbacks, and decorative

plaza, leisure areas for guest and employees and how the mandates of the Specific Plan have been followed. Carpenter and Remington will be improved as a two lane local streets. The Carpenter and Merrill signal light will be installed as part of these improvements. Architecture meets or exceeds the specific plan requirements. Development Agreement is being requested to be approved between city and developer for 10 years and can be renewed with 5 yr. option. The Agreement will include funding for public services. He stated that staff is recommending the Planning Commission approve File Nos. PDA16-001, PDEV16-002 and PMTT16-001, pursuant to the facts and reasons contained in the staff report and attached resolution, and subject to the conditions of approval.

PUBLIC TESTIMONY

Patrick Daniels with Caprock Partners appeared and spoke. Mr. Daniels stated warehouse development is a different product today than what it used to be 10 years ago. Everyone buys differently and we want convenience, so they are designing these building to attract those higher tech clients and give them some flexibility. The design standards are higher than what is across the street, but will make it an attractive home for high quality clients. He commented regarding Mr. Gage's comment about the general plan, that yes this project is impacted by the chino airport overlays and has impacted the design of the project. He also wanted to address Mr. Reyes concern that it will have monument signage.

Mr. Willoughby stated that with the QVC building recently within the Meredith Project, we got a taste of what warehousing has become with automation. Mr. Willoughby asked if pending everything moving forward, did Mr. Daniels think this will project would move forward quickly.

Mr. Daniels stated yes he sees it moving forward quickly, as the demand is high for this type of project. They have design plans submitted already to the city for building permits to be pulled as soon as possible.

As there was no one else wishing to speak, Chairman Delman closed the public testimony

Mr. Willoughby asked being that the items C and D were presented together, do we have to take separate votes.

Mr. Murphy stated that they would need to split the actions as Item D is a recommendation that goes to City Council. He also addressed the minor revisions to the engineering and landscape conditions of approval that were given to the commissioners.

PLANNING COMMISSION ACTION

It was moved by Willoughby, seconded by Reyes, to adopt a resolution to approve the Tentative Parcel Map, File No., PMTT16-001 and the Development Plan, File No. PDEV16-002, subject to conditions of approval, with additions presented. Roll call vote: AYES, DeDiamar, Delman, Gage, Gregorek, Reyes, and Willoughby; NOES, none; RECUSE, none; ABSENT, Downs. The motion was carried 6 to 0.

It was moved by Gage, seconded by Gregorek, to recommend adoption of a resolution to approve the Development Agreement, File No., PDA16-001, subject to conditions of approval. Roll call vote: AYES, DeDietmar, Delman, Gage, Gregorek, Reyes, and Willoughby; NOES, none; RECUSE, none; ABSENT, Downs. The motion was carried 6 to 0.

E. ENVIRONMENTAL ASSESSMENT, TENTATIVE TRACT MAP AND DEVELOPMENT PLAN REVIEW FOR FILE NOS. PMTT17-008 AND PDEV17-

026: A Tentative Tract Map (File No. PMTT17-008; TT 18984) to subdivide 6.11 acres of land into 55 numbered lots and 2 lettered lots in conjunction with a Development Plan (File No. PDEV17-026) for the construction of 55 single family detached homes, private/common open space areas and recreational amenities, located at 2041 East Fourth Street, within the MDR-11 (Low Medium Density Residential) zoning district. The environmental impacts of this project were previously reviewed in conjunction with File Nos. PGPA14-002 and PZC14-003, for which a Mitigated Negative Declaration was adopted by the Ontario City Council on November 18, 2014. This project introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP). (APN: 0110-441-10); **submitted by KB Home Coastal, Inc.**

Senior Planner, Lorena Mejia, presented the staff report. She described the project site which was the old facility for the Daily Bulletin Newspapers, but is presently vacant. This project was processed and entitled in 2014 with a General Plan Amendment and Zone Change from commercial to residential and was approved by City Council in November 2014. Planning Commission also approved a planned residential development standards for a development plan and tract map in December 2014, however the developer did not move forward, and the Development Plan and Tentative Tract map expired in December 2016. KB Homes submitted an application in June 2017 to reinstates those previous approvals. Ms. Mejia described the site and surrounding areas. The project would consist of a 55 units proposed. She described the access, community park, open space, 4 floor plans with two architectural styles per plan, landscape, setback areas, parking, street frontage, and monument signage. She stated that staff is recommending the Planning Commission approve File Nos. PMTT17-008 and PDEV17-026, pursuant to the facts and reasons contained in the staff report and attached resolution, and subject to the conditions of approval.

Mr. Gage asked if there are HOA rules for keeping garage used for car parking.

Ms. Mejia stated yes it will be included in the CC&Rs, and the HOA will need to enforce this.

Mr. Gage asked if any storage plans for in the garages to help homeowners store things to keep area free for car parking.

Ms. Mejia stated nothing within the garage is designed for storage.

Mr. Willoughby asked if on the existing 7600 square foot building has there been any

inspection of the building for any hazardous content.

Ms. Mejia stated there was an environmental assessment done a couple years ago when the project was first submitted and they didn't find anything that was hazardous.

Mr. Willoughby stated that there are no concerns when demolition starts.

Ms. Mejia stated that was correct.

Mr. Reyes asked about a description of amenities offered.

Ms. Mejia stated a pool, recreation building with attached patio cover, tot lot, picnic tables, bbqs and an active play area are proposed.

PUBLIC TESTIMONY

RJ Hernandez, the project manager, with KB homes appeared and spoke, thanking staff and stated he is excited about the project.

As there was no one else wishing to speak, Chairman Delman closed the public testimony

Mr. Gregorek stated he was glad we are revisiting this site. The project is well thought out, circulation is good, it has some great amenities and would look great in this area. He would be in support of the project.

Mr. Reyes stated he would like to see us work with the applicant regarding the layout and details of the tot lot and park area, especially with the visibility from the front.

Mr. Murphy stated that there are minor changes to Conditions of Approval that delete the reference to reciprocal parking and access between parcels that were presented to the commissioners.

PLANNING COMMISSION ACTION

It was moved by Reyes, seconded by Willoughby, to adopt a resolution to approve the Tentative Tract Map, File No. PMTT17-008 and Development Plan, File No. PDEV17-026, subject to conditions of approval. Roll call vote: AYES, DeDiemar, Delman, Gage, Gregorek, Reyes, and Willoughby; NOES, none; RECUSE, none; ABSENT, Downs. The motion was carried 6 to 0.

F. ENVIRONMENTAL ASSESSMENT AND PLANNED UNIT DEVELOPMENT REVIEW FOR FILE NO. PUD17-002:

A Planned Unit Development to establish development standards and guidelines to facilitate the development of a 101-unit apartment project at a density of approximately 24.1 dwelling units per acre, on 4.18 acres of land bordered by Holt Boulevard on the south, Nocta Street on the north, and Virginia Avenue on the west, within the MU-2 (East Holt Mixed Use) zoning district.. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, Infill Development Projects) of the CEQA Guidelines. The proposed project is located within

the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP). (APNs: 1048-472-11, 1048-472-01, 1048-472-02, 1048-472-03, and 1048-472-04); **submitted by National Community Renaissance of California. City Council action is required.**

G. ENVIRONMENTAL ASSESSMENT, TENTATIVE PARCEL MAP AND DEVELOPMENT PLAN REVIEW FOR FILE NOS. PMTT17-009 & PDEV17-031:

A Tentative Parcel Map (File No. PMTT17-009/PM 19877) to subdivide 4.18 acres of land into a single parcel to facilitate the development of a Development Plan (File No. PDEV17-031) to construct a 101-unit apartment project, at a density of approximately 24.1 dwelling units per acre, on property generally bordered by Holt Boulevard on the south, Nocta Street on the north, and Virginia Avenue on the west, within the MU-2 (East Holt Mixed Use) zoning district. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Sections 15315 (Minor Land Divisions) and 15332 (Class 32, Infill Development Projects) of the CEQA Guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP); (APNs: 1048-472-11, 1048-472-01, 1048-472-02, 1048-472-03, and 1048-472-04) **submitted by National Community Renaissance of California.**

Mr. Murphy stated he would like to present Item F & G together in one staff report.

Senior Planner, Chuck Mercier, presented the staff report and described the project site, location and surrounding uses. Policy plan requires that the development of properties in this district be implemented through a planned unit development. The PUD establishes the development standards and guidelines and tentative parcel map and development plan. Mr. Mercier described the site plan, design, parking, amenities: tot lot, pool, community garden, recreation and conference rooms, private open space, architectural design and access. The applicant and requested a parking reduction due to transit transportation options in close proximity. He presented the San Diego parking model used to establish parking requirements for the PUD parking. He stated that staff is recommending the Planning Commission recommend to City Council approval of File No. PUD17-002, pursuant to the facts and reasons contained in the staff report and attached resolution, and subject to the conditions of approval. He also stated the revisions to Conditions of Approval regarding manufactured carports and sub metering for each unit.

Mr. Gage wanted clarification regarding the parking comparison. Our Development Code requires 235 spaces, and this San Diego Study states PUD at 166, but for this project we would approve 181.

Mr. Mercier stated that is correct.

Mr. Gage stated we are using San Diego study to lower our parking standards, but SRO and Senior are on the model, does this project have a senior component.

Mr. Mercier stated the study reflects what they studied.

Mr. Gage asked about studios or one bedrooms or family units in any of these. One out of five areas that the San Diego area study covered. Comments in the study that talked about results that large family affordable housing have higher parking needs than all other housing types. Another result stated areas already experiencing parking shortages will more likely be impacted no matter how small and this should be considered. He knows this area and he drove the area Sunday evening and Virginia Street was already totally parallel parked from Holt to Nocta. Nocta was parallel parked from Grove to almost Euclid. Elma Street was also all parallel parked on both sides. There are parking shortages in the area already and has this been taken into consideration when we look at the area.

Mr. Murphy stated we do consider the neighborhood and the income levels of the families living in the development. When we consider all this and the amount of spaces they are providing over the 166, going to 181 is appropriate. Plus if we look at the transit opportunities available, which the Holt line is the heaviest travelled route in the western valley that Omnitrans operates. Plus this location gives direct access to transit and the project will also be providing bus passes for residence. Mr. Murphy went through and clarified San Diego study. We realize that the study is not a one size fits all and that San Diego isn't Ontario. He stated that the 1.8 spaces per unit provided for this project for the location and income levels are appropriate.

Mr. Gage stated the San Diego study looked at not only income levels but transit access. We have the bus transit, but where does it go from there, downtown Ontario, Mills and Fontana, it doesn't go everywhere. Walkability is another factor. Can you walk to grocery store from there? If you are in an urban setting things are more walkable. Have they done a study of the walkability portion in this location?

Mr. Murphy stated no walkability study has been done for this area that he is aware. Holt Boulevard. has a number of gaps in the sidewalk system and part of the plans for the BRT going down Holt Boulevard is to make improvements in this area that would help facilitate the walkability.

Mr. Gregorek stated the parking on the site plan is not evenly distributed and looks heavy of the north end of the site.

Mr. Murphy stated that staff wanted to get the elevations and buildings up to the street to get the streetscape along Holt Blvd.

PUBLIC TESTIMONY

Alexa Washburn with National Community Renaissance of California appeared and spoke. Ms. Washburn described their organization. They sees this project as a partnership with the City for the first transit oriented development project. They are looking forward to supporting the city in their application for the TCC funding with this community project that is key to obtaining that cap and trade funding. She went over the variables they used for their parking framework. Not only did they look at the San Diego study but also car ownership - one car per household. Core's experience with parking utilizations studies of their other facilities, they have found that 1.6 spaces per unit is adequate and we are offering more than that. The third objective was to help the assist the city in

scoring higher to get TCC funding, by offsetting the parking by using transit or walking, or biking. State law requires a maximum of 0.5 parking ratio, so by law they can go lower, but they want their projects to be successful. She described destinations that are within a 15-20 minutes, a walkable time frame and destinations the Omni bus route can get residents to.

Regional manager, Mundy Doro stated they have 1500 units in Rancho that they manage. All of their facilities do have strict parking guidelines and they partner with a towing company to enforce these guidelines.

Mr. Willoughby asked if the parking study based on project mentioned was based on Montclair and Rancho.

Ms. Washburn stated yes.

As there was no one else wishing to speak, Chairman Delman closed the public testimony

Mr. Gage stated he would like to hear more about community garden and recreation

As there was no one else wishing to speak, Chairman Delman closed the public testimony

May Chen, project architects explained the outdoor space which includes a pool and tot lot trees to shade that area and a structure with cover area. We will have a community garden. The idea to locate parking to north to create an urban edge on Holt Street. She described the amenities that include an indoor recreation room, computer lab, multi-purpose room, work space, community kitchen, and two laundry room facilities located strategically.

Mr. Gage asked for an explanation about how the community garden works.

Ms. Chen stated the community garden would be vegetable and edible plants, but it is more a property management item.

Ms. Washburn stated they would partner with local community gardening program and educate the residents and empower them to take ownership of the garden.

Mr. Gage asked if the computer/multi-purpose room would be somewhere young people can do homework after school.

Ms. Washburn stated absolutely that they often partner with the boys and girls clubs for homework. Also have adult classes they run out of the lab.

Mr. Willoughby stated he saw on their website after school programs would be run through the multi-purpose room.

Ms. Washburn stated yes and they will offer summer programs as well and work with school districts

Mr. Gage stated in regards to the parking survey, would Core periodically look at this and

people complained, would you make the change and make more spaces available.

Ms. Wahburn stated they haven't had any parking issues. But the way they handle that is through managing the parking regulations within the project.

Ms. Doro stated they monitor the vehicles that are being parked in the community and attack it from other aspect.

Mr. Reyes wanted to thank them for clarifying the amenities, and addressing various ages. Do they have a dog park area?

Ms. Doro stated yes pets are allowed under 25 pounds.

Mr. Reyes asked if the areas to north could be a doggie area.

Ms. Doro stated they have pet stations throughout the project.

As there was no one else wishing to speak, Chairman Delman closed the public testimony

Mr. Gage stated that he was glad they are hands on with the project. He stated there is a nice dog park to the north of the area in walking distance. Glad to see all the amenities which is a trade off with all the parking. He really hopes they encourage after school homework areas for the kids after school, the pool is great and the community garden is an asset and he can look past the parking and will be in support of this project.

Mr. Reyes stated this is a good looking project further away from the downtown. He was glad the buildings are on Holt. He stated he would like to see a comprehensive map or study pinpoint where these development project are and what is coming on board from a City's perspective as a whole. He stated he is glad to have amenities there.

Mr. Willoughby asked if the PUD has to be handled separately.

Mr. Murphy stated yes please.

Mr. Willoughby stated there is a great need for affordable housing and this is a nice project and their hands on approach will make it a great project.

Mr. Delman stated he was happy to see it going in.

Mr. Gregorek stated the project is done well and the City needs something there

PLANNING COMMISSION ACTION

It was moved by Gregorek, seconded by Reyes, to recommend adoption of a resolution to approve the Planned unit Development, File No., PUD17-002, subject to conditions of approval. Roll call vote: AYES, DeDiemar, Delman, Gage, Gregorek, Reyes, and Willoughby; NOES, none; RECUSE, none; ABSENT, Downs. The motion was carried 6 to 0.

It was moved by Willoughby, seconded by Gregorek, to adopt a resolution to approve the Tentative Parcel Map, File No., PMTT17-009, and the Development Plan, File No., PDEV17-031, subject to conditions of approval. Roll call vote: AYES, DeDiemar, Delman, Gage, Gregorek, Reyes, and Willoughby; NOES, none; RECUSE, none; ABSENT, Downs. The motion was carried 6 to 0.

H.

MATTERS FROM THE PLANNING COMMISSION

Old Business Reports From Subcommittees

Historic Preservation (Standing): This subcommittee did not meet.

Development Code Review (Ad-hoc): This subcommittee did not meet.

Zoning General Plan Consistency (Ad-hoc): This subcommittee did not meet.

New Business

NOMINATIONS FOR SPECIAL RECOGNITION

Mr. Willoughby spoke and would like to nominate Ms. Callejo for special recognition.

Mr. Murphy stated Ms. Marci Callejo is now part of the development agency and this will be her last meeting. The commissioners presented her with flowers and many thanks for a wonderful job.

DIRECTOR'S REPORT

Mr. Murphy stated monthly reports are available.

ADJOURNMENT

Mr. Delman declared the meeting adjourned at 8:32 PM.

Secretary Pro Tempore

Chairman, Planning Commission



PLANNING COMMISSION STAFF REPORT

September 26, 2017

SUBJECT: A Development Plan (File No. PDEV16-044) to construct a residential apartment complex consisting of 6-units on 0.3 acres of land located at 1444 W. Stoneridge Court, within the MDR-25 (Medium-High Density Residential - 18.1 to 25.0 DUs/Acre) zoning district (APN: 1010-551-06); submitted by Brother Home Trading Corp.

PROPERTY OWNER: Brother Home Trading Corp.

RECOMMENDED ACTION: That the Planning Commission approve File No. PDEV16-044, pursuant to the facts and reasons contained in the staff report and attached resolution, and subject to the conditions of approval contained in the attached departmental reports.

PROJECT SETTING: The project site is comprised of 0.3 acres of land located at 1444 W. Stoneridge Court, within the MDR-25 (Medium-High Density Residential- 18.1 to 25.0 DUs/Acre) zoning district, and is depicted in **Figure 1: Project Location**, below. The project site is currently vacant and is bounded on the north by single family homes, to the east by a residential duplex, and to the west and south by multi-family residential apartments. The existing zoning designation of MDR-25 is consistent with the General Plan land use designation of Medium Density Residential (11 to 25 DUs/Acre).

PROJECT ANALYSIS:

[1] Background — On September 18, 2017, the Development Advisory Board (DAB) conducted a hearing to consider the subject Development Plan and concluded the hearing on that date, recommending that the Planning Commission approve the Application subject to conditions of approval which have been included with the Planning Commission resolution.

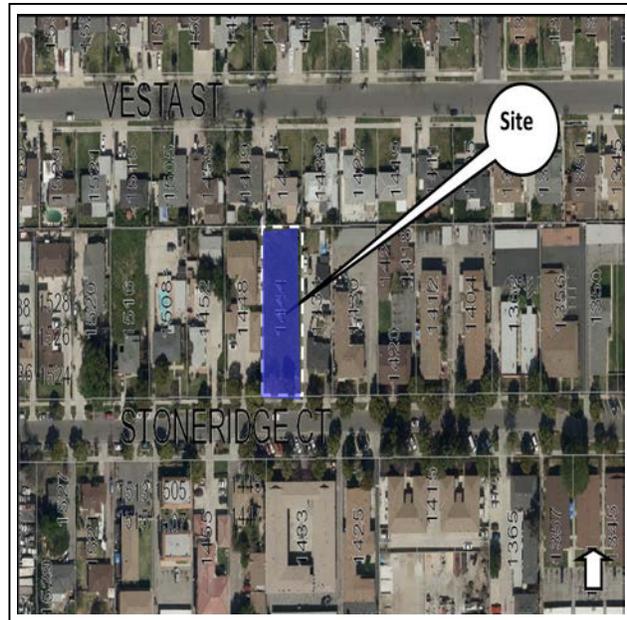


Figure 1: Project Location

Case Planner:	Luis E. Batres, Senior Planner	Hearing Body	Date	Decision	Action
Planning Director Approval:		DAB	9-18-17	Approve	Recommend
Submittal Date:	10-26-16	PC	9-26-17		Final
Hearing Deadline:	2-7-18	CC			

[2] Site Design/Building Layout —The applicant is requesting approval to develop a 6-unit residential apartment complex on 0.3 acres (13,374 square feet) of land. Staff has worked with the applicant to design a project that meets the goals and requirements of the MDR-25 zoning designation and the goals and policies of TOP. The project has been designed with the objective of creating a safe and attractive residential apartment design.

The 0.3-acre site is rectangular in shape with a lot width of 74.30' and lot depth of 180'. The narrow lot dimensions and the size of the parcel provided many challenges in meeting the minimum density requirement of 18.1 dwelling units per acre and ensuring compliance with the requirement standards (setbacks, circulation, parking, private and common open space). To address the site challenges, the project has been designed with one, 3-story tall structure, allowing more available open space to comply with setbacks, parking and open space requirements. The first floor for each unit will feature the primary entrance to each apartment unit, a two-car garage (20' x 20'), laundry facility, storage space, and a private stairwell leading to the living areas on the second and third floors (see **Figure 2: Site Plan & Exhibit A: First Floor Plan**). The primary access to the units has been oriented toward the west of the site and the garage doors and entry drive aisle, toward the east side of the site. Common open space has been provided along the north side with amenities provided at the northeast portion of the site.

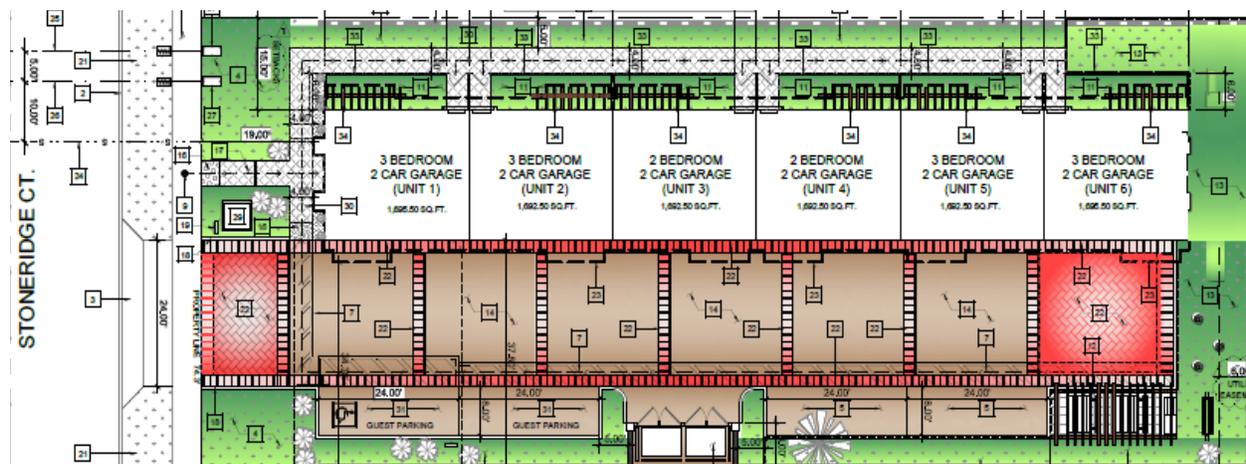


Figure 2: Site Plan

The development plan consist of six attached residential apartment units. Units 1 and 6 are proposed at 1,695 square feet. Units 2, 3, 4, 5 will each have an area of 1,692 square feet. The 3-story structure will have a maximum height of 32'-4". The project is proposing two floor plans. Four of the units will feature 3-bedrooms and 2-1/2 baths and two of the units will feature 2-bedrooms and 2-1/2 baths. Each unit will be provided with an individual 20' x 20' two-car garage with private storage area and a laundry area (see **Exhibit A, B, C: Floor Plans**). The second floor plan will have the kitchen, dining room, living room and a powder room. The third floor plan will feature 2 or 3-bedrooms and 2-bathrooms

[3] Site Access/Circulation —The project will have one point of vehicular access along Stoneridge Court through a 24-foot wide drive aisle. The drive aisle will be located along the east side of the residential apartment building. Pedestrian access from Stoneridge Court will be provided along the west side of the project, along a 4-foot wide sidewalk.

[4] Parking — A total of 16 parking spaces are required for the project. The Ontario Development Code requires two (2) spaces for 2-bedroom units and 2.5 spaces for 3-bedroom units, with one space within a garage or carport. Code also requires one (1) guest parking space per 4 units. The proposed project is in compliance with parking requirements, and will provide a total of 12 parking spaces within enclosed two-car garage units and 4 open parking spaces. Two of the open parking spaces will be designated for guest parking. Guest parking will be accessed and located along the east side of the apartment building. All garage units will have direct access to the individual units.

[5] Architecture — The MDR-25 zoning district was established to accommodate medium-high density, multiple-family development in an urban environment. The project is proposing a contemporary architecture design with Spanish Colonial influences. The mass and scale of the building is designed to be proportionate to the site, open space, and scale of the zoning land use area in which it is located. The proposed architectural design of the building exceeds the architectural design guidelines of the Ontario Development Code, which encourage high quality architecture and a level of authenticity of styles through the use of appropriate design elements. Special attention was given to the colors, materials, massing, building form and architectural details (see **Figure 3: Northwest View & Exhibits E, F, G: Perspectives & Elevations**).



Figure 3: Northwest View

This is exemplified through the use of:

- An exterior hump & bump stucco finish;
- Santa Cruz tile roof;

- Decorative lighting fixtures;
- Tile shed roofs at key locations;
- Decorative window trims;
- Exposed rafter tails;
- Handcrafted ceramic tile along the north and south elevations;
- Decorative wrought iron work at key locations along the second and third floor balconies; and
- Trellis along the west and east side of the building to soften the hardscape.

[6] Landscaping —The project will provide a 20-foot landscape setback along Stoneridge Court, 15-feet along the west property line, 8-feet along the east property line and approximately 12-feet along the north property line. Decorative pavers will be utilized at the entry driveway and along the pedestrian path from the street sidewalk to the front of each unit. The plant pallet will consist of shade trees, ground cover and shrubs (see ***Exhibit D: Landscape Plan***).

The Ontario Development Code requires 150 square feet of private open space per unit and 250 square feet of common open space per unit. The project is proposing 187 square feet of private open space per unit and 274 square feet of common open space per unit. The private open space will be provided within private enclosed courtyards to each unit, containing decorative paving and a customized overhead decorative trellis, and small outside balconies. The proposed 1,645 square feet (1,500 sq. ft. required) of common open space will be provide in the forms of:

- BBQ area;
- Children’s playground area (Spintastic & Wave Rider Seesaw);
- Customized trellis patio;
- Picnic tables; and
- Swing bench.

[7] Utilities (drainage, sewer) — To serve the proposed development, the project will be required to install and construct the following infrastructure:

- Equip the existing fire hydrant along Stoneridge Court with a break-off check valve;
- Install a sewer lateral with a clean-out along Stoneridge Court;
- Install a water line for domestic service, irrigation and fire service along Stoneridge Court;
- Design and construct fiber optic system to provide access to the City’s conduit and fiber optic system per the City’s Fiber Optic Master Plan;
- The project will be required to comply with NPDES requirements with low impact development (LID) best management practices (BMPs), such as retention and infiltration and evapotranspiration; and

- Pay Storm Drain In-Lieu Fee to the Engineering Department.

COMPLIANCE WITH THE ONTARIO PLAN: The proposed project is consistent with the principles, goals and policies contained within the Vision, Governance, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan (TOP). More specifically, the goals and policies of TOP that are furthered by the proposed project are as follows:

[1] City Council Goals.

- Invest in the Growth and Evolution of the City's Economy
- Operate in a Businesslike Manner
- Focus Resources in Ontario's Commercial and Residential Neighborhoods
- Invest in the City's Infrastructure (Water, Streets, Sewers, Parks, Storm Drains and Public Facilities)

[2] Vision.

Distinctive Development:

- Commercial and Residential Development
 - Development quality that is broadly recognized as distinctive and not exclusively tied to the general suburban character typical of much of Southern California.

[3] Governance.

Decision Making:

- Goal G1: Sustained decision-making that consistently moves Ontario towards its Vision by using The Ontario Plan as a framework for assessing choices.
 - G1-2 Long-term Benefit. We require decisions to demonstrate and document how they add value to the community and support the Ontario Vision

[4] Policy Plan (General Plan)

Land Use Element:

- Goal LU1: A community that has a spectrum of housing types and price ranges that match the jobs in the City and that make it possible for people to live and work in Ontario and maintain a quality of life.

➤ LU1-1 Strategic Growth. We concentrate growth in strategic locations that help create place and identity, maximize available and planned infrastructure, and foster the development of transit.

➤ LU1-6 Complete Community: We incorporate a variety of land uses and building types in our land use planning efforts that result in a complete community where residents at all stages of life, employers, workers and visitors have a wide spectrum of choices of where they can live, work, shop and recreate within Ontario. (Refer to Complete Community Section of Community Economics Element).

- Goal LU2: Compatibility between a wide range of uses.

➤ LU2-6: Infrastructure Compatibility: We require infrastructure to be aesthetically pleasing and in context with the community character.

Housing Element:

▪ Goal H2: Diversity of types of quality housing that are affordable to a range of household income levels, accommodate changing demographics, and support and reinforce the economic sustainability of Ontario.

➤ H2-5 Housing Design. We require architectural excellence through adherence to City design guidelines, thoughtful site planning, environmentally sustainable practices and other best practices.

Goal H5: A full range of housing types and community services that meet the special housing needs for all individuals and families in Ontario, regardless of income level, age or other status.

➤ H5-2 Family Housing. We support the development of multi-family housing that are appropriate for families with children, including, as feasible, the provision of services, recreation and other amenities.

Community Economics Element:

▪ Goal CE1: A complete community that provides for all incomes and stages of life.

➤ CE1-6 Diversity of Housing. We collaborate with residents, housing providers and the development community to provide housing opportunities for every stage of life; we plan for a variety of housing types and price points to support our workforce, attract business and foster a balanced community.

- Goal CE2: A City of distinctive neighborhoods, districts, and corridors, where people choose to be.

- CE2-1 Development Projects. We require new development and redevelopment to create unique, high-quality places that add value to the community.

- CE2-2 Development Review. We require those proposing new development and redevelopment to demonstrate how their projects will create appropriately unique, functional and sustainable places that will compete well with their competition within the region.

- CE2-4 Protection of Investment. We require that new development and redevelopment protect existing investment by providing architecture and urban design of equal or greater quality.

- CE2-5 Private Maintenance. We require adequate maintenance, upkeep, and investment in private property because proper maintenance on private property protects property values.

Safety Element:

- Goal S1: Minimized risk of injury, loss of life, property damage and economic and social disruption caused by earthquake-induced and other geologic hazards.

- S1-1 Implementation of Regulations and Standards. We require that all new habitable structures be designed in accordance with the most recent California Building Code adopted by the City, including provisions regarding lateral forces and grading.

Community Design Element:

- Goal CD1: A dynamic, progressive city containing distinct neighborhoods and commercial districts that foster a positive sense of identity and belonging among residents, visitors, and businesses.

- CD1-1 City Identity. We take actions that are consistent with the City being a leading urban center in Southern California while recognizing the diverse character of our existing viable neighborhoods.

- CD1-2 Growth Areas. We require development in growth areas to be distinctive and unique places within which there are cohesive design themes.

- CD1-3 Neighborhood Improvement. We require viable existing residential and non-residential neighborhoods to be preserved, protected, and enhanced in accordance with our land use policies.

▪ Goal CD2: A high level of design quality resulting in public spaces, streetscapes, and developments that are attractive, safe, functional and distinct.

➤ CD2-1 Quality Architecture. We encourage all development projects to convey visual interest and character through:

- Building volume, massing, and height to provide appropriate scale and proportion;
- A true architectural style which is carried out in plan, section and elevation through all aspects of the building and site design and appropriate for its setting; and
- Exterior building materials that are visually interesting, high quality, durable, and appropriate for the architectural style.

➤ CD2-2 Neighborhood Design. We create distinct residential neighborhoods that are functional, have a sense of community, emphasize livability and social interaction, and are uniquely identifiable places through such elements as:

- A pattern of smaller, walkable blocks that promote access, activity and safety;
- Variable setbacks and parcel sizes to accommodate a diversity of housing types;
- Traffic calming measures to slow traffic and promote walkability while maintaining acceptable fire protection and traffic flows;
- Floor plans that encourage views onto the street and de-emphasize the visual and physical dominance of garages (introducing the front porch as the “outdoor living room”), as appropriate; and
- Landscaped parkways, with sidewalks separated from the curb.

➤ CD2-7 Sustainability. We collaborate with the development community to design and build neighborhoods, streetscapes, sites, outdoor spaces, landscaping and buildings to reduce energy demand through solar orientation, maximum use of natural daylight, passive solar and natural ventilation, building form, mechanical and structural systems, building materials and construction techniques.

➤ CD2-8 Safe Design. We incorporate defensible space design into new and existing developments to ensure the maximum safe travel and visibility on pathways, corridors, and open space and at building entrances and parking areas by avoiding

physically and visually isolated spaces, maintenance of visibility and accessibility, and use of lighting.

➤ CD2-9 Landscape Design. We encourage durable landscaping materials and designs that enhance the aesthetics of structures, create and define public and private spaces, and provide shade and environmental benefits.

➤ CD2-10 Surface Parking Areas. We require parking areas visible to or used by the public to be landscaped in an aesthetically pleasing, safe and environmentally sensitive manner. Examples include shade trees, pervious surfaces, urban run-off capture and infiltration, and pedestrian paths to guide users through the parking field.

➤ CD2-11 Entry Statements. We encourage the inclusion of amenities, signage and landscaping at the entry to neighborhoods, commercial centers, mixed use areas, industrial developments, and public places that reinforce them as uniquely identifiable places.

➤ CD2-12 Site and Building Signage. We encourage the use of sign programs that utilize complementary materials, colors, and themes. Project signage should be designed to effectively communicate and direct users to various aspects of the development and complement the character of the structures.

➤ CD2-13 Entitlement Process. We work collaboratively with all stakeholders to ensure a high degree of certainty in the efficient review and timely processing of all development plans and permits.

▪ Goal CD3: Vibrant urban environments that are organized around intense buildings, pedestrian and transit areas, public plazas, and linkages between and within developments that are conveniently located, visually appealing and safe during all hours.

➤ CD3-1 Design. We require that pedestrian, vehicular, bicycle and equestrian circulation on both public and private property be coordinated and designed to maximize safety, comfort and aesthetics.

➤ CD3-2 Connectivity Between Streets, Sidewalks, Walkways and Plazas. We require landscaping and paving be used to optimize visual connectivity between streets, sidewalks, walkways and plazas for pedestrians.

➤ CD3-3 Building Entrances. We require all building entrances to be accessible and visible from adjacent streets, sidewalks or public open spaces.

➤ CD3-5 Paving. We require sidewalks and road surfaces to be of a type and quality that contributes to the appearance and utility of streets and public spaces.

➤ CD3-6 Landscaping. We utilize landscaping to enhance the aesthetics, functionality and sustainability of streetscapes, outdoor spaces and buildings.

▪ Goal CD5: A sustained level of maintenance and improvement of properties, buildings and infrastructure that protects the property values and encourages additional public and private investments.

➤ CD5-1 Maintenance of Buildings and Property. We require all public and privately owned buildings and property (including trails and easements) to be properly and consistently maintained.

➤ CD5-2 Maintenance of Infrastructure. We require the continual maintenance of infrastructure.

HOUSING ELEMENT COMPLIANCE: The project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan, as the project site is not one of the properties in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix.

AIRPORT LAND USE COMPATIBILITY PLAN (ALUCP) COMPLIANCE: The project site is located within the Airport Influence Area of the Ontario International Airport (ONT), and has been found to be consistent with the policies and criteria set forth within the ALUCP for ONT.

ENVIRONMENTAL REVIEW: The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section (Class 32-In-Fill Development Projects) of the CEQA Guidelines, which consists of (a) Projects that are consistent with the applicable general plan designation and all applicable general plan policies, (b) Development that occurs within city limits on a project site of no more than five acres, (c) The project site has no value as habitat for endangered, rare or threatened species; and (d) The site can be adequately served by all required utilities and public services.

CONDITIONS OF APPROVAL: See attached department reports.

Exhibit A: FIRST FLOOR PLAN

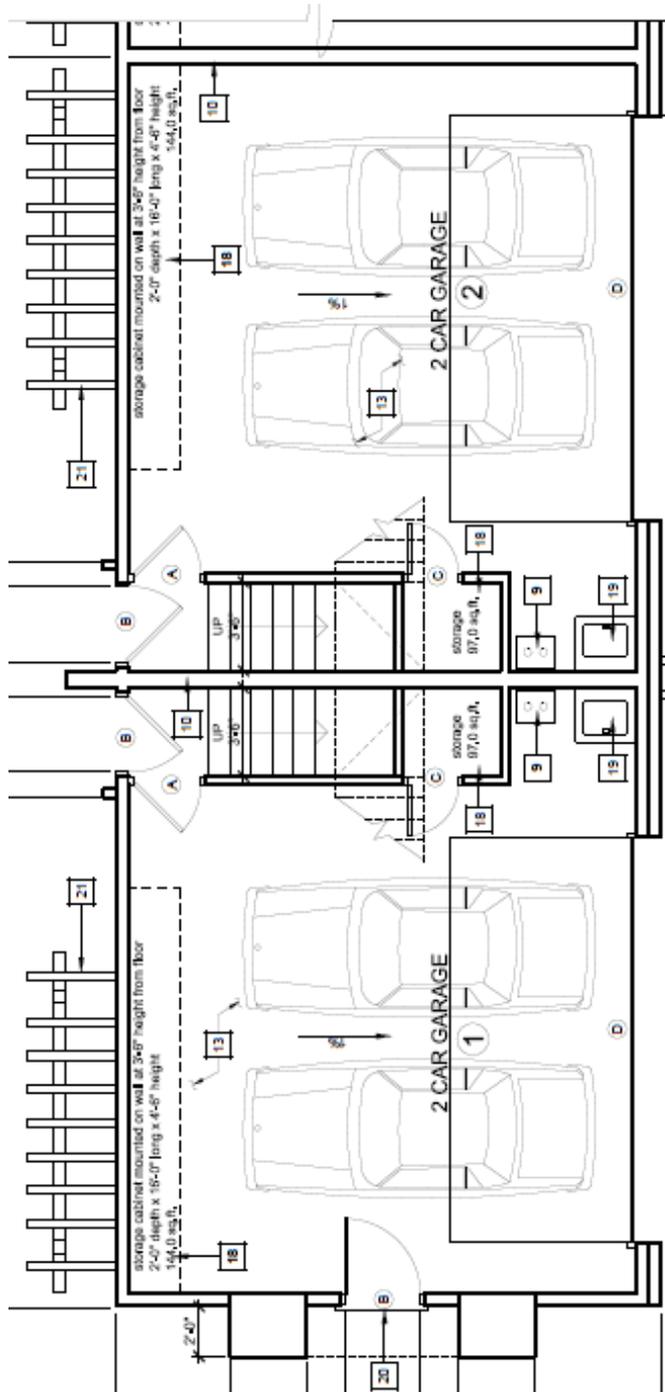


Exhibit B: TYPICAL SECOND FLOOR PLAN

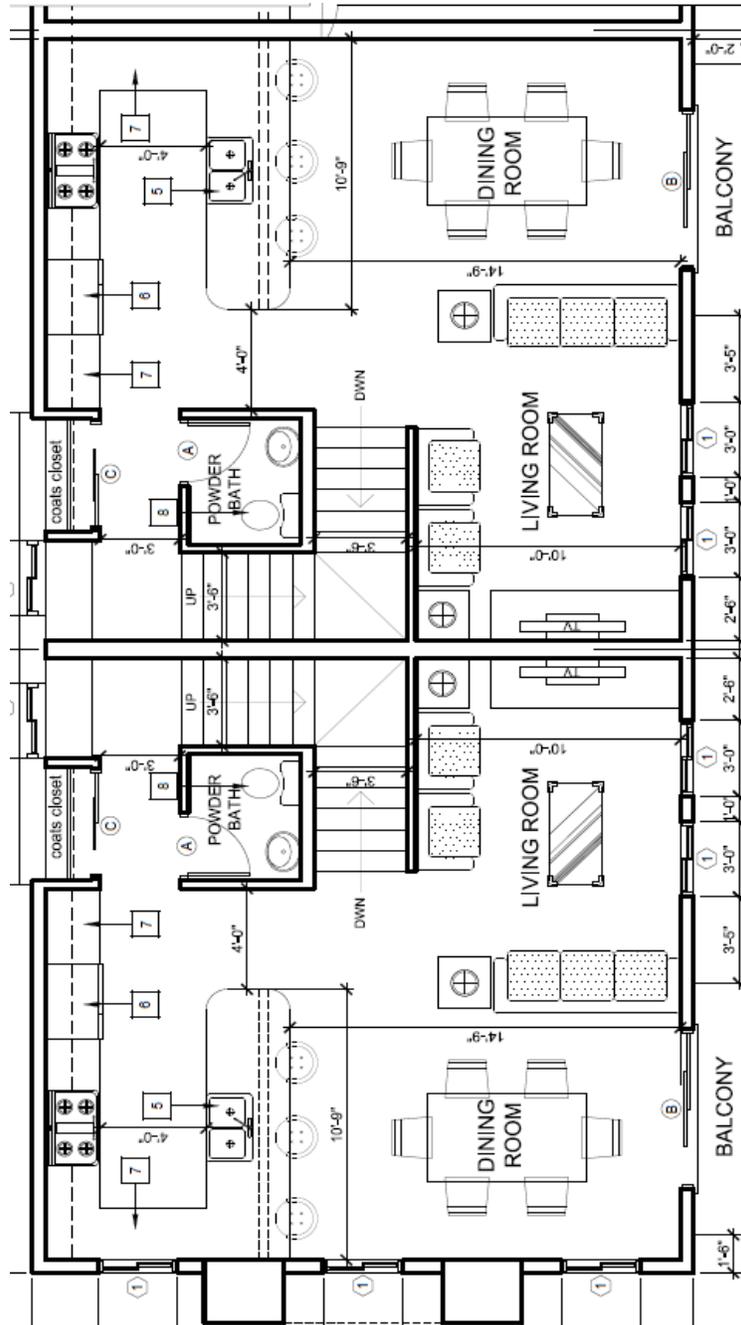


Exhibit C: TYPICAL THIRD FLOOR PLAN

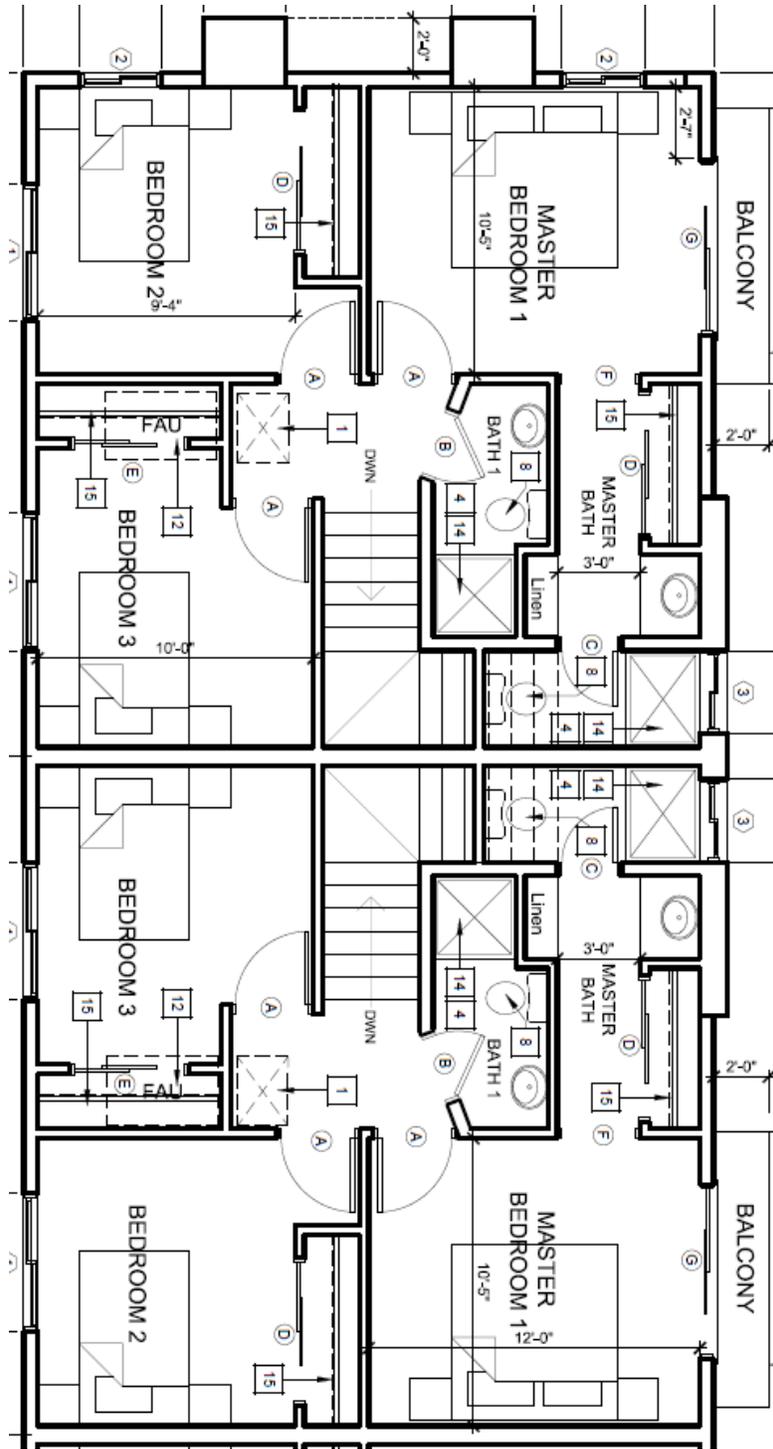
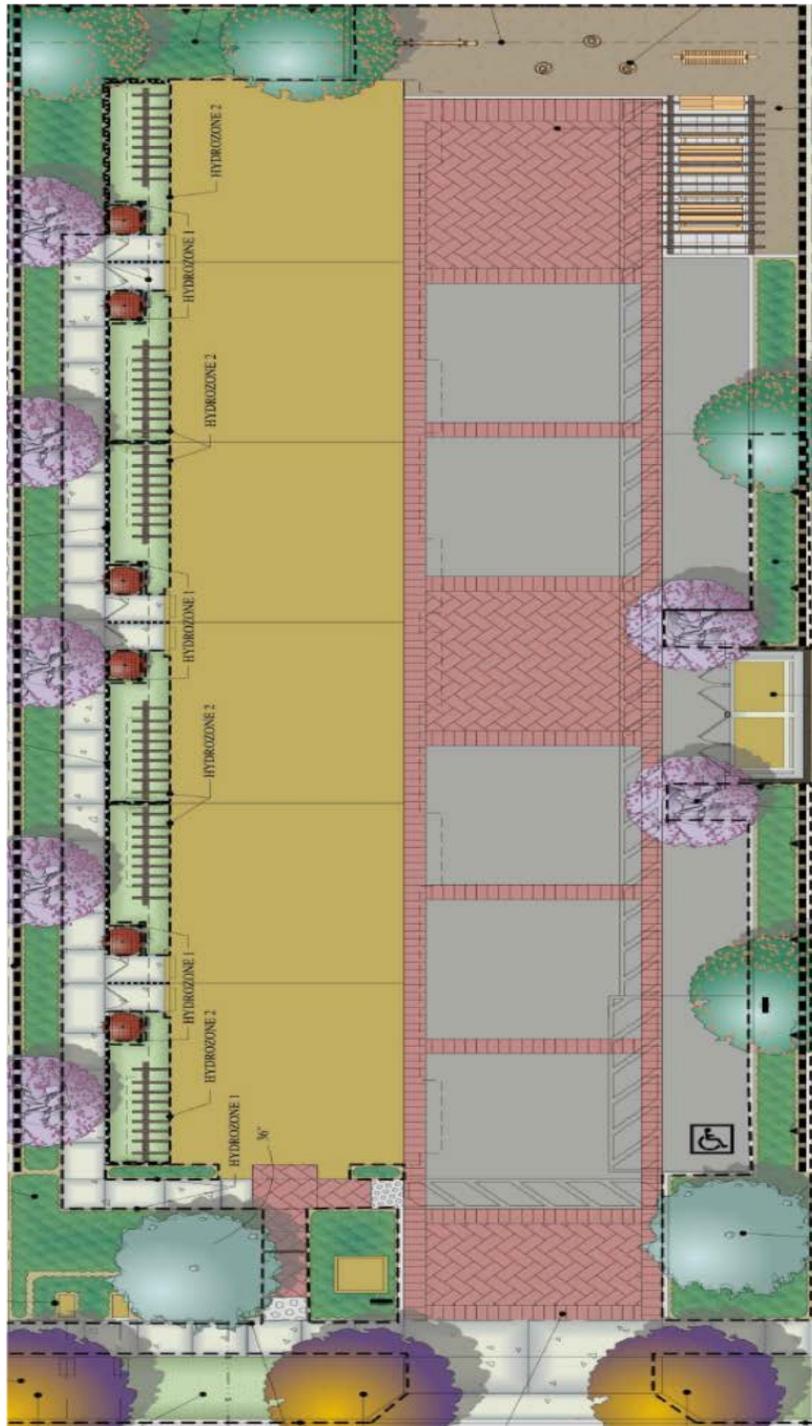


Exhibit D: LANDSCAPE PLAN



STONERIDGE COURT

Exhibit E: *PERSPECTIVES*



NORTHWEST VIEW



SOUTHWEST VIEW

Exhibit F—ELEVATIONS



EAST ELEVATIONS



WEST ELEVATIONS

Exhibit G—ELEVATIONS



NORTH ELEVATION



SOUTH ELEVATION

Exhibit H: COLOR MATERIAL BOARD

COLOR AND MATERIAL BOARD
NEW MULTIFAMILY 6 UNIT APARTMENT COMPLEX
 1444 W. STONERIDGE COURT, ONTARIO CA 91762

ROOFING, EAGLE
 ROOF TILE
 "SANTA CRUZ
 BLEND" SMC 8402





8" DIAMETER
 DECORATIVE CLAY
 VENTS



POLYURETHANE
 DECORATIVE DOUBLE
 EDGE TRIM MOLDING



7/8" EXTERIOR HUMP AND
 BUMP STUCCO FINISH,
 BEHR PAINT COLOR:
 WHISPER WHITE
 HDC-MD-08 (PROVIDE
 2-LAYER OF GRADE D
 PAPER UNDER STUCCO
 WHEN OVER WOOD
 SHEATING)



EAST ELEVATION



DECORATIVE
 MEXICAN TILE
 MODEL 10385



BRACKET DEATH BY
 CHOCOLATE COLOR
 WOOD FINISH LOOK.



DECORATIVE
 WROUGHT IRON
 RAILING (BEHR
 PAINT, DEATH BY
 CHOCOLATE MQI-54
 OLOR).



DECORATIVE
 RAFTER TAIL,
 DEATH BY
 CHOCOLATE
 COLOR

TECHNICAL APPENDIX:

Surrounding Zoning and Land Use:

	<i>Existing Land Use</i>	<i>General Plan Designation</i>	<i>Zoning Designation</i>	<i>Specific Plan Land Use</i>
<i>Site</i>	Vacant	MDR	MDR-25 (18.1 to 25.0 DUs/Acre)	n/a
<i>North</i>	Single Family Home	LDR	LDR-5 (2.1 TO 5.0 DUs/Acres)	n/a
<i>South</i>	Stone Ridge Court & Residential Multi-Family Apartments	HDR	HDR-45 (25.1 to 45.0 DUs/Acres)	n/a
<i>East</i>	Residential Duplex	MDR	MDR-25 (18.1 to 25.0 DUs/Acre)	n/a
<i>West</i>	Residential Multi-Family Apartments	MDR	MDR-25 (18.1 to 25.0 DUs/Acre)	n/a

General Site & Building Statistics

<i>Item</i>	<i>Required Min./Max.</i>	<i>Provided (Ranges)</i>	<i>Meets Y/N</i>
<i>Project area (in acres):</i>	10,000 sq. ft.	13, 374 sq. ft.(0.3 acres)	Y
<i>Maximum project density (dwelling units/ac):</i>	6-Units	6-Units	Y
<i>Maximum coverage (in %):</i>	60%	25%	Y
<i>Front yard setback (in FT):</i>	20 ft.	20 ft.	Y
<i>Side yard setback (in FT):</i>	15 ft.	15 ft.	Y
<i>Rear yard setback (in FT):</i>	10 ft.	11 ft.	Y
<i>Maximum height (in FT):</i>	60'	32'4"	Y
<i>Parking – resident:</i>	16 (2 spaces for 2 bedroom & 2.5 spaces for 3 bedroom Units) (Minimum of 1 space must be within a garage or carport)	16	Y
<i>Parking – guest:</i>	2	2	Y
<i>Open space – private:</i>	150 per Unit	187 per Unit	Y
<i>Open space – common:</i>	250 per Unit	274 per Unit	Y

Dwelling Unit Count:

<i>Item</i>	<i>Required Min./Max.</i>	<i>Provided (Ranges)</i>	<i>Meets Y/N</i>
<i>Total no. of units</i>	6	6	Y
<i>Total no. of buildings</i>	1	1	Y
<i>No. units per building</i>	6	6	Y

Dwelling Unit Statistics:

<i>Unit Type</i>	<i>Size (in SF)</i>	<i>No. Bedrooms</i>	<i>No. Bathrooms</i>	<i>No. Stories</i>	<i>Private Open Space (in FT)</i>
Unit 1	1,695	3	2.5	3	187
Unit 2	1,692	3	2.5	3	187
Unit 3	1,692	2	2.5	3	187
Unit 4	1,692	2	2.5	3	187
Unit 5	1,692	3	2.5	3	187
Unit 6	1,695	3	2.5	3	187

RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ONTARIO, CALIFORNIA, APPROVING FILE NO. PDEV16-044, A DEVELOPMENT PLAN TO CONSTRUCT A RESIDENTIAL APARTMENT COMPLEX CONSISTING OF 6-UNITS ON 0.3 ACRES OF LAND LOCATED AT 1444 W. STONERIDGE COURT, WITHIN THE MDR-25 (MEDIUM-HIGH DENSITY RESIDENTIAL- 18.1 TO 25.0 DU'S/ACRE) ZONING DISTRICT, AND MAKING FINDINGS IN SUPPORT THEREOF— APN: 1010-551-06.

WHEREAS, Brothers Home Trading Corp. ("Applicant") has filed an Application for the approval of a Development Plan, File No. PDEV16-044, as described in the title of this Resolution (hereinafter referred to as "Application" or "Project"); and

WHEREAS, the Application applies to 0.3 acres of land located at 1444 W. Stoneridge Court, within the MDR-25 (Medium-High Density Residential- 18.1 to 25.0 DUs/Acre) zoning district, and is presently vacant land; and

WHEREAS, the property to the north of the project site is within the LDR-5 (2.1 to 5.0 DUs/Acres) zoning district, and is developed with single family homes. The property to the east is within the MDR-25 (18.1 to 25.0 DUs/Acre) zoning district, and is developed with a residential duplex. The property to the south is within the HDR-45 (25.1 to 45.0 DUs/Acres) zoning district, and is developed with residential multi-family apartments. The property to the west is within the MDR-25 (18.1 to 25.0 DUs/Acre) zoning district, and is developed with residential multi-family apartments; and

WHEREAS, the application proposes the development of residential apartment complex consisting of 6-units on 0.3 acres at a 18.1 density units per acre; and

WHEREAS, the application proposes a three story apartment building at a maximum height of 32'-4", consisting of six residential apartment units. Units 2, 3, 4, 5 will each have a total unit area of 1,692 square feet and units 1 and 6 will each have a total unit area of 1,695 square feet. Two floor plans are proposed. Four of the units will feature 3-bedrooms and 2-1/2 baths and two of the units will feature 2-bedrooms and 2-1/2 baths. Each unit will be provided with an individual 20' x 20' two-car garages with private storage area and a laundry area; and

WHEREAS, the project is proposing a contemporary architecture design with Spanish Colonial influences. The mass and scale of the building is designed to be proportionate to the site, open space, and scale of the zoning land use area in which it is located; and

WHEREAS, the project is proposing approximately 187 square feet of private open space per unit and approximately 274 square feet of common open space per unit. The Development Code requires a minimum of 1,500 square feet of open space and the project is proposing 1,645 square; and

WHEREAS, the Application is a project pursuant to the California Environmental Quality Act (Public Resources Code Section 21000 et seq.) ("CEQA"); and

WHEREAS, the Project is exempt from CEQA pursuant to a categorical exemption (listed in CEQA Guidelines Article 19, commencing with Section 15300) and the application of that categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Planning Commission the responsibility and authority to review and act on the subject Application; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan ("ALUCP"), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, on September 18, 2017, the Development Advisory Board of the City of Ontario conducted a hearing to consider the Project, and concluded said hearing on that date, voting to issue Decision No. DAB17-051 recommending the Planning Commission approve the Application; and

WHEREAS, on September 26, 2017, the Planning Commission of the City of Ontario conducted a hearing to consider the Project, and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, IT IS HEREBY FOUND, DETERMINED, AND RESOLVED by the Planning Commission of the City of Ontario, as follows:

SECTION 1: Environmental Determination and Findings. As the decision making body for the Project, the Planning Commission has reviewed and considered the information contained in the administrative record for the Project. Based upon the facts and information contained in the administrative record, including all written and oral evidence presented to the Planning Commission, the Planning Commission finds as follows:

(1) The administrative record have been completed in compliance with CEQA, the State CEQA Guidelines, and the City of Ontario Local CEQA Guidelines; and

(2) The Project is categorically exempt from environmental review pursuant to Section 15332 (Class 32, In-Fill Development Projects) of the CEQA Guidelines, which consists of: 1) The Project is consistent with the applicable general plan designation and all applicable general plan policies, as well as the applicable zoning designation and regulations. 2) The proposed development occurs within city limits, on a project site of no more than five acres, and is substantially surrounded by urban uses. 3) The project site has no value as habitat for endangered, rare, or threatened species. 4) Approval of the Project will not result in any significant effects relating to traffic, noise, air quality, or water quality; and 5) The Project site can be adequately served by all required utilities and public services; and

(3) The application of the categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

(4) The determination of CEQA exemption reflects the independent judgment of the Planning Commission.

SECTION 2: Housing Element Compliance. Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the decision making body for the Project, the Planning Commission finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan, as the project site is not

one of the properties in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix.

SECTION 3: *Ontario International Airport Land Use Compatibility Plan (“ALUCP”) Compliance.* The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land use Compatibility Plan (“ALUCP”), establishing the Airport Influence Area for Ontario International Airport (“ONT”), which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the decision making body for the Project, the Planning Commission has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the Planning Commission, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

SECTION 4: *Concluding Facts and Reasons.* Based upon the substantial evidence presented to the Planning Commission during the above-referenced hearing, and upon the specific findings set forth in Section 1 through 3, above, the Planning Commission hereby concludes as follows:

(1) ***The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.*** The proposed Project is located within the MDR (Medium Density Residential) land use district of the Policy Plan Land Use Map and the MDR-25 (Medium-High Density Residential- 18.1 to 25.0 DUs/Acre) zoning district. The development standards and conditions under which the proposed Project will be constructed and maintained, is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.

(2) ***The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located.*** The Project has been designed consistent with the

requirements of the City of Ontario Development Code and the MDR-25 (Medium-High Density Residential - 18.1 to 25.0 DUs/Acre) zoning district, including standards relative to the particular land use proposed (6-unit residential apartment complex), as-well-as building intensity, building and parking setbacks, building height, number of off-street parking and loading spaces, on-site and off-site landscaping, and fences, walls and obstructions.

(3) ***The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed project.*** The Development Advisory Board has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the MDR-25 (Medium-High Density Residential - 18.1 to 25.0 DUs/Acre) zone are maintained; [ii] the project will not endanger the public health, safety or general welfare; [iii] the project will not result in any significant environmental impacts; [iv] the project will be in harmony with the area in which it is located; and [v] the project will be in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan.

(4) ***The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.*** The proposed Project has been reviewed for consistency with the general development standards and guidelines of the MDR-25 (Medium-High Density Residential - 18.1 to 25.0 DUs/Acre) zone that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of off-street parking and loading spaces, parking lot dimensions, design and landscaping, bicycle parking, on-site landscaping, and fences and walls, as-well-as those development standards and guidelines specifically related to the particular land use being proposed (6-unit residential apartment). As a result of this review, the Development Advisory Board has determined that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the development standards and guidelines described in the MDR-25 (Medium-High Density Residential- 18.1 to 25.0 DUs/Acre) zone.

SECTION 5: Planning Commission Action. Based upon the findings and conclusions set forth in Sections 1 through 4, above, the Planning Commission hereby APPROVES the herein described Application, subject to each and every condition set forth in the Department reports attached hereto as "Attachment A," and incorporated herein by this reference.

SECTION 6: Indemnification. The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to

attack, set aside, void, or annul this approval. The City of Ontario shall promptly notify the applicant of any such claim, action, or proceeding, and the City of Ontario shall cooperate fully in the defense.

SECTION 7: Custodian of Records. The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East “B” Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario.

SECTION 8: Certification to Adoption. The Secretary shall certify to the adoption of the Resolution.

The Secretary Pro Tempore for the Planning Commission of the City of Ontario shall certify as to the adoption of this Resolution.

I hereby certify that the foregoing Resolution was duly and regularly introduced, passed and adopted by the Planning Commission of the City of Ontario at a regular meeting thereof held on the 26th day of September 2017, and the foregoing is a full, true and correct copy of said Resolution, and has not been amended or repealed.

Richard D. Delman
Planning Commission Chairman

ATTEST:

Scott Murphy
Assistant Development Director
Secretary of Planning Commission

STATE OF CALIFORNIA)
COUNTY OF SAN BERNARDINO)
CITY OF ONTARIO)

I, Gwen Berendsen, Secretary Pro Tempore of the Planning Commission of the City of Ontario, DO HEREBY CERTIFY that foregoing Resolution No. PC17-[insert #] was duly passed and adopted by the Planning Commission of the City of Ontario at their regular meeting held on September 26, 2017, by the following roll call vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Gwen Berendsen
Secretary Pro Tempore

ATTACHMENT A:

**File No. PDEV16-044
Departmental Conditions of Approval**

(Departmental conditions of approval to follow this page)



City of Ontario
Planning Department
303 East B Street
Ontario, California 91764
Phone: 909.395.2036
Fax: 909.395.2420

Planning Department Land Development Division Conditions of Approval

Meeting Date: September 26, 2017

File No: PDEV16-044

Related Files: n/a

Project Description: A Development Plan (File No. PDEV16-044) to construct a residential apartment complex consisting of 6-units on 0.3 acres of land located at 1444 W. Stoneridge Court, within the MDR-25 (Medium-High Density Residential - 18.1 to 25.0 DUs/Acre) zoning district. APN: 1010-551-06; **submitted by Brother Home Trading Corp.**

Prepared By: Luis Batres, Senior Planner 
Phone: 909.395.2431 (direct)
Email: Lbatres@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

1.0 Standard Conditions of Approval. The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

2.0 Special Conditions of Approval. In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

2.1 Time Limits.

(a) Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

2.2 General Requirements. The Project shall comply with the following general requirements:

(a) All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

(b) The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

(c) The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

2.3 Landscaping.

(a) The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

(b) Comply with the conditions of approval of the Planning Department; Landscape Planning Division.

(c) Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

(d) Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

2.4 Walls and Fences. All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

2.5 Parking, Circulation and Access.

(a) The Project shall comply with the applicable off-street parking, loading and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

(b) All drive approaches shall be provided with an enhanced pavement treatment. The enhanced paving shall extend from the back of the approach apron, into the site, to the first intersecting drive aisle or parking space.

(c) Areas provided to meet the City's parking requirements, including off-street parking and loading spaces, access drives, and maneuvering areas, shall not be used for the outdoor storage of materials and equipment, nor shall it be used for any other purpose than parking.

(d) The required number of off-street parking spaces and/or loading spaces shall be provided at the time of site and/or building occupancy. All parking and loading spaces shall be maintained in good condition for the duration of the building or use.

(e) Parking spaces specifically designated and conveniently located for use by the physically disabled shall be provided pursuant to current accessibility regulations contained in State law (CCR Title 24, Part 2, Chapters 2B71, and CVC Section 22507.8).

(f) Bicycle parking facilities, including bicycle racks, lockers, and other secure facilities, shall be provided in conjunction with development projects pursuant to current regulations contained in CALGreen (CAC Title 24, Part 11).

2.6 Outdoor Loading and Storage Areas.

(a) Loading facilities shall be designed and constructed pursuant to Development Code Division 6.03 (Off-Street Parking and Loading).

(b) Areas designated for off-street parking, loading, and vehicular circulation and maneuvering, shall not be used for the outdoor storage of materials or equipment.

(c) Outdoor loading and storage areas, and loading doors, shall be screened from public view pursuant to the requirements of Development Code Paragraph 6.02.025.A.2 (Screening of Outdoor Loading and Storage Areas, and Loading Doors) Et Seq.

(d) Outdoor loading and storage areas shall be provided with gates that are view-obstructing by one of the following methods:

- (i) Construct gates with a perforated metal sheet affixed to the inside of the gate surface (50 percent screen); or
- (ii) Construct gates with minimum one-inch square tube steel pickets spaced at maximum 2-inches apart.

(e) The minimum gate height for screen wall openings shall be established based upon the corresponding wall height, as follows:

<i>Screen Wall Height</i>	<i>Minimum Gate Height</i>
14 feet:	10 feet
12 feet:	9 feet
10 feet:	8 feet
8 feet:	8 feet
6 feet:	6 feet

2.7 Site Lighting.

(a) All off-street parking facilities shall be provided with nighttime security lighting pursuant to Ontario Municipal Code Section 4-11.08 (Special Residential Building Provisions) and Section 4-11.09 (Special Commercial/Industrial Building Provisions), designed to confine emitted light to the parking areas. Parking facilities shall be lighted from sunset until sunrise, daily, and shall be operated by a photocell switch.

(b) Unless intended as part of a master lighting program, no operation, activity, or lighting fixture shall create illumination on any adjacent property.

2.8 Mechanical and Rooftop Equipment.

(a) All exterior roof-mounted mechanical, heating and air conditioning equipment, and all appurtenances thereto, shall be completely screened from public view by parapet walls or roof screens that are architecturally treated so as to be consistent with the building architecture.

(b) All ground-mounted utility equipment and structures, such as tanks, transformers, HVAC equipment, and backflow prevention devices, shall be located out of view from a public street, or adequately screened through the use of landscaping and/or decorative low garden walls.

2.9 Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

2.10 Signs. All Project signage shall comply with the requirements of Ontario Development Code Division 8.1 (Sign Regulations).

2.11 Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noised levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

2.12 Disclosure Statements.

(a) A copy of the Public Report from the Department of Real Estate, prepared for the subdivision pursuant to Business and Professions Code Section 11000 et seq., shall be provided to each prospective buyer of the residential units and shall include a statement to the effect that:

(i) This tract is subject to noise from the Ontario International Airport and may be more severely impacted in the future.

(ii) Some of the property adjacent to this tract is zoned for agricultural uses and there could be fly, odor, or related problems due to the proximity of animals.

(iii) The area south of Riverside Drive lies within the San Bernardino County Agricultural Preserve. Dairies currently existing in that area are likely to remain for the foreseeable future.

(iv) This tract is part of a Landscape Maintenance District. The homeowner(s) will be assessed through their property taxes for the continuing maintenance of the district.

2.13 Environmental Review.

(a) The proposed project is categorically exempt from the requirements of the California Environmental Quality Act of 1970 (CEQA), as amended, and the Guidelines promulgated thereunder, pursuant to **Section 15332 (Class 32, In-Fill Development Projects)** of the CEQA Guidelines, meeting the following conditions:

(i) The Project is consistent with the applicable general plan designation and all applicable general plan policies, as well as the applicable zoning designation and regulations;

(ii) The proposed development occurs within city limits, on a project site of no more than five acres, and is substantially surrounded by urban uses;

(iii) The project site has no value as habitat for endangered, rare, or threatened species;

(iv) Approval of the Project will not result in any significant effects relating to traffic, noise, air quality, or water quality; and

(v) The Project site can be adequately served by all required utilities and public services.

(b) If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

(c) If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

2.14 Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of

Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

2.15 Additional Fees.

(a) Within 5 days following final application approval, the Notice of Determination (NOD) filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act (CEQA). Failure to provide said fee within the time specified may result in a 180-day extension to the statute of limitations for the filing of a CEQA lawsuit.

(b) After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

2.16 Additional Requirements.

(a) All exterior metal/wrought iron work shall be powder coated to prevent rust.

(b) The common open space trellis shall be constructed of metal.

(c) The proposed decorative wood trellis/patios for the main entry areas of the apartment building shall be constructed of metal.

(d) The path of travel/sidewalk along the west side of the project and the entry driveway shall feature decorative pavers.

(e) Floor area below the proposed decorative common open space trellis shall also feature decorative pavers to match the rest of the project.

(f) The west and east property lines shall feature a decorative 6-foot tall block wall with a decorative cap. Any damage to existing walls shall be repaired to industry standards. The minimum height of walls shall be 6-feet from finish grades.

(g) During plan check, the plans need to be coordinated so that the totals match.

(h) All exterior timber/post shall have a good mass/size. Applicant shall work with staff during the plan check process to finalize the size(s).

(i) Applicant shall work with staff during plan check to select a more decorative bench that will complement the architecture style proposed.

(j) All decorative pavers shall feature dark earth tone colors to provide a contrast with the color of the building.

(k) All parking lot light standards shall be decorative and shall complement the architecture style and the style of the decorative lights proposed.

(l) The common open space area with the overhead decorative trellis shall feature decorative light bollard around it to protect it from vehicles. Applicant shall work with staff during the plan check process to add them to the project. In addition, the applicant shall also work with staff to add them as well along the Paseo area along the west side of the project.

(m) Garage doors shall not be blocked by vehicles at any time.

(n) Required garage spaces (20' x 20') shall always be available for parking. Space shall not be blocked by the storage of other goods/materials.



**ENGINEERING DEPARTMENT
CONDITIONS OF APPROVAL**

(Environmental, Traffic/Transportation Division, Ontario Municipal Utilities Company
Information Technology and Management Services Department conditions incorporated herein)

<input checked="" type="checkbox"/> DEVELOPMENT PLAN <input type="checkbox"/> OTHER	<input type="checkbox"/> PARCEL MAP <input type="checkbox"/> TRACT MAP <input type="checkbox"/> FOR CONDOMINIUM PURPOSES
PROJECT FILE NO. <u>PDEV16-044</u> RELATED FILE NO(S). _____	
<input checked="" type="checkbox"/> ORIGINAL <input type="checkbox"/> REVISED: ___/___/___	

CITY PROJECT ENGINEER & PHONE NO: Antonio Alejos (909) 395-2384

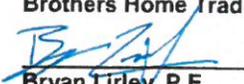
CITY PROJECT PLANNER & PHONE NO: Luis Batres (909) 395-2431

DAB MEETING DATE: September 18th, 2017

PROJECT NAME / DESCRIPTION: PDEV16-044, a Development Plan to construct an apartment complex consisting of 6 multiple-family dwelling units on approximately 0.3 acres of land

LOCATION: 1444 West Stoneridge Court

APPLICANT: Brothers Home Trading Corporation

REVIEWED BY:  8/17/17
 Bryan Lirley, P.E. Date
 Principal Engineer

APPROVED BY:  8-23-17
 Khoi Do, P.E. Date
 Assistant City Engineer



the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Management Services at (909) 395-2353 to initiate the CFD application process.

- 1.12 New Model Colony (NMC) Developments:
- 1) Provide evidence of final cancellation of Williamson Act contracts associated with this tract, prior to approval of any final subdivision map. Cancellation of contracts shall have been approved by the City Council.
- 2) Provide evidence of sufficient storm water capacity availability equivalents (Certificate of Storm Water Treatment Equivalents).
- 3) Provide evidence of sufficient water availability equivalents (Certificate of Net MDD Availability).
- 1.13 Other conditions: _____

2. PRIOR TO ISSUANCE OF ANY PERMITS, APPLICANT SHALL:

**A. GENERAL
 (Permits includes Grading, Building, Demolition and Encroachment)**

- 2.01 Record Parcel Map/Tract Map No. _____ pursuant to the Subdivision Map Act and in accordance with the City of Ontario Municipal Code.
- 2.02 Submit a duplicate photo mylar of the recorded map to the City Engineer's office.
- 2.03 **Note that the subject parcel is a recognized parcel in the City of Ontario Per Tract No. 2676 Lot 10.**
- 2.04 Note that the subject parcel is an 'unrecognized' parcel in the City of Ontario and shall require a Certificate of Compliance to be processed unless a deed is provided confirming the existence of the parcel prior to the date of _____ .
- 2.05 Apply for a: Certificate of Compliance with a Record of Survey; Lot Line Adjustment
- Make a Dedication of Easement.
- 2.06 Provide (original document) Covenants, Conditions and Restrictions (CC&R's), as applicable to the project, and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&R's shall provide for, but not be limited to, common ingress and egress, joint maintenance of all common access improvements, common facilities, parking areas, utilities and drive approaches in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project.
- 2.07 Submit a soils/geology report.
- 2.08 Other Agency Permit/Approval: Submit a copy of the approved permit and/or other form of approval of the project from the following agency or agencies:
- State of California Department of Transportation (Caltrans)
 - San Bernardino County Road Department (SBCRD)
 - San Bernardino County Flood Control District (SBCFCD)
 - Federal Emergency Management Agency (FEMA)
 - Cucamonga Valley Water District (CVWD) for sewer/water service



- United States Army Corps of Engineers (USACE)
- California Department of Fish & Game
- Inland Empire Utilities Agency (IEUA)
- Other: _____

- 2.09 Dedicate to the City of Ontario the right-of-way described below:
_____ feet on _____
Property line corner 'cut-back' required at the intersection of _____
and _____
- 2.10 Dedicate to the City of Ontario the following easement(s): _____

- 2.11 New Model Colony (NMC) Developments:
 - 1) Submit a copy of the permit from the San Bernardino County Health Department to the Engineering Department and the Ontario Municipal Utilities Company (OMUC) for the destruction/abandonment of the on-site water well. The well shall be destroyed/abandoned in accordance with the San Bernardino County Health Department guidelines.
 - 2) Make a formal request to the City of Ontario Engineering Department for the proposed temporary use of an existing agricultural water well for purposes other than agriculture, such as grading, dust control, etc. Upon approval, the Applicant shall enter into an agreement with the City of Ontario and pay any applicable fees as set forth by said agreement.
 - 3) Design proposed retaining walls to retain up to a maximum of three (3) feet of earth. In no case shall a wall exceed an overall height of nine (9) feet (i.e. maximum 6-foot high wall on top of a maximum 3-foot high retaining wall).
- 2.12 **Submit a security deposit to the Engineering Department to guarantee construction of the public improvements required herein valued at 100% of the approved construction cost estimate. Security deposit shall be in accordance with the City of Ontario Municipal Code. Security deposit will be eligible for release, in accordance with City procedure, upon completion and acceptance of said public improvements.**
- 2.13 The applicant/developer shall submit all necessary survey documents prepared by a Licensed Surveyor registered in the State of California detailing all existing survey monuments in and around the project site. These documents are to be reviewed and approved by the City Survey Office.
- 2.14 **Pay all Development Impact Fees (DIF) to the Building Department.**
- 2.15 Other conditions: _____



B. PUBLIC IMPROVEMENTS
 (See attached Exhibit 'A' for plan check submittal requirements.)

- 2.16 Design and construct full public improvements in accordance with the City of Ontario Municipal Code, current City standards and specifications, master plans and the adopted specific plan for the area, if any. These public improvements shall include, but not be limited to, the following (checked boxes):

Improvement	Stoneridge Ct	Street 2	Street 3	Street 4
Curb and Gutter	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace
AC Pavement	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions
PCC Pavement (Truck Route Only)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing			
Drive Approach	<input checked="" type="checkbox"/> New residential driveway	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Sidewalk	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace			
ADA Access Ramp	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace			
Parkway	<input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)
Raised Landscaped Median	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace			
Fire Hydrant	<input checked="" type="checkbox"/> Equip existing fire hydrant w/ break-off check valve	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation
Sewer (see Sec. 2.C)	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral



Water (see Sec. 2.D)	<input checked="" type="checkbox"/> Service for domestic <input checked="" type="checkbox"/> Service for irrigation <input checked="" type="checkbox"/> Service for fire	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Recycled Water (see Sec. 2.E)	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Traffic Signal System (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Traffic Signing and Striping (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Street Light (see Sec. 2.F)	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation
Bus Stop Pad or Turn-out (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Storm Drain (see Sec. 2.G)	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
Fiber Optics (see Sec. 2.K)	<input checked="" type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances
Overhead Utilities	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate
Removal of Improvements	_____	_____	_____	_____
Other Improvements	_____	_____	_____	_____

Specific notes for improvements listed in item no. 2.15, above: _____

2.17 Construct a 0.15' asphalt concrete (AC) grind and overlay on the following street(s): _____



- 2.18 Reconstruct the full pavement structural section per City of Ontario Standard Drawing number 1011, based on existing pavement condition and approved street section design. Minimum limits of reconstruction shall be along property frontage, from street centerline to curb/gutter. 'Pothole' verification of existing pavement section required prior to acceptance/approval of street improvement plan.
- 2.19 Make arrangements with the Cucamonga Valley Water District (CVWD) to provide water service sewer service to the site. This property is within the area served by the CVWD and Applicant shall provide documentation to the City verifying that all required CVWD fees have been paid.
- 2.20 Other conditions: _____

C. SEWER

- 2.21 **An 8-inch sewer main is available for connection by this project in Stoneridge Court. (Ref: Sewer plan bar code: S12631)**
- 2.22 Design and construct a sewer main extension. A sewer main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.23 Submit documentation that shows expected peak loading values for modeling the impact of the subject project to the existing sewer system. The project site is within a deficient public sewer system area. Applicant shall be responsible for all costs associated with the preparation of the model. Based on the results of the analysis, Applicant may be required to mitigate the project impact to the deficient public sewer system, including, but not limited to, upgrading of existing sewer main(s), construction of new sewer main(s) or diversion of sewer discharge to another sewer.
- 2.24 **Other conditions:**
 - 1. **The applicant/developer shall install a sewer lateral with a clean-out per City Standard Drawing Numbers 1306 & 2003.**
 - 2. **The applicant/developer shall not construct any permanent structures within the public sewer easement located along the northerly property line.**

D. WATER

- 2.25 **A 6-inch water main is available for connection by this project in Stoneridge Court. (Ref: Water plan bar code: W11559)**
- 2.26 Design and construct a water main extension. A water main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.27 **Other conditions:**
 - 1. **The applicant/developer shall install a water service for domestic use only and equip the service with a master meter to sub-meter onto private property & backflow device per City Standard Drawing Numbers 1306, 4202 & 4206.**
 - 2. **The applicant/developer shall install a fire service with a DCDA per City Standard Drawing Numbers 1306 & 4208.**
 - 3. **The applicant/developer shall install a separate water service for irrigation use only and equip the service with a meter & backflow device per City Standard Drawing Numbers 1306, 4201 & 4206.**
 - 4. **The applicant/developer shall equip a break-off check valve to the existing fire hydrant located along the project frontage facing Stoneridge Court per City Standard Drawing Number 4101.**



E. RECYCLED WATER

- 2.28 A _____ inch recycled water main is available for connection by this project in _____. (Ref: Recycled Water plan bar code: _____)
 - 2.29 Design and construct an on-site recycled water system for this project. A recycled water main does exist in the vicinity of this project.
 - 2.30 Design and construct an on-site recycled water ready system for this project. A recycled water main does not currently exist in the vicinity of this project, but is planned for the near future. Applicant shall be responsible for construction of a connection to the recycled water main for approved uses, when the main becomes available. The cost for connection to the main shall be borne solely by Applicant.
 - 2.31 Submit two (2) hard copies and one (1) electronic copy, in PDF format, of the Engineering Report (ER), for the use of recycled water, to the OMUC for review and subsequent submittal to the California Department of Public Health (CDPH) for final approval.
- Note: The OMUC and the CDPH review and approval process will be approximately three (3) months. Contact the Ontario Municipal Utilities Company at (909) 395-2687 regarding this requirement.
- 2.32 Other conditions: _____

F. TRAFFIC / TRANSPORTATION

- 2.33 Submit a focused traffic impact study, prepared and signed by a Traffic/Civil Engineer registered in the State of California. The study shall address, but not be limited to, the following issues as required by the City Engineer:
 - 1. On-site and off-site circulation
 - 2. Traffic level of service (LOS) at 'build-out' and future years
 - 3. Impact at specific intersections as selected by the City Engineer
- 2.34 Other conditions:
 - 1. The applicant/developer shall construct a residential driveway approach per City Standard Drawing Number 1203.
 - 2. The applicant/developer shall paint the curb red along the entire project frontage facing Stoneridge Court.
 - 3. All landscaping, block walls and other obstructions shall be compatible with the stopping sight distance requirements per City Standard Drawing Number 1309.

G. DRAINAGE / HYDROLOGY

- 2.35 A _____ inch storm drain main is available to accept flows from this project in _____. (Ref: Storm Drain plan bar code: _____)
- 2.36 Submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California. The study shall be prepared in accordance with the San Bernardino County Hydrology Manual and City of Ontario standards and guidelines. Additional drainage facilities, including, but not limited to, improvements beyond the project frontage, may be required to be designed and constructed, by Applicant, as a result of the findings of this study.
- 2.37 An adequate drainage facility to accept additional runoff from the site does not currently exist downstream of the project. Design and construct a storm water detention facility on the project site. 100 year post-development peak flow shall be attenuated such that it does not exceed 80% of pre-development peak flows, in accordance with the approved hydrology study and improvement plans.
- 2.38 Submit a copy of a recorded private drainage easement or drainage acceptance agreement to the Engineering Department for the acceptance of any increase to volume and/or concentration of historical drainage flows onto adjacent property, prior to approval of the grading plan for the project.



- 2.39 Comply with the City of Ontario Flood Damage Prevention Ordinance (Ordinance No. 2409). The project site or a portion of the project site is within the Special Flood Hazard Area (SFHA) as indicated on the Flood Insurance Rate Map (FIRM) and is subject to flooding during a 100 year frequency storm. The site plan shall be subject to the provisions of the National Flood Insurance Program.
- 2.40 **Pay Storm Drain In-lieu Fee, approximately \$10,420.85, Fee shall be paid to the Engineering Department.**
- 2.41 Other conditions: _____

H. STORM WATER QUALITY / NATIONAL POLLUTANT DISCHARGE AND ELIMINATION SYSTEM (NPDES)

- 2.41 401 Water Quality Certification/404 Permit – Submit a copy of any applicable 401 Certification or 404 Permit for the subject project to the City project engineer. Development that will affect any body of surface water (i.e. lake, creek, open drainage channel, etc.) may require a 401 Water Quality Certification from the California Regional Water Quality Control Board, Santa Ana Region (RWQCB) and a 404 Permit from the United States Army Corps of Engineers (USACE). The groups of water bodies classified in these requirements are perennial (flow year round) and ephemeral (flow during rain conditions, only) and include, but are not limited to, direct connections into San Bernardino County Flood Control District (SBCFCD) channels.
If a 401 Certification and/or a 404 Permit are not required, a letter confirming this from Applicant's engineer shall be submitted.
Contact information: USACE (Los Angeles District) (213) 452-3414; RWQCB (951) 782-4130.
- 2.43 Submit a Water Quality Management Plan (WQMP). This plan shall be approved by the Engineering Department prior to approval of any grading plan. The WQMP shall be submitted, utilizing the current San Bernardino County Stormwater Program template, available at: <http://www.sbcounty.gov/dpw/land/npdes.asp>.
- 2.44 **Other conditions:**
 - 1. **The applicant/developer shall detain required run-off volume in proposed basins per Approved Preliminary Water Quality Management Plan (PWQMP).**

J. SPECIAL DISTRICTS

- 2.45 File an application, together with an initial payment deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community facilities District Act of 1982. The application and fee shall be submitted a minimum three (3) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact the Management Services Department at (909) 395-2353 to initiate the CFD application process.
- 2.46 Other conditions: _____

K. FIBER OPTIC

- 2.47 **Design and construct fiber optic system to provide access to the City's conduit and fiber optic system per the City's Fiber Optic Master Plan. Building entrance conduits shall start from the closest OntarioNet hand-hole constructed along the project frontage in the ROW and shall terminate in the main telecommunications room for each building. Conduit infrastructure shall interconnect with the primary and/or secondary backbone fiber optic conduit system at the nearest OntarioNet hand hole. Generally located along Stoneridge Court, see Fiber Optic Exhibit herein.**
- 2.48 **Refer to the City's Fiber Optic Master Plan for design and layout guidelines. Contact the Information Technology Department at (909) 395-2000, regarding this requirement.**



L. Solid Waste

- 2.49 Onsite solid waste shall be designed in accordance with the City's Solid Waste Manual location at:
<http://www.ontarioca.gov/municipal-utilities-company/solid-waste>
- 2.50 Other conditions:
 - 1. The applicant/developer shall construct a new 2-bin trash enclosure with a solid roof per the Refuse & Recycling Planning Manual.

3. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, APPLICANT SHALL:

- 3.01 Set new monuments in place of any monuments that have been damaged or destroyed as a result of construction of the subject project. Monuments shall be set in accordance with City of Ontario standards and to the satisfaction of the City Engineer.
- 3.02 Complete all requirements for recycled water usage.
 - 1) Procure from the OMUC a copy of the letter of confirmation from the California Department of Public Health (CDPH) that the Engineering Report (ER) has been reviewed and the subject site is approved for the use of recycled water.
 - 2) Obtain clearance from the OMUC confirming completion of recycled water improvements and passing of shutdown tests and cross connection inspection, upon availability/usage of recycled water.
 - 3) Complete education training of on-site personnel in the use of recycled water, in accordance with the ER, upon availability/usage of recycled water.
- 3.03 The applicant/developer shall submit all final survey documents prepared by a Licensed Surveyor registered in the State of California detailing all survey monuments that have been preserved, revised, adjusted or set along with any maps, corner records or Records of Survey needed to comply with these Conditions of Approvals and the latest edition of the California Professional Land Survey Act. These documents are to be reviewed and approved by the City Survey Office.
- 3.04 NMC Projects: For developments located at an intersection of any two collector or arterial streets, the applicant/developer shall set a benchmark if one does not already exist at that intersection. Contact the City Survey office for information on reference benchmarks, acceptable methodology and required submittals.
- 3.05 Confirm payment of all Development Impact Fees (DIF) to the Building Department.
- 3.06 Submit electronic copies (PDF and Auto CAD format) of all approved improvement plans, studies and reports (i.e. hydrology, traffic, WQMP, etc.).
- 3.07 Process a Fence Letter (Temporary Encroachment Agreement) for the existing block wall to remain within a public utility easement located along the northerly property line.



EXHIBIT 'A'

**ENGINEERING DEPARTMENT
First Plan Check Submittal Checklist**

Project Number: PDEV16-044, and/or Parcel Map/Tract Map No. _____

The following items are required to be included with the first plan check submittal:

1. **A copy of this check list**
2. **Payment of fee for Plan Checking**
3. **One (1) copy of Engineering Cost Estimate (on City form) with engineer's wet signature and stamp.**
4. **One (1) copy of project Conditions of Approval**
5. Two (2) sets of Potable and Recycled Water demand calculations (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size).
6. Three (3) sets of Public Street improvement plan with street cross-sections
7. Three (3) sets of Private Street improvement plan with street cross-sections
8. Four (4) sets of Public Water improvement plan (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)
9. Four (4) sets of Recycled Water improvement plan (include recycled water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size and an exhibit showing the limits of areas being irrigated by each recycled water meter)
10. Four (4) sets of Public Sewer improvement plan
11. Five (5) sets of Public Storm Drain improvement plan
12. Three (3) sets of Public Street Light improvement plan
13. Three (3) sets of Signing and Striping improvement plan
14. **Three (3) sets of Fiber Optic plan (include Auto CAD electronic submittal)**
15. Three (3) sets of Dry Utility plans within public right-of-way (at a minimum the plans must show existing and ultimate right-of-way, curb and gutter, proposed utility location including centerline dimensions, wall to wall clearances between proposed utility and adjacent public line, street work repaired per Standard Drawing No. 1306. Include Auto CAD electronic submittal)
16. Three (3) sets of Traffic Signal improvement plan and One (1) copy of Traffic Signal Specifications with modified Special Provisions. Please contact the Traffic Division at (909) 395-2154 to obtain Traffic Signal Specifications.
17. Two (2) copies of Water Quality Management Plan (WQMP), including one (1) copy of the approved Preliminary WQMP (PWQMP).
18. **One (1) copy of Hydrology/Drainage study**
19. One (1) copy of Soils/Geology report
20. Payment for Final Map/Parcel Map processing fee
21. Three (3) copies of Final Map/Parcel Map



- 22. One (1) copy of approved Tentative Map
- 23. **One (1) copy of Preliminary Title Report (current within 30 days)**
- 24. One (1) copy of Traverse Closure Calculations
- 25. One (1) set of supporting documents and maps (legible copies): referenced improvement plans (full size), referenced record final maps/parcel maps (full size, 18"x26"), Assessor's Parcel map (full size, 11"x17"), recorded documents such as deeds, lot line adjustments, easements, etc.
- 26. Two (2) copies of Engineering Report and an electronic file (include PDF format electronic submittal) for recycled water use
- 27. **Other:**
 - 1. **Fence Letter (Temporary Encroachment Agreement)**



CITY OF ONTARIO

MEMORANDUM

TO: Luis Batres, Planning Department

FROM: Lora L. Gearhart, Fire Protection Analyst
Fire Department

DATE: August 7, 2017

SUBJECT: PDEV16-044 - A Development Plan to construct an apartment complex consisting of 6 multiple-family dwelling units on approximately 0.3 acres of land located at 1444 West Stoneridge Court, within the MDR-25 (Medium Density Residential - 18.1 to 25.0 DUs/Acre) zoning district (APN: 1010-551-06).

-
- The plan **does** adequately address Fire Department requirements at this time.
- No comments.
- Standard Conditions of Approval apply, as stated below.
-

SITE AND BUILDING FEATURES:

- A. 2013 CBC Type of Construction: V-B
- B. Type of Roof Materials: Unknown
- C. Ground Floor Area(s): 3,420 SF
- D. Number of Stories: Three
- E. Total Square Footage: 9,816 SF
- F. 2013 CBC Occupancy Classification(s): R-2, U

CONDITIONS OF APPROVAL:

1.0 GENERAL

- 1.1 The following are the Ontario Fire Department ("Fire Department") requirements for this development project, based on the current edition of the California Fire Code (CFC), and the

current versions of the Fire Prevention Standards (“Standards.”) It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at www.ontarioca.gov, click on “Fire Department” and then on “Standards and Forms.”

- 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

2.0 FIRE DEPARTMENT ACCESS

- 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See Standard #B-004.
- 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25’) inside and forty-five feet (45’) outside turning radius per Standard #B-005.
- 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150’) in length shall have an approved turn-around per Standard #B-002.
- 2.6 Security gates or other barriers on fire access roadways shall be provided with a Knox brand key switch or padlock to allow Fire Department access. See Standards #B-003, B-004 and H-001.

3.0 WATER SUPPLY

- 3.1 The required fire flow per Fire Department standards, based on the 2016 California Fire Code, Appendix B, is 1500 gallons per minute (g.p.m.) for 2 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.
- 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300’) apart, per Engineering Department specifications.

4.0 FIRE PROTECTION SYSTEMS

- 4.3 An automatic fire sprinkler system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 13 R. All new fire sprinkler systems, except those in single family dwellings, which contain twenty (20) sprinkler heads or more shall be monitored by an approved listed supervising station. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- 4.4 Fire Department Connections (FDC) shall be located on the address side of the building within one hundred fifty feet (150’) of a public fire hydrant on the same side of the street. Provide identification for all fire sprinkler control valves and fire department connections per Standard

#D-007. Raised curbs adjacent to Fire Department connection(s) shall be painted red, five feet either side, per City standards.

- 4.6 Portable fire extinguishers are required to be installed prior to occupancy per Standard #C-001. Please contact the Fire Prevention Bureau to determine the exact number, type and placement required.

5.0 BUILDING CONSTRUCTION FEATURES

- 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.
- 5.3 Single station smoke alarms and carbon monoxide alarms are required to be installed per the California Building Code and the California Fire Code.
- 5.5 All residential chimneys shall be equipped with an approved spark arrester meeting the requirements of the California Building Code.

CITY OF ONTARIO
LANDSCAPE PLANNING DIVISION
 303 East "B" Street, Ontario, CA 91764

PRELIMINARY PLAN CORRECTIONS

Sign Off

Carolyn Bell
 Carolyn Bell, Sr. Landscape Planner

3/6/16
 Date

reviewer's Name:
Carolyn Bell, Sr. Landscape Planner

Phone:
(909) 395-2237

D.A.B. File No.:
 PDEV16-044 Rev 1

Case Planner:
 Luis Batres

Project Name and Location:
 6 Unit Apartment Building
 1444 W Stoneridge Court

Applicant/Representative:
 AEC/ Moreno – Telma Baylouni
 1430 E Cooley Dr ste 120
 Colton, CA 92324

<input checked="" type="checkbox"/>	A Preliminary Landscape Plan (dated 2/13/17) meets the Standard Conditions for New Development and has been approved with the consideration that the following conditions below be met upon submittal of the landscape construction documents.
<input type="checkbox"/>	A Preliminary Landscape Plan (dated) has not been approved. Corrections noted below are required prior to Preliminary Landscape Plan approval.

Architecture

1. Show actual design proposed, concrete patios, limited landscape, backflows devices and transformers at the front entry. Coordinate with civil and landscape for an true representation.

Civil Plans

2. Show backflows and transformers on plan, and locate and dimension a 5' set back from paving.
3. Show water and sewer lines and drainage line to avoid existing or proposed tree locations. Move drain lines to within 12" of hardscape Coordinate with landscape plans
4. Dimension all planters to have a minimum 5' wide inside dimension. Small planters 3' wide may be allowed at both sides of the trash enclosure, along west property line (in patio areas) or a 4'x4' tree well in patios.
5. Change pervious concrete to permeable pavers or other durable material in parking spaces.

Landscape Plans

6. Show all utilities on the landscape plans. Keep utilities clear of required tree locations. Coordinate relocation of proposed water and drain lines with civil.
7. Maximize lawn area to include the patio area. Trees in lawn shall have a 6' dia. mulch only zone.
8. Show narrow evergreen trees along project perimeter such as Tristania laurina, Callistemon, etc. include west side patios to have a min 3' planter or a 4'x4' well for a small evergreen patio tree.
9. Replace short lived, high maintenance or poor performing plants, Lavender, Macfadyena, Cassia,Grevillea, and Salvia. Consider durable plants for this type of project.
10. Consider plants for the wet or shady areas that tolerate saturated soil or drought conditions such as Carex panza, Festuca mairei, and Sesleria autumnalis.
11. Call out all fences and walls, materials proposed and heights, include wall or fence between units.
12. Show concrete mow strips to identify property lines
13. After a project's entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council. Typical fees are:

Plan Check—5 or more acres	\$2,326.00
Plan Check—less than 5 acres	\$1,301.00
Inspection—Construction (up to 3 inspections)	\$278.00
Inspection—Field - additional.....	\$83.00

Electronic plan check sets may be sent to: landscapeplancheck@ontarioca.gov



CITY OF ONTARIO

MEMORANDUM

TO: Luis Batres, Planning Department

FROM: Douglas Sorel, Police Department

DATE: November 15, 2016

SUBJECT: PDEV16-044 – A DEVELOPMENT PLAN TO CONSTRUCT AN APARTMENT COMPLEX AT 1444 WEST STONERIDGE COURT

“Standard Conditions of Approval” contained in Resolution No. 2010-021 apply. The Applicant shall read and be thoroughly familiar with the conditions regarding rooftop addressing, door and window hardware, building security and construction site security.

Required lighting for walkways, driveways, doorways, play areas, parking lots and other areas used by the public shall be provided. Required exterior lighting shall operate on a photosensor. Photometrics shall be provided and include the types of fixtures proposed and demonstrate that such fixtures meet the vandal-resistant requirement. Planned landscaping shall not obstruct lighting fixtures.

Bollards shall be placed along the perimeter of the proposed playground/barbeque area.

The project shall participate in the Ontario Police Department’s Crime Free Multi Housing program.

The applicant is invited to contact Douglas Sorel at (909) 395-2873 regarding any questions or concerns.

CITY OF ONTARIO MEMORANDUM

TO: PLANNING DEPARTMENT, Luis Batres
FROM: BUILDING DEPARTMENT, Kevin Shear
DATE: November 1, 2016
SUBJECT: PDEV16-044

1. The plan **does** adequately address the departmental concerns at this time.

No comments.

KS:lm

AIRPORT LAND USE COMPATIBILITY PLANNING

CONSISTENCY DETERMINATION REPORT



Project File No.: PDEV16-044

Address: 1444 West Stoneridge Court

APN: 1010-551-06

Existing Land Use: Vacant

Proposed Land Use: Multi-family Residential Apartment Complex (6-units)

Site Acreage: 0.3 Proposed Structure Height: 35 ft

ONT-IAC Project Review: n/a

Airport Influence Area: ONT

Reviewed By: Lorena Mejia

Contact Info: 909-395-2276

Project Planner: Luis Batres

Date: 11/21/16

CD No.: 2016-071

PALU No.: n/a

The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input type="radio"/> High Terrain Zone	<input type="radio"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input checked="" type="checkbox"/> FAA Notification Surfaces	<input checked="" type="checkbox"/> Recorded Overflight Notification
<input type="radio"/> Zone 2	<input checked="" type="checkbox"/> 65 - 70 dB CNEL	<input checked="" type="checkbox"/> Airspace Obstruction Surfaces	<input checked="" type="checkbox"/> Real Estate Transaction Disclosure
<input type="radio"/> Zone 3	<input type="radio"/> 60 - 65 dB CNEL	<input type="radio"/> Airspace Avigation Easement Area	
<input type="radio"/> Zone 4		Allowable Height: 200 ft plus	
<input type="radio"/> Zone 5			

The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1
 Zone 2
 Zone 3
 Zone 4
 Zone 5
 Zone 6

Allowable Height: _____

CONSISTENCY DETERMINATION

This proposed Project is: Exempt from the ALUCP
 Consistent
 Consistent with Conditions
 Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

See Attached Condition

Airport Planner Signature: _____

AIRPORT LAND USE COMPATIBILITY PLANNING

CONSISTENCY DETERMINATION REPORT

CD No.: 2016-071
PALU No.: _____

PROJECT CONDITIONS

New Residential land uses are required to have a Recorded Overflight Notification appearing on the Property Deed and Title incorporating the following language:

NOTICE OF AIRPORT IN VICINITY: This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you.



**PLANNING COMMISSION
STAFF REPORT**
September 26, 2017

SUBJECT: A Development Plan (File No. PDEV17-023) to construct 75 single-family residential dwellings on 10.87 acres of land located within the Conventional Small Lot Residential district of Planning Area 24 of the Subarea 29 Specific Plan, located at the southeast corner of Celebration Avenue and Parkview Street. (APNs: 0218-033-01, 0218-033-02, 0218-033-03(POR) & 0218-033-04(POR)); submitted by The New Home Company Southern California, LLC.

PROPERTY OWNER: The New Home Company Southern California, LLC

RECOMMENDED ACTION: That the Planning Commission approve File No. PDEV17-023 pursuant to the facts and reasons contained in the staff report and attached resolution, and subject to the conditions of approval contained in the attached departmental reports.

PROJECT SETTING: The project site is comprised of 10.87 acres of land located at the southeast corner of Celebration Avenue and Parkview Street, within the Conventional Small Lot Residential district of Planning Area 24 of the Subarea 29 Specific Plan, and is depicted in **Figure 1: Project Location**, below. The project site slopes gently from north to south and is currently vacant. The property to the north of the project site is within the Conventional Small Lot Residential district of Planning Area 23 of the Subarea 29 Specific Plan and is vacant. The property to the east of the project site is within the Cluster Homes district of Planning Area 25 of the Subarea 29 Specific Plan and is vacant. The property to the south of the project site is within the Cluster Homes district of Planning Area 26 of the Subarea 29 Specific Plan and is vacant. The property to the west of the project site is within the school district of Planning Area 18 of the Subarea 29 Specific Plan and is vacant.

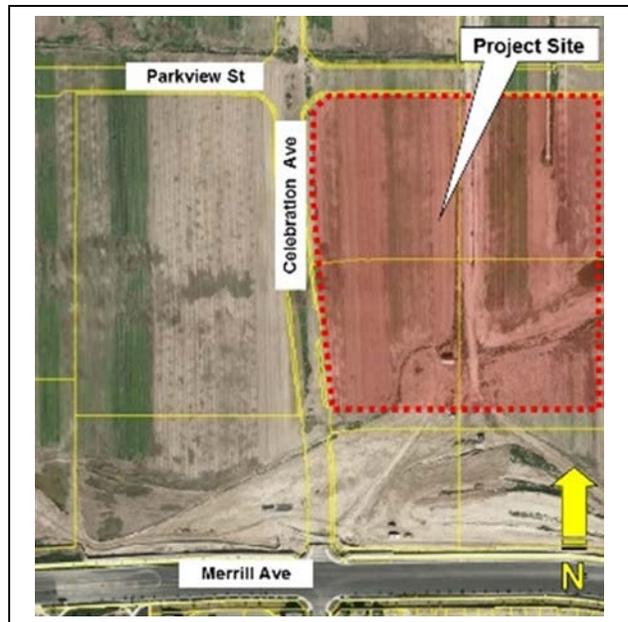


Figure 1: Project Location

Case Planner:	Henry K. Noh	Hearing Body	Date	Decision	Action
Planning Director Approval:		DAB	9/18/17	Approve	Recommend
Submittal Date:	5/30/17	ZA			
Hearing Deadline:	N/A	PC	9/26/17		Final
		CC			

PROJECT ANALYSIS:

[1] Background — The Subarea 29 Specific Plan and Environmental Impact Report (EIR) were approved by the City Council on October 17, 2006. The Specific Plan established the land use designations, development standards, and design guidelines for approximately 540 gross acres of land, which included the potential development of 2,293 single-family units and 87,000 square feet of commercial. The Specific Plan is comprised of twenty-five (25) land use districts incorporating twelve (12) distinctive neighborhoods, offering a variety of residential products.

On August 19, 2013, the Planning Commission approved Tentative Tract Map 18913 (“A” Map). The approved “A” Map facilitated the backbone infrastructure improvements (major streets, sewer, water and storm drain facilities) along Archibald Avenue and Merrill Avenue and the construction of Celebration Park, a clubhouse/recreational center, and residential neighborhoods within the southern portion of the Specific Plan area. Additionally, the previously Tentative Tract Map 18073 (“B” Map) approved the subdivision 10.87 acres of land into 75 single-family lots and 8 lettered lots to accommodate a single-family conventional product and facilitated the construction of the backbone streets, including the primary access points into the proposed community from Parkview Street, Celebration Avenue and Perennial Drive, as well as the construction of all the interior neighborhood streets within the subdivision (see **Exhibit A: Site Plan**).

The Applicant, The New Home Company Southern California, LLC, has submitted a Development Plan (File No. PDEV17-023) to construct 75 single-family conventional residential dwelling units on 10.87 acres of land located within the Conventional Small Lot Residential district of Planning Area 24 of the Subarea 29 Specific Plan (see **Figure 2: Subarea 29 Specific Plan Land Use Plan**, below), located at the southeast corner of Celebration Avenue and Parkview Street.

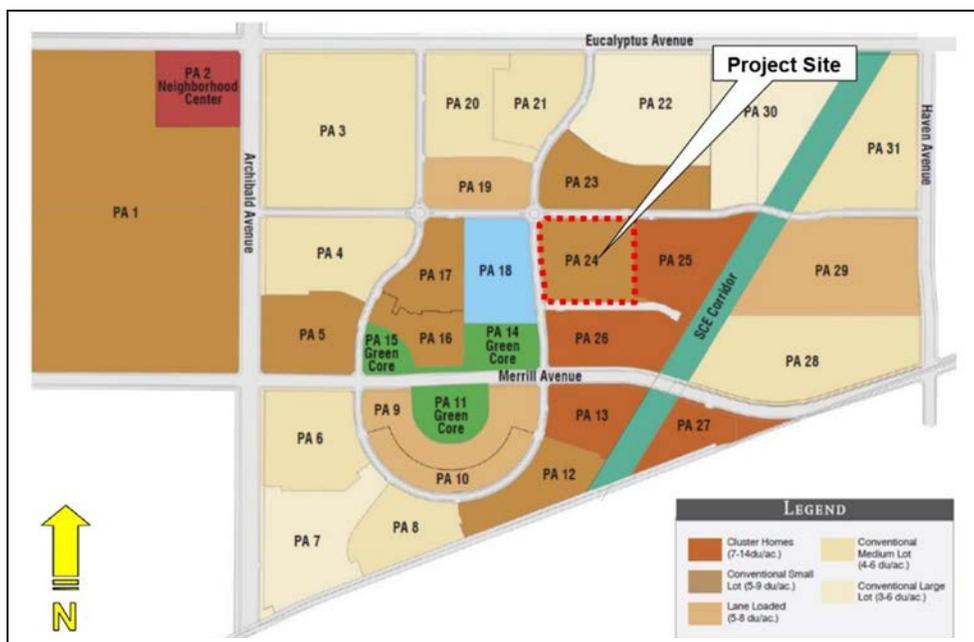


Figure 2: Subarea 29 Specific Plan Land Use Plan

[2] Site Design/Building Layout — The project includes three floor plans and four architectural styles. The three floor plans include the following:

- Plan 1: 2,398 square feet, 4 bedrooms, loft and 3 baths.
- Plan 2: 2,542 square feet, 4 bedrooms, loft and 3 baths.
- Plan 3: 2,641 square feet, 4 bedrooms, bonus room and 3 baths (option for 5th bedroom and 4th bath).

The proposed Development Plan has been designed to create architecture that reflects quality in design, simplicity in form and contributes charm and appeal to the neighborhoods within the Subarea 29 Specific Plan as a whole. All plans incorporate various design features, such as single and second-story massing, varied entries, front porches, optional covered patio, 2nd floor laundry facilities, a great room and a loft or bonus room. In addition, each home will provide a two-car garage and standard driveway. To minimize visual impacts of garages, second-story projections above garages, varied first and second-story roof massing and door header trim above the garage are proposed on all elevations (**Figure 3: Typical Plotting**). In addition, all homes will feature a mid to deep-recessed garage design, where the garage will be setback between 10' to 20' behind a porch or livable area of the home.



Figure 3: Typical Plotting

[3] Site Access/Circulation — The previously approved Tract Maps 18913 (“A” Map) and 18073 (“B” Map), facilitated the construction of the backbone streets including the primary access points into the central portion of the Subarea 29 (Park Place) community from Archibald Avenue and Merrill Avenue, as well as the construction of all the interior neighborhood streets within the subdivision. Primary access into the subdivision will be from Celebration Avenue, Parkview Street and Perennial Drive.

[4] Parking — The proposed conventional single-family homes will provide a two-car garage and a standard two-car driveway, which meets the Subarea 29 Specific Plan and Development Code requirements.

[5] Architecture — The architectural philosophy Subarea 29 Specific Plan is based on architectural styles found in Ontario’s historic neighborhoods. The inspiration and design intent is to re-capture the charm and essence of the historic home styles in Ontario and express them in the simple, honest manner that they originated. The proposed architectural styles include Spanish Colonial, Andalusian, American Traditional and Cottage. The styles were chosen to complement one another through the overall scale, massing, proportions, details and the ability to establish an attractive backdrop that will age gracefully over time.

Each architectural style will include the following details (see **Exhibit B – Floor Plan and Elevations**):

Spanish Colonial: Varying gable and hipped roofs with “S” roof tiles, decorative foam built-up eaves, stucco exterior, arched porch entryways, square and arched windows openings, shutters, wrought-iron pot shelves, cantilevered elements with corbels, faux chimneys and decorative barrel tiles below gables.



Plan 2: Spanish Colonial

Andalusian: Varying gable and hipped roofs with “S” roof tiles, stucco exterior, arched covered entries, square window openings, shutters, wrought-iron pot shelves, wood outlookers below gable ends, cantilevered elements with corbels, faux chimneys, and pot shelves with decorative tile bands.



Plan 1: Andalusian

American Traditional: Varying gable and shed roofs with flat concrete roof tiles, decorative vents under gable ends, stucco and horizontal siding, covered porches with decorative columns, square window openings, decorative window framing, shutters and pot shelves.



Plan 3: American Traditional

Cottage: Varying high-pitched gable roofs with concrete flat roof tiles, horizontal siding with corbels below gable ends, stucco exterior, stone veneer, cantilevered elements with corbels, square window openings, shutters and pot shelves.



Plan 1: Cottage

[6] Landscaping — The related Tentative Tract Map (File No. PMTT14-017/TT18073) will facilitate the construction of sidewalks, parkways, and open space areas within the project site. TOP Policy PR1-1 requires new developments to provide a minimum of 2 acres of private park per 1,000 residents. The proposed project is required to provide a 0.57 acre park to meet the minimum TOP private park requirement. To satisfy the park requirement, the applicant is proposing a 0.36-acre neighborhood park that is located within the southwest portion of the project site. Additionally, the master developer (SL Ontario Development Company, LLC) was required by the Development Agreement (PDA06-001) to construct a total of 8 acres of private parks within the Park Place community (Phases 1, 2 & 3). Through the various tentative tract map approvals within Phases 1, 2 and 3 of the Park Place community, the master developer has provided 8.16 acres of private parks, which satisfies the Policy Plan private park requirements. Additionally, the master developer has constructed a 2.78-acre private recreation facility, consisting of a 16,000 square foot clubhouse. The recreation facility is located at the northeast corner of Parkplace Avenue and Merrill Avenue and features a clubhouse, pool and cabana, tennis courts and playground area. The residents of the subdivision will also have access to Celebration Park.

COMPLIANCE WITH THE ONTARIO PLAN: The proposed project is consistent with the principles, goals and policies contained within the Vision, Governance, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan (TOP). More specifically, the goals and policies of TOP that are furthered by the proposed project are as follows:

[1] City Council Goals.

- Invest in the Growth and Evolution of the City's Economy
- Operate in a Businesslike Manner
- Focus Resources in Ontario's Commercial and Residential Neighborhoods
- Invest in the City's Infrastructure (Water, Streets, Sewers, Parks, Storm Drains and Public Facilities)
- Ensure the Development of a Well Planned, Balanced, and Self-Sustaining Community in the New Model Colony

[2] Vision.

Distinctive Development:

- Commercial and Residential Development
 - Development quality that is broadly recognized as distinctive and not exclusively tied to the general suburban character typical of much of Southern California.

[3] Governance.

Decision Making:

- Goal G1: Sustained decision-making that consistently moves Ontario towards its Vision by using The Ontario Plan as a framework for assessing choices.
 - G1-2 Long-term Benefit. We require decisions to demonstrate and document how they add value to the community and support the Ontario Vision

[4] Policy Plan (General Plan)

Land Use Element:

- Goal LU1: A community that has a spectrum of housing types and price ranges that match the jobs in the City and that make it possible for people to live and work in Ontario and maintain a quality of life.
 - LU1-1 Strategic Growth. We concentrate growth in strategic locations that help create place and identity, maximize available and planned infrastructure, and foster the development of transit.
 - LU1-6 Complete Community: We incorporate a variety of land uses and building types in our land use planning efforts that result in a complete community where residents at all stages of life, employers, workers and visitors have a wide spectrum of choices of where they can live, work, shop and recreate within Ontario. (Refer to Complete Community Section of Community Economics Element).
- Goal LU2: Compatibility between a wide range of uses.
 - LU2-6: Infrastructure Compatibility: We require infrastructure to be aesthetically pleasing and in context with the community character.

Housing Element:

- Goal H2: Diversity of types of quality housing that are affordable to a range of household income levels, accommodate changing demographics, and support and reinforce the economic sustainability of Ontario.
 - H2-4 New Model Colony. We support a premier lifestyle community in the New Model Colony distinguished by diverse housing, highest design quality, and cohesive and highly amenitized neighborhoods.

➤ H2-5 Housing Design. We require architectural excellence through adherence to City design guidelines, thoughtful site planning, environmentally sustainable practices and other best practices.

▪ Goal H5: A full range of housing types and community services that meet the special housing needs for all individuals and families in Ontario, regardless of income level, age or other status.

Community Economics Element:

▪ Goal CE1: A complete community that provides for all incomes and stages of life.

➤ CE1-6 Diversity of Housing. We collaborate with residents, housing providers and the development community to provide housing opportunities for every stage of life; we plan for a variety of housing types and price points to support our workforce, attract business and foster a balanced community.

▪ Goal CE2: A City of distinctive neighborhoods, districts, and corridors, where people choose to be.

➤ CE2-1 Development Projects. We require new development and redevelopment to create unique, high-quality places that add value to the community.

➤ CE2-2 Development Review. We require those proposing new development and redevelopment to demonstrate how their projects will create appropriately unique, functional and sustainable places that will compete well with their competition within the region.

➤ CE2-4 Protection of Investment. We require that new development and redevelopment protect existing investment by providing architecture and urban design of equal or greater quality.

➤ CE2-5 Private Maintenance. We require adequate maintenance, upkeep, and investment in private property because proper maintenance on private property protects property values.

Safety Element:

▪ Goal S1: Minimized risk of injury, loss of life, property damage and economic and social disruption caused by earthquake-induced and other geologic hazards.

➤ S1-1 Implementation of Regulations and Standards. We require that all new habitable structures be designed in accordance with the most recent California Building Code adopted by the City, including provisions regarding lateral forces and grading.

Community Design Element:

▪ Goal CD1: A dynamic, progressive city containing distinct neighborhoods and commercial districts that foster a positive sense of identity and belonging among residents, visitors, and businesses.

➤ CD1-1 City Identity. We take actions that are consistent with the City being a leading urban center in Southern California while recognizing the diverse character of our existing viable neighborhoods.

➤ CD1-2 Growth Areas. We require development in growth areas to be distinctive and unique places within which there are cohesive design themes.

➤ CD1-3 Neighborhood Improvement. We require viable existing residential and non-residential neighborhoods to be preserved, protected, and enhanced in accordance with our land use policies.

▪ Goal CD2: A high level of design quality resulting in public spaces, streetscapes, and developments that are attractive, safe, functional and distinct.

➤ CD2-1 Quality Architecture. We encourage all development projects to convey visual interest and character through:

- Building volume, massing, and height to provide appropriate scale and proportion;
- A true architectural style which is carried out in plan, section and elevation through all aspects of the building and site design and appropriate for its setting; and
- Exterior building materials that are visually interesting, high quality, durable, and appropriate for the architectural style.

➤ CD2-2 Neighborhood Design. We create distinct residential neighborhoods that are functional, have a sense of community, emphasize livability and social interaction, and are uniquely identifiable places through such elements as:

- A pattern of smaller, walkable blocks that promote access, activity and safety;
- Variable setbacks and parcel sizes to accommodate a diversity of housing types;
- Traffic calming measures to slow traffic and promote walkability while maintaining acceptable fire protection and traffic flows;
- Floor plans that encourage views onto the street and de-emphasize the visual and physical dominance of garages (introducing the front porch as the “outdoor living room”), as appropriate; and

- Landscaped parkways, with sidewalks separated from the curb.
- CD2-7 Sustainability. We collaborate with the development community to design and build neighborhoods, streetscapes, sites, outdoor spaces, landscaping and buildings to reduce energy demand through solar orientation, maximum use of natural daylight, passive solar and natural ventilation, building form, mechanical and structural systems, building materials and construction techniques.
- CD2-8 Safe Design. We incorporate defensible space design into new and existing developments to ensure the maximum safe travel and visibility on pathways, corridors, and open space and at building entrances and parking areas by avoiding physically and visually isolated spaces, maintenance of visibility and accessibility, and use of lighting.
- CD2-9 Landscape Design. We encourage durable landscaping materials and designs that enhance the aesthetics of structures, create and define public and private spaces, and provide shade and environmental benefits.
- CD2-10 Surface Parking Areas. We require parking areas visible to or used by the public to be landscaped in an aesthetically pleasing, safe and environmentally sensitive manner. Examples include shade trees, pervious surfaces, urban run-off capture and infiltration, and pedestrian paths to guide users through the parking field.
- CD2-11 Entry Statements. We encourage the inclusion of amenities, signage and landscaping at the entry to neighborhoods, commercial centers, mixed use areas, industrial developments, and public places that reinforce them as uniquely identifiable places.
- CD2-13 Entitlement Process. We work collaboratively with all stakeholders to ensure a high degree of certainty in the efficient review and timely processing of all development plans and permits.
 - Goal CD3: Vibrant urban environments that are organized around intense buildings, pedestrian and transit areas, public plazas, and linkages between and within developments that are conveniently located, visually appealing and safe during all hours.
- CD3-6 Landscaping. We utilize landscaping to enhance the aesthetics, functionality and sustainability of streetscapes, outdoor spaces and buildings.
 - Goal CD5: A sustained level of maintenance and improvement of properties, buildings and infrastructure that protects the property values and encourages additional public and private investments.

➤ CD5-1 Maintenance of Buildings and Property. We require all public and privately owned buildings and property (including trails and easements) to be properly and consistently maintained.

➤ CD5-2 Maintenance of Infrastructure. We require the continual maintenance of infrastructure.

HOUSING ELEMENT COMPLIANCE: The project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan. The project site is one of the properties listed in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix, and the proposed project is consistent with the number of dwelling units (75) and density (6.90 DU/AC) specified in the Available Land Inventory.

AIRPORT LAND USE COMPATIBILITY PLAN (ALUCP) COMPLIANCE: The project site is located within the Airport Influence Area of the Ontario International Airport (ONT), and has been found to be consistent with the policies and criteria set forth within the ALUCP for ONT.

ENVIRONMENTAL REVIEW: the environmental impacts of this project were previously reviewed in conjunction with File No. PSPA14-002, an Amendment to the Subarea 29 Specific Plan for which an addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) was adopted by the City Council on April 21, 2015. This Application introduces no new significant environmental impacts. All previously adopted mitigation measures are be a condition of project approval and are incorporated herein by reference.

CONDITIONS OF APPROVAL: See attached department reports.

TECHNICAL APPENDIX:

Surrounding Zoning and Land Use:

	<i>Existing Land Use</i>	<i>General Plan Designation</i>	<i>Zoning Designation</i>	<i>Specific Plan Land Use</i>
<i>Site</i>	Vacant with Previous Agricultural/Dairy Uses	Low Density Residential	Subarea 29 Specific Plan	Planning Area 24 (Conventional Small Lot)
<i>North</i>	Vacant with Previous Agricultural/Dairy Uses	Low Density Residential	Subarea 29 Specific Plan	Planning Area 23 (Conventional Small Lot)
<i>South</i>	Vacant with Previous Agricultural/Dairy Uses	Low Density Residential	Subarea 29 Specific Plan	Planning Area 26 (Cluster Homes)
<i>East</i>	Vacant with Previous Agricultural/Dairy Uses	Low Density Residential	Subarea 29 Specific Plan	Planning Area 25 (Cluster Homes)
<i>West</i>	Vacant with Previous Agricultural/Dairy Uses	Low Density Residential	Subarea 29 Specific Plan	Planning Area 18 (School)

General Site & Building Statistics

<i>Item</i>	<i>Required Min./Max.</i>	<i>Provided (Ranges)</i>	<i>Meets Y/N</i>
<i>Project area (in acres):</i>	N/A	10.87	Y
<i>Maximum project density (dwelling units/ac):</i>	6.9 DU/AC	6.9 DU/AC	Y
<i>Maximum coverage (in %):</i>	45%	31%	Y
<i>Front yard setback (in FT):</i>	10'	10'	Y
<i>Side yard setback (in FT):</i>	4'	4'	Y
<i>Rear yard setback (in FT):</i>	10'	10'	Y
<i>Maximum dwelling units/building:</i>	75 DU	75 DU	Y
<i>Maximum height (in FT):</i>	35'	29'	Y

Exhibit A — SITE PLAN

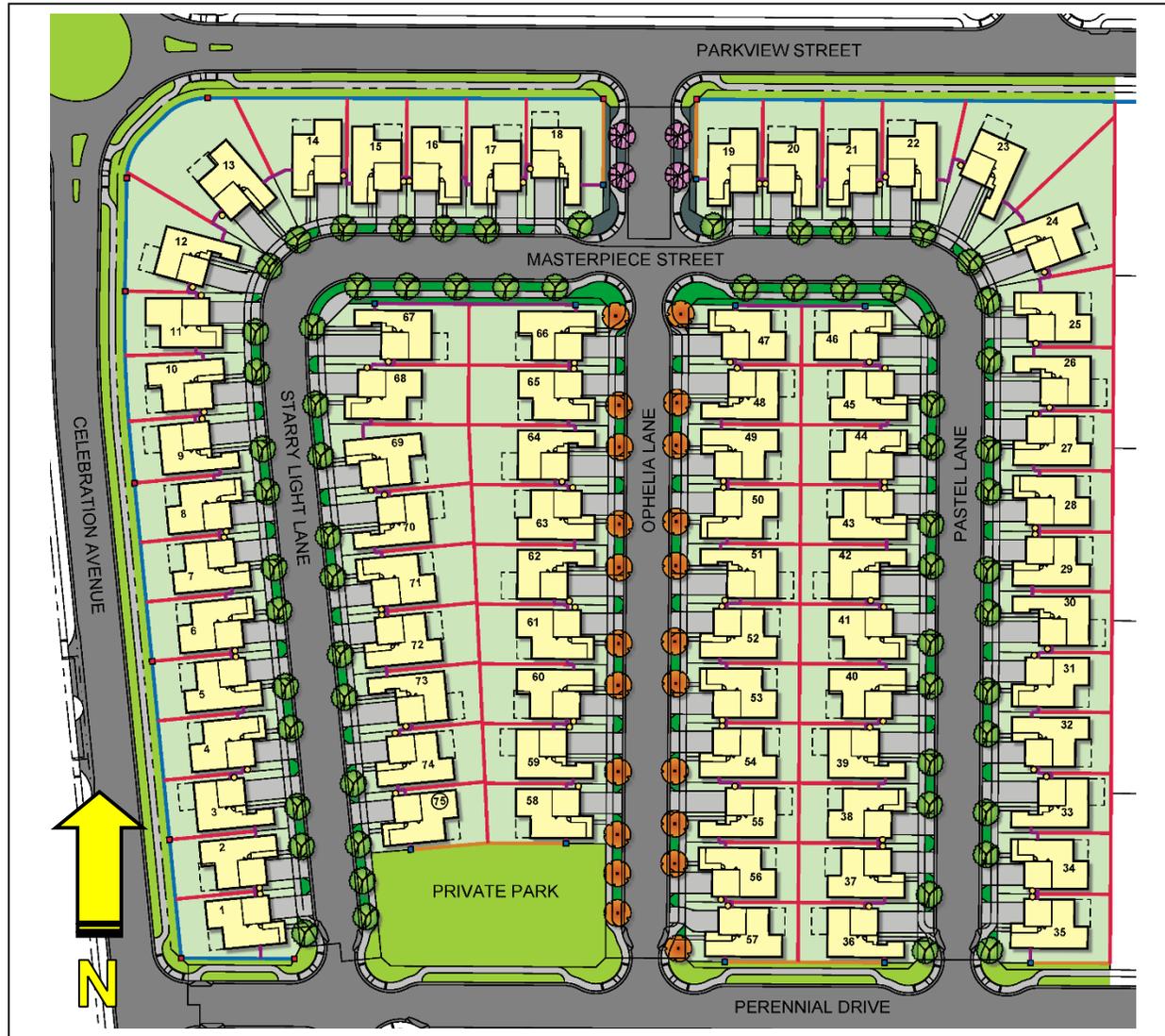


Exhibit B — FLOOR PLAN AND EXTERIOR ELEVATIONS — PLAN 1

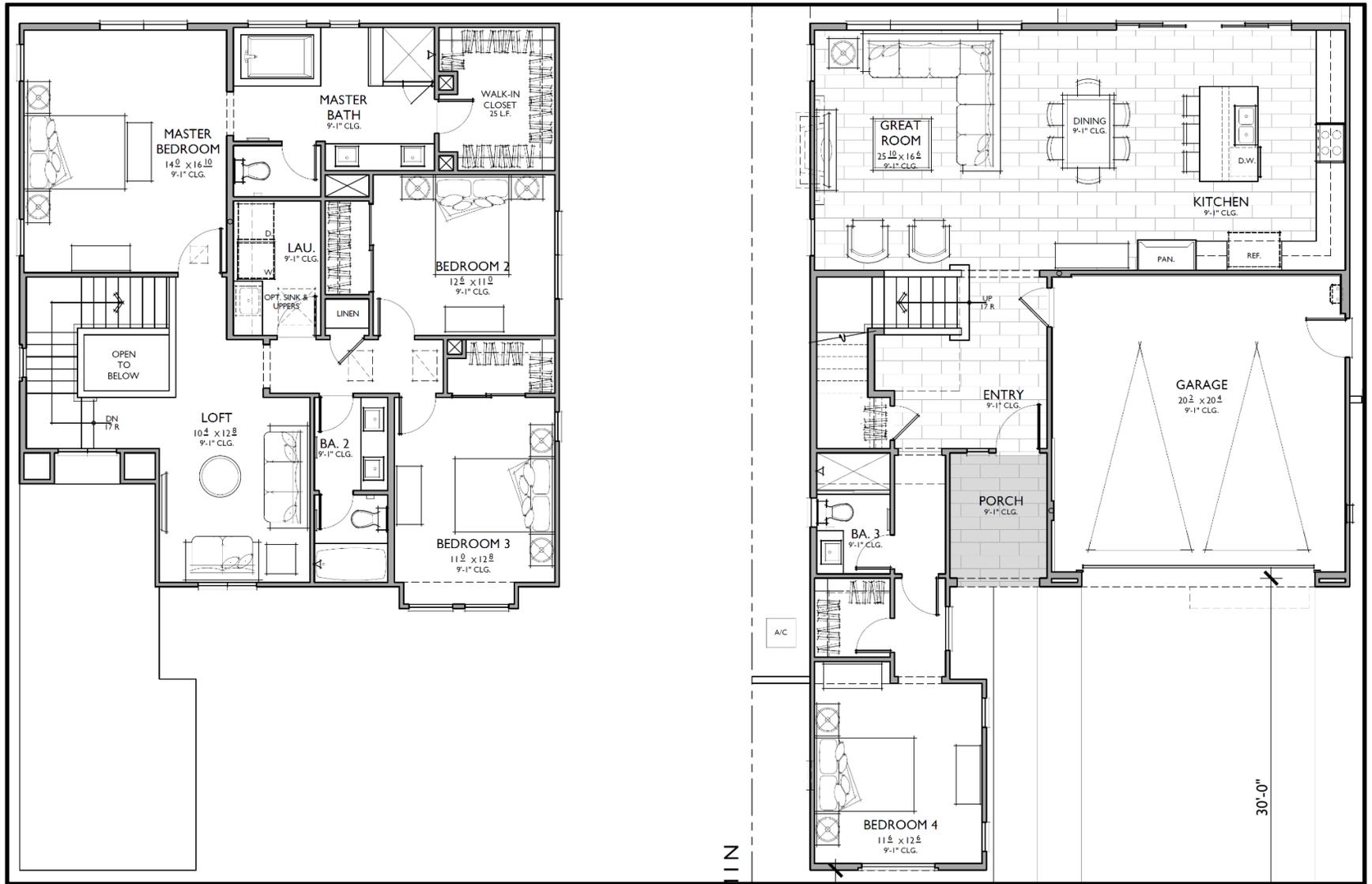


Exhibit B — FLOOR PLAN AND EXTERIOR ELEVATIONS — PLAN 1



Exhibit B — FLOOR PLAN AND EXTERIOR ELEVATIONS — PLAN 2

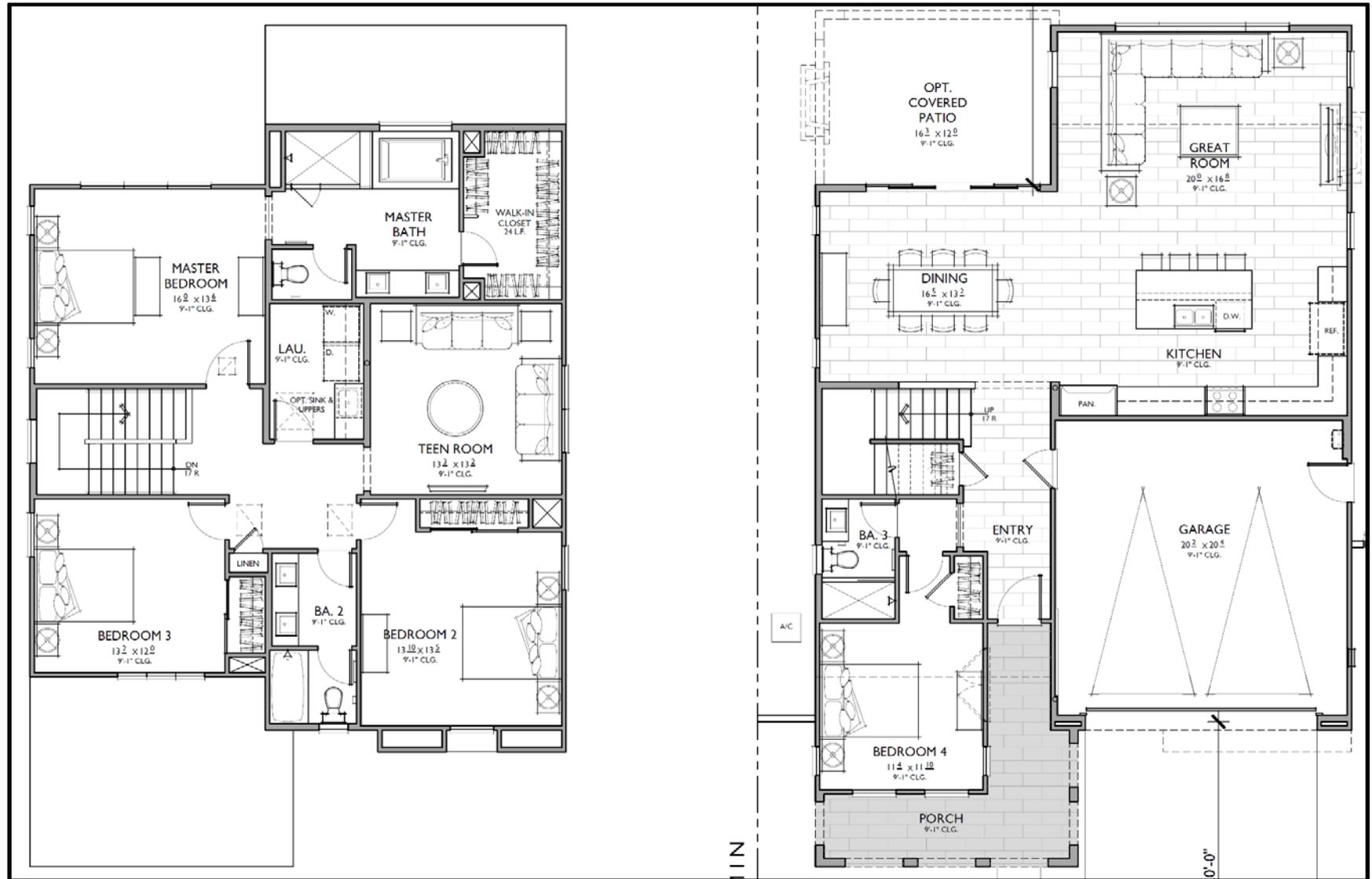


Exhibit B — FLOOR PLAN AND EXTERIOR ELEVATIONS — PLAN 2



Exhibit B — FLOOR PLAN AND EXTERIOR ELEVATIONS — PLAN 3

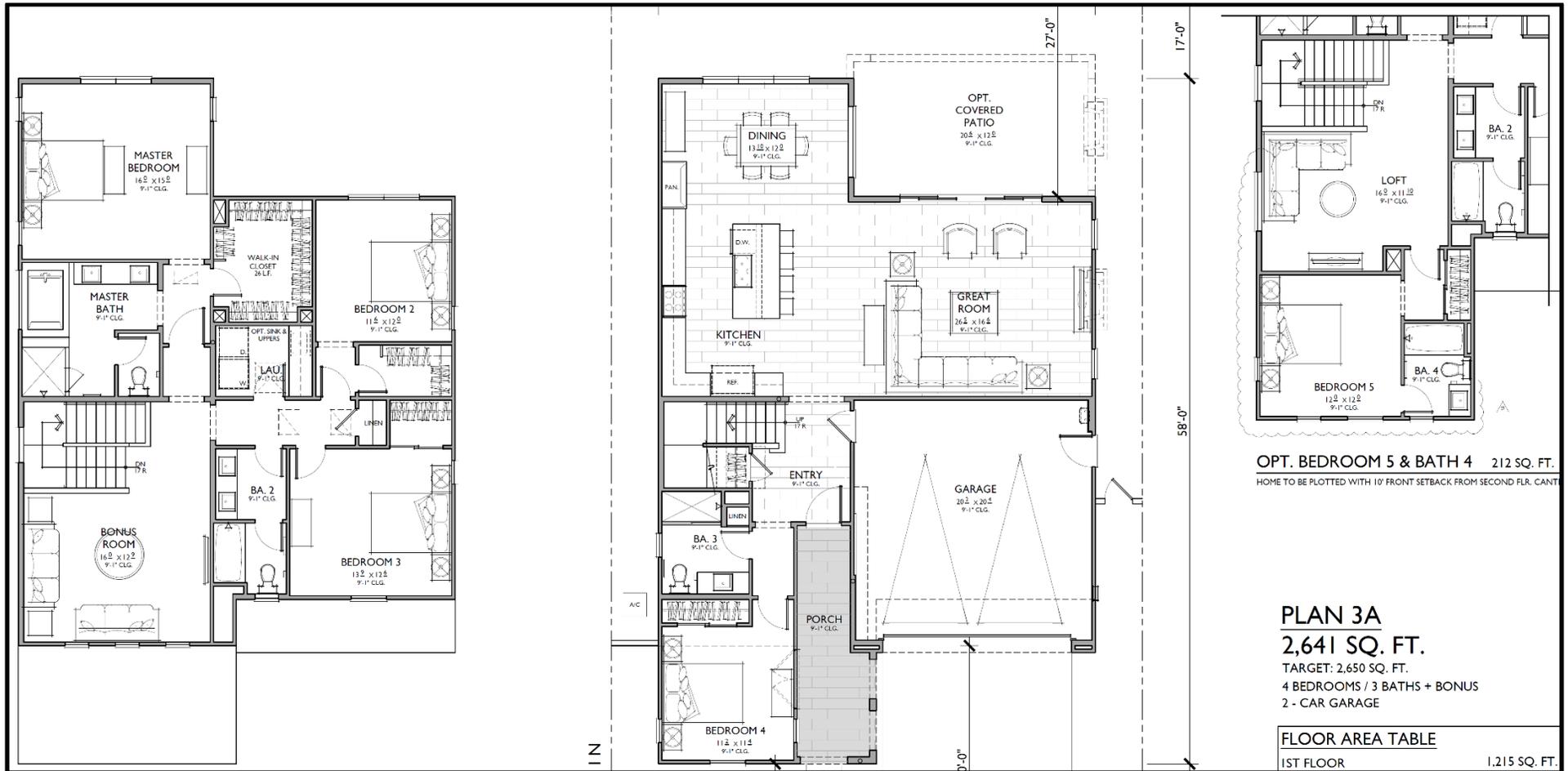


Exhibit B — FLOOR PLAN AND EXTERIOR ELEVATIONS — PLAN 3



Exhibit B — FLOOR PLAN AND EXTERIOR ELEVATIONS — SAMPLE ENHANCED ELEVATIONS



LEFT - ENHANCED @ CORNER LOTS



FRONT

D
1/4"=1'-0"

D MATERIALS LEGEND:

1. FLAT CONCRETE TILE ROOF
2. DECORATIVE SHUTTER
3. POT SHELF
4. HORIZONTAL SIDING
5. FOAM CORBEL W / WOOD GRAIN FINISH
6. 18" RECESSED WINDOW
7. FOAM TRIM
8. STONE VENEER



RIGHT



REAR - ENHANCED

D

RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ONTARIO, CALIFORNIA, APPROVING FILE NO. PDEV17-023, A DEVELOPMENT PLAN APPROVAL TO CONSTRUCT 75 SINGLE-FAMILY RESIDENTIAL DWELLINGS ON 14.35 ACRES OF LAND LOCATED WITHIN THE CONVENTIONAL SMALL LOT RESIDENTIAL DISTRICT OF PLANNING AREA 24 OF THE SUBAREA 29 SPECIFIC PLAN, LOCATED AT THE SOUTHEAST CORNER OF CELEBRATION AVENUE AND PARKVIEW STREET, AND MAKING FINDINGS IN SUPPORT THEREOF—APNS: 0218-033-01, 0218-033-02, 0218-033-03 (POR) & 0218-033-04 (POR).

WHEREAS, New Home Company Southern California, LLC ("Applicant") has filed an Application for the approval of a Development Plan, File No. PDEV17-023, as described in the title of this Resolution (hereinafter referred to as "Application" or "Project"); and

WHEREAS, the Application applies to 10.87 acres of land generally located at the southeast corner of Celebration Avenue and Parkview Street, within the Conventional Small Lot Residential district of Planning Area 24 of the Subarea 29 Specific Plan, and is presently mass graded; and

WHEREAS, the property to the north of the project site is within the Conventional Small Lot Residential district of Planning Area 23 of the Subarea 29 Specific Plan and is vacant. The property to the east of the project site is within the Cluster Homes district of Planning Area 25 of the Subarea 29 Specific Plan and is vacant. The property to the south of the project site is within the Cluster Homes district of Planning Area 26 of the Subarea 29 Specific Plan and is vacant. The property to the west of the project site is within the School district of Planning Area 18 of the Subarea 29 Specific Plan and is vacant; and

WHEREAS, the Development Plan proposed is in compliance with the requirements of the Subarea 29 Specific Plan and is sufficient in size to facilitate and implement the traditional planning concepts for the "Residential Neighborhood" within the Specific Plan; and

WHEREAS, the proposed Development Plan is located within Planning Area 24 (Conventional Small Lot Residential Product Type) land use district of the Subarea 29 Specific Plan, which establishes a minimum lot size of 3,825 square feet and a development capacity of 75 dwelling units; and

WHEREAS, the Development Plan proposes architectural styles found in Ontario's historic neighborhoods. The inspiration and design intent is to re-capture the charm and essence of the historic home styles in Ontario and express them in the simple, honest

manner that they originated. The proposed architectural styles include: Spanish Colonial, Andalusian, American Traditional and Cottage that are consistent with the Subarea 29 Architectural Style Guidelines; and

WHEREAS, the Development Plan proposes three floor plans: Plan 1 - 2,398 square feet, 4 bedrooms, loft and 3 baths; Plan 2 - 2,542 square feet, 4 bedrooms, loft and 3 baths; and Plan 3 - 2,641 square feet, 4 bedrooms, bonus room and 3 baths (option for 5th bedroom and 4th bath); and

WHEREAS, the Application is a project pursuant to the California Environmental Quality Act (Public Resources Code Section 21000 et seq.) ("CEQA"); and

WHEREAS, the environmental impacts of this project were previously reviewed in conjunction with File No. PSPA14-002, an Amendment to the Subarea 29 Specific Plan for which an addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) was adopted by the City Council on April 21, 2015, and this Application introduces no new significant environmental impacts; and

WHEREAS, the City's "Local Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed; and

WHEREAS, the Application is a project pursuant to CEQA (Public Resources Code Section 21000 et seq.), and an initial study has been prepared to determine possible environmental impacts; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Planning Commission the responsibility and authority to review and act on the subject Application; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan ("ALUCP"), which applies only to jurisdictions within San Bernardino County, and

addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, on May 26, 2015, the Planning Commission of the City of Ontario conducted a hearing and approved the related Tentative Tract Map File No. PMTT14-017 (TT18073); and

WHEREAS, on September 18, 2017, the Development Advisory Board of the City of Ontario conducted a hearing to consider the Project and concluded said hearing on that date, voting to issue Decision No. DAB17-052 recommending the Planning Commission approve the Application; and

WHEREAS, on September 26, 2017, the Planning Commission of the City of Ontario conducted a hearing to consider the Project and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, IT IS HEREBY FOUND, DETERMINED, AND RESOLVED by the Planning Commission of the City of Ontario, as follows:

SECTION 1: Environmental Determination and Findings. As the decision-making body for the Project, the Planning Commission has reviewed and considered the information contained in the previous addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) and supporting documentation. Based upon the facts and information contained in the previous addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) and supporting documentation, the Planning Commission finds as follows:

(1) The environmental impacts of this project were reviewed in conjunction with an Addendum to Subarea 29 Specific Plan EIR (SCH# 2004011009) Environmental Impact Report, certified by the City of Ontario City Council on April 21, 2015, in conjunction with File No. PSPA14-002; and

(2) The previous addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) contains a complete and accurate reporting of the environmental impacts associated with the Project; and

(3) The previous addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) was completed in compliance with CEQA and the Guidelines promulgated thereunder; and

(4) The previous addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) reflects the independent judgment of the Planning Commission; and

(5) The proposed project will introduce no new significant environmental impacts beyond those previously analyzed in the previous addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009), and all mitigation measures previously adopted with the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009), are incorporated herein by this reference.

SECTION 2: Subsequent or Supplemental Environmental Review Not Required. Based on the information presented to the Planning Commission, and the specific findings set forth in Section 1, above, the Planning Commission finds that the preparation of a subsequent or supplemental addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) is not required for the Project, as the Project:

(1) Does not constitute substantial changes to the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) that will require major revisions to the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and

(2) Does not constitute substantial changes with respect to the circumstances under which the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) was prepared, that will require major revisions to the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) due to the involvement of new significant environmental effects or a substantial increase in the severity of the previously identified significant effects; and

(3) Does not contain new information of substantial importance that was not known and could not have been known with the exercise of reasonable diligence at the time the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) was certified/adopted, that shows any of the following:

(a) The project will have one or more significant effects not discussed in the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009); or

(b) Significant effects previously examined will be substantially more severe than shown in the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009); or

(c) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the Project, but the City declined to adopt such measures; or

(d) Mitigation measures or alternatives considerably different from those analyzed in the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) would substantially reduce one or more significant effects on the environment, but which the City declined to adopt.

SECTION 3: *Housing Element Compliance.* Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the decision-making body for the Project, the Planning Commission finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan. The project site is one of the properties listed in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix, and the proposed project is consistent with the number of dwelling units (75) and density (6.90 DU/AC) specified in the Available Land Inventory.

SECTION 4: *Ontario International Airport Land Use Compatibility Plan (“ALUCP”) Compliance.* The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land use Compatibility Plan (“ALUCP”), establishing the Airport Influence Area for Ontario International Airport (“ONT”), which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the decision-making body for the Project, the Planning Commission has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the Planning Commission, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

SECTION 5: *Concluding Facts and Reasons.* Based upon the substantial evidence presented to the Planning Commission during the above-referenced hearing,

and upon the specific findings set forth in Section 1 through 4, above, the Planning Commission hereby concludes as follows:

(1) ***The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.*** The proposed Project is located within the Low Density Residential land use district of the Policy Plan Land Use Map, and the Conventional Small Lot Residential (Planning Area 24) land use district of the Subarea 29 Specific Plan. The development standards and conditions under which the proposed Project will be constructed and maintained, is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan. The Development Plan has been required to comply with all provisions of Conventional Small Lot Residential Product Residential Development Standards of the Subarea 29 Specific Plan. Future neighborhoods within the Subarea 29 Specific Plan and surrounding area will provide for diverse housing and highly amenitized neighborhoods that will be compatible in design, scale and massing to the proposed development.

(2) ***The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located.*** The Project has been designed consistent with the requirements of the City of Ontario Development Code and the Conventional Small Lot Residential (Planning Area 24) land use district of the Subarea 29 Specific Plan, including standards relative to the particular land use proposed (single-family residential), as-well-as building intensity, building and parking setbacks, building height, number of off-street parking and loading spaces, on-site and off-site landscaping, and fences, walls and obstructions. The Project has been designed consistent with the requirements of the Subarea 29 Specific Plan (Conventional Small Lot Residential Product) land use designations, including standards relative to the particular land use proposed (conventional single-family residential product), as well as building intensity, building and parking setbacks, building height, number of off-street parking spaces, on-site and off-site landscaping, and fences, walls and obstructions.

(3) ***The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed project.*** The Planning Commission has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the Subarea 29 Specific Plan are maintained; [ii] the project will not endanger the public health, safety or general welfare; [iii] the project will not result in any significant environmental impacts; [iv] the project will be in harmony with the area in which it is located; and [v] the project will be in full conformity with the Vision,

City Council Priorities and Policy Plan components of The Ontario Plan, and the Subarea 29 Specific Plan. Additionally, the environmental impacts of this project were previously reviewed in conjunction with the Subarea 29 Specific Plan Environmental Impact Report (SCH#2004011009). This application is consistent with the previously adopted EIR and introduces no new significant environmental impacts.

(4) ***The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.*** The proposed Project has been reviewed for consistency with the general development standards and guidelines of the Subarea 29 Specific Plan that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of off-street parking, design and landscaping, on-site landscaping, and fences and walls, as-well-as those development standards and guidelines specifically related to the particular land use being proposed (conventional single-family residential). As a result of this review, the Planning Commission has determined that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the development standards and guidelines described in the Subarea 29 Specific Plan. Additionally, the Development Plan complies with all provisions of Conventional Small Lot Residential Product Residential Development Standards of the Subarea 29 Specific Plan.

SECTION 6: Planning Commission Action. Based upon the findings and conclusions set forth in Sections 1 through 5, above, the Planning Commission hereby APPROVES the herein described Application, subject to each and every condition set forth in the Department reports attached hereto as "Attachment A," and incorporated herein by this reference.

SECTION 7: Indemnification. The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void, or annul this approval. The City of Ontario shall promptly notify the applicant of any such claim, action, or proceeding, and the City of Ontario shall cooperate fully in the defense.

SECTION 8: Custodian of Records. The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario.

SECTION 9: Certification to Adoption. The Secretary shall certify to the adoption of the Resolution.

The Secretary Pro Tempore for the Planning Commission of the City of Ontario shall certify as to the adoption of this Resolution.

I hereby certify that the foregoing Resolution was duly and regularly introduced, passed and adopted by the Planning Commission of the City of Ontario at a regular meeting thereof held on the 26th day of September 2017, and the foregoing is a full, true and correct copy of said Resolution, and has not been amended or repealed.

Richard D. Delman
Planning Commission Chairman

ATTEST:

Scott Murphy
Assistant Development Director
Secretary of Planning Commission

STATE OF CALIFORNIA)
COUNTY OF SAN BERNARDINO)
CITY OF ONTARIO)

I, Gwen Berendsen, Secretary Pro Tempore of the Planning Commission of the City of Ontario, DO HEREBY CERTIFY that foregoing Resolution No. PC*** was duly passed and adopted by the Planning Commission of the City of Ontario at their regular meeting held on September 26, 2017, by the following roll call vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Gwen Berendsen
Secretary Pro Tempore

ATTACHMENT A:

**File No. PDEV17-023
Departmental Conditions of Approval**

(Departmental conditions of approval to follow this page)



City of Ontario
Planning Department
303 East B Street
Ontario, California 91764
Phone: 909.395.2036
Fax: 909.395.2420

Planning Department Land Development Division Conditions of Approval

Meeting Date: September 18, 2017

File No: PDEV17-023

Related Files: PMTT14-017/TT18073

Project Description: A Development Plan (File No. PDEV17-023) approval to construct 75 single-family residential dwellings on 10.87 acres of land located within the Conventional Small Lot Residential district of Planning Area 24 of the Subarea 29 Specific Plan, located at the southeast corner of Celebration Avenue and Parkview Street. (APNs: 0218-033-01, 0218-033-02, 0218-033-03(POR) & 0218-033-04(POR)); **submitted by The New Home Company Southern California, LLC.**

Prepared By: Henry K. Noh, Senior Planner
Phone: 909.395.2429 (direct)
Email: hnoh@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

1.0 Standard Conditions of Approval. The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

2.0 Special Conditions of Approval. In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

2.1 Time Limits.

(a) Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

2.2 General Requirements. The Project shall comply with the following general requirements:

(a) All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

(b) The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

(c) The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

2.3 Landscaping.

(a) The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

(b) Comply with the conditions of approval of the Planning Department; Landscape Planning Division.

(c) Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

(d) Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

2.4 Walls and Fences. All Project walls and fences shall comply with the requirements of the Subarea 29 Specific Plan and Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

2.5 Parking, Circulation and Access.

(a) The Project shall comply with the applicable off-street parking, loading and lighting requirements of the Subarea 29 Specific Plan and City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

(b) Areas provided to meet the City's parking requirements, including off-street parking and loading spaces, access drives, and maneuvering areas, shall not be used for the outdoor storage of materials and equipment, nor shall it be used for any other purpose than parking.

2.6 Site Lighting.

(a) Unless intended as part of a master lighting program, no operation, activity, or lighting fixture shall create illumination on any adjacent property.

2.7 Mechanical and Rooftop Equipment.

(a) All exterior roof-mounted mechanical, heating and air conditioning equipment, and all appurtenances thereto, shall be completely screened from public view by parapet walls or roof screens that are architecturally treated so as to be consistent with the building architecture.

(b) All ground-mounted utility equipment and structures, such as tanks, transformers, HVAC equipment, and backflow prevention devices, shall be located out of view from a public street, or adequately screened through the use of landscaping and/or decorative low garden walls.

2.8 Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

2.9 Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noised levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

2.10 Covenants, Conditions and Restrictions (CC&Rs)/Mutual Access and Maintenance Agreements.

(a) CC&Rs shall be prepared for the Project and shall be recorded prior to the issuance of a building permit.

(b) The CC&Rs shall be in a form and contain provisions satisfactory to the City. The articles of incorporation for the property owners association and the CC&Rs shall be reviewed and approved by the City.

(c) CC&Rs shall ensure reciprocal parking and access between parcels, and common maintenance of:

- (i) Landscaping and irrigation systems within common areas;
- (ii) Landscaping and irrigation systems within parkways adjacent to the project site, including that portion of any public highway right-of-way between the property line or right-of-way boundary line and the curb line and also the area enclosed within the curb lines of a median divider (Ontario Municipal Code Section 7-3.03), pursuant to Ontario Municipal Code Section 5-22-02;
- (iii) Shared parking facilities and access drives; and
- (iv) Utility and drainage easements.

(d) CC&Rs shall include authorization for the City's local law enforcement officers to enforce City and State traffic and penal codes within the project area.

(e) The CC&Rs shall grant the City of Ontario the right of enforcement of the CC&R provisions.

(f) A specific methodology/procedure shall be established within the CC&Rs for enforcement of its provisions by the City of Ontario, if adequate maintenance of the development does not occur, such as, but not limited to, provisions that would grant the City the right of access to correct maintenance issues and assess the property owners association for all costs incurred.

2.11 Disclosure Statements.

(a) A copy of the Public Report from the Department of Real Estate, prepared for the subdivision pursuant to Business and Professions Code Section 11000 et seq., shall be provided to each prospective buyer of the residential units and shall include a statement to the effect that:

(i) This tract is subject to noise from the Ontario International Airport and may be more severely impacted in the future.

(ii) Some of the property adjacent to this tract is zoned for agricultural uses and there could be fly, odor, or related problems due to the proximity of animals.

(iii) The area south of Riverside Drive lies within the San Bernardino County Agricultural Preserve. Dairies currently existing in that area are likely to remain for the foreseeable future.

(iv) This tract is part of a Landscape Maintenance District. The homeowner(s) will be assessed through their property taxes for the continuing maintenance of the district.

2.12 Environmental Review.

(a) The environmental impacts of this project were previously reviewed in conjunction with File No. PSPA14-002, a(n) Amendment to the Subarea 29 Specific Plan for which a(n) addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) was adopted by the City Council on April 21, 2015. This application introduces no new significant environmental impacts. The City's "Guidelines for the

Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed. The previously adopted mitigation measures shall be a condition of project approval, and are incorporated herein by this reference.

(b) If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

(c) If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

2.13 Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

2.14 Additional Fees.

(a) Within 5 days following final application approval, the Notice of Determination (NOD) filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act (CEQA). Failure to provide said fee within the time specified may result in a 180-day extension to the statute of limitations for the filing of a CEQA lawsuit.

(b) After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

2.15 Additional Requirements.

(a) Off-Site Subdivision Signs.

The City Council has authorized the Baldy View Chapter of the Building Industry Association to manage a standardized off-site directional sign program on a non-profit basis. The program uses uniform sign structures and individual identification and directional signs for residential development. **No other off-site signing is authorized.** (For additional information, contact the Baldy View Chapter BIA at (909) 945-1884.

(b) The applicant shall contact the Ontario Post Office to determine the size and location of mailboxes for this project. The location of the mailboxes shall be submitted to the Planning Department for review and approval prior to the issuance of building permits.

(c) The applicant (Developer) shall be responsible for providing fiber to each home per City requirements and standards.

(d) Dairy Separation Requirement for Residential Development.

The following separation requirements from existing dairies/feed lots shall apply to new residential development or structures used for public assembly purposes from existing dairies/feed lots.

A minimum 100' separation shall be required between a new residential, commercial or industrial development or structure used for public assembly and an existing animal feed trough, corral/pen or an existing dairy/feed lot including manure stockpiles and related wastewater detention basins. The 100-foot separation requirement may be satisfied by an off-site easement acceptable to the Planning Director with adjacent properties, submitted with the initial final map and recorded prior to or concurrent with the final map.

(e) All applicable conditions of approval of Development Agreement (File No. PDA13-003) shall apply to this tract.

(f) All applicable conditions of approval of the Subarea 29 Specific Plan shall apply to this tract.

(g) All applicable conditions of approval of the "B" Map TT 18073 (File No. PMTT14-017) shall apply to this Development Plan.

(h) The Private Park (Lot A) shall be constructed prior to the issuance of the certificate of occupancy of the 37th home.

(i) The Ontario Climate Action Plan (CAP) requires new development to be 25% more efficient. The applicant has elected to utilize the Screening Tables provided in the CAP instead of preparing separate emissions calculations. By electing to utilize the Screening Tables the applicant shall be required to garner a minimum 100 points to be consistent with the reduction quantities outlined in the CAP. The applicant shall identify on the construction plans the items identified in the attached residential Screening Tables.



CITY OF ONTARIO MEMORANDUM

ENGINEERING DEPARTMENT CONDITIONS OF APPROVAL

(Traffic/Transportation Division and Municipal Utilities Agency, and Environmental Section Conditions incorporated)

DATE: June 8, 2017

PROJECT PLANNER: Henry Noh, Senior Planner

PROJECT: PDEV17-023 – A Development Plan to construct 75 single family homes on 10.87 acres within Planning Area 24 of the Subarea 29 Specific Plan (Reference File : TM 18073-PMTT14-017)

APN: 0218-033-01, 02, 03 and 04

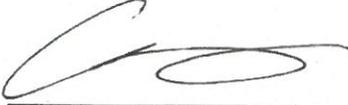
LOCATION: SEC of Celebration Avenue and Parkview Street

PROJECT ENGINEER: Manoj Hariya, P.E, Sr. Associate Civil Engineer

The following items are the Conditions of Approval for the subject project:

1. The applicant/developer shall be responsible to complete all applicable conditions as specified in the Conditions of Approval for TM18073, TM18913-2 and Development Agreement between SL Ontario Development Company LLC and City of Ontario for Subarea 29 (Park Place) Specific Plan.
2. The applicant/developer shall provide fiber optic connection to each home per City Standards and guidelines.
3. Prior to Building Permits: Any changes to the already approved Engineering Report (ER), including landscaping plans, due to the proposed re-lotting, shall be amended with City and State. Please coordinate with Cynthia Heredia-Torres 909-395-2647, ctorres@ontarioca.gov to confirm immediately.

M. B. Hariya 06/12/17
Manoj Hariya , P.E. Date
Senior Associate Civil Engineer

 6/12/17
Khoi Do, P.E. Date
Assistant City Engineer



CITY OF ONTARIO

MEMORANDUM

TO: Henry Noh, Senior Planner
Planning Department

FROM: Lora L. Gearhart, Fire Protection Analyst
Fire Department

DATE: June 29, 2017

SUBJECT: PDEV17-023 – A Development Plan to construct 75 traditional single-family dwellings on 10.87 acres of land located within Planning Area 24 (Traditional Small Lot Product) of the Subarea 29 Specific Plan, located at the southeast corner of Celebration Avenue and Parkview Street (APNs: 0218-033-01, 0218-033-02, 0218-033-03 & 0218-033-04).

-
- The plan **does** adequately address Fire Department requirements at this time.
- No comments.
- Standard Conditions of Approval apply, as stated below.
-

SITE AND BUILDING FEATURES:

- A. 2013 CBC Type of Construction: Type V-B wood frame
- B. Type of Roof Materials: non-rated
- C. Ground Floor Area(s): Various
- D. Number of Stories: Two Story
- E. Total Square Footage: Various
- F. 2013 CBC Occupancy Classification(s): R-3, U

CONDITIONS OF APPROVAL:

1.0 GENERAL

- ☒ 1.1 The following are the Ontario Fire Department (“Fire Department”) requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards (“Standards.”) It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at www.ontarioca.gov, click on “Fire Department” and then on “Standards and Forms.”
- ☒ 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

2.0 FIRE DEPARTMENT ACCESS

- ☒ 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty (20) ft. wide. See Standard #B-004.
- ☒ 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25’) inside and forty-five feet (45’) outside turning radius per Standard #B-005.
- ☒ 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150’) in length shall have an approved turn-around per Standard #B-002.

3.0 WATER SUPPLY

- ☒ 3.1 The required fire flow per Fire Department standards, based on the 2016 California Fire Code, Appendix B, is 1500 gallons per minute (g.p.m.) for 2 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.
- ☒ 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300’) apart, per Engineering Department specifications.
- ☒ 3.4 The public water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

4.0 FIRE PROTECTION SYSTEMS

- ☒ 4.3 An automatic fire sprinkler system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 13 D. All new fire sprinkler systems, except those in single family dwellings, which contain twenty (20) sprinkler heads or more shall be monitored by an approved listed supervising station. An application along with

detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.

5.0 BUILDING CONSTRUCTION FEATURES

- 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.
- 5.3 Single station smoke alarms and carbon monoxide alarms are required to be installed per the California Building Code and the California Fire Code.
- 5.5 All residential chimneys shall be equipped with an approved spark arrester meeting the requirements of the California Building Code.

CITY OF ONTARIO
LANDSCAPE PLANNING DIVISION
 303 East "B" Street, Ontario, CA 91764

PRELIMINARY PLAN CORRECTIONS

Sign Off

Carolyn Bell
 Carolyn Bell, Sr. Landscape Planner

8/7/17
 Date

Reviewer's Name:

Carolyn Bell, Sr. Landscape Planner

Phone:

(909) 395-2237

D.A.B. File No.:

PDEV17-023

Case Planner:

Henry Noh

Project Name and Location:

Park Place Planning Area 24 TM 18073
 SEC Celebration ave and Park View St

Applicant/Representative:

BMLA landscape Architects
 310 N Joy St.
 Corona, CA 92879



A Preliminary Landscape Plan (dated 7/17/17) meets the Standard Conditions for New Development and has been approved with the consideration that the following conditions below be met upon submittal of the landscape construction documents.



A Preliminary Landscape Plan (dated) has not been approved. Corrections noted below are required prior to Preliminary Landscape Plan approval.

CORRECTIONS REQUIRED

Landscape Plans

1. Landscape plans for the private parks: Remove separation between park and HOA landscape at corners and parkways; all HOA maintained and same irrigation system. Note dripline irrigation including turf grass areas. Add canopy tree types such as Quercus agrifolia, Q. Virginia, Pistache, Pinus canariensis, Podocarpus gracilior.
 18073 - Add 2 more large trees in NE and NW corners;
 18074 - Add play equipment where space allows in playground area
 18998 - Move tree in NW corner toward middle of planter to match SW corner.
2. Coordinate with the civil to include light standards, fire hydrants, water and sewer lines to not conflict with required tree locations 30' oc and 25' from BCR.
3. Show street trees and front yard trees on the overall concept landscape plan. Show utilities on landscape plans to ensure front yard trees occur where street trees are limited. Limit or avoid turf grass in single family homes. **Not completed**
4. Change street trees to fit the smaller lot sizes, for example: Koelreuteria paniculata, Quercus virginiana 'Heritage', Eucalyptus nicholii, Ulmus p. 'True Green'. **Change Cercis to small front yard tree instead of street tree.**
5. Plant Palettes: use appropriate size trees for the small front yards: Camphor, Cedrus or Platanus are too large for 6' planter areas, 3' from a wall.
6. Change Prunus cerasifera - short lived and disease prone.
7. Change rotary nozzles for all subsurface drip line, including turf parkways. Note 2" cover of soil.
8. After a project's entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council. Invoice # 212973 \$2604.00

Landscape construction plans with building permit number for plan check may be emailed to:
landscapeplancheck@ontarioca.gov



CITY OF ONTARIO

MEMORANDUM

TO: "Vacant", Development Director
Scott Murphy, Planning Director (Copy of memo only)
Cathy Wahlstrom, Principal Planner (Copy of memo only)
Charity Hernandez, Economic Development
Kevin Shear, Building Official
Khoi Do, Assistant City Engineer
Carolyn Bell, Landscape Planning Division
Sheldon Yu, Municipal Utility Company
Doug Sorel, Police Department
Art Andres, Deputy Fire Chief/Fire Marshal
Tom Danna, T. E., Traffic/Transportation Manager
Lorena Mejia, Associate Planner, Airport Planning
Steve Wilson, Engineering/NPDES
Bob Gluck, Code Enforcement Director
Jimmy Chang , IT Department
David Simpson, Development/IT (Copy of memo only)

FROM: Henry Noh, Senior Planner

DATE: June 05, 2017

SUBJECT: FILE #: PDEV17-023

Finance Acct#:

The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Monday, June 19, 2017**.

- Note:**
- Only DAB action is required
 - Both DAB and Planning Commission actions are required
 - Only Planning Commission action is required
 - DAB, Planning Commission and City Council actions are required
 - Only Zoning Administrator action is required

PROJECT DESCRIPTION: A Development Plan to construct 75 conventional single-family homes on 10.87 acres of land located within Planning Area 24 (Conventional Small Lot Residential Product) of the Subarea 29 Specific Plan, located at the southeast corner of Celebration Avenue and Parkview Street. APN's:0218-033-01, 02, 03 and 04.

- The plan does adequately address the departmental concerns at this time.
 - No comments
 - Report attached (1 copy and email 1 copy)
 - Standard Conditions of Approval apply
- The plan does not adequately address the departmental concerns.
 - The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

Airport Planner
Department

Lorena Mejia
Signature

Senior Planner
Title

7/10/17
Date

AIRPORT LAND USE COMPATIBILITY PLANNING

CONSISTENCY DETERMINATION REPORT



Project File No.: PDEV17-023
 Address: SEC of Celebration Avenue & Parkview Street
 APN: 0218-033-01, 02, 03 and 04
 Existing Land Use: Vacant
 Proposed Land Use: 75 Single Family Residential Units
 Site Acreage: 10.87 acres Proposed Structure Height: 29 ft
 ONT-IAC Project Review: n/a
 Airport Influence Area: ONT Airport

Reviewed By: Lorena Mejia
 Contact Info: 909-395-2276
 Project Planner: Henry Noh
 Date: 7/10/17
 CD No.: 2017-040
 PALU No.: n/a

The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="checkbox"/> Zone 1	<input type="checkbox"/> 75+ dB CNEL	<input type="checkbox"/> High Terrain Zone	<input type="checkbox"/> Avigation Easement Dedication
<input type="checkbox"/> Zone 1A	<input type="checkbox"/> 70 - 75 dB CNEL	<input type="checkbox"/> FAA Notification Surfaces	<input type="checkbox"/> Recorded Overflight Notification
<input type="checkbox"/> Zone 2	<input type="checkbox"/> 65 - 70 dB CNEL	<input type="checkbox"/> Airspace Obstruction Surfaces	<input checked="" type="checkbox"/> Real Estate Transaction Disclosure
<input type="checkbox"/> Zone 3	<input type="checkbox"/> 60 - 65 dB CNEL	<input type="checkbox"/> Airspace Avigation Easement Area	
<input type="checkbox"/> Zone 4		Allowable Height: 200 ft plus	
<input type="checkbox"/> Zone 5			

The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1
 Zone 2
 Zone 3
 Zone 4
 Zone 5
 Zone 6
 Allowable Height: _____

CONSISTENCY DETERMINATION

This proposed Project is: Exempt from the ALUCP
 Consistent
 Consistent with Conditions
 Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT, provided the following condition is met:

Airport Planner Signature:

AIRPORT LAND USE COMPATIBILITY PLANNING

CONSISTENCY DETERMINATION REPORT

CD No.: 2017-040

PALU No.: n/a

PROJECT CONDITIONS

The applicant is required to meet the Real Estate Transaction Disclosure in accordance with California Codes (Business and Professions Code Section 11010-11024). New residential subdivisions within an Airport Influence Area are required to file an application for a Public Report consisting of a Notice of Intention (NOI) and a completed questionnaire with the Department of Real Estate and include the following language within the NOI:

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you.



CITY OF ONTARIO MEMORANDUM

TO: "Vacant", Development Director
 Scott Murphy, Planning Director (Copy of memo only)
 Cathy Wahlstrom, Principal Planner (Copy of memo only)
 Charity Hernandez, Economic Development
Kevin Shear, Building Official
 Khoi Do, Assistant City Engineer
 Carolyn Bell, Landscape Planning Division
 Sheldon Yu, Municipal Utility Company
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 Lorena Mejia, Associate Planner, Airport Planning
 Steve Wilson, Engineering/NPDES
 Bob Gluck, Code Enforcement Director
 Jimmy Chang , IT Department
 David Simpson, Development/IT (Copy of memo only)

FROM: Henry Noh, Senior Planner

DATE: June 05, 2017

SUBJECT: FILE #: PDEV17-023

Finance Acct#:



The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Monday, June 19, 2017**.

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 - Both DAB and Planning Commission actions are required
 - Only Planning Commission action is required
 - DAB, Planning Commission and City Council actions are required
 - Only Zoning Administrator action is required

PROJECT DESCRIPTION: A Development Plan to construct 75 conventional single-family homes on 10.87 acres of land located within Planning Area 24 (Conventional Small Lot Residential Product) of the Subarea 29 Specific Plan, located at the southeast corner of Celebration Avenue and Parkview Street. APN's:0218-033-01, 02, 03 and 04.

The plan does adequately address the departmental concerns at this time.

- No comments
- Report attached (1 copy and email 1 copy)
- Standard Conditions of Approval apply

The plan does not adequately address the departmental concerns.

- The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

Building
Department

Signature

Title

Date

CITY OF ONTARIO MEMORANDUM

TO: PLANNING DEPARTMENT, Henry Noh
FROM: BUILDING DEPARTMENT, Kevin Shear
DATE: June 6, 2017
SUBJECT: PDEV17-023

-
- The plan **does** adequately address the departmental concerns at this time.
 No comments
 Report below.

Conditions of Approval

1. Standard Conditions of Approval apply.

KS:lm





CITY OF ONTARIO

MEMORANDUM

TO: "Vacant", Development Director
Scott Murphy, Planning Director (Copy of memo only)
Cathy Wahlstrom, Principal Planner (Copy of memo only)
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Steve Wilson, Engineering/NPDES
Bob Gluck, Code Enforcement Director
Jimmy Chang , IT Department
David Simpson, Development/IT (Copy of memo only)

FROM: Henry Noh, Senior Planner

DATE: June 05, 2017

SUBJECT: FILE #: PDEV17-023

Finance Acct#:

The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Monday, June 19, 2017**.

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- The plan does adequately address the departmental concerns at this time.
 - No comments
 - Report attached (1 copy and email 1 copy)
 - Standard Conditions of Approval apply
- The plan does not adequately address the departmental concerns.
 - The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

Police
Department

Douglas Sorel
Signature

MANAGEMENT ANALYST
Title

6-26-17
Date

TOP-Zoning Consistency Determination



File No.: PDEV17-023

Prepared By:
Clarice Burden

Location: Planning Area 24 of the Subarea 29 Specific Plan

Date:
6/19/17 (rev)

Project Description:
A Development Plan to construct 75 traditional single-family dwellings on 10.87 acres of land located within Planning Area 24 of the Subarea 29 Specific Plan, located at the southeast corner of Celebration Avenue and Parkview Street (APNs: 0218-033-01, 0218-033-02, 0218-033-03 & 0218-033-04).

Signature:


This project has been reviewed for consistency with The Ontario Plan Zoning Consistency project. The following was found:

- The existing TOP land use designation of the property is: **Low Density Residential (2.1-5 du/ac)**
The existing zoning of the property is: **Conventional Small Lot, Subarea 29 SP (5-9 du/ac) PA24**

- A change to the TOP land use designation has been proposed which would change the land use designation of the property to:
This proposed TOP land use change will:
 - Make the existing zoning of the property consistent with the proposed General Plan Amendment;
 - Make the proposed project consistent with The Ontario Plan.

- The zoning of the property will need to be changed in order to be consistent with The Ontario Plan. Through the TOP-Zoning Consistency effort, the zoning of the property is proposed to be changed to:
This proposed zone change will:
 - Make the zoning of the property consistent with The Ontario Plan;
 - Without the Zone Change described above, the proposed project is not consistent with The Ontario Plan. A finding of consistency with The Ontario Plan is required in order to approve this project.

- Additional Comments:
The density of the project, in conjunction with the balance of the Subarea 29 Specific Plan, falls within the allowed density of the General Plan. No changes in Specific Plan land use or General Plan are required.



City of Ontario
 Planning Department
 303 East B Street
 Ontario, California 91764
 Phone: 909.395.2036
 Fax: 909.395.2420

**Table 1: GHG Reduction Measures
 Screening Table for
 Residential Development**

Feature	Description	Assigned Point Values	Project Point Values
Reduction Measure PS E1: Residential Energy Efficiency			
Building Envelope			
Insulation	2008 Baseline (walls: R-13; roof/attic: R-30)	0	12
	Modestly Enhanced Insulation (walls: R-13; roof/attic: R-38)	⑫	
	Enhanced Insulation (rigid wall insulation: R-13; roof/attic: R-38)	15	
	Greatly Enhanced Insulation (spray foam wall insulated walls R-15 or higher, roof/attic R-38 or higher)	18	
Windows	2008 Baseline Windows (0.57 U-factor, 0.4 solar heat gain coefficient (SHGC))	0	7
	Modestly Enhanced Window Insulation (0.4 U-Factor, 0.32 SHGC)	6	
	Enhanced Window Insulation (0.32 U-Factor, 0.25 SHGC)	⑦	
	Greatly Enhanced Window Insulation (0.28 or less U-Factor, 0.22 or less SHGC)	9	
Cool Roof	Modest Cool Roof (CRRRC Rated 0.15 aged solar reflectance, 0.75 thermal emittance)	⑩	10
	Enhanced Cool Roof (CRRRC Rated 0.2 aged solar reflectance, 0.75 thermal emittance)	12	
	Greatly Enhanced Cool Roof (CRRRC Rated 0.35 aged solar reflectance, 0.75 thermal emittance)	14	
Air Infiltration	Minimizing leaks in the building envelope is as important as the insulation properties of the building. Insulation does not work effectively if there is excess air leakage.		10
	Air barrier applied to exterior walls, caulking, and visual inspection such as the HERS Verified Quality Insulation Installation (Q11 or equivalent)	⑩	
	Blower Door HERS Verified Envelope Leakage or equivalent	8	
Thermal Storage of Building	Thermal storage is a design characteristic that helps keep a constant temperature in the building. Common thermal storage devices include strategically placed water filled columns, water storage tanks, and thick masonry walls.		n/a
	Modest Thermal Mass (10% of floor or 10% of walls: 12" or more thick exposed concrete or masonry. No permanently installed floor covering such as carpet, linoleum, wood or other insulating materials)	2	
	Enhanced Thermal Mass (20% of floor or 20% of walls: 12" or more thick exposed concrete or masonry. No permanently installed floor covering such as carpet, linoleum, wood or other insulating materials)	4	
Heating/Cooling Distribution System	Minimum Duct Insulation (R-4.2 required)	0	19
	Modest Duct insulation (R-6)	⑦	
	Enhanced Duct Insulation (R-8)	8	
	Distribution loss reduction with inspection (HERS Verified Duct leakage or equivalent)	⑫	

(20141216)

Table 1: GHG Reduction Measures Screening Table for Residential Development

Feature	Description	Assigned Point Values	Project Point Values
Space Heating/ Cooling Equipment	2008 Minimum HVAC Efficiency (SEER 13/60% AFUE or 7.7 HSPF)	0	7
	Improved Efficiency HVAC (SEER 14/65% AFUE or 8 HSPF)	4	
	High Efficiency HVAC (SEER 15/72% AFUE or 8.5 HSPF)	7	
	Very High Efficiency HVAC (SEER 16/80% AFUE or 9 HSPF)	9	
Water Heaters	2008 Minimum Efficiency (0.57 Energy Factor)	0	18
	Improved Efficiency Water Heater (0.675 Energy Factor)	12	
	High Efficiency Water Heater (0.72 Energy Factor)	15	
	Very High Efficiency Water Heater (0.92 Energy factor)	18	
	Solar Pre-heat System (0.2 Net Solar Fraction)	4	
	Enhanced Solar Pre-heat System (0.35 Net Solar Fraction)	8	
Daylighting	Daylighting is the ability of each room within the building to provide outside light during the day, reducing the need for artificial lighting during daylight hours:	0	0
	▪ All peripheral rooms within the living space have at least one window (required)	1	
	▪ All rooms within the living space have daylight (through use of windows, solar tubes, skylights, etc.)	2	
	▪ All rooms daylighted		
Artificial Lighting	2008 Minimum (required)	0	12
	Efficient lights (25% of In-unit fixtures considered high efficacy. High efficacy is defined as 40 lumens/watt for 15 watt or less fixtures; 50 lumens/watt for 15 to 40 watt fixtures, 60 lumens/watt for fixtures >40watt)	8	
	High Efficiency lights (50% of in-unit fixtures are high efficacy)	10	
	Very High Efficiency Lights (100% of in-unit fixtures are high efficacy)	12	
Appliances	Energy Star Refrigerator (new)	1	1
	Energy Star Dish Washer (new)	1	
	Energy Star Washing Machine (new)	1	
Building Placement	North/South alignment of building or other building placement such that the orientation of the buildings optimizes natural heating, cooling, and lighting.	5	n/a
Shading	At least 90% of south-facing glazing will be shaded by vegetation or overhangs at noon on Jun 21st*	4	n/a
Energy Star Homes	EPA Energy Star for Homes (version 3 or above)	25	25
Independent Energy Efficiency Calculations	Provide point values based upon energy efficiency modeling of the Project. Note that engineering data will be required documenting the energy efficiency and point values based upon the proven efficiency beyond Title 24 Energy Efficiency Standards.	TBD	
Other	This allows innovation by the applicant to provide design features that increases the energy efficiency of the project not provided in the table. Note that engineering data will be required documenting the energy efficiency of innovative designs and point values given based upon the proven efficiency beyond Title 24 Energy Efficiency Standards.	TBD	

Table 1: GHG Reduction Measures Screening Table for Residential Development

Feature	Description	Assigned Point Values	Project Point Values
Existing Residential Retrofits	<p>The applicant may wish to provide energy efficiency retrofit projects to existing residential dwelling units to further the point value of their project. Retrofitting existing residential dwelling units within the City is a key reduction measure that is needed to reach the reduction goal. The potential for an applicant to take advantage of this program will be decided on a case by case basis and must have the approval of the Ontario Planning Department. The decision to allow applicants to participate in this program will be evaluated based upon, but not limited to, the following;</p> <ul style="list-style-type: none"> ▪ Will the energy efficiency retrofit project benefit low income or disadvantaged residents? ▪ Does the energy efficiency retrofit project fit within the overall assumptions in reduction measures associated with existing residential retrofits? ▪ Does the energy efficiency retrofit project provide co-benefits important to the City? ▪ Point value will be determined based upon engineering and design criteria of the energy efficiency retrofit project. 	TBD	n/a
Reduction Measure PS E2: Residential Renewable Energy Generation			
Photovoltaic	<p>Solar Photovoltaic panels installed on individual homes or in collective neighborhood arrangements, such that the total power provided augments:</p> <ul style="list-style-type: none"> ▪ Solar Ready Homes (sturdy roof and solar ready service panel) ▪ 10% of the power needs of the project ▪ 20% of the power needs of the project ▪ 30% of the power needs of the project ▪ 40% of the power needs of the project ▪ 50% of the power needs of the project ▪ 60% of the power needs of the project ▪ 70% of the power needs of the project ▪ 80% of the power needs of the project ▪ 90% of the power needs of the project ▪ 100% of the power needs of the project 	<p>②</p> <p>10</p> <p>15</p> <p>20</p> <p>28</p> <p>35</p> <p>38</p> <p>42</p> <p>46</p> <p>52</p> <p>58</p>	2
Wind Turbines	<p>Some areas of the City lend themselves to wind turbine applications. Analysis of the area's capability to support wind turbines should be evaluated prior to choosing this feature.</p> <p>Individual wind turbines at homes or collective neighborhood arrangements of wind turbines such that the total power provided augments:</p> <ul style="list-style-type: none"> ▪ 10% of the power needs of the project ▪ 20% of the power needs of the project ▪ 30% of the power needs of the project ▪ 40% of the power needs of the project ▪ 50% of the power needs of the project ▪ 60% of the power needs of the project ▪ 70% of the power needs of the project ▪ 80% of the power needs of the project 	<p>10</p> <p>15</p> <p>20</p> <p>28</p> <p>35</p> <p>38</p> <p>42</p> <p>46</p>	n/a

Table 1: GHG Reduction Measures Screening Table for Residential Development

Feature	Description	Assigned Point Values	Project Point Values
	<ul style="list-style-type: none"> ▪ 90% of the power needs of the project ▪ 100% of the power needs of the project 	52 58	
Off-Site Renewable Energy Project	The applicant may submit a proposal to supply an off-site renewable energy project, such as renewable energy retrofits of existing homes that will help implement renewable energy within the City. These off-site renewable energy retrofit project proposals will be determined on a case by case basis, and must be accompanied by a detailed plan that documents the quantity of renewable energy the proposal will generate. Point values will be determined, based upon the energy generated by the proposal.	TBD	n/a
Other Renewable Energy Generation	The applicant may have innovative designs or unique site circumstances (such as geothermal) that allow the project to generate electricity from renewable energy not provided in the table. The ability to supply other renewable energy, and the point values allowed, will be decided based upon engineering data documenting the ability to generate electricity.	TBD	n/a
Reduction Measure PS W1: Residential Water Conservation			
Irrigation and Landscaping			
Water Efficient Landscaping	Limit conventional turf to < 50% of required landscape area	0	n/a
	limit conventional turf to < 25% of required landscape area	4	
	No conventional turf (warm season turf to < 50% of required landscape area and/or low water using plants are allowed)	6	
	Only California Native Plants that requires no irrigation or some supplemental Irrigation	8	
Water Efficient Irrigation Systems	Low precipitation spray heads < .75"/hour, or drip irrigation	②	5
	Weather based Irrigation control systems or moisture sensors (demonstrate systems 20% reduced water use)	③	
Recycled Water	Recycled connections (purple pipe) to irrigation system on site	⑥	6
Water Reuse	Gray water Reuse System collects Gray water from clothes washers, showers and faucets for Irrigation use,	12	n/a
Storm Water Reuse Systems	Innovative on-site stormwater collection, filtration and reuse systems are being developed that provide supplemental irrigation water and provide vector control. These systems can greatly reduce the irrigation needs of a project. Point values for these types of systems will be determined based upon design and engineering data documenting the water savings.	TBD	n/a
Potable Water			
Showers	Water Efficient Showerheads (2.0 gpm)	③	3
Toilets	Water Efficient Toilets (1.5 gpm)	③	3
Faucets	Water Efficient faucets (1.28 gpm)	③	3
Dishwasher	Water Efficient Dishwasher (6 gallons per cycle or less)	①	1
Washing Machine	Water Efficient Washing Machine (Water factor < 5.5)	1	
WaterSense	EPA WaterSense Certification	⑫	12

Table 1: GHG Reduction Measures Screening Table for Residential Development

Feature	Description	Assigned Point Values	Project Point Values
Reduction Measure PS T1: Land Use Based Trips and VMT Reduction			
Mixed Use	Mixes of land uses that complement one another in a way that reduces the need for vehicle trips can greatly reduce GHG emissions. The point value of mixed use projects will be determined based upon a Transportation Impact Analysis (TIA) demonstrating trip reductions and/or reductions in vehicle miles traveled. Suggested ranges: <ul style="list-style-type: none"> Diversity of land uses complementing each other (2-28 points) Increased destination accessibility other than transit (1-18 points) Increased transit accessibility (1-25 points) Infill location that reduces vehicle trips or VMT beyond the measures described above (points TBD based on traffic data). 	TBD	n/a
Residential Near Local Retail (residential only projects)	Having residential developments within walking and biking distance of local retail helps to reduce vehicle trips and/or vehicle miles traveled. The point value of residential projects in close proximity to local retail will be determined based upon traffic studies that demonstrate trip reductions and/or reductions in vehicle miles traveled {VMT}	TBD	n/a
Other Trip Reduction Measures	Other trip or VMT reduction measures not listed above with TIA and/or other traffic data supporting the trip and/or VMT for the project.	TBD	n/a
Reduction Measure PS T2: Bicycle Master Plan			
Bicycle Infrastructure	Ontario's Bicycle Master Plan is extensive and describes the construction on 11.5 miles of Class I bike paths and 23 miles of Class II and Class III bikeways to build upon the current 8 miles of bikeways.	TBD	n/a
	Provide bicycle paths within project boundaries.	TBD	
	Provide bicycle path linkages between residential and other land uses.	2	
	Provide bicycle path linkages between residential and transit.	5	
Reduction Measure PS T3: Neighborhood Electric Vehicle Infrastructure			
Electric Vehicle Recharging	Provide circuit and capacity in garages of residential units for use by an electric vehicle. Charging stations are for on-road electric vehicles legally able to drive on all roadways including Interstate Highways and freeways	①	1
	Install electric vehicle charging stations in the garages of residential units	8	
Total Points Earned by Residential Project:			157



PLANNING COMMISSION STAFF REPORT

September 26, 2017

SUBJECT: A Development Plan (File No. PDEV17-025) to construct 102 single-family dwellings on 10.39 acres of land located at the northeast corner of Merrill and Celebration Avenues, within Planning Area 26 of the Subarea 29 Specific Plan (APNs: 0218-033-03, 0218-033-04, 0218-033-05, and 0218-033-06); submitted by SL Ontario Development Company, LLC.

PROPERTY OWNER: SL Ontario Development Company, LLC

RECOMMENDED ACTION: That the Planning Commission approve File No. PDEV17-025, pursuant to the facts and reasons contained in the staff report and attached resolution, and subject to the conditions of approval contained in the attached departmental reports.

PROJECT SETTING: The project site is comprised of 10.39 acres of land located at the northeast corner of Merrill and Celebration Avenues, within the Planning Area 26 of the Subarea 29 Specific Plan, and is depicted in **Figure 1: Project Location** and **Exhibit A: Project Location Map**, below. The project site slopes gently from north to south and is vacant. The project site has been mass graded as part of the related Tract Map 18913 (“A” Map). A portion of the surrounding area around the project site has been developed with a clubhouse and Celebration Park. The property to the south of the project site is within the Cluster Homes Residential District of Planning Area 13 of the Subarea 29 Specific plan and is currently developed with single family dwellings. The property to the east is developed with an SCE utility corridor. The remainder of the surrounding area is vacant.

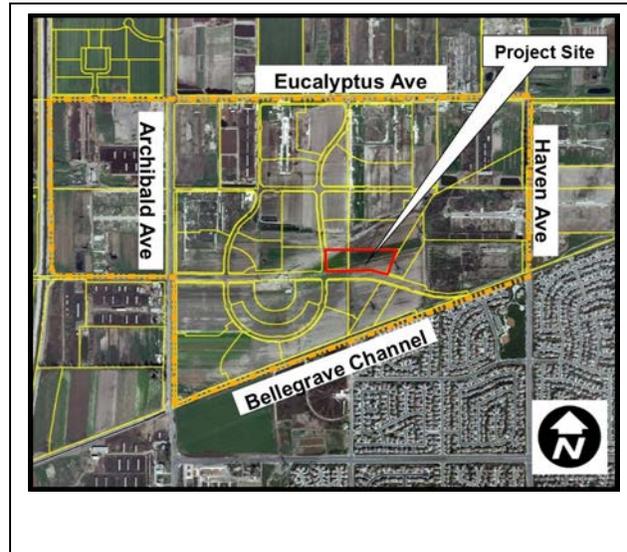


Figure 1: Project Location

Case Planner:	Jeanie Irene Aguilo, Assistant Planner	Hearing Body	Date	Decision	Action
Planning Director Approval:		DAB	09/18/17	Approve	Recommend
Submittal Date:	06/21/17	ZA			
Hearing Deadline:	03/21/18	PC	09/26/17		Final
		CC			

PROJECT ANALYSIS:

[1] Background — The Subarea 29 Specific Plan and Environmental Impact Report (EIR) were approved by the City Council on October 17, 2006. The Specific Plan established the land use designations, development standards, and design guidelines for approximately 540 gross acres of land, which included the potential development of 2,293 single-family units and 87,000 square feet of commercial. The Specific Plan is comprised of 25 land use districts, incorporating 12 distinctive neighborhoods offering a variety of residential products.

On August 19, 2013, the Planning Commission approved Tentative Tract Map No. 18913 (“A” Map). The approved “A” Map facilitated the backbone infrastructure improvements (major streets, sewer, water and storm drain facilities) along Archibald Avenue and Merrill Avenue, and the construction of Celebration Park, a clubhouse/recreational center, and residential neighborhoods within the southern portion of the Specific Plan area. Additionally, previously approved Tentative Tract Map No. 18998 (“B” Map) subdivided 10.39 acres of land into 19 residential lots and 3 lettered lots (landscape buffer, private park and paseo) to accommodate a 4-pack and 6-pack cluster product and facilitate the construction of the backbone streets, including the primary access points into the proposed community from Celebration Avenue, as well as the construction of all the interior neighborhood streets within the subdivision (see **Exhibit B: Site Plan**).

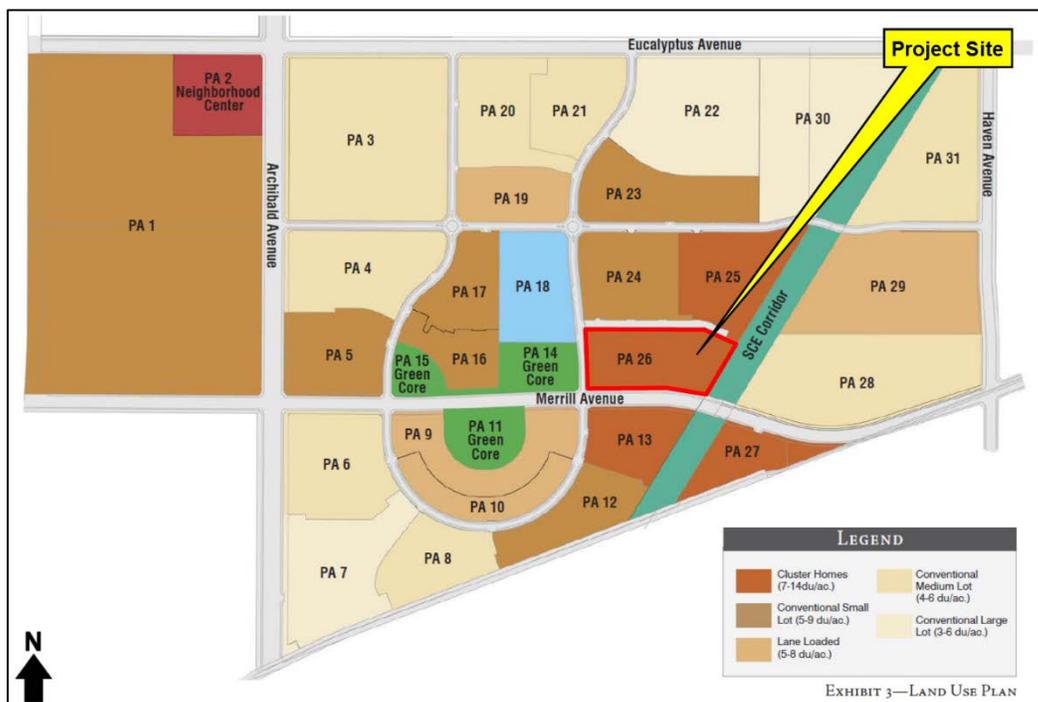


Figure 2: Subarea 29 Specific Plan Land Use Plan

The applicant, Christopher Homes, is now requesting Development Plan approval for the construction of 102 single-family dwelling units, including 4-pack and 6-pack motorcourt cluster dwellings (see **Exhibit C: Typical Cluster Plan**). The project site is located in the Cluster Homes Residential district of Planning Area 26, within the Subarea 29 Specific Plan (see **Figure 2: Subarea 29 Specific Plan Land Use Plan**, above).

[2] Site Design/Building Layout — The motorcourt cluster product is characterized by a private drive that serves to provide both garage and front entry access to each of the rear units. Along the street frontage, one of the front two units will have garage access from the private drive while the opposite front unit will take access from the public street, with entry access to the units from the public street.

Three, two-story floor plans are proposed, each with three elevations per plan. The three plans include the following:

- Plan 1: 1,830 square feet, 3 bedrooms, loft, and 2 ½ baths.
- Plan 2/2X: 2,044 square feet, 3 bedrooms, loft/optional bedroom, and 2 ½ baths.
- Plan 3: 2,299 square feet, 4 bedrooms, loft/optional bedroom, and 3 baths.

The design features incorporated into all three plans includes single and second story massing, varied entries, front porches, covered patios, second floor laundry facilities, and open dining and living areas. All homes will have a two-car garage that will be accessed from the private lane or street.

[3] Site Access/Circulation — Construction of the backbone streets, including the primary access points into the central portion of the Subarea 29 Specific Plan (Park Place) community from Archibald Avenue and Merrill Avenue, as-well-as the construction of all interior neighborhood streets within the subdivision, was facilitated by Tract Map Nos. 18913 (“A” Map) and 18998 (“B” Map). Primary access into the subdivision will be from Celebration Avenue and Perennial Drive. The project developer is responsible for the construction of the project’s interior neighborhood streets, including Starry Night Lane, Painted Crescent Street, and Monarch Place. To minimize visual impacts of garages along the private drive aisle, front porches and second story projections above garages, varied first and second story roof massing, and door header trim above garages will be incorporated on all dwellings.

[4] Parking — Each cluster product will have a two-car garage and all units, excepting Plan 2X floor plan, will have a standard two-car driveway. On-street parking will be available for visitor parking along Perennial Drive, Painted Crescent Street, Starry Night Lane and Monarch Place. The project is providing a total of 3.7 off-street parking spaces per unit. The Subarea 29 Specific Plan and Development Code requires a minimum of 2 parking spaces per unit within an enclosed garage and, therefore, the project exceeds the minimum parking requirement.

[5] Architecture — The architectural philosophy of Subarea 29 Specific Plan is based on architectural styles found in Ontario's historic neighborhoods. The inspiration and design intent is to re-capture the charm and essence of the historic home styles in Ontario and express them in the simple, honest manner that they originated. The proposed architectural styles include Spanish Colonial, Cottage, and American Traditional. The styles were chosen to complement one another through the overall scale, massing, proportions, details and the ability to establish an attractive backdrop that will age gracefully over time.

Each architectural style will include the following details (see **Exhibit D –Elevations**):

- Spanish Colonial: Varying gable roofs with “S” type roof tiles, stucco exterior, square windows openings, arched porch and entryways, decorative barrel tiles below gable ends, wrought-iron elements, and cantilevered elements with decorative corbels.
- Cottage: High and low gable roofs with flat concrete tiles with a moderate overhang, and intersecting gables at the front elevation, horizontal siding below gables with trim and dentals, covered porch entries, decorative windows with stucco trim, wood shutters, cantilevered elements with corbels, covered porches with arched columns, stone base treatment, and decorative window framing.
- American Traditional: Varying gable and cross gable roofs with flat brushed concrete roof tiles, horizontal wood siding, cantilevered elements with corbels, covered porches with wood columns with brick base treatments, gable vents, and decorative window framing.

[6] Landscaping/Open Space — The Development Plan features landscaped parkways to soften the massing of the garages, provide visual interest, and promote pedestrian mobility (see **Exhibits B: Typical Plotting and Conceptual Landscaping**). The related Tentative Tract Map (File No. PMTT14-019/TT18998) will facilitate the construction of sidewalks, parkways, and open space areas within the project site. TOP Policy PR1-1 requires new developments to provide a minimum of 2 acres of private park per 1,000 residents. The proposed project is required to provide a 0.78 acre park to meet the minimum TOP private park requirement. To satisfy the park requirement, the applicant is proposing a 0.46-acre neighborhood park that is located within the northwest portion of the project site. However, to satisfy the private park requirements of the Policy Plan, the master developer (SL Ontario Development Company, LLC) is required by a Development Agreement (File No. PDA06-001), to construct a total of 8 acres of private parks within the Park Place community (Phases 1, 2 & 3). Through the various tentative tract map approvals within Phases 1, 2 and 3 of the Park Place community, the applicant has provided 8.16 acres of private parks, which satisfies the Policy Plan private park requirements. Additionally, the master developer has constructed a 2.78-acre private recreation facility, consisting of a 16,000 square foot clubhouse. The recreation facility is

located at the northeast corner of Parkplace and Merrill Avenues and features a clubhouse, pool and cabana, tennis courts, and playground area. The project residents will also have access to Celebration Park.

COMPLIANCE WITH THE ONTARIO PLAN: The proposed project is consistent with the principles, goals and policies contained within the Vision, Governance, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan (TOP). More specifically, the goals and policies of TOP that are furthered by the proposed project are as follows:

[1] City Council Goals.

- Invest in the Growth and Evolution of the City's Economy
- Operate in a Businesslike Manner
- Focus Resources in Ontario's Commercial and Residential Neighborhoods
- Invest in the City's Infrastructure (Water, Streets, Sewers, Parks, Storm Drains and Public Facilities)
 - Ensure the Development of a Well Planned, Balanced, and Self-Sustaining Community in the New Model Colony

[2] Vision.

Distinctive Development:

- Commercial and Residential Development
 - Development quality that is broadly recognized as distinctive and not exclusively tied to the general suburban character typical of much of Southern California.

[3] Governance.

Decision Making:

- Goal G1: Sustained decision-making that consistently moves Ontario towards its Vision by using The Ontario Plan as a framework for assessing choices.
 - G1-2 Long-term Benefit. We require decisions to demonstrate and document how they add value to the community and support the Ontario Vision

[4] Policy Plan (General Plan)

Land Use Element:

- Goal LU1: A community that has a spectrum of housing types and price ranges that match the jobs in the City and that make it possible for people to live and work in Ontario and maintain a quality of life.

- LU1-1 Strategic Growth. We concentrate growth in strategic locations that help create place and identity, maximize available and planned infrastructure, and foster the development of transit.

- LU1-6 Complete Community: We incorporate a variety of land uses and building types in our land use planning efforts that result in a complete community where residents at all stages of life, employers, workers and visitors have a wide spectrum of choices of where they can live, work, shop and recreate within Ontario. (Refer to Complete Community Section of Community Economics Element).

- Goal LU2: Compatibility between a wide range of uses.

- LU2-6: Infrastructure Compatibility: We require infrastructure to be aesthetically pleasing and in context with the community character.

Housing Element:

- Goal H2: Diversity of types of quality housing that are affordable to a range of household income levels, accommodate changing demographics, and support and reinforce the economic sustainability of Ontario.

- H2-4 New Model Colony. We support a premier lifestyle community in the New Model Colony distinguished by diverse housing, highest design quality, and cohesive and highly amenitized neighborhoods.

- H2-5 Housing Design. We require architectural excellence through adherence to City design guidelines, thoughtful site planning, environmentally sustainable practices and other best practices.

Goal H5: A full range of housing types and community services that meet the special housing needs for all individuals and families in Ontario, regardless of income level, age or other status.

Community Economics Element:

- Goal CE1: A complete community that provides for all incomes and stages of life.

- CE1-6 Diversity of Housing. We collaborate with residents, housing providers and the development community to provide housing opportunities for every

stage of life; we plan for a variety of housing types and price points to support our workforce, attract business and foster a balanced community.

- Goal CE2: A City of distinctive neighborhoods, districts, and corridors, where people choose to be.

- CE2-1 Development Projects. We require new development and redevelopment to create unique, high-quality places that add value to the community.

- CE2-2 Development Review. We require those proposing new development and redevelopment to demonstrate how their projects will create appropriately unique, functional and sustainable places that will compete well with their competition within the region.

- CE2-4 Protection of Investment. We require that new development and redevelopment protect existing investment by providing architecture and urban design of equal or greater quality.

- CE2-5 Private Maintenance. We require adequate maintenance, upkeep, and investment in private property because proper maintenance on private property protects property values.

Safety Element:

- Goal S1: Minimized risk of injury, loss of life, property damage and economic and social disruption caused by earthquake-induced and other geologic hazards.

- S1-1 Implementation of Regulations and Standards. We require that all new habitable structures be designed in accordance with the most recent California Building Code adopted by the City, including provisions regarding lateral forces and grading.

Community Design Element:

- Goal CD1: A dynamic, progressive city containing distinct neighborhoods and commercial districts that foster a positive sense of identity and belonging among residents, visitors, and businesses.

- CD1-1 City Identity. We take actions that are consistent with the City being a leading urban center in Southern California while recognizing the diverse character of our existing viable neighborhoods.

- CD1-2 Growth Areas. We require development in growth areas to be distinctive and unique places within which there are cohesive design themes.

➤ CD1-3 Neighborhood Improvement. We require viable existing residential and non-residential neighborhoods to be preserved, protected, and enhanced in accordance with our land use policies.

▪ Goal CD2: A high level of design quality resulting in public spaces, streetscapes, and developments that are attractive, safe, functional and distinct.

➤ CD2-1 Quality Architecture. We encourage all development projects to convey visual interest and character through:

- Building volume, massing, and height to provide appropriate scale and proportion;
- A true architectural style which is carried out in plan, section and elevation through all aspects of the building and site design and appropriate for its setting; and
- Exterior building materials that are visually interesting, high quality, durable, and appropriate for the architectural style.

➤ CD2-2 Neighborhood Design. We create distinct residential neighborhoods that are functional, have a sense of community, emphasize livability and social interaction, and are uniquely identifiable places through such elements as:

- A pattern of smaller, walkable blocks that promote access, activity and safety;
- Variable setbacks and parcel sizes to accommodate a diversity of housing types;
- Traffic calming measures to slow traffic and promote walkability while maintaining acceptable fire protection and traffic flows;
- Floor plans that encourage views onto the street and de-emphasize the visual and physical dominance of garages (introducing the front porch as the “outdoor living room”), as appropriate; and
- Landscaped parkways, with sidewalks separated from the curb.

➤ CD2-7 Sustainability. We collaborate with the development community to design and build neighborhoods, streetscapes, sites, outdoor spaces, landscaping and buildings to reduce energy demand through solar orientation, maximum use of natural daylight, passive solar and natural ventilation, building form, mechanical and structural systems, building materials and construction techniques.

➤ CD2-8 Safe Design. We incorporate defensible space design into new and existing developments to ensure the maximum safe travel and visibility on pathways, corridors, and open space and at building entrances and parking areas by avoiding physically and visually isolated spaces, maintenance of visibility and accessibility, and use of lighting.

➤ CD2-9 Landscape Design. We encourage durable landscaping materials and designs that enhance the aesthetics of structures, create and define public and private spaces, and provide shade and environmental benefits.

➤ CD2-10 Surface Parking Areas. We require parking areas visible to or used by the public to be landscaped in an aesthetically pleasing, safe and environmentally sensitive manner. Examples include shade trees, pervious surfaces, urban run-off capture and infiltration, and pedestrian paths to guide users through the parking field.

➤ CD2-11 Entry Statements. We encourage the inclusion of amenities, signage and landscaping at the entry to neighborhoods, commercial centers, mixed use areas, industrial developments, and public places that reinforce them as uniquely identifiable places.

➤ CD2-12 Site and Building Signage. We encourage the use of sign programs that utilize complementary materials, colors, and themes. Project signage should be designed to effectively communicate and direct users to various aspects of the development and complement the character of the structures.

➤ CD2-13 Entitlement Process. We work collaboratively with all stakeholders to ensure a high degree of certainty in the efficient review and timely processing of all development plans and permits.

▪ Goal CD3: Vibrant urban environments that are organized around intense buildings, pedestrian and transit areas, public plazas, and linkages between and within developments that are conveniently located, visually appealing and safe during all hours.

➤ CD3-6 Landscaping. We utilize landscaping to enhance the aesthetics, functionality and sustainability of streetscapes, outdoor spaces and buildings.

▪ Goal CD5: A sustained level of maintenance and improvement of properties, buildings and infrastructure that protects the property values and encourages additional public and private investments.

➤ CD5-1 Maintenance of Buildings and Property. We require all public and privately owned buildings and property (including trails and easements) to be properly and consistently maintained.

➤ CD5-2 Maintenance of Infrastructure. We require the continual maintenance of infrastructure.

HOUSING ELEMENT COMPLIANCE: The project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan. The project site is one of the properties listed in the Available Land Inventory contained in Table A-3

(Available Land by Planning Area) of the Housing Element Technical Report Appendix, and the proposed project is consistent with the number of dwelling units (102) and density (9.8 DU/AC) specified in the Available Land Inventory.

AIRPORT LAND USE COMPATIBILITY PLAN (ALUCP) COMPLIANCE: The project site is located within the Airport Influence Area of the Ontario International Airport (ONT), and has been found to be consistent with the policies and criteria set forth within the ALUCP for ONT.

ENVIRONMENTAL REVIEW: The environmental impacts of this project were previously reviewed in conjunction with an Addendum to the Subarea 29 Specific Plan EIR (SCH #2004011009), which was prepared in conjunction with File No. PSPA14-002, and was certified by the City Council on April 21, 2015. This application introduces no new significant environmental impacts. The City's "Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed. All previously adopted mitigation measures are be a condition of project approval and are incorporated herein by reference.

CONDITIONS OF APPROVAL: See attached department reports.

TECHNICAL APPENDIX:

Surrounding Zoning and Land Use:

	<i>Existing Land Use</i>	<i>General Plan Designation</i>	<i>Zoning Designation</i>	<i>Specific Plan Land Use</i>
<i>Site</i>	Mass Graded	Low Density Residential	Subarea 29 Specific Plan	Planning Area 26 (Cluster Homes)
<i>North</i>	Vacant with Previous Agricultural/Dairy Uses	Low Density Residential	Subarea 29 Specific Plan	Planning Area 24 & 25 (Cluster Homes)
<i>South</i>	Single-Family Residential	Low Density Residential	Subarea 29 Specific Plan	Planning Area 13 (Cluster Homes)
<i>East</i>	Vacant with Previous Agricultural/Dairy Uses	Low Density Residential	Subarea 29 Specific Plan	SCE Corridor and Planning Area 28 (Conventional Medium Lot)
<i>West</i>	Vacant with Previous Agricultural/Dairy Uses	Low Density Residential	Subarea 29 Specific Plan	Planning Area 14 (Green Core)

General Site & Building Statistics

<i>Item</i>	<i>Required Min./Max.</i>	<i>Provided (Ranges)</i>	<i>Meets Y/N</i>
<i>Project area (in acres):</i>	N/A	10.39	Y
<i>Maximum project density (dwelling units/ac):</i>	11.7 DU/AC	9.81 DU/C	Y
<i>Maximum coverage (in %):</i>	45%	45%	Y
<i>Minimum lot size (in SF):</i>	N/A	1,830 to 2,299	Y
<i>Minimum lot depth (in FT):</i>	N/A	127 FT (typical)	Y
<i>Minimum lot width (in FT):</i>	N/A	149 FT (typical)	Y
<i>Front yard setback (in FT):</i>	5 to 18 FT (varies)	5 to 18 FT (varies)	Y
<i>Side yard setback (in FT):</i>	5 to 18 FT (varies)	5 to 18 FT (varies)	Y
<i>Rear yard setback (in FT):</i>	4 to 8 FT (varies)	4 to 8 FT (varies)	Y
<i>Maximum dwelling units/building:</i>	102 DU	102 DU	Y
<i>Maximum height (in FT):</i>	35 FT	32 FT	Y
<i>Parking – resident:</i>	Two-Car Garage	Two-Car Garage	Y
<i>Parking – guest:</i>	N/A	101	Y
<i>Open space – private:</i>	70 SF	73 to 110 SF minimum porch (varies)	Y

Dwelling Unit Count:

<i>Item</i>	<i>Required Min./Max.</i>	<i>Provided (Ranges)</i>	<i>Meets Y/N</i>
<i>Total no. of units</i>	102	102	Y

Dwelling Unit Statistics:

<i>Unit Type</i>	<i>Size (in SF)</i>	<i>No. Bedrooms</i>	<i>No. Bathrooms</i>	<i>No. Stories</i>	<i>Private Open Space (in FT)</i>
Plan 1	1,830	3	2 ½	2	N/A
Plan 2	2,044	3	2 ½	2	N/A
Plan 2X	2,044	3	2 ½	2	N/A
Plan 3	2,299	4	3	2	N/A

Exhibit A—PROJECT LOCATION MAP

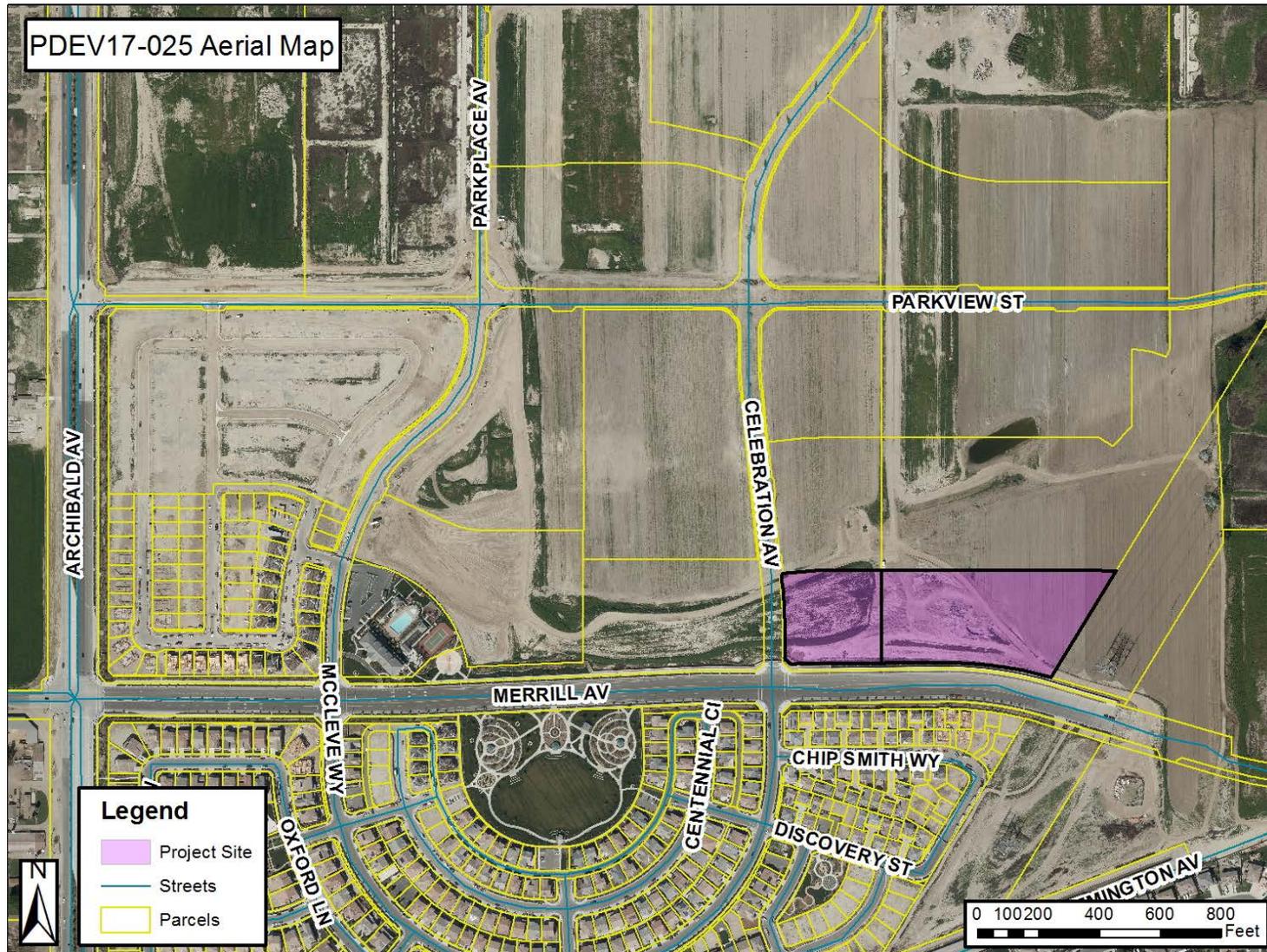


Exhibit B—SITE PLAN



Exhibit C—TYPICAL CLUSTER PLAN

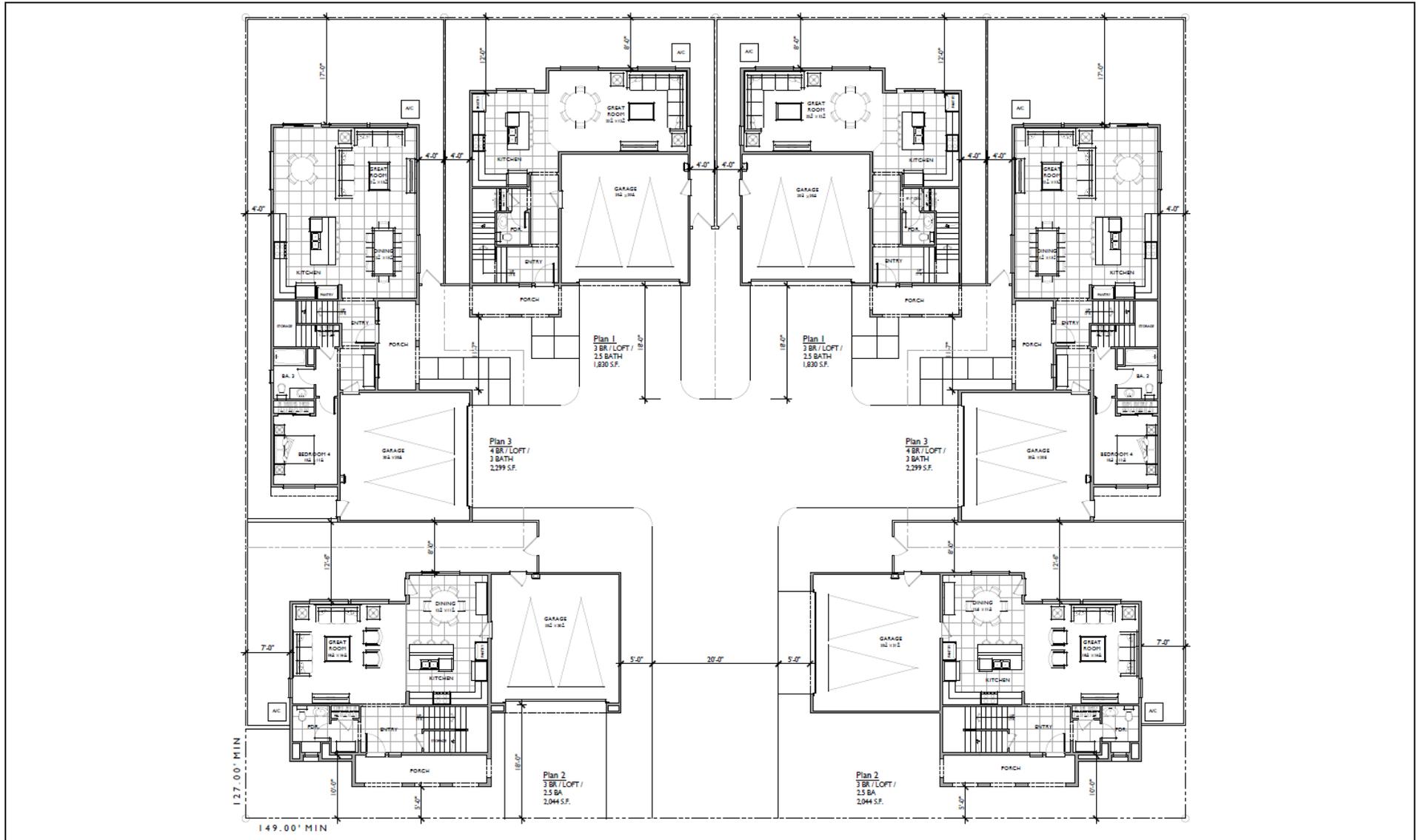


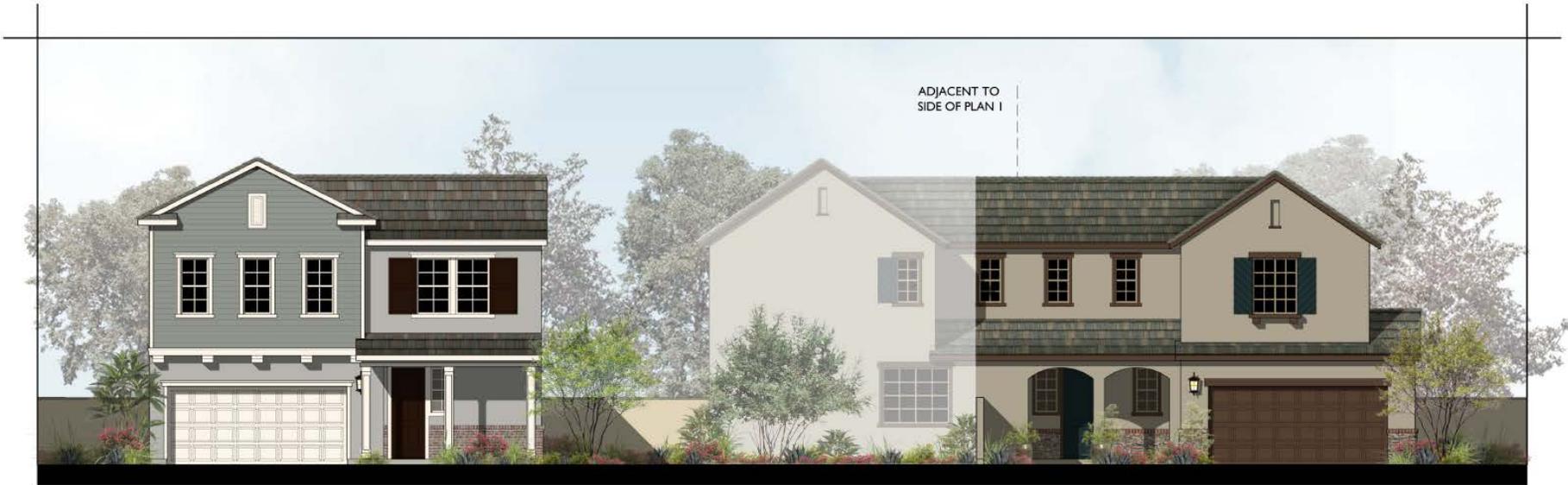
Exhibit D—ELEVATION 1 (PLAN 2 AND PLAN 2X)



PLAN 2
COTTAGE STYLE

PLAN 2X
SPANISH STYLE

Exhibit D—ELEVATION 2 (PLAN 1 AND PLAN 3)



PLAN 1
TRADITIONAL STYLE

PLAN 3
COTTAGE STYLE

RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ONTARIO, CALIFORNIA, APPROVING FILE NO. PDEV17-025, A DEVELOPMENT PLAN TO CONSTRUCT 102 SINGLE-FAMILY DWELLINGS ON 10.39 ACRES OF LAND, LOCATED AT THE NORTHEAST CORNER OF MERRILL AND CELEBRATION AVENUES, WITHIN PLANNING AREA 26 OF THE SUBAREA 29 SPECIFIC PLAN, AND MAKING FINDINGS IN SUPPORT THEREOF—APNS: 0218-033-03, 0218-033-04, 0218-033-05, AND 0218-033-06.

WHEREAS, CHRISTOPHER HOMES ("Applicant") has filed an Application for the approval of a Development Plan, File No. PDEV17-025, as described in the title of this Resolution (hereinafter referred to as "Application" or "Project"); and

WHEREAS, the Application applies to 10.39 acres of land generally located at the northeast corner of Merrill and Celebration Avenues, within Planning Area 26 of the Subarea 29 Specific Plan, and is presently vacant; and

WHEREAS, the property to the north is located within Subarea 29 Specific Plan, zoned Planning Areas 24 and 25 (Conventional Small Lot and Cluster Home) and is vacant. The property to the south of the project site is within the Cluster Homes Residential District of Planning Area 13 of the Subarea 29 Specific plan and is currently developed with single family dwellings. The property to the west is located within the Subarea 29 Specific Plan, zoned Planning Area 14 (Neighborhood Park 1) and is vacant. The property to the east is an existing SCE Easement with overhead transmission lines; and

WHEREAS, the proposed Development Plan is located within Planning Area 26 (Cluster Homes Residential Product Type) land use district of the Subarea 29 Specific Plan, which establishes a minimum lot size of 2,100 square feet and a development capacity of 102 dwelling units; and

WHEREAS, the application proposes the development of 102 single family homes on 10.39 acres of land at a density of 9.8 dwelling units per acre; and

WHEREAS, the Development Plan to construct 102 single family homes are consistent with the PA 26 design and development standards and guidelines of the Subarea 29 Specific Plan; and

WHEREAS, the application proposes three two-story plans with three elevation per floor plan ranging in size from 1,830 square feet to 2,299 square feet in area; and

WHEREAS, the elevation architectural design styles of Spanish Colonial, Cottage, and American Traditional are consistent with the Design Guidelines and Development Standards of the Subarea 29 Specific Plan; and

WHEREAS, the Application is a project pursuant to the California Environmental Quality Act (Public Resources Code Section 21000 et seq.) ("CEQA"); and

WHEREAS, the environmental impacts of this project were previously reviewed in conjunction with an Addendum to the Subarea 29 Specific Plan EIR (SCH #2004011009), which was prepared in conjunction with File No. PSPA14-002, and was adopted by the City Council on April 21, 2015, and this Application introduces no new significant environmental impacts; and

WHEREAS, the City's "Local Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed; and

WHEREAS, the Application is a project pursuant to CEQA (Public Resources Code Section 21000 et seq.), and an initial study has been prepared to determine possible environmental impacts; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Planning Commission the responsibility and authority to review and act on the subject Application; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan ("ALUCP"), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing

procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, on September 18, 2017, the Development Advisory Board of the City of Ontario conducted a hearing to consider the Project, and concluded said hearing on that date, voting to issue Decision No. DAB17-053 recommending the Planning Commission approve the Application; and

WHEREAS, on September 26, 2017, the Planning Commission of the City of Ontario conducted a hearing to consider the Project and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, IT IS HEREBY FOUND, DETERMINED, AND RESOLVED by the Planning Commission of the City of Ontario, as follows:

SECTION 1: Environmental Determination and Findings. As the decision-making body for the Project, the Planning Commission has reviewed and considered the information contained in the previous Subarea 29 Specific Plan EIR (SCH# 2004011009) and supporting documentation. Based upon the facts and information contained in the previous addendum to Subarea 29 Specific Plan EIR (SCH# 2004011009) and supporting documentation, the Planning Commission finds as follows:

(1) The environmental impacts of this project were previously reviewed in conjunction with File No. PSPA14-002, an Amendment to the Subarea 29 Specific Plan for which an addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) was adopted by the City Council on April 21, 2015.

(2) The previous addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) contains a complete and accurate reporting of the environmental impacts associated with the Project; and

(3) The previous addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) was completed in compliance with CEQA and the Guidelines promulgated thereunder, and the City of Ontario Local CEQA Guidelines; and

(4) The previous addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) reflects the independent judgment of the Planning Commission; and

(5) The proposed project will introduce no new significant environmental impacts beyond those previously analyzed in the previous addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009), and all mitigation measures previously adopted

with the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009), are incorporated herein by this reference.

SECTION 2: Subsequent or Supplemental Environmental Review Not Required. Based on the information presented to the DAB, and the specific findings set forth in Section 1, above, the DAB finds that the preparation of a subsequent or supplemental addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) is not required for the Project, as the Project:

(1) Does not constitute substantial changes to the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) that will require major revisions to the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and

(2) Does not constitute substantial changes with respect to the circumstances under which the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) was prepared, that will require major revisions to the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) due to the involvement of new significant environmental effects or a substantial increase in the severity of the previously identified significant effects; and

(3) Does not contain new information of substantial importance that was not known and could not have been known with the exercise of reasonable diligence at the time the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) was certified/adopted, that shows any of the following:

(a) The project will have one or more significant effects not discussed in the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009); or

(b) Significant effects previously examined will be substantially more severe than shown in the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009); or

(c) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the Project, but the City declined to adopt such measures; or

(d) Mitigation measures or alternatives considerably different from those analyzed in the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) would substantially reduce one or more significant effects on the environment, but which the City declined to adopt.

SECTION 3: *Housing Element Compliance.* Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the decision-making body for the Project, the DAB finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the project site is one of the properties listed in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix, and the proposed project is consistent with the number of dwelling units (102) and density (9.8 DU/AC) specified in the Available Land Inventory.

SECTION 4: *Ontario International Airport Land Use Compatibility Plan (“ALUCP”) Compliance.* The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land use Compatibility Plan (“ALUCP”), establishing the Airport Influence Area for Ontario International Airport (“ONT”), which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the decision-making body for the Project, the Planning Commission has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the Planning Commission, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

SECTION 5: *Concluding Facts and Reasons.* Based upon the substantial evidence presented to the Planning Commission during the above-referenced hearing, and upon the specific findings set forth in Section 1 through 4, above, the Planning Commission hereby concludes as follows:

(1) ***The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.*** The proposed Project is located within the Low Density Residential land use district of the Policy Plan Land Use Map, and the Cluster Homes (Planning Area 26) land use district of the Subarea 29 Specific Plan. The development standards and conditions under which the proposed Project will be constructed and maintained, is consistent with the goals, policies, plans,

and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan. The Development Plan has been required to comply with all provisions of Cluster Homes Residential Product: Motorcourt Cluster B Residential Development Standards of the Subarea 29 Specific Plan. Future neighborhoods within the Subarea 29 Specific Plan and surrounding area will provide for diverse housing and highly amenitized neighborhoods that will be compatible in design, scale and massing to the proposed development.

(2) ***The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located.*** The Project has been designed consistent with the requirements of the City of Ontario Development Code and the Cluster Homes (Planning Area 26) land use district of the Subarea 29 Specific Plan (Cluster Homes Residential Product, including standards relative to the particular land use proposed (Motorcourt Cluster residential product), as-well-as building intensity, building and parking setbacks, building height, number of off-street parking and loading spaces, on-site and off-site landscaping, and fences, walls and obstructions.

(3) ***The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed project.*** The Development Advisory Board has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the Subarea 29 Specific Plan are maintained; [ii] the project will not endanger the public health, safety or general welfare; [iii] the project will not result in any significant environmental impacts; [iv] the project will be in harmony with the area in which it is located; and [v] the project will be in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan, and the Subarea 29 Specific Plan. Additionally, the environmental impacts of this project were previously reviewed in conjunction with the Subarea 29 Specific Plan Environmental Impact Report (SCH#2004011009). This application is consistent with the previously adopted EIR and introduces no new significant environmental impacts.

(4) ***The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.*** The proposed Project has been reviewed for consistency with the general development standards and guidelines of the Subarea 29 Specific Plan that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of off-street parking, design and landscaping, on-site landscaping, and fences and walls, as-well-as those development standards and guidelines specifically related to the particular land use being proposed (motorcourt cluster residential product). As a result of this review, the Development

Advisory Board has determined that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the development standards and guidelines described in the Subarea 29 Specific Plan. Additionally, the Development Plan complies with all provisions of Cluster Homes: Motorcourt Cluster B Development Standards of the Subarea 29 Specific Plan.

SECTION 6: Planning Commission Action. Based upon the findings and conclusions set forth in Sections 1 through 4, above, the Planning Commission hereby APPROVES the herein described Application, subject to each and every condition set forth in the Department reports attached hereto as "Attachment A," and incorporated herein by this reference.

SECTION 7: Indemnification. The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void, or annul this approval. The City of Ontario shall promptly notify the applicant of any such claim, action, or proceeding, and the City of Ontario shall cooperate fully in the defense.

SECTION 8: Custodian of Records. The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario.

SECTION 9: Certification to Adoption. The Secretary shall certify to the adoption of the Resolution.

The Secretary Pro Tempore for the Planning Commission of the City of Ontario shall certify as to the adoption of this Resolution.

I hereby certify that the foregoing Resolution was duly and regularly introduced, passed and adopted by the Planning Commission of the City of Ontario at a regular meeting thereof held on the 26th day of September 2017, and the foregoing is a full, true and correct copy of said Resolution, and has not been amended or repealed.

Richard D. Delman
Planning Commission Chairman

ATTEST:

Scott Murphy
Assistant Development Director
Secretary of Planning Commission

STATE OF CALIFORNIA)
COUNTY OF SAN BERNARDINO)
CITY OF ONTARIO)

I, Gwen Berendsen, Secretary Pro Tempore of the Planning Commission of the City of Ontario, DO HEREBY CERTIFY that foregoing Resolution No. PC17-[insert #] was duly passed and adopted by the Planning Commission of the City of Ontario at their regular meeting held on September 26, 2017, by the following roll call vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Gwen Berendsen
Secretary Pro Tempore

ATTACHMENT A:

**File No. PDEV17-025
Departmental Conditions of Approval**

(Departmental conditions of approval to follow this page)



City of Ontario
Planning Department
303 East B Street
Ontario, California 91764
Phone: 909.395.2036
Fax: 909.395.2420

*Planning Department
Land Development Division
Conditions of Approval*

Meeting Date: September 18, 2017

File No: PDEV17-025

Related Files: PMTT14-019

Project Description: A Development Plan (File No. PDEV17-025) to construct 102 single-family dwellings on 10.39 acres of land, located at the northeast corner of Merrill and Celebration Avenues, within Planning Area 26 of the Subarea 29 Specific Plan. (APNs: 0218-033-03, 0218-033-04, 0218-033-05, and 0218-033-06); **SL Ontario Development Company, LLC.**

Prepared By: Jeanie Irene Aguilo, Assistant Planner
Phone: 909.395.2418 (direct)
Email: jaguilo@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

1.0 Standard Conditions of Approval. The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

2.0 Special Conditions of Approval. In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

2.1 Time Limits.

(a) Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

2.2 General Requirements. The Project shall comply with the following general requirements:

(a) All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

(b) The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

(c) The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

2.3 Landscaping.

(a) The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

(b) Comply with the conditions of approval of the Planning Department; Landscape Planning Division.

(c) Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

(d) Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

2.4 Walls and Fences. All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

2.5 Parking, Circulation and Access.

(a) The Project shall comply with the applicable off-street parking, loading and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

(b) Areas provided to meet the City's parking requirements, including off-street parking and loading spaces, access drives, and maneuvering areas, shall not be used for the outdoor storage of materials and equipment, nor shall it be used for any other purpose than parking.

(c) The required number of off-street parking spaces and/or loading spaces shall be provided at the time of site and/or building occupancy. All parking and loading spaces shall be maintained in good condition for the duration of the building or use.

2.6 Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

2.7 Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noised levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

2.8 Covenants, Conditions and Restrictions (CC&Rs)/Mutual Access and Maintenance Agreements.

(a) CC&Rs shall be prepared for the Project and shall be recorded prior to the issuance of a building permit.

(b) The CC&Rs shall be in a form and contain provisions satisfactory to the City. The articles of incorporation for the property owners association and the CC&Rs shall be reviewed and approved by the City.

(c) CC&Rs shall ensure reciprocal parking and access between parcels.

(d) CC&Rs shall ensure reciprocal parking and access between parcels, and common maintenance of:

- (i) Landscaping and irrigation systems within common areas;
- (ii) Landscaping and irrigation systems within parkways adjacent to the project site, including that portion of any public highway right-of-way between the property line or right-of-way boundary line and the curb line and also the area enclosed within the curb lines of a median divider (Ontario Municipal Code Section 7-3.03), pursuant to Ontario Municipal Code Section 5-22-02;
- (iii) Shared parking facilities and access drives; and
- (iv) Utility and drainage easements.

(e) CC&Rs shall include authorization for the City's local law enforcement officers to enforce City and State traffic and penal codes within the project area.

(f) The CC&Rs shall grant the City of Ontario the right of enforcement of the CC&R provisions.

(g) A specific methodology/procedure shall be established within the CC&Rs for enforcement of its provisions by the City of Ontario, if adequate maintenance of the development does not occur, such as, but not limited to, provisions that would grant the City the right of access to correct maintenance issues and assess the property owners association for all costs incurred.

2.9 Disclosure Statements.

(a) A copy of the Public Report from the Department of Real Estate, prepared for the subdivision pursuant to Business and Professions Code Section 11000 et seq., shall be provided to each prospective buyer of the residential units and shall include a statement to the effect that:

- (i) This tract is subject to noise from the Ontario International Airport and may be more severely impacted in the future.
- (ii) Some of the property adjacent to this tract is zoned for agricultural uses and there could be fly, odor, or related problems due to the proximity of animals.
- (iii) The area south of Riverside Drive lies within the San Bernardino County Agricultural Preserve. Dairies currently existing in that area are likely to remain for the foreseeable future.
- (iv) This tract is part of a Landscape Maintenance District. The homeowner(s) will be assessed through their property taxes for the continuing maintenance of the district.

2.10 Environmental Review.

(a) The environmental impacts of this project were previously reviewed in conjunction with an Addendum to the Subarea 29 Specific Plan EIR (SCH #2004011009), which was prepared in conjunction with File No. PSPA14-002, and was adopted by the City Council on April 21, 2015. This application introduces no new significant environmental impacts. The City's "Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed. The previously adopted mitigation measures shall be a condition of project approval.

(b) If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

(c) If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is

determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

2.11 Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

2.12 Additional Fees.

(a) Within 5 days following final application approval, the Notice of Determination (NOD) filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act (CEQA). Failure to provide said fee within the time specified may result in a 180-day extension to the statute of limitations for the filing of a CEQA lawsuit.

(b) After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

2.13 Additional Requirements.

(a) Shutters shall be constructed of wood or vinyl. Composite materials may also be used, subject to Planning Director approval.

(b) Off-Site Subdivision Signs. The City Council has authorized the Baldy View Chapter of the Building Industry Association to manage a standardized off-site directional sign program on a non-profit basis. The program uses uniform sign structures and individual identification and directional signs for residential development. **No other off-site signing is authorized.** (For additional information, contact the Baldy View Chapter BIA at 909.945.1884.

(c) The applicant shall contact the Ontario Post Office to determine the size and location of mailboxes for this project. The location of the mailboxes shall be submitted to the Planning Department for review and approval prior to the issuance of building permits.

(d) The applicant (Developer) shall be responsible for providing fiber to each home per City requirements and standards.

(e) Dairy Separation Requirement for Residential Development. The following separation requirements from existing dairies/feed lots shall apply to new residential development or structures used for public assembly purposes from existing dairies/feed lots.

A minimum 100' separation shall be required between a new residential, commercial or industrial development or structure used for public assembly and an existing animal feed trough, corral/pen or an existing dairy/feed lot including manure stockpiles and related wastewater detention basins. The 100-foot separation requirement may be satisfied by an off-site easement acceptable to the Planning Director with adjacent properties, submitted with the initial final map and recorded prior to or concurrent with the final map.

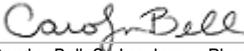
(f) All applicable conditions of approval of Development Agreement (File No. PDA13-003) shall apply to this tract.

(g) All applicable conditions of approval of the Subarea 29 Specific Plan shall apply to this tract.

(h) All applicable conditions of approval of the "B" Map TT 18266 (File No. PMTT14-010) shall apply to this Development Plan.

(i) The Private Park (Lot A) shall be constructed prior to the issuance of the certificate of occupancy of the 52nd home.

CITY OF ONTARIO
LANDSCAPE PLANNING DIVISION
 303 East "B" Street, Ontario, CA 91764

CONDITIONS OF APPROVAL	
Sign Off	
	9/13/17
Carolyn Bell, Sr. Landscape Planner	Date

Reviewer's Name: Carolyn Bell, Sr. Landscape Planner	Phone: (909) 395-2237
D.A.B. File No.: PDEV17-025 Rev 1	Case Planner: Jeanie Irene Aguilo
Project Name and Location: Coventry at Park Place NEC of Merrill and Celebration Ave	
Applicant/Representative: RHA Landscape Architects 6800 Indiana Ave Ste 245 Riverside, CA 92506	
<input checked="" type="checkbox"/>	A Preliminary Landscape Plan (dated 6/19/17) meets the Standard Conditions for New Development and has been approved with the consideration that the following conditions below be met upon submittal of the landscape construction documents.
<input type="checkbox"/>	A Preliminary Landscape Plan (dated) has not been approved. Corrections noted below are required prior to Preliminary Landscape Plan approval.
CORRECTIONS REQUIRED	

Civil Plans

- Show 5' letter lots between sidewalk and single family residence side yard wall along Perennial drive at cluster phase #11, similar to cluster # phase 1 - Lot C.
- Show transformers on plan, and dimension a 4' set back from paving.
- Locate light standards, fire hydrants, water and sewer lines to not conflict with required tree locations. Coordinate civil plans with landscape plans
- Note for compaction to be no greater than 85% at landscape areas. All finished grades at 1 ½" below finished surfaces. Slopes to be maximum 3:1.
- Show typical lot drainage to include an infiltrating catch basin with gravel sump below prior to outlet.

Landscape Plans

- Include HOA street/parkway plans (Perennial drive) or refer to permit or DAB number if plans are separate.
- Show all utilities on the landscape plans. Coordinate so that utilities are clear of required tree locations: street trees to be spaced 30' apart.
- Call out type of proposed irrigation system (dripline) and include a preliminary MAWA calculation.
- Note that irrigation plans shall provide separate systems for pop up stream bubblers with pc screens.
- Replace short lived, high maintenance or poor performing plants: Lantana, Festuca Ovina.
- Add small or narrow upright trees or tall shrubs in ground in back yards for screening building walls.
- Add a separate plant palette for shade tolerant plants for north and east facing locations separate from sun tolerant plants on south and west facing locations.
- Note for agronomical soil testing and include report on landscape plans. For phased projects, a new report is required for each phase or a minimum of every 6 homes in residential developments.
- Show concrete mowstrips to separate ownership between private and HOA maintenance areas.
- Provide a 30" wide paved walkway for access to side yards.
- Note residential projects shall include a stub-out for future back yard irrigation systems.
- Show 25% of trees as California native (Platanus racemosa, Quercus agrifolia, Quercus wislizenii, Quercus douglasii, Cercis occidentalis, Sambucus Mexicana, etc.) in appropriate locations.
- Include some gaps in the hedge at benches to provide access to the lawn areas.
- Landscape construction plans shall meet the requirements of the Landscape Development Guidelines. See <http://www.ontarioca.gov/landscape-planning/standards>
- After a project's entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council. Typical fees are:

Plan Check—5 or more acres	\$2,326.00
Plan Check—less than 5 acres	\$1,301.00
Inspection—Construction (up to 3 inspections)	\$278.00

Landscape construction plans with building permit number for plan check may be emailed to:
landscapeplancheck@ontarioca.gov

AIRPORT LAND USE COMPATIBILITY PLANNING

CONSISTENCY DETERMINATION REPORT



Project File No.: PDEV17-025

Address: Northeast Corner of Merrill Avenue & Celebration Avenue

APN: 0218-033-03, 0218-033-04, 0218-003-05 and 0218-003-06

Existing Land Use: Vacant

Proposed Land Use: 102 Single Family Residential Units

Site Acreage: 8.24 acres Proposed Structure Height: 32 ft

ONT-IAC Project Review: n/a

Airport Influence Area: ONT Airport

Reviewed By: Lorena Mejia

Contact Info: 909-395-2276

Project Planner: Jeanie Aguilo

Date: 7/11/17

CD No.: 2017-041

PALU No.: n/a

The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input type="radio"/> High Terrain Zone	<input type="radio"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input type="radio"/> FAA Notification Surfaces	<input type="radio"/> Recorded Overflight Notification
<input type="radio"/> Zone 2	<input type="radio"/> 65 - 70 dB CNEL	<input type="radio"/> Airspace Obstruction Surfaces	<input checked="" type="checkbox"/> Real Estate Transaction Disclosure
<input type="radio"/> Zone 3	<input type="radio"/> 60 - 65 dB CNEL	<input type="radio"/> Airspace Avigation Easement Area	
<input type="radio"/> Zone 4		Allowable Height: 200 ft plus	
<input type="radio"/> Zone 5			

The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1
 Zone 2
 Zone 3
 Zone 4
 Zone 5
 Zone 6

Allowable Height: _____

CONSISTENCY DETERMINATION

This proposed Project is: Exempt from the ALUCP Consistent Consistent with Conditions Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT, provided the following condition is met:

Airport Planner Signature: 

AIRPORT LAND USE COMPATIBILITY PLANNING

CONSISTENCY DETERMINATION REPORT

CD No.: 2017-041
PALU No.: n/a

PROJECT CONDITIONS

The applicant is required to meet the Real Estate Transaction Disclosure in accordance with California Codes (Business and Professions Code Section 11010-11024). New residential subdivisions within an Airport Influence Area are required to file an application for a Public Report consisting of a Notice of Intention (NOI) and a completed questionnaire with the Department of Real Estate and include the following language within the NOI:

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you.



CITY OF ONTARIO

MEMORANDUM

ENGINEERING DEPARTMENT CONDITIONS OF APPROVAL

(Traffic/Transportation Division and Municipal Utilities Agency, and Environmental Section Conditions incorporated)

DATE: July 11, 2017

PROJECT PLANNER: Jeanie Irene Aguilo, Assistant Planner

PROJECT: PDEV17-025 – A Development Plan to construct 102 single family homes on 10.39 acres within Planning Area 26 of the Subarea 29 Specific Plan (Reference File: TM 18998-PMTT14-019)

APN: 0218-033-03, 04, 05 and 06

LOCATION: NEC of Merrill Avenue and Celebration Avenue

PROJECT ENGINEER: Manoj Hariya, P.E, Sr. Associate Civil Engineer

The following items are the Conditions of Approval for the subject project:

1. The applicant/developer shall be responsible to complete all applicable conditions as specified in the Conditions of Approval for TM18998, TM18913-2 and Development Agreement between SL Ontario Development Company LLC and City of Ontario for Subarea 29 (Park Place) Specific Plan.
2. The applicant/developer shall provide fiber optic connection to each home per City Standards and guidelines.
3. Prior to Building Permits: Any changes to the already approved Engineering Report (ER), including landscaping plans, due to the proposed re-lotting, shall be amended with City and State. Please coordinate with Cynthia Heredia-Torres 909-395-2647, ctorres@ontarioca.gov) to confirm immediately.

M.B. Hariya 07/11/17
Manoj Hariya, P.E. Date
Senior Associate Civil Engineer



Khoi Do, P.E.
Assistant City Engineer

7/11/17
Date



CITY OF ONTARIO

MEMORANDUM

TO: Jeanie Aguilo, Assistant Planner
Planning Department

FROM: Lora L. Gearhart, Fire Protection Analyst
Fire Department

DATE: August 15, 2017

SUBJECT: PDEV17-025 – A Development Plan To Construct 102 Single-Family Dwellings On 10.39 Acres Of Land Located At The Northeast Corner Of Merrill And Celebration Avenues, Within Planning Area 26 Of The Subarea 29 Specific Plan (Apns: 0218-033-03, 0218-033-04, 0218-033-05, And 0218-033-06). Related File: PMTT14-019 (TTM 18998).

-
- The plan **does** adequately address Fire Department requirements at this time.
- No comments.
- Standard Conditions of Approval apply, as stated below.
-

SITE AND BUILDING FEATURES:

- A. 2013 CBC Type of Construction: Type V-B wood frame
- B. Type of Roof Materials: non-rated
- C. Ground Floor Area(s): Various
- D. Number of Stories: Two Story
- E. Total Square Footage: Various
- F. 2013 CBC Occupancy Classification(s): R-3, U

CONDITIONS OF APPROVAL:

1.0 GENERAL

- ☒ 1.1 The following are the Ontario Fire Department (“Fire Department”) requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards (“Standards.”) It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at www.ontarioca.gov, click on “Fire Department” and then on “Standards and Forms.”
- ☒ 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

2.0 FIRE DEPARTMENT ACCESS

- ☒ 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See Standard #B-004.
- ☒ 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25’) inside and forty-five feet (45’) outside turning radius per Standard #B-005.
- ☒ 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150’) in length shall have an approved turn-around per Standard #B-002.
- ☒ 2.7 Any time PRIOR to on-site combustible construction and/or storage, a minimum twenty-six (26) ft. wide circulating all weather access roads shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved by fire department and other emergency services.

3.0 WATER SUPPLY

- ☒ 3.1 The required fire flow per Fire Department standards, based on the 2016 California Fire Code, Appendix B, is 1500 gallons per minute (g.p.m.) for 2 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.
- ☒ 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300’) apart, per Engineering Department specifications.
- ☒ 3.4 The public water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

4.0 FIRE PROTECTION SYSTEMS

- 4.3 An automatic fire sprinkler system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 13 D. All new fire sprinkler systems, except those in single family dwellings, which contain twenty (20) sprinkler heads or more shall be monitored by an approved listed supervising station. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.

5.0 BUILDING CONSTRUCTION FEATURES

- 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Homes that do not front street shall be provided with an address entry sign at the street. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.
- 5.3 Single station smoke alarms and carbon monoxide alarms are required to be installed per the California Building Code and the California Fire Code.
- 5.5 All residential chimneys shall be equipped with an approved spark arrester meeting the requirements of the California Building Code.

CITY OF ONTARIO

MEMORANDUM

TO: PLANNING DEPARTMENT, Jeanie Aguilo
FROM: BUILDING DEPARTMENT, Kevin Shear
DATE: June 27, 2017
SUBJECT: PDEV17-025

1. The plan **does** adequately address the departmental concerns at this time.
No comments.

KS:lm





CITY OF ONTARIO

MEMORANDUM

TO: Hassan Haghani, Development Director
Scott Murphy, Planning Director (Copy of memo only)
Cathy Wahlstrom, Principal Planner (Copy of memo only)
Charity Hernandez, Economic Development
Kevin Shear, Building Official
Khoi Do, Assistant City Engineer
Carolyn Bell, Landscape Planning Division
Sheldon Yu, Municipal Utility Company
Doug Sorel, Police Department
Art Andres, Deputy Fire Chief/Fire Marshal
Jay Bautista, T. E., Traffic/Transportation Manager
Lorena Mejia, Senior Planner
Steve Wilson, Engineering/NPDES
Bob Gluck, Code Enforcement Director
Jimmy Chang, IT Department
David Simpson, Development/IT (Copy of memo only)

FROM: Jeanie Irene Aguilo, Assistant Planner

DATE: June 20, 2017

SUBJECT: FILE #: PDEV17-025 Finance Acct#:



The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Tuesday, July 4, 2017**.

- Note:
- Only DAB action is required
 - Both DAB and Planning Commission actions are required
 - Only Planning Commission action is required
 - DAB, Planning Commission and City Council actions are required
 - Only Zoning Administrator action is required

PROJECT DESCRIPTION: A Development Plan to construct 102 single family homes on 8.24 acres of land within Planning Area 29 of the Subarea 29 Specific Plan, located on the NEC of Merrill Avenue and Celebration Avenue. APN No's: 0218-033-03, & 04 and 0218-003-05 and 06.

- The plan does adequately address the departmental concerns at this time.
 - No comments
 - Report attached (1 copy and email 1 copy)
 - Standard Conditions of Approval apply
- The plan does not adequately address the departmental concerns.
 - The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

Building

Department

Signature

Title

Date



CITY OF ONTARIO

MEMORANDUM

TO: Hassan Haghani, Development Director
Scott Murphy, Planning Director (Copy of memo only)
Cathy Wahistrom, Principal Planner (Copy of memo only)
Charity Hernandez, Economic Development
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Steve Wilson, Engineering/NPDES
Bob Gluck, Code Enforcement Director
Jimmy Chang , IT Department
David Simpson, Development/IT (Copy of memo only)

FROM: Jeanie Irene Aguilo, Assistant Planner

DATE: June 20, 2017

SUBJECT: FILE #: PDEV17-025

Finance Acct#:

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The plan does adequately address the departmental concerns at this time.

- No comments
- Report attached (1 copy and email 1 copy)
- Standard Conditions of Approval apply

The plan does not adequately address the departmental concerns.

- The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

POLICE
Department

DOUGLAS SOREL
Signature

MANAGEMENT
ANALYST
Title

7/26/17
Date



CITY OF ONTARIO

MEMORANDUM

TO: Hassan Haghani, Development Director
Scott Murphy, Planning Director (Copy of memo only)
Cathy Wahlstrom, Principal Planner (Copy of memo only)
Charity Hernandez, Economic Development
Kevin Shear, Building Official
Khoi Do, Assistant City Engineer
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Bob Gluck, Code Enforcement Director
Jimmy Chang , IT Department
David Simpson, Development/IT (Copy of memo only)

FROM: Jeanie Irene Aguilo, Assistant Planner

DATE: June 20, 2017

SUBJECT: FILE #: PDEV17-025 Finance Acct#:

The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Tuesday, July 4, 2017**.

- Note:**
- Only DAB action is required
 - Both DAB and Planning Commission actions are required
 - Only Planning Commission action is required
 - DAB, Planning Commission and City Council actions are required
 - Only Zoning Administrator action is required

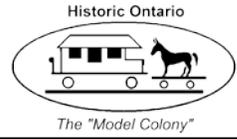
PROJECT DESCRIPTION: A Development Plan to construct 102 single family homes on 8.24 acres of land within Planning Area 29 of the Subarea 29 Specific Plan, located on the NEC of Merrill Avenue and Celebration Avenue. APN No's: 0218-033-03, & 04 and 0218-003-05 and 06.

- The plan does adequately address the departmental concerns at this time.
 - No comments
 - Report attached (1 copy and email 1 copy)
 - Standard Conditions of Approval apply
- The plan does not adequately address the departmental concerns.
 - The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

Code Joe Robert Segurino 6/26/17

Department Signature Title Date

HISTORIC PRESERVATION COMMISSION STAFF REPORT



DATE: September 26, 2017

FILE NO.: PHP17-018

SUBJECT: A request to designate a Tier II Historic Resource as a Local Landmark

LOCATION: 318 East Princeton Street (APN: 1047-543-33)

APPLICANT: Mark Rivas

PROPERTY OWNER: Mark Rivas

I. RECOMMENDATION:

That the Historic Preservation Commission recommend that the City Council designate the Fred and Verna Clapp House, located at 318 East Princeton Street, Local Historic Landmark No. 97.

II. ARCHITECTURAL DESCRIPTION:

Historic Name: The Fred and Verna Clapp House
Architectural Style: California Ranch
Date Built: 1920 (est.)

The Fred and Verna Clapp House is a single story, California Ranch style single family residence. The residence is located on 0.23 acres of land within the College Park Historic District. The residence is situated on a flag lot and is accessed through a 100 foot long driveway off Princeton Street between 316 and 328 East Princeton Street. Because the residence has no street frontage, it has been designated as a Non-Contributor to the District.



Case Planner: Zulema Elly Antuna, Assistant Planner

Planning Director Approval: 

Submittal Date: July 14, 2017

Hearing Deadline: September 26, 2017

Hearing Body	Date	Decision	Action
HPSC:	09/14/2017	Approval	Recommend
PC / HPC:	09/26/2017		Recommend
CC:			Final

The residence is horizontally oriented, rectangular in plan with a cross-gabled roof covered in composition shingles with exposed eaves and rafter tails. The Fred and Verna Clapp House is covered with textured plaster on the primary façade and the remaining facades are covered in unpainted board and batten siding. The residence features an off-center entrance with a dropped roof open front porch supported by 4 simple wood posts. The primary (east) façade features 4 pairs of deeply recessed, wood framed, multi-paned casements windows with a bull-nose treatment and wood sill. The main entry is a half glass door with diamond shaped panes and wood trim surround. A second, double door entry is present on the primary façade to access the converted attached garage and is covered with a patio supported by 3 simple wood posts. The north façade features a wood-framed multi-pane bay window and a large fixed multi-pane window.

The windows on the remainder of the residence consist of aluminum frame fixed and slider windows and do not appear to be original. Additional alterations include a garage conversion to a hobby room in 1934 and a small addition to the south side of the house in 1970. The difference in size and style of the fixed, multi-pane windows on the north façade from the east façade indicate that the bay and fixed windows may have been later additions. Additionally, the style of the doors on the residence appear to be from the 1950s. These alterations do not detract from the value of the historic resource and have occurred during the period of significance. Also present on the site is a small shed to the northwest of the residence and the remnants of a waterfall to the southeast of the residence that once led to the Graber family pool on the adjacent property.

III. HISTORIC CONTEXT:

This unique, early California Ranch style residence was likely one of the first in the City, preceding the typical California Ranch style homes that were being built during the 1930s-1960s. The Ranch style of architecture originated in the mid-1930s in California. It gained in popularity during the 1940s and became the dominant style throughout the country during the decades of the 1950s and 1960s. The Ranch style was created from a mix of styles, including the Craftsman, Prairie, and Minimal Traditional styles, as well as elements of the Spanish Colonial style. The residence shows some characteristics of the Spanish Colonial Revival style, including the textured plaster siding and deeply recessed windows on the primary façade.

IV. LANDMARK DESIGNATION CRITERIA:

A historic resource may be designated an “historic landmark” by the City if it meets the criteria for listing in the National Register of Historic Places, the California Register of Historic Resources, or it meets the Local Landmark Designation criteria in the Ontario Development Code, which is based on architecture and history. Historic resources must also have integrity for the time in which they are significant. The criteria considered when evaluating properties for integrity include: design, setting, materials and workmanship, location, feeling and association.

The Fred and Verna Clapp House is an excellent example of the early California Ranch style, which is evident by the presence of the building's character-defining features, including the horizontal orientation, cross-gable roof, single-story, board and batten siding, full width front porch and wood framed multi-pane casement windows. The architectural integrity of the residence is moderate as it retains most of its original exterior features and has had minimal alterations, most of which have acquired their own significance or are easily reversible. The preservation of the mature Redwood and Olive trees on the site contribute to the residences eligibility for designation as it conveys, in its setting, the feeling and association of early life in Ontario.

On September 14, 2017, the Historic Preservation Subcommittee determined that the Fred and Verna Clapp House, located at 318 East Princeton Street, was eligible for individual listing on the Ontario Register of Historic Resources, was a Tier II Historic Resource, and recommended the historic resource be designated as Local Landmark No. 97, as it meets the following designation criteria:

1. It embodies distinguishing architectural characteristics of a style, type, period, or method of construction:

The residential building is a fine example of the early California Ranch style, which is evident by the presence of the building's character-defining features, including the horizontal orientation, cross-gable roof, board and batten siding, full width front porch and wood framed multi-pane casement windows. This unique, early California Ranch style was likely one of the first in the City, preceding the typical California Ranch style homes that came in the 1930s-1960s. The only known alterations to the buildings are the aluminum frame fixed and slider windows that do not appear to be original, a garage conversion to a hobby room in 1934 and a small addition to the south side of the house in 1970. The alterations do not detract from the value of the historic resource and are easily reversible.

V. COMPLIANCE WITH THE ONTARIO PLAN:

The proposed landmark designation is consistent with the principles, goals and policies contained within the Vision, Governance, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan (TOP). More specifically, the goals and policies of TOP that are furthered by the proposed landmark designation are as follows:

Vision

DYNAMIC BALANCE

An appreciation for the "personality and charm" of this community, preserving important characteristics and values even as growth and change occur, all the while retaining a distinctive local feel where people love to be.

City Council Priorities

- Focus Resources in Ontario's Commercial and Residential Neighborhoods; and
- Encourage, Provide or Support Enhanced Recreational, Educational, Cultural and Healthy City Programs, Policies and Activities.

Policy Plan

CD 4: *Goal:* Historic buildings, streets, landscapes and neighborhoods, as well as the story of Ontario's people, businesses, and social and community organizations, that have been preserved and serve as a focal point for civic pride and identity.

The proposed local landmark designation supports preservation of the neighborhood streetscape and context.

CD 4-6: *Promotion of Public Involvement in Preservation.* We engage in programs to publicize and promote the City's and the public's involvement in preservation efforts.

The proposed local landmark designation requires owner participation and recognizes and promotes preservation efforts.

RESOLUTION NO.

A RESOLUTION OF THE HISTORIC PRESERVATION COMMISSION OF THE CITY OF ONTARIO, CALIFORNIA, RECOMMENDING THAT THE CITY COUNCIL APPROVE FILE NO. PHP17-018, TO DESIGNATE THE FRED AND VERNA CLAPP HOUSE LOCATED AT 318 EAST PRINCETON STREET, AS A LOCAL HISTORIC LANDMARK AND MAKING FINDINGS IN SUPPORT THEREOF—APN: 1047-543-33.

WHEREAS, MARK RIVAS ("Applicant") has filed an Application for the approval of a Local Historic Landmark Designation, File No. PHP17-018, as described in the title of this Resolution (hereinafter referred to as "Application" or "Project"); and

WHEREAS, the City's character and history are reflected in its cultural, historical, and architectural heritage, with an emphasis on the "Model Colony" as declared by an act of the Congress of the United States and presented at the St. Louis World's Fair in 1904; and

WHEREAS, the City's historical foundations should be preserved as living parts of community life and development in order to foster an understanding of the City's past so that future generations may have a genuine opportunity to appreciate, enjoy, and understand Ontario's rich heritage; and

WHEREAS, the Community Design element The Ontario Plan (General Plan) sets forth Goals and Policies to conserve Ontario's historic buildings and districts; and

WHEREAS, the Fred and Verna Clapp House, a California Ranch style single-family residence, constructed in 1920 (est.), and located at 318 East Princeton Street (APN: 1047-543-33) is worthy of preservation and designation as a Local Historic Landmark; and

WHEREAS, the Fred and Verna Clapp House was designated by the City Council as a Non-Contributor to the College Park Historic District on July 18, 2000; and

WHEREAS, the Application is not a project pursuant to the California Environmental Quality Act (Public Resources Code Section 21065 et seq.) ("CEQA"); and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Historic Preservation Commission the responsibility and authority to review and make recommendation to the City Council on the subject Application; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing

procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, on September 14, 2017, the Historic Preservation Subcommittee of the City of Ontario conducted a hearing to consider the Project, and concluded said hearing on that date, voting to issue Decision No. HPSC17-013 determining that it was eligible for individual listing on the Ontario Register of Historic Resources and met Historic Resource Tiering Criteria as a Tier II historic resource as set forth in Section 4.02.040 (Historic Preservation-Local Historic Landmark and Local District Designations, Historic Resource Tiering, and Architectural Conservation Areas) of the Ontario Development Code; and

WHEREAS, on September 14, 2017, the Historic Preservation Subcommittee of the City of Ontario conducted a hearing to consider the Project, and concluded said hearing on that date, voting to issue Decision No. HPSC17-013 recommending the Historic Preservation Commission recommend to the City Council approval of the Application; and

WHEREAS, on September 26, 2017, the Historic Preservation Commission of the City of Ontario conducted a hearing to consider the Project, and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, IT IS HEREBY FOUND, DETERMINED, AND RESOLVED by the Historic Preservation Commission of the City of Ontario, as follows:

SECTION 1: Environmental Determination and Findings. As the recommending body for the Project, the Historic Preservation Commission has reviewed and considered the information contained in the administrative record for the Project. Based upon the facts and information contained in the administrative record, including all written and oral evidence presented to the Historic Preservation Commission, the Historic Preservation Commission finds as follows:

(1) The designation is not considered a project pursuant to Section 21065 of the CEQA Guidelines.

(2) The determination of CEQA exemption reflects the independent judgment of the Planning Commission.

SECTION 2: Concluding Facts and Reasons. Based upon the substantial evidence presented to the Historic Preservation Commission during the above-

referenced hearing, and upon the specific findings set forth in Section 1, above, the Historic Preservation Commission hereby concludes as follows:

(1) The Fred and Verna Clapp House meets the criteria for local landmark designation as contained in Section 4.02.040 (Historic Preservation-Local Historic Landmark and Local District Designations, Historic Resource Tiering, and Architectural Conservation Areas) of the Ontario Development Code;

a. **FINDING:** *The structure is a prototype of, or one of the finest examples of a period, style, architectural movement, or construction in the City or a particular style of architecture or building type.*

b. **FACT:** The residential building is an excellent example of the early California Ranch style, which is evident by the presence of the building's character-defining features, including the horizontal orientation, cross-gable roof, board and batten siding, full width front porch and wood framed multi-pane casement windows. This unique, early California Ranch style was likely one of the first in the City, preceding the typical California Ranch style homes that came in the 1930s-1960s. The Ranch style was created from a mix of styles, including the Craftsman, Prairie, and Minimal Traditional styles, as well as elements of the Spanish Colonial style. The residence shows some characteristics of the Spanish Colonial Revival style, including the stucco siding and deeply recessed windows on the primary façade.

SECTION 3: *Historic Preservation Commission Action.* Based upon the findings and conclusions set forth in Sections 1 through 3, above, the Historic Preservation Commission hereby RECOMMENDS THE CITY COUNCIL APPROVES THE LOCAL LANDMARK DESIGNATION.

SECTION 4: *Indemnification.* The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void, or annul this approval. The City of Ontario shall promptly notify the applicant of any such claim, action, or proceeding, and the City of Ontario shall cooperate fully in the defense.

SECTION 5: *Custodian of Records.* The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario.

SECTION 6: *Certification to Adoption.* The Secretary shall certify to the adoption of the Resolution.

The Secretary Pro Tempore for the Historic Preservation Commission of the City of Ontario shall certify as to the adoption of this Resolution.

I hereby certify that the foregoing Resolution was duly and regularly introduced, passed and adopted by the Planning/ Historic Preservation Commission of the City of Ontario at a regular meeting thereof held on the 26th day of September 2017, and the foregoing is a full, true and correct copy of said Resolution, and has not been amended or repealed.

Richard D. Delman
Historic Preservation Commission
Chairman

ATTEST:

Scott Murphy
Assistant Development Director /
Secretary of Historic Preservation
Commission

STATE OF CALIFORNIA)
COUNTY OF SAN BERNARDINO)
CITY OF ONTARIO)

I, Gwen Berendsen, Secretary Pro Tempore of the Historic Preservation Commission of the City of Ontario, DO HEREBY CERTIFY that foregoing Resolution No. PC17-[insert #] was duly passed and adopted by the Historic Preservation Commission of the City of Ontario at their regular meeting held on September 26, 2017, by the following roll call vote, to wit:

AYES:

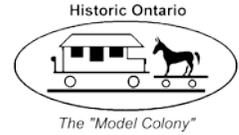
NOES:

ABSENT:

ABSTAIN:

Gwen Berendsen
Secretary Pro Tempore

HISTORIC PRESERVATION COMMISSION STAFF REPORT



DATE: September 26, 2017

FILE NO: PHP17-021

SUBJECT: A request for a Certificate of Appropriateness to allow for a façade and storefront replacement of an existing 28,635 square foot, single-tenant, commercial building, a Non-Contributor to the Euclid Avenue Historic District, on approximately 1.74 acres of land located at the northwest corner of G Street and Euclid Avenue, within the MU-1 (Downtown Mixed Use) and EA (Euclid Avenue Overlay) zoning districts. (APN: 1048-271-19)

**APPLICANT/
PROPERTY
OWNER:** Dillway Associates, LLC

RECOMMENDATION:

That the Historic Preservation Commission approve File No. PHP17-021, pursuant to the facts and reasons contained in the staff report and attached resolution and subject to the conditions of approval.

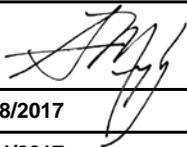
PROJECT SITE:

The project site is comprised of 1.74 acres of land located at 130 West G Street. The site is within an existing 4.09-acre commercial center, at the northwest corner of Euclid Avenue and G Street. The commercial center is comprised of four parcels with three property owners. The property is depicted in **Figure 1: Project Location**. The property was designated by the City Council on June 4, 2013 as a Non-Contributor to the Euclid Avenue Historic District.



Figure 1: Project Location

Case Planner: **Elly Antuna, Assistant Planner**

Planning Director Approval: 

Submission Date: **07/28/2017**

Hearing Deadline: **10/24/2017**

Hearing Body	Date	Decision	Action
HPSC:	09/14/2017	Approve	Recommend
PC / HPC:	09/26/2017		Final
CC:			

HISTORIC CONTEXT:

The project site is located at the southernmost edge of the Euclid Avenue Historic District and is surrounded by commercial uses to the north and south, and residential uses to the west and east. The Euclid Avenue Historic District is defined by various periods of growth and development that occurred from 1888 through 1965. Character-defining features of the District include a 60-foot wide center landscape median in Euclid Avenue, mature street trees, including the Silk Oak and Camphor, scored sidewalks, rock curbs, King Standard lampposts, and residences and commercial buildings in a variety of architectural styles from multiple periods of development. The Euclid Avenue Historic District features some of Ontario’s best examples of the Victorian, Craftsman, Mediterranean Revival and Spanish Colonial architectural styles. The district is predominately residential with single and multi-family residences, churches and a school. The shift to commercial buildings and uses between G and I Streets that occurred during the 1950s makes up a “transition area” from downtown commercial to residential that currently exists today.

Historic aerials and Sanborn fire insurance maps indicate a church and accessory buildings were located at this site until at least 1948. The project site was developed with the commercial center in the early through mid-1960s (**Figure 2: Site Photographs**). The design and architecture of the center is typical of strip commercial from this time period and remains unaltered with the exception of the subject building. Over the past 70 years, the storefront has been replaced at least 2 times. The current building storefront features a central front-facing gable flanked by two front facing gables with open trusses, each supported by two square columns. The building is clad in stucco with a rock veneer base. This building and commercial center does not have any historic significance and does not contribute to the significance of the Euclid Avenue Historic District.



Figure 2: Site Photographs

PROJECT DESCRIPTION:

The Applicant is requesting a Certificate of Appropriateness, File No. PHP17-021, to allow for a façade and storefront replacement of an existing 28,635 square foot, single-tenant building within an existing commercial center (**Figure 3: Site Plan**). The building will feature a contemporary

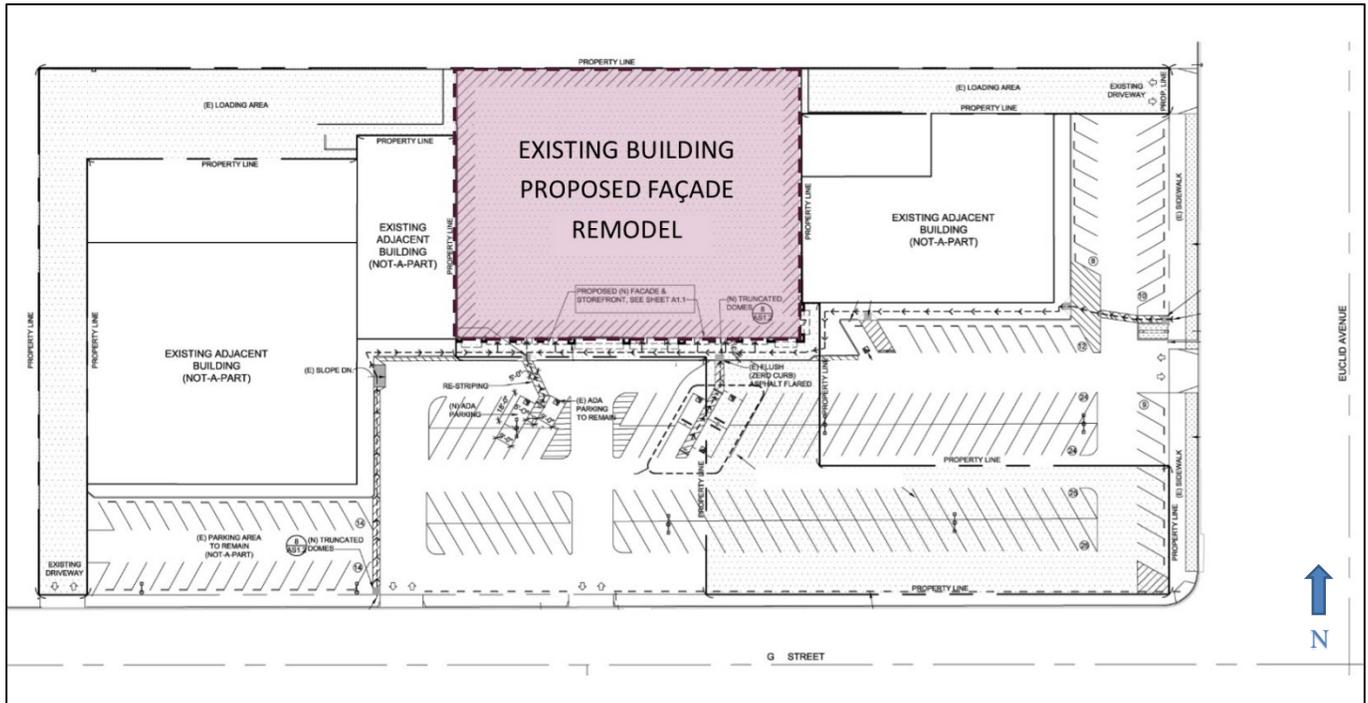


Figure 3: Site Plan

architectural design with several tower elements, and is depicted in **Figure 4: Conceptual Elevations**, below. The design will make use of decorative cornices and corbels and tile accents along the base of the columns on the building. The proposed storefront design will allow for the future subdivision of the space into multiple units. New glass storefronts on each unit will enhance this overall architectural theme. The entrances are oriented towards G Street and will have decorative pilasters and metal awnings to create visual interest.

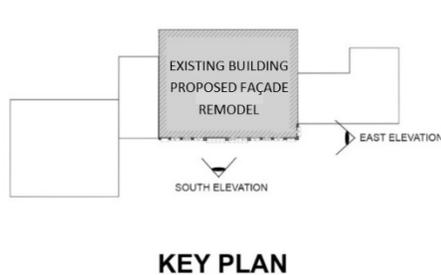


Figure 4: Conceptual Elevations

PROJECT ANALYSIS:

Section 4.02.050 (Historic Preservation-Certificate of Appropriateness and Demolition of Historic Resources) of the Ontario Development Code, requires approval of a Certificate of Appropriateness for any work to the exterior of any Non-Contributing property in a Historic District. Pursuant to the Development Code, a reasonable effort shall be made to produce compatibility, and in no event shall there be a greater deviation from compatibility. The proposed façade and storefront replacement will be constructed in a contemporary commercial style, a style that is compatible with nearby commercial properties in the District.

The commercial properties within this “transition area” have been constructed in a variety of styles including International Modern, Modern Ranch, and Googie. The existing storefront does not contain character-defining features of any specific style, therefore no significant architectural features will be impacted. The proposed tower elements complement the flat roof that is present on the other buildings in the center. The contemporary commercial design of the project is compatible with those styles, and will not detract or negatively impact the historic character of the Euclid Avenue Historic District.

On September 14, 2017, the Historic Preservation Subcommittee (HPSC) reviewed the Certificate of Appropriateness application and recommended approval to the Historic Preservation Commission, subject to conditions of approval as contained in Exhibit “A” of the Resolution.

FINDINGS OF FACT:

The Secretary of the Interiors’ Standards for the Treatment of Historic Properties was developed by the Federal Government to be guiding principles for the treatment of historic properties. The Standards for Rehabilitation are used when evaluating the appropriateness of proposed additions and alterations to historic resources.

The Historic Preservation Commission must consider and clearly establish certain findings of facts, as established in Section 4.02.050 (Historic Preservation-Certificate of Appropriateness and Demolition of Historic Resources) of the Ontario Development Code, for all Certificate of Appropriateness applications. The exterior alterations, in whole or in part, meet the following criteria:

- a. *Finding: Will not detrimentally change, destroy, or adversely affect any significant architectural feature of the resource.*

Fact: While the project site has not been identified as an historic resource, the site has been designated as a Non-Contributor to the Euclid Avenue Historic District. The existing storefront does not contain character-defining features of any specific style, therefore no significant architectural features will be impacted.

- b. *Finding: Will not detrimentally change, destroy or adversely affect the historic character or value of the resource*

Fact: The project does not propose any alterations to the existing site layout and circulation. The proposed façade replacement will not result in any alteration to the orientation and the spatial relationship from the building to the Euclid Avenue Historic District, therefore the project will not change, destroy or adversely affect the character or value of the Euclid Avenue Historic District

- c. *Finding: Will be compatible with the exterior character-defining features of the historic resource.*

Fact: Although the project site is not considered historic, the site is within the Euclid Avenue Historic District. Through enhanced architectural elements in the contemporary commercial architectural style, the proposed project will be compatible with the exterior features of the Euclid Avenue Historic District.

- d. *Finding: Will not adversely affect or detract from the character of the historic district.*

Fact: Through enhanced architectural elements in the contemporary commercial architectural style, the proposed project does not detract from the character of the Euclid Avenue Historic District.

COMPLIANCE WITH THE ONTARIO PLAN:

The proposed project is consistent with the principles, goals and policies contained within the components that make up The Ontario Plan (TOP), including: (1) Vision, (2) Governance, (3) Policy Plan (General Plan) and (4) City Council Priorities in the following ways:

[1] City Council Goals

- Invest in the Growth and Evolution of the City's Economy
- Focus Resources in Ontario's Commercial and Residential Neighborhoods

[2] Vision

Dynamic Balance

- An appreciation for the "personality and charm" of this community, preserving important characteristics and values even as growth and change occur, all the while retaining a distinctive local feel where people love to be.

Distinctive Development

- Diverse and highly successful villages that benefit from preservation, enhancement and selective intensification (Original Model Colony)

[3] Governance

Governance – Decision Making

- Goal G1: Sustained decision-making that consistently moves Ontario towards its Vision by using The Ontario Plan as a framework for assessing choices
 - G1-2 Long-term Benefit. We require decisions to demonstrate and document how they add value to the community and support the Ontario Vision.

[4] Policy Plan

Land Use Element – Balance

- Goal LU1: A community that has a spectrum of housing types and price ranges that match the jobs in the City and that make it possible for people to live and work in Ontario and maintain a quality of life.
 - LU1-1 Strategic Growth. We concentrate growth in strategic locations that help create place and identity, maximize available and planned infrastructure, and foster the development of transit.
 - LU1-6 Complete Community. We incorporate a variety of land uses and building types in our land use planning efforts that result in a complete community where residents at all stages of life, employers, workers and visitors have a wide spectrum of choices of where they can live, work, shop and recreate within Ontario. (Refer to Complete Community Section of Community Economics Element).

Community Economics – Complete Community

- Goal CE1: A complete community that provides for all incomes and stages of life.
 - CE1-7 Retail Goods and Services. We seek to ensure a mix of retail businesses that provide the full continuum of goods and services for the community.

Community Design Element – Image & Identity

- Goal CD1: A dynamic, progressive city containing distinct neighborhoods and commercial districts that foster a positive sense of identity and belonging among residents, visitors, and businesses.
 - CD1-1 City Identity. We take actions that are consistent with the City being a leading urban center in Southern California while recognizing the diverse character of our existing viable neighborhoods.
 - CD1-3 Neighborhood Improvement. We require viable existing residential and non-residential neighborhoods to be preserved, protected, and enhanced in accordance with our land use policies.

Community Design Element — Design Quality

- Goal CD2: A high level of design quality resulting in public spaces, streetscapes, and developments that are attractive, safe, functional and distinct.
 - CD2-1 Quality Architecture. We encourage all development projects to convey visual interest and character through:
 - Building volume, massing, and height to provide appropriate scale and proportion;
 - A true architectural style which is carried out in plan, section and elevation through all aspects of the building and site design and appropriate for its setting; and
 - Exterior building materials that are visually interesting, high quality, durable, and appropriate for the architectural style.

Community Design Element — Historic Preservation

- Goal CD4: Historic buildings, streets, landscapes and neighborhoods, as well as the story of Ontario's people, businesses, and social and community organizations, that have been preserved and serve as a focal point for civic pride and identity.
 - CD4-2 Collaboration with Property Owners and Developers. We educate and collaborate with property owners and developers to implement strategies and best practices that preserve the character of our historic buildings, streetscapes and unique neighborhoods

ENVIRONMENTAL REVIEW: Staff independently reviewed, evaluated and exercised judgment over the project and the project's environmental impacts and determined that the proposed project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to § 15331 Class 31 Historical Resource Restoration/ Rehabilitation.

RESOLUTION NO.

A RESOLUTION OF THE HISTORIC PRESERVATION COMMISSION OF THE CITY OF ONTARIO, APPROVING FILE NO. PHP17-021, A CERTIFICATE OF APPROPRIATENESS TO ALLOW FOR A FAÇADE AND STOREFRONT REPLACEMENT OF AN EXISTING 28,635 SQUARE FOOT, SINGLE-TENANT, COMMERCIAL BUILDING, A NON-CONTRIBUTOR TO THE EUCLID AVENUE HISTORIC DISTRICT, ON APPROXIMATELY 1.74 ACRES OF LAND LOCATED AT THE NORTHWEST CORNER OF G STREET AND EUCLID AVENUE WITHIN THE MU-1 (DOWNTOWN MIXED USE) AND EA (EUCLID AVENUE OVERLAY) ZONING DISTRICTS, AND MAKING FINDINGS IN SUPPORT THEREOF (APN: 1048-271-19).

WHEREAS, Dillway Associates, (“Applicant”) has filed an application for the approval of a Certificate of Appropriateness, File No. PHP17-021, as described in the title of this Resolution (hereinafter referred to as “Project” or “Application”); and

WHEREAS, the City’s character and history are reflected in its cultural, historical, and architectural heritage with an emphasis on the “Model Colony” as declared by an act of the Congress of the United States and presented at the St. Louis World’s Fair in 1904; and

WHEREAS, the City’s historical foundations should be preserved as living parts of community life and development in order to foster an understanding of the City’s past so that future generations may have a genuine opportunity to appreciate, enjoy, and understand Ontario’s rich heritage; and

WHEREAS, the Community Development and the Aesthetic, Cultural, Open Space and Recreational Resources Elements of the Policy Plan Component of the Ontario Plan sets forth Goals and Policies to conserve Ontario’s historic buildings and districts; and

WHEREAS, Section 4.02.050 (Historic Preservation - Certificates of Appropriateness and Demolition of Historic Resources) of the Ontario Development Code requires approval of a Certificate of Appropriateness for any work to the exterior of any noncontributing resource in a Historic District or on a historic property; and

WHEREAS, the property was designated by the City Council on June 4, 2013 as a Non-Contributor to the Euclid Avenue Historic District; and

WHEREAS, the Application is a project pursuant to the California Environmental Quality Act (Public Resources Code Section 21000 et seq.) (“CEQA”); and

WHEREAS, the Project is exempt from CEQA pursuant to a categorical exemption (listed in CEQA Guidelines Article 19, commencing with Section 15300) and the

application of that categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Historic Preservation Commission the responsibility and authority to review and act on the subject Application; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan ("ALUCP"), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, on September 14, 2017, the Historic Preservation Subcommittee of the City of Ontario conducted a special hearing and issued Decision No. HPSC17-015, recommending the Historic Preservation Commission approve the Application; and

WHEREAS, on September 26, 2017, the Historic Preservation Commission of the City of Ontario conducted a hearing to consider the Project, and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, IT IS HEREBY FOUND, DETERMINED, AND RESOLVED, by the Historic Preservation Commission of the City of Ontario, as follows:

SECTION 1: *Environmental Determination and Findings.* As the decision-making body for the Project, the Historic Preservation Commission has reviewed and considered the information contained in the administrative record for the Project. Based upon the facts and information contained in the administrative record, including all written and oral evidence presented to the Historic Preservation Commission, the Historic Preservation Commission finds as follows:

(1) The administrative record has been completed in compliance with CEQA, the State CEQA Guidelines, and the City of Ontario Local CEQA Guidelines; and

(2) The Project is categorically exempt from environmental review pursuant to Section 15331 (Class 31—Historical Resource Restoration/ Rehabilitation) of the CEQA Guidelines. Class 31 consists of projects limited to maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation or reconstruction of historical resources in a manner consistent with the Secretary of the Interior’s Standards for the Treatment of Historic Properties. The project as proposed is consistent with the Secretary of the Interior’s Standards for the Treatment of Historic Properties; and

(3) The application of the categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

(4) The determination of CEQA exemption reflects the independent judgment of the Historic Preservation Commission.

SECTION 2: *Ontario International Airport Land Use Compatibility Plan (“ALUCP”) Compliance.* The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land use Compatibility Plan (“ALUCP”), establishing the Airport Influence Area for Ontario International Airport (“ONT”), which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the decision making body for the Project, the Historic Preservation Commission has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the Historic Preservation Commission, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

SECTION 3. *Concluding Facts and Reasons.* Based upon the substantial evidence presented to the Historic Preservation Commission during the above-referenced hearing and upon the specific findings set forth in Section 1 above, the Historic Preservation Commission hereby concludes that the new construction, in whole or in part:

(1) Will not detrimentally change, destroy or adversely affect any significant

architectural feature of the resource. While the project site has not been identified as an historic resource, the site has been designated as a Non-Contributor to the Euclid Avenue Historic District. The existing storefront does not contain character-defining features of any specific style, therefore no significant architectural features will be impacted; and

(2) Will not detrimentally change, destroy or adversely affect the historic character or value of the resource. The project does propose any alterations to the existing site layout and circulation. The proposed façade replacement will not result in any alteration to the orientation and the spatial relationship from the building to the Euclid Avenue Historic District, therefore the project will not change, destroy or adversely affect the character or value of the Euclid Avenue Historic District; and

(3) Will be compatible with the exterior character-defining features of the historic resource. Although the project site has not been identified as an historic resource, the site has been designated as a Non-Contributor to the Euclid Avenue Historic District. Through enhanced architectural elements in the contemporary commercial architectural style, the proposed project will be compatible with the exterior features of the Euclid Avenue Historic District; and

(4) Will not adversely affect or detract from the character of the historic district. Through enhanced architectural elements in the contemporary commercial architectural style, the proposed project does not detract from the character of the Euclid Avenue Historic district.

SECTION 4. Historic Preservation Commission Action. Based upon the findings and conclusions set forth in Sections 1 through 4 above, the Historic Preservation Commission hereby APPROVES the herein described Application, subject to each and every condition attached hereto as “Attachment A,” and incorporated herein by this reference.

SECTION 5: Indemnification. The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall incorporate fully in the defense.

SECTION 6: Custodian of Records. The documents and materials that constitute the record of proceedings on which these findings have been raised are located at Ontario City Hall, 303 East B Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario.

SECTION 7: **Certification to Adoption.** The secretary shall certify to the adoption of the Resolution.

The Secretary Pro Tempore for the Historic Preservation Commission of the City of Ontario shall certify as to the adoption of this Resolution.

I hereby certify that the foregoing Resolution was duly and regularly introduced, passed and adopted by the Historic Preservation Commission of the City of Ontario at a regular meeting thereof held on the 26th day of September 2017, and the foregoing is a full, true and correct copy of said Resolution, and has not been amended or repealed.

Richard D. Delman
Historic Preservation Commission
Chairman

ATTEST:

Scott Murphy
Assistant Development Director
Secretary of Historic Preservation
Commission

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STATE OF CALIFORNIA)
COUNTY OF SAN BERNARDINO)
CITY OF ONTARIO)

I, Gwen Berendsen, Secretary Pro Tempore of the Historic Preservation Commission of the City of Ontario, DO HEREBY CERTIFY that foregoing Resolution No. PC17- was duly passed and adopted by the Planning/ Historic Preservation Commission of the City of Ontario at their regular meeting held on September 26, 2017, by the following roll call vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Gwen Berendsen
Secretary Pro Tempore

ATTACHMENT A:
File No. PHP17-021
Conditions of Approval

(Conditions of approval to follow this page)

CONDITIONS OF APPROVAL

1. Time Limits.

1.1. The Certificate of Appropriateness shall become void twenty-four (24) months from the date of approval unless a building permit has been issued and work authorized by this approval has commenced prior to the expiration date and is diligently pursued to completion.

2. Architectural Treatment.

2.1. Tower elements shall be treated with decorative corbels.

2.2. Stucco areas of storefront shall be painted in alternating colors to create depth and movement. Paint colors shall be "Allspice," "Braided Raffia," "Suede Jacket," "Vanilla Love," and "Harmony."

2.3. Each column base shall be covered in "Rustic Gold Slate" tile with staggered joints.

2.4. Exterior awnings shall be decorative metal vee-panel awnings. Fabric awnings shall not be used.

2.5. Exterior light fixtures shall be compatible with the overall contemporary commercial architectural style. Submit a cut sheet to Planning for review and approval prior to issuance of building permit.

3. Signs.

3.1. Sign plans shall be submitted and approved for the site prior to the installation of any signs. Signs shall conform to Division 8.01 (Sign Regulations) of the Ontario Development Code.

4. The applicant shall obtain a building permit prior to any demolition or construction.

5. Any deviation from the approved plans shall require approval of the Planning Department and, if necessary, the Historic Preservation Commission.

6. Conditions of Approval shall be reproduced onto all plans submitted for permits.

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7. Prior to Occupancy the Planning Department shall inspect the premises to ensure the Conditions of Approval have been met and that the project has been constructed per the approved plans.



CITY OF ONTARIO

MEMORANDUM

TO: Chairman and Members of the Planning Commission

FROM: Scott Murphy, AICP, Assistant Development Director 

DATE: September 26, 2017

SUBJECT: **ENVIRONMENTAL ASSESSMENT AND SPECIFIC PLAN REVIEW FOR FILE NO. PSP15-002:** A public hearing to consider certification of the Environmental Impact Report, including the adoption of a Statement of Overriding Considerations and a Mitigation Monitoring Program, for File No. PSP15-002, a Specific Plan (Armstrong Ranch) request to establish land use designations, development standards, and design guidelines for 189.8 acres, which includes the potential development of 891 dwelling units and a 10-acre elementary school site. The project site is bounded by Riverside Drive to the north, Chino Avenue to the south, Cucamonga Creek Channel to the east, and Vineyard Avenue to the west. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP) (APNs:0218-101-01, 0218-101-02, 0218-101-03, 0218-101-04, 0218-101-05, 0218-101-06, 0218-101-07, 0218-101-08, 0218-102-10, 0218-102-11, 0218-111-04, 0218-111-05, 0218-111-06, 0218-111-08, 0218-111-09, 0218-111-11, 0218-111-12, 0218-111-45 0218-111-49 and 0218-111-50); submitted by CVRC Ontario Investments, LLC. City Council action is required.

Staff is recommending that this item be continued to the October 24, 2017, Planning Commission meeting, to allow the applicant additional time to finalize the Specific Plan document.



CITY OF ONTARIO

MEMORANDUM

TO: Chairman and Members of the Planning Commission

FROM: Scott Murphy, AICP, Assistant Development Director *SM*

DATE: September 26, 2017

SUBJECT: ENVIRONMENTAL ASSESSMENT, DEVELOPMENT PLAN AND VARIANCE REVIEW FOR FILE NOS. PDEV17-008, PHP17-014 & PVAR17-003: A Development Plan (File No. PDEV17-008) and a Certificate of Appropriateness (File No. PHP17-014) to allow for construction a 10,487 square foot commercial building on 0.88 acres of land and a Variance (File No. PVAR17-003) request to deviate from the minimum parking street setback, along Euclid Avenue, from 20 to 9 feet, and to reduce the required parking from 42 to 40 spaces, for property located at the northwest corner of Francis Street and Euclid Avenue, within the CN (Neighborhood Commercial) zoning district and EA (Euclid Avenue) Overlay district. Staff has determined that the project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15305 (Class 5-Minor Alterations of Land Use Limitations) and 15332 (Class 32, In-Fill Development Projects) of the CEQA guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the ONT Airport Land Use Compatibility Plan (ALUCP). (APNs: 1050-281-01, 1050-281-02 and 1050-281-03); **submitted by Clarkson Properties, LP.**

Staff is recommending that this item be continued indefinitely to allow the applicant additional time to finalize agreement on the conditions of approval.



CITY OF ONTARIO

MEMORANDUM

TO: Chairman and Members of the Planning Commission

FROM: Scott Murphy, Assistant Development Director *SM*

DATE: September 26, 2017

SUBJECT: MONTHLY PLANNING DEPARTMENT ACTIVITY REPORT; MONTH OF AUGUST 2017

Attached, you will find the Planning Department Monthly Activity Report for the month of August 2017. The report describes all new applications received by the Planning Department and actions taken on applications during the month. Please contact me if you have any questions regarding this information.

The attached reports, along with reports from past months, may also be viewed on the City's web site. New applications may be viewed at <http://www.ontarioca.gov/planning/reports/monthly-activity-reports-applications>, and actions taken on applications may be viewed at <http://www.ontarioca.gov/planning/reports/monthly-activity-reports-actions>.

Monthly Activity Report—New Applications

Month of August 2017

PCUP17-016:

Submitted by Pepe's Towing Company

A Conditional Use Permit to establish and operate a towing service on 2.0 acres of land located at 810 East Main Street, within the IG (General Industrial) zoning district (APNs: 1049-111-05 and 1049-111-06).

PCUP17-017:

Submitted by National Holistic Institute

A Conditional Use Permit to establish a 3,534-square foot massage therapy vocational trade school on 15.3 acres of land located at 2930 East Inland Empire Boulevard, within the Garden Commercial land use district of the Transpark Specific Plan (APN: 0210-191-15).

PCUP17-018:

Submitted by Rita Garcia

A Conditional Use Permit to establish a 23,490-square foot mechanical insulation vocational training facility on 3.02 acres of land located at 3833 East Ebony Street, within the IL (Light Industrial) zoning district. (APNs: 0210-212-29, 0210-212-30 and 0210-212-31).

PDA-17-004:

Submitted by Prologis, LP

A Development Agreement between the City of Ontario and Prologis, LP, to establish the terms and conditions for the development of a Tentative Parcel Map, located at the southeast corner of Merrill Avenue and Carpenter Avenue, within Planning Area 1 of the Colony Commerce Center West Specific Plan (APNs: 0218-292-05 and 0218-311-11).

PDEV17-037:

Submitted by Romi Patel

A Development Plan to remodel an existing fueling station with convenience store, including the construction of [1] a new 990-square foot automated car wash, [2] a 290-square foot addition to an existing 2,803-square foot convenience store, [3] a new 324-square foot office, and [4] a new 3,348-square foot canopy over the existing fueling pumps, for a total of 7,755 square feet on 0.90 acres of land located at 2156 South Grove Avenue, within the Commercial land use district of the Grove Avenue Specific Plan (APNs: 1050-491-08).

PDEV17-038:

Submitted by PDC OC/IE LLC

A Development Plan to construct an industrial building totaling 98,860 square feet on 4.79 acres of land located at 1383 South Cucamonga Avenue, within the IG (General Industrial) zoning district (APN: 1049-411-01).

PDEV17-039:

Submitted by UPS

A Development Plan to construct a 5.77-acre employee parking lot for UPS, on 6.89 acres of land located at northwest corner of Haven Avenue and Francis Street, within the Business Park land use district of the ACCO Airport Center Specific Plan (APN: 0211-263-32).

PDEV17-040:

Submitted by UPS

A Development Plan to construct a 2.8-acre truck-trailer parking lot for UPS, on 3.95 acres of land located on a triangular-shaped area bordered by Metro Way on the south, Excise Avenue on the east, and Francis Street on the northwest, within the Business Park land use district of the ACCO Airport Specific Plan (APNs: 0211-263-38, 0211-263-39 and 0211-263-40).

PDEV17-041:

Submitted by Verizon

A Development Plan to construct a Small Cell installation, to include the removal and replacement of an existing street light pole within the public right-of-way, located on the west side of Milliken Avenue, immediately south of Inland Empire Boulevard, within the Garden Commercial land use district of the Ontario Center Specific Plan.

PDEV17-042:

Submitted by Verizon

A Development Plan to construct a wireless Small Cell installation, to include the removal and replacement of an existing street light pole within the public right-of-way, located on east side of Milliken Avenue, immediately south of Fourth Street, within the Urban Commercial land use district of the Ontario Center Specific Plan.

PDEV17-043:

Submitted by Verizon

A Development Plan to construct a wireless Small Cell installation, to include the removal and replacement of an existing street light pole within the public right-of-way, located within the on Inland Empire Boulevard median, west of Ferrari Lane, within the Garden Commercial land use district of the Ontario Center Specific Plan.

PGPA17-001:

Submitted by City of Ontario

A City initiated amendment to The Ontario Plan Policy Plan (General Plan), changing the land use designation on various properties located throughout the City, to coordinate land use designations with the use of properties and their surrounding area, and modify the Future Buildout Table consistent with the proposed land use designation changes (amending Exhibits LU-01 and LU-03). Related File: PZC17-001.

PHP-17-023:

Submitted by Vincent M. Postovoit

A Mills Act Contract for a Contributor to the College Park Historic District, a single-family residence located at 205 East Princeton Street, within the LDR-5 (Low-Density Residential – 2.1 to 5.0 DU/Acre) zoning district (APN: 1047-531-29).

PHP-17-024:

A bronze plaque marker for the Old Post Office/Paul Williams Building, Local Landmark No. 38, located at 125 West Transit Street (APN: 1049-058-01).

Monthly Activity Report—New Applications

Month of August 2017

PHP-17-025:

Submitted by Mark Allen Rivas

A Tier Determination for a single family residence located at 318 East Princeton Street, within the LDR-5 (Low-Density Residential - 2.1 to 5.0 DU/Acre) zoning district (APN: 1047-543-33).

PHP-17-026:

Submitted by City of Ontario-Planning

A Tier Determination for the proposed Lockheed Aircraft Services Historic District, comprised of 10 contributing historic resources located within the Ontario International Airport property boundary, including Hangars (Building Nos. 2, 4 and 6), Building Nos. 5 and 3, Executive Offices (Building No. 10), Cafeteria (Building No. 11), Mail Room (Building No. 12), Administration (Building No. 15), and Warehouse (Building No. 14).

PHP-17-027:

Submitted by City of Ontario- Planning

A Tier Determination of the proposed Terminal One Historic District, comprised of 10 contributing historic resources located within the Ontario International Airport property boundary, including Terminal One, Control Tower and FAA Office Building.

PHP-17-028:

Submitted by City of Ontario- Planning

A Tier Determination of the Air National Guard (ANG) Hangar, an eligible historic resource, located within the Ontario International Airport property boundary.

PHP-17-029:

Submitted by City of Ontario- Planning

A Tier Determination for the proposed General Electric Aircraft Electric Historic District, comprised of 4 contributing historic resources, including Hangar Nos. 7, 3 and 4, and the Storage Hangar, located within the Ontario International Airport property.

PHP-17-030:

Submitted by City of Ontario- Planning

A Tier Determination for Aerojet-General Hangar, an eligible historic resource, located within the boundary of the Ontario International Airport.

PHP-17-031:

Submitted by City of Ontario- Planning

A request to review the evaluation of potential historic resources against the local landmark and/or district designation criteria for inclusion in the Ontario Register for properties located within the Ontario International Airport boundary. (APNs: 0113-261-03, 0113-271-02, 0113-231-05, 0113-231-06, 0113-241-06, 0113-241-07, 0113-231-04, 0113-231-03, 0113-261-06, and 0113-261-18).

PSGN17-081:

Submitted by Y2K Signs

A Sign Plan for the installation of a wall sign for CUP BOWL HOT POT & GRILL, located at 2550 South Archibald Avenue, within the CN (Neighborhood Commercial) zoning district (APN: 1083-011-15).

Monthly Activity Report—New Applications

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PSGN17-082:

Submitted by Nick Chung

A Sign Plan for the installation of a wall sign for CHINA CHILLI EXPRESS, located at 2252 South Euclid Avenue, within the CC (Community Commercial) zoning district (APN: 1051-051-72).

PSGN17-083:

Submitted by Bruce Reyner

A Sign Plan for the installation of additional wall signs (145.6 SF) for DD'S DISCOUNTS, located at 606 West Holt Boulevard, Suite# A, within the MU-1 (Downtown Mixed-Use) zoning district (APN: 1048-591-32).

PSGN17-084:

Submitted by Sunset Signs

A Sign Plan for the installation of a wall sign (38.4 SF) for Y & D RUBBER, located at 1451 South Carlos Avenue, within the IG (General Industrial) zoning district (APN: 0113-395-48).

PSGN17-085:

Submitted by SWAIN SIGN

A Sign Plan application for 4 exterior wall signs for UNDER ARMOUR (per Sign Program No. PSGP10-009), located at 1 East Mills Circle, within the California Commerce Center North Specific Plan (APN: 0238-014-36).

PSGN17-086:

Submitted by Spirit Halloween

A Sign Plan for a temporary promotional banner for SPIRIT HALLOWEEN, located at 4420 East Ontario Mills Parkway, within the California Commerce Center North Specific Plan (APN: 0238-041-29). Sign to be placed from 9/18/2017 to 11/2/2017. Sign located in the Ontario Gateway West Sign Program (PSGP13-006).

PSGN17-087:

Submitted by Certified Sign

A Sign Plan for the installation of 3 wall signs for Verizon, located at 2910 South Archibald Avenue, within the CN (Neighborhood Commercial) zoning district (APN: 1083-061-08).

PSGN17-088:

Submitted by SCSAG Inc

A Sign Plan for the installation of a new nonilluminated wall sign (25 SF) for IDI DISTRIBUTORS, located at 1600 South Chablis Avenue, within the IH (Heavy Industrial) zoning district.

PSGN17-089:

Submitted by Encore Image

A Sign Plan for the installation of two nonilluminated wall signs for MUELLER STREAMLINE, located at 4190 East Santa Ana Avenue, within the Light Industrial land use district of the California Commerce Center Specific Plan.

PSGN17-090:

Submitted by Walton Signage

A Sign Plan for the reface of sign panels on existing freeway pylon signs (TA convenience store, Pizza Hut, Subway, and Taco Bell) and remove existing interior illuminated building-mounted, cabinet band and replace with white-backer and channel-cut lettering for Pizza Hut, Subway, Taco

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Month of August 2017

Bell and convenience store (total signage: 193.11 SF), located at 4265 East Guasti Road, within the GC (General Commercial) zoning district.

PTUP17-038: **Submitted by Firewater Bar**
A Temporary Use Permit for a summer music event hosted by Firewater Bar and Grill, located at 1528 West Holt Boulevard, within the HDR-45 (High Density Residential - 25.1 to 45.0 DU/Acre) and ICC (Interim Community Commercial) Overlay zoning district. Event to be held on 9/16/2017.

PTUP17-039: **Submitted by Quang Thien Buddhist Temple**
A Temporary Use Permit for the Annual VuLan ceremony known as Parent's Day, located at 704 East E Street, within the LDR-5 (Low Density Residential - 2.1 to 5.0 DU/Acre) zoning district. Event to be held on 9/3/2017.

PTUP17-040: **Submitted by Mountain Motorsport**
A Temporary Use Permit for a retail sales event/bike night, including an outdoor gathering of motorcycle riders, DJ and taco stand, located at 1025 North Mountain Avenue, within the GC (General Commercial) zoning district. Event to be held on 8/17/2017, 7:00PM to 10:00PM.

PTUP17-041: **Submitted by Michael Krouse**
A Temporary Use Permit for the Route 66 Cruisin' Reunion, located on Euclid Avenue, between Holt Boulevard and G Street, and the adjacent Civic Center area. Event to be held on 9/15/2017 through 9/17/2017.

PTUP17-042: **Submitted by Gail and Rice**
A Temporary Use Permit for a test ride event hosted by Ford Motor Company, to be conducted at the Ontario Mills Mall Parking Lot, 1 East Mills Circle, within the California Commerce Center North Specific Plan. Event to be held on 10/6/2017 through 10/8/2017.

PTUP17-043: **Submitted by United Steelworkers of America**
A Temporary Use Permit for a labor/community outreach event hosted by United Steelworkers of America and Richardson Peterson Funeral Home, located at 123 West G Street. Event to be held on 9/4/2017, 10:00AM to 3:00PM.

PTUP17-044: **Submitted by Ontario Convention Center**
A Temporary Use Permit for outside concessions, food trucks and alcohol for an E-cigarette convention at the Ontario Convention Center, located at 2000 East Convention Center Way. Event to be held on 8/26/2017 through 8/27/2017.

PVER17-048: **Submitted by Max Martinez**
A Zoning Verification for 4061 East Francis Street, Building 8 (APN: 0211-281-43).

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PVER17-049: **Submitted by Max Martinez**
A Zoning Verification for 5540 East Fourth Street (APN: 0238-021-58).

PVER17-050: **Submitted by Etsuko Takeuchi**
A Zoning Verification for 8535 Edison Avenue (APN: 0216-323-06).

PVER17-051: **Submitted by Stutzman, Bromberg, Esserman and Plifka PC**
A Zoning Verification for 5491 East Francis Street (APN: 0238-132-21).

PVER17-052: **Submitted by Kelly Humphrey**
A Zoning Verification for 4370 Mills Circle (APN: 0238-014-08).

PVER17-053: **Submitted by Heather Dawson**
A Zoning Verification for 1486 through 1496 East Francis Street (APN: 0113-461-36).

PVER17-054: **Submitted by Linc Housing Corporation**
A Zoning Verification for 955 North Palmetto Avenue (APN: 1010-141-08).

PVER17-055: **Submitted by Partner Esi**
A Zoning Verification for 2147 East Convention Center Way (APN: 0110-321-51).

PWIL17-007: **Submitted by San Bernardino County**
A Williamson Act (Land Conservation Act) Contract (No. 72-392) partial nonrenewal on 74.44 acres of land generally located at the southwest corner of Eucalyptus and Bon View Avenues, within the SP (Specific Plan) and AG (Agricultural Overlay) zoning districts (APNs: 1054-051-01, 1054-051-02, 1054-061-01, 1054-061-02, 1054-251-01, 1054-251-02, 1054-301-01, and 1054-301-02).

PZC-17-001: **Submitted by City of Ontario**
A Zone Change on various properties located throughout the City in order to bring the zoning designations consistent with The Ontario Plan Policy Plan (General Plan) land use designations of affected properties. Related File: PGPA17-001.

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CITY COUNCIL MEETING

August 1, 2017

Meeting Cancelled

DEVELOPMENT ADVISORY BOARD MEETING

August 7, 2017

ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE NO. PDEV17-013:

A Development Plan to construct a wired (fiber optic) telecommunication facility consisting of a 420 square-foot building and an equipment enclosure area (no tower) on 0.75 acres of vacant land located at the northwest corner of Grove Avenue and Eighth Street, within the BP (Business Park) zoning district. Staff has determined that the project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, Infill Development Projects) of the CEQA guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (APN: 1047-143-01); **submitted by Anna Lindseth.**

Action: The Development Advisory Board approved the application subject to conditions.

ZONING ADMINISTRATOR MEETING

August 7, 2017

Meeting Cancelled

CITY COUNCIL MEETING

August 15, 2017

No Planning Department Items

DEVELOPMENT ADVISORY BOARD MEETING

August 21, 2017

ENVIRONMENTAL ASSESSMENT, DEVELOPMENT PLAN, AND TENTATIVE PARCEL MAP REVIEW

FOR FILE NOS. PDEV16-002 & PMTT16-001 (PM 19643): A Tentative Parcel Map (File No. PMTT16-001 (PM 19643)) to subdivide 65.60 acres of land into two parcels to facilitate a Development Plan (File No. PDEV16-002) to construct two industrial buildings totaling 1,289,292 square feet, located approximately 1,160 feet south of Merrill Avenue, north of Remington Avenue, east of the Cucamonga Creek Flood Control Channel and west of Carpenter Avenue, within Planning Area 2 of the Colony Commerce Center West Specific Plan. The environmental impacts of this project were analyzed in the EIR prepared for the Colony Commerce Center West Specific Plan (File No. PSP15-001). All adopted mitigation measures of the related EIR shall be a

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condition of project approval and are incorporated herein by reference. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan. (APNs: 218-292-09, 218-292-10, 218-292-12, 218-292-13, 218-292-14); **submitted by Cap Rock-Partners**. Planning Commission action is required.

Action: The Development Advisory Board recommended the Planning Commission approve the applications subject to conditions.

ENVIRONMENTAL ASSESSMENT, DEVELOPMENT PLAN, AND VARIANCE REVIEW FOR FILE NOS.

PDEV17-008 & PVAR17-003: A Development Plan (File No. PDEV17-008) to construct a 10,487 square foot commercial building on 0.88 acres of land and a Variance (File No. PVAR17-003) to deviate from the minimum building arterial street setback, along Euclid Avenue, from 20 to 9 feet, and to reduce the required parking from 42 to 40 spaces, for property located at the northwest corner of Francis Street and Euclid Avenue, within the CN (Neighborhood Commercial) zoning district and EA (Euclid Avenue) Overlay district. Staff has determined that the project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15305 (Class 5-Minor Alterations of Land Use Limitations) and 15332 (Class 32, Infill Development Projects) of the CEQA guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (APNs: 1050-281-01, 1050-281-02 and 1050-281-03); **submitted by Clarkson Properties, LP**. Planning Commission action is required.

Action: Continued.

ENVIRONMENTAL ASSESSMENT, TENTATIVE TRACT MAP, AND DEVELOPMENT PLAN REVIEW

FOR FILE NOS. PMTT17-008 (TT 18984) & PDEV17-026: A Tentative Tract Map (File No. PMTT17-008 (TT 18984)) to subdivide 6.11 acres of land into 55 numbered lots and 2 lettered lots in conjunction with a Development Plan (File No. PDEV17-026) for the construction of 55 single family detached homes, private/common open space areas and recreational amenities, located at 2041 East Fourth Street, within the MDR-11 (Low-Medium Density Residential – 5.1 to 11.0 DU/Acre) zoning district. The environmental impacts of this project were previously reviewed in conjunction with File Nos. PGPA14-002 and PZC14-003, for which Mitigated Negative Declaration was adopted by the Ontario City Council on November 18, 2014. This project introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (APNs: 0110-441-10); **submitted by KB Home Coastal, Inc**. Planning Commission action is required.

Action: The Development Advisory Board recommended the Planning Commission approve the applications subject to conditions.

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ENVIRONMENTAL ASSESSMENT, TENTATIVE PARCEL MAP, AND DEVELOPMENT PLAN REVIEW

FOR FILE NOS. PMTT17-009 (PM 19877) & PDEV17-031: A Tentative Parcel Map (File No. PMTT17-009 (PM 19877)) to subdivide 4.18 acres of land into a single parcel to facilitate the development of a Development Plan (File No. PDEV17-031) to construct a 101-unit apartment project, at a density of approximately 24.1 dwelling units per acre, on property generally bordered by Holt Boulevard on the south, Nocta Street on the north, and Virginia Avenue on the west, within the MU-2 (East Holt Mixed-Use) zoning district. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Sections 15315 (Minor Land Divisions) and 15332 (Class 32, Infill Development Projects) of the CEQA Guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (APNs: 1048-472-11, 1048-472-01, 1048-472-02, 1048-472-03, and 1048-472-04); **submitted by National Community Renaissance of California.** Planning Commission action is required.

Action: The Development Advisory Board recommended the Planning Commission approve the applications subject to conditions.

ZONING ADMINISTRATOR MEETING

August 21, 2017

ENVIRONMENTAL ASSESSMENT AND CONDITIONAL USE PERMIT REVIEW FOR FILE NO.

PCUP17-012: A Conditional Use Permit request to establish and operate a pool chemical manufacturing use within an existing 51,933 square foot industrial building on 3.59 acres of land located at 5160 East Airport Drive, within the IH (Heavy Industrial) zoning district. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Class 1, Existing Facilities) of the CEQA guidelines. The project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (APN: 0238-081-86); **submitted by Mr. Jonathon Viner.**

Action: The Zoning Administrator conducted a public hearing regarding the proposed use. Final action on the application is pending.

PLANNING COMMISSION MEETING

August 22, 2017

ENVIRONMENTAL ASSESSMENT AND SPECIFIC PLAN REVIEW FOR FILE NO. PSP15-001: A public hearing to consider certification of the Environmental Impact Report, including the adoption of a Statement of Overriding Considerations, for File No. PSP15-001 and a Specific Plan (Colony Commerce Center West) request (File No. PSP15-001) to establish land use designations, development standards, design guidelines and infrastructure improvements on 123.17 acres of land, including the potential development of 2,951,146 square feet of industrial development.

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The project site is bordered by Merrill Avenue on the north, Remington Avenue on the south, Carpenter Avenue on the west and the Cucamonga Creek Flood Control Channel on the east. The proposed project is located within the Airport Influence Area of both Ontario International Airport and Chino Airport, and was evaluated and found to be consistent with the policies and criteria of the respective Ontario International Airport and Chino Airport Land Use Compatibility Plans (APNs: 0218-261-24, 0218-292-05, 0218-311-11, 0218-292-12, 0218-292-09, 0218-292-13, 0218-292-10, 0218-292-14); **submitted by Cap Rock-Partners**. Continued from the 7/25/2017 meeting. City Council action is required.

Action: The Planning Commission recommended the City Council certify the Environmental Impact Report and adopt a Statement of Overriding Considerations, and approve the Colony Commerce Center West Specific Plan.

ENVIRONMENTAL ASSESSMENT, DEVELOPMENT PLAN, AND TENTATIVE PARCEL MAP REVIEW

FOR FILE NOS. PDEV16-002 & PMTT16-001 (PM 19643): A Tentative Parcel Map 19643 (File No. PMTT16-001) to subdivide approximately 65.60 acres of land into two parcels to facilitate a Development Plan (File No. PDEV16-002) to construct two industrial buildings totaling 1,289,292 square feet, located approximately 1,160 feet south of Merrill Avenue, north of Remington Avenue, east of the Cucamonga Creek Flood Control Channel and west of Carpenter Avenue, within Planning Area 2 of the Colony Commerce Center West Specific Plan. The environmental impacts of this project were analyzed in the EIR (SCH# 2015061023) prepared for the Colony Commerce Center West Specific Plan (File No. PSP15-001). The proposed project is located within the Airport Influence Area of both Ontario International Airport and Chino Airport, and was evaluated and found to be consistent with the policies and criteria of the respective Ontario International Airport and Chino Airport Land Use Compatibility Plans (APNs: 0218-292-09, 0218-292-10, 0218-292-12, 0218-292-13, 0218-292-14); **submitted by Cap Rock-Partners**.

Action: The Planning Commission approved the applications subject to conditions.

ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT AGREEMENT REVIEW FOR FILE NO.

PDA16-001: A Development Agreement between the City of Ontario and CLDFI Remington, LLC, to establish the terms and conditions for the development of Tentative Parcel Map 19643 (File No. PMTT16-001), located approximately 1,160 feet south of Merrill Avenue, north of Remington Avenue, east of the Cucamonga Creek Flood Control Channel and west of Carpenter Avenue, within Planning Area 2 of the Colony Commerce Center West Specific Plan. The environmental impacts of this project were analyzed in the EIR (SCH# 2015061023) prepared for the Colony Commerce Center West Specific Plan (File No. PSP15-001). The proposed project is located within the Airport Influence Area of both Ontario International Airport and Chino Airport, and was evaluated and found to be consistent with the policies and criteria of the respective Ontario International Airport and Chino Airport Land Use Compatibility Plans (APNs: 0218-292-09, 0218-292-10, 0218-292-12, 0218-292-13, 0218-292-14); **submitted by Cap Rock-Partners**. City Council Action Required.

Action: The Planning Commission recommended the City Council approve the application.

ENVIRONMENTAL ASSESSMENT, TENTATIVE TRACT MAP, AND DEVELOPMENT PLAN REVIEW

FOR FILE NOS. PMTT17-008 & PDEV17-026: A Tentative Tract Map (File No. PMTT17-008; TT 18984) to subdivide 6.11 acres of land into 55 numbered lots and 2 lettered lots in conjunction with a Development Plan (File No. PDEV17-026) for the construction of 55 single family detached homes, private/common open space areas and recreational amenities, located at 2041 East Fourth Street, within the MDR-11 (Low-Medium Density Residential – 5.1 to 11.0 DU/Acre) zoning district. The environmental impacts of this project were previously reviewed in conjunction with File Nos. PGPA14-002 and PZC14-003, for which a Mitigated Negative Declaration was adopted by the Ontario City Council on November 18, 2014. This project introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (APN: 0110-441-10); **submitted by KB Home Coastal, Inc.**

Action: The Planning Commission approved the applications subject to conditions.

ENVIRONMENTAL ASSESSMENT AND PLANNED UNIT DEVELOPMENT REVIEW FOR FILE NO.

PUD17-002: A Planned Unit Development to establish development standards and guidelines to facilitate the development of a 101-unit apartment project at a density of approximately 24.1 dwelling units per acre, on 4.18 acres of land bordered by Holt Boulevard on the south, Nocta Street on the north, and Virginia Avenue on the west, within the MU-2 (East Holt Mixed Use) zoning district.. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, Infill Development Projects) of the CEQA Guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (APNs: 1048-472-11, 1048-472-01, 1048-472-02, 1048-472-03, and 1048-472-04); **submitted by National Community Renaissance of California. City Council action is required.**

Action: The Planning Commission recommended the City Council approve the application.

ENVIRONMENTAL ASSESSMENT, TENTATIVE PARCEL MAP, AND DEVELOPMENT PLAN REVIEW

FOR FILE NOS. PMTT17-009 (PM 19877) & PDEV17-031: A Tentative Parcel Map (File No. PMTT17-009 (PM 19877)) to subdivide 4.18 acres of land into a single parcel to facilitate the development of a Development Plan (File No. PDEV17-031) to construct a 101-unit apartment project, at a density of approximately 24.1 dwelling units per acre, on property generally bordered by Holt Boulevard on the south, Nocta Street on the north, and Virginia Avenue on the west, within the MU-2 (East Holt Mixed Use) zoning district. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Sections 15315 (Minor Land Divisions) and 15332 (Class 32, Infill Development Projects) of the CEQA Guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan; (APNs: 1048-472-11, 1048-472-

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01, 1048-472-02, 1048-472-03, and 1048-472-04) submitted by National Community Renaissance of California.

Action: The Planning Commission approved the applications subject to conditions.
