



## **CITY OF ONTARIO DEVELOPMENT ADVISORY BOARD**

### **AGENDA**

**August 15, 2022**

- ▶ **All documents for public review are on file in the Planning Department located in City Hall at 303 East “B” St., Ontario, CA 91764 and on the city’s website at [ontarioca.gov/Agendas/DAB](http://ontarioca.gov/Agendas/DAB)**

**MEETING WILL BE HELD AT 1:30 PM IN ONTARIO CITY COUNCIL CHAMBERS  
LOCATED AT 303 East “B” St.**

Scott Ochoa, City Manager  
Scott Murphy, Executive Director, Community Development Agency  
Jennifer McLain Hiramoto, Economic Development Director  
James Caro, Building Official  
Rudy Zeledon, Planning Director  
Khoi Do, City Engineer  
Chief Michael Lorenz, Police Department  
Fire Marshal Paul Ehrman, Fire Department  
Scott Burton, Utilities General Manager  
Angela Magana, Community Improvement Manager

### **PUBLIC COMMENTS**

*Citizens wishing to address the Development Advisory Board on any matter that is not on the agenda may do so at this time. Please state your name and address clearly for the record and limit your remarks to five minutes.*

*Please note that while the Development Advisory Board values your comments, the members cannot respond nor take action until such time as the matter may appear on the forthcoming agenda.*

### **AGENDA ITEMS**

*For each of the items listed below the public will be provided an opportunity to speak. After a staff report is provided, the chairperson will open the public hearing. At that time the applicant will be allowed five (5) minutes to make a presentation on the case. Members of the public will then be allowed five (5) minutes each to speak. The Development Advisory Board may ask the speakers questions relative to the case and the testimony provided. The question period will not count against your time limit. After all persons have spoken, the applicant will be allowed three minutes to summarize or rebut any public testimony. The chairperson will then close the public hearing portion of the hearing and deliberate the matter.*

## **CONSENT CALENDAR ITEMS**

### **A. MINUTES APPROVAL**

Development Advisory Board Minutes of July 18, 2022, approved as written.

## **PUBLIC HEARING ITEMS**

- B. ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE NO. PDEV22-020**: A hearing to consider a Development Plan to construct a 28,000-square-foot addition and extensive exterior remodel to an existing commercial building on 19.23 acres of land located at 4105 East Inland Empire Boulevard, within the Garden Commercial land use district land use district of The Ontario Center Specific Plan. The environmental impacts of this project were previously reviewed in conjunction with The Ontario Center Environmental Impact Report - No. 88-2 (State Clearinghouse No. 1989041009), certified by the City Council on March 19, 1991. This application introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan; (APN: 0210-205-12) **submitted by Steve La Bruna, Rightt Structures, Inc.**

#### **1. CEQA Determination**

No action necessary – use of previous EIR

#### **2. File No. PDEV22-020 (Development Plan)**

Motion to Approve / Deny

- C. ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE NO. PDEV22-001**: A hearing to consider a Development Plan to construct a 1,003,918-square-foot industrial building on 54.28 acres of land generally located at the northwest corner of Hamner Avenue and Ontario Ranch Road, within Planning Area 7A (Light Industrial and Open Space-Non recreation) of the Rich Haven Specific Plan. The environmental impacts of this project were previously analyzed in an Addendum to The Ontario Plan Environmental Impact Report (State Clearinghouse No. 2008101140), which was approved for use by the City Council on May 18, 2021, in conjunction with File Nos. PGPA19-005 and PSPA19-006. This application introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan; (APN: 0218-211-31) **submitted by DP1F3 CA 36 Ontario Ranch, LLC C/O Dermody Properties.**

#### **1. CEQA Determination**

No action necessary – use of a previous Addendum to an EIR

2. **File No. PDEV22-001** (Development Plan)

Motion to Approve / Deny

**D. ENVIRONMENTAL ASSESSMENT, TENTATIVE TRACT MAP AND DEVELOPMENT PLAN REVIEW FOR FILE NOS. PMTT21-020 AND PDEV22-032:**

A hearing to consider a Tentative Tract Map (TT 20524) for condominium purposes, subdividing 6.43 acres of land into 4 numbered lots and 4 lettered lots for residential uses, private drives, parking, landscape edges and common open space purposes, in conjunction with a Development Plan to construct 108 multiple-family residential units located at the northeast corner of Mill Creek Avenue and Chino Avenue, within PA-8 (garden court/rowtown) of the Edenglen Specific Plan. The environmental impacts of this project were previously reviewed in conjunction with the Edenglen Specific Plan (File No. PSP03-005), for which an Environmental Impact Report (State Clearinghouse No. 2004051108) was certified by the City Council on November 1, 2005. This application introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan; (APNs: 0218-921-19 and 0218-921-22) **submitted by Brookcal Ontario, LLC. Planning Commission action is required.**

1. **CEQA Determination**

No action necessary – use of previous EIR

2. **File No. PMTT21-020** (Tentative Tract Map)

Motion to recommend Approval/Denial

3. **File No PDEV22-032** (Development Plan)

Motion to recommend Approval/Denial

**E. ENVIRONMENTAL ASSESSMENT, VARIANCE, AND DEVELOPMENT PLAN REVIEW FOR FILE NOS. PVAR19-004 AND PDEV19-028:**

A hearing to consider a Variance (File No. PVAR19-004) request to deviate from the maximum Development Code standard for percentage of tandem parking spaces, from 12 percent to 46 percent, to facilitate a Development Plan (File No. PDEV19-028) to construct five multiple-family residential units on 0.28 acres of land, located at 1063 East Elma Street. The environmental impacts of this project were previously reviewed in conjunction with File No. PGPA20-002, a General Plan update for which an Environmental Impact Report (State Clearinghouse No. 2021070364) is scheduled for review and certification by the City Council on August 16, 2022. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan; (APNs: 1048-461-17 and 1048-491-23) **submitted by Maria G. Oseguera. Planning Commission action is required**

1. **CEQA Determination**

No action necessary – use of previous EIR

2. **File No. PVAR19-004** (Variance)

Motion to recommend Approval/Denial

3. **File No PDEV19-028** (Development Plan)

Motion to recommend Approval/Denial

- F. **ENVIRONMENTAL ASSESSMENT, VARIANCE AND DEVELOPMENT PLAN REVIEW FOR FILE NOS. PVAR21-005 AND PDEV21-028**: A hearing to consider a Variance (File No. PVAR21-005) to reduce the building setback along an arterial street from 20 feet to 2.67 feet, in conjunction with a Development Plan (File No. PDEV21-028) to construct one industrial building totaling 32,165 square feet on 1.3 acres of land located at 1108 and 1120 East California Street, within the IL (Light Industrial) zoning district. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Sections 15305 (Class 5, Minor Alteration in Land Use Limitations) and 15332 (Class 32, In-Fill Development Projects) of the CEQA Guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan; (APNs: 1049-382-01 and 1049-382-02) **submitted by Phelan Development Company. Planning Commission action is required.**

1. **CEQA Determination**

No action necessary – Exempt: CEQA Guidelines Section § 15305 and 15332

2. **File No. PVAR21-005** (Variance)

Motion to recommend Approval/Denial

3. **File No PDEV21-028** (Development Plan)

Motion to recommend Approval/Denial

- G. **ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE NO. PDEV22-004**: A hearing to consider a Development Plan to construct a stealth wireless telecommunications facility consisting of a 65-foot-tall monopine antenna and ancillary ground-mounted equipment on 1.75 acres of land located at 1259 East D Street (Veteran’s Memorial Park), within the OS-R (Open Space – Recreation) zoning district. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, In-Fill Development Projects) of the CEQA Guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan. (APN: 0110-013-04) **submitted by Coastal Business Group. Planning Commission action is required.**

1. **CEQA Determination**

No action necessary – Exempt: CEQA Guidelines Section § 15305 and 15332

2. **File No. PDEV22-004** (Development Plan)

Motion to recommend Approval/Denial

- H. **ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE NO. PDEV21-039**: A hearing to consider a Development Plan to construct 113 single-family homes on 22.42 acres of land generally located at the southeast corner of Mill Creek Avenue and Old Edison Road, within PA-2 (RD-4 / SFD Cottages and RD-6 / 6 Pack Courtyard) of the Esperanza Specific Plan. The environmental impacts of this project were previously reviewed in

conjunction with File No. PSP05-002, an Environmental Impact Report for which the Esperanza Specific Plan (State Clearinghouse No. 2002061047) was approved by the City Council on January 16, 2007. This application introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan; (APNs: 0218-252-08 and 0218-252-38) **submitted by KB Home Coastal, Inc. Planning Commission action is required.**

1. **CEQA Determination**

No action necessary – use of previous EIR

2. **File No. PDEV21-039** (Development Plan)

Motion to recommend Approval/Denial

- I. **ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE NO. PDEV21-042**: A hearing to consider a Development Plan to construct 174 multiple-family residential units on 15.11 acres of land generally located at the southeast corner of Mill Creek Avenue and Old Edison Road, within PA-1 (RD-7/Row Townhomes and RD-8/Motorcourt Townhomes) of the Esperanza Specific Plan. The environmental impacts of this project were previously reviewed in conjunction with File No. PSP05-002, an Environmental Impact Report for which the Esperanza Specific Plan (State Clearinghouse No. 2002061047) was approved by the City Council on January 16, 2007. This application introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan; (APNs: 0218-252-08 and 0218-252-38) **submitted by submitted by KB Home Coastal, Inc. Planning Commission action is required.**

1. **CEQA Determination**

No action necessary – use of previous EIR

2. **File No. PDEV21-042** (Development Plan)

Motion to recommend Approval/Denial

- J. **ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE NO. PDEV21-043**: A hearing to consider a Development Plan to construct 145 multiple-family motorcourt townhomes on 13.86 acres of land generally located at the southeast corner of Mill Creek Avenue and Old Edison Road, within PA-1 (RD-7/Row Townhomes and RD-8/Motorcourt Townhomes) of the Esperanza Specific Plan. The environmental impacts of this project were previously reviewed in conjunction with File No. PSP05-002, an Environmental Impact Report for which the Esperanza Specific Plan (State Clearinghouse No. 2002061047) was approved by the City Council on January 16, 2007. This application introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan; (APNs: 0218-252-08 and 0218-252-38) **submitted by submitted by KB Home Coastal, Inc. Planning Commission action is required.**

1. **CEQA Determination**

No action necessary – use of previous EIR

2. **File No. PDEV21-043** (Development Plan)

Motion to recommend Approval/Denial

If you wish to appeal a decision of the **Development Advisory Board**, you must do so within ten (10) days of the **Development Advisory Board** action. Please contact the **Planning Department** for information regarding the appeal process.

If you challenge any action of the **Development Advisory Board** in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the **Development Advisory Board** at, or prior to, the public hearing.

The next **Development Advisory Board** meets on **September 7, 2022**.

I, Gwen Berendsen, Administrative Assistant of the City of Ontario, or my designee, hereby certify that a true, accurate copy of the foregoing agenda was posted on or before **August 12, 2022**, at least 72 hours prior to the meeting per Government Code Section 54954.2 at 303 East "B" Street, Ontario.



Administrative Assistant

**CITY OF ONTARIO**

**Development Advisory Board**

**Minutes**

**July 18, 2022**

**ROLL CALL**

**BOARD MEMBERS PRESENT**

Rudy Zeledon, Chairman, Planning Department  
Anthony Vega, Community Improvement  
Khoi Do, Engineering Department  
James Caro, Building Department  
Paul Ehrman, Fire Department  
Christy Stevens, Municipal Utilities Company

**BOARD MEMBERS ABSENT**

Tony Galban, Police Department  
Charity Hernandez, Economic Development Agency  
Gwen Berendsen, Recording Secretary

**STAFF MEMBERS PRESENT**

Jeanie Aguilo, Planning Department  
Alexis Vaughn, Planning Department  
Chuck Mercier, Planning Department  
Elly Antuna, Planning Department  
Angela Truong, Engineering Department  
David Zurita, Engineering Department

**PUBLIC COMMENTS**

No person from the public wished to speak.

**CONSENT CALENDAR ITEMS**

- A. **APPROVAL OF MINUTES:** Motion to approve the minutes of the July 6, 2022 meeting of the Development Advisory Board was made by Mr. Ehrman; seconded by Ms. Stevens; and approved unanimously by those present (6-0).

**PUBLIC HEARING ITEMS**

- B. **ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE NO. PDEV19-047:** A hearing to consider a Development Plan to construct 10 detached single-family dwellings on 10 vacant parcels totaling approximately 1.83 acres of land generally located at the northwest corner of Olive Street and Orange Avenue, within the LDR-5 (Low Density

Residential – 2.1 to 5.0 du/ac) zoning district. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, In-fill Development Projects) of the CEQA Guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP); (APNs: 0108-481-18, 0108-481-19, 0108-481-20, 0108-481-21, 0108-481-22, 0108-481-23, 0108-481-24, 0108-481-25, 0108-481-26, and 0108-481-27) **submitted by Texton Construction Co., Inc. Planning Commission action is required.**

Mr. Zeledon opened the public hearing.

Mr. Sean Yuan, representing Texton Construction, was present and spoke in favor of the project.

Mr. Zeledon asked if he had reviewed all the Conditions of Approval.

Mr. Yuan stated he had reviewed and accepted the Conditions of Approval.

No one else wished to speak on the project and Mr. Zeledon closed the public hearing.

Motion to recommend approval of **File No. PDEV19-047**, subject to conditions, to the Planning Commission was made by Mr. Vega; seconded by Mr. Caro; and approved unanimously by those present (6-0).

**C. ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE NO. PDEV21-020:** A hearing to consider a Development Plan to construct a 45,000-square-foot industrial building on 2.02 acres of land, located at 1044 and 1050 East Holt Boulevard, within the IP (Industrial Park) zoning district. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, In-Fill Development Projects) of the CEQA Guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan; (APNs: 1049-131-15 and 1049-131-016) **submitted by HK Ventures, Inc. Planning Commission action is required.**

Mr. Zeledon opened the public hearing.

Mr. Henry Houg, the applicant for the project, was present.

Mr. Zeledon asked if he had reviewed all the Conditions of Approval.

Mr. Hung stated he had reviewed and accepted the Conditions of Approval.

No one else wished to speak on the project and Mr. Zeledon closed the public hearing.

Motion to recommend approval of **File No. PDEV21-020**, subject to conditions, to the Planning Commission was made by Ms. Stevens; seconded by Mr. Ehrman and approved unanimously by those present (6-0).

**D. ENVIRONMENTAL ASSESSMENT, DEVELOPMENT PLAN AND VARIANCE REVIEW FOR FILE NOS. PDEV21-033 AND PVAR21-006:** A public hearing to consider a Development Plan (File No. PDEV21-033) to construct one 2,800 square-foot drive-thru restaurant



and 500 square-foot outdoor patio, in conjunction with a Variance (File No. PVAR21-006) request to reduce the front drive aisle setback along an arterial street from 20 feet to 13 feet, on 0.42 acres of land located at 1610 East Fourth Street. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, In-Fill Development Projects) and Section 15305 (Class 5, Minor Alterations in Land Use Limitations) of the CEQA Guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan; (APNs: 0110-181-11 and 0110-181-19) **submitted by Hannibal Petrossi. Planning Commission action is required.**

Mr. Zeledon opened the public hearing.

Mr. Hannibal Petrossi, the applicant for the project, was present.

Mr. Zeledon asked if he had reviewed all the Conditions of Approval.

Mr. Hung stated he had reviewed and accepted the Conditions of Approval and thanked the City staff for their help in getting the project through to DAB.

No one else wished to speak on the project and Mr. Zeledon closed the public hearing.

Motion to recommend approval of **File Nos. PDEV21-033 and PVAR21-006**, subject to conditions, to the Planning Commission was made by Mr. Vega; seconded by Ms. Stevens and approved unanimously by those present (6-0).

There being no further business, the meeting was adjourned to the next meeting on August 1, 2022.

Respectfully submitted,



Rudy Zeledon  
Planning Director



# Development Advisory Board Decision

August 15, 2022

**DECISION NO.:** DAB22-[insert #]

**FILE NO.:** PDEV22-020

**DESCRIPTION:** A Development Plan to construct a 28,000-square-foot addition to an existing and extensive exterior remodel to an existing 476,318-square-foot retail commercial building (Mathis Furniture) on 19.23 acres of land located at 4105 East Inland Empire Boulevard, within the Garden Commercial land use district of the Ontario Center Specific Plan (APN: 0210-205-12); **submitted by Steve La Bruna, Rightt Structures, Inc.**

## Part I—BACKGROUND & ANALYSIS

STEVE LA BRUNA, RIGHTT STRUCTURES, INC., (herein after referred to as “Applicant”) has filed an application requesting Development Plan approval, File No. PDEV22-020, as described in the subject of this Decision (herein after referred to as "Application" or "Project").

(1) **Project Setting:** The Project site is comprised of 19.23 acres of land located at 4105 East Inland Empire Boulevard, which is currently developed with a 476,318-square-foot retail commercial building with associated off-street parking facilities comprising 700+ passenger car spaces and fully enclosed truck loading facilities. The subject site is depicted in Exhibit A—Project Location Map, attached. Existing land uses, General Plan and zoning designations, and specific plan land uses on and surrounding the Project site are as follows:

	<i>Existing Land Use</i>	<i>General Plan Designation</i>	<i>Zoning Designation</i>	<i>Specific Plan Land Use</i>
<i>Site</i>	Retail Store	Mixed Use	The Ontario Center Specific Plan	Garden Commercial
<i>North</i>	Toyota Arena	Mixed Use	The Ontario Center Specific Plan	Urban Commercial
<i>South</i>	Automobile Sales (Carmax)	Mixed Use	The Ontario Center Specific Plan	Garden Commercial
<i>East</i>	Retail & Offices	Mixed Use	The Ontario Center Specific Plan	Garden Commercial
<i>West</i>	Park	Mixed Use	The Ontario Center Specific Plan	Open Space

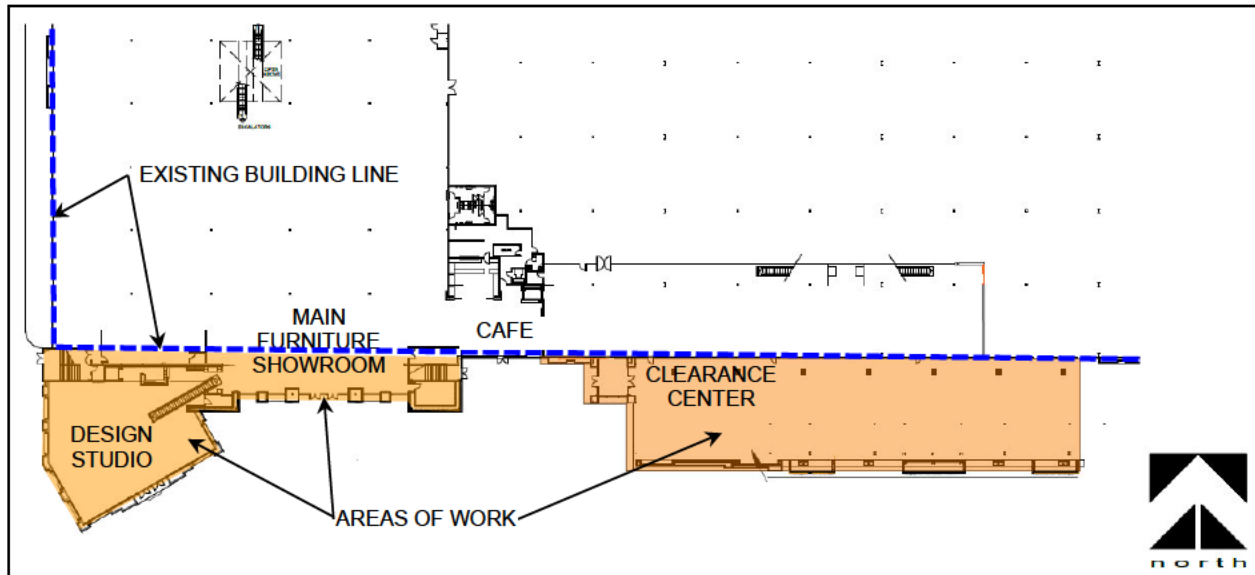
(2) **Project Description:**

(a) **Background** — In February 2006, the Development Advisory Board approved the construction of an approximate 426,400-square foot retail furniture store on the project site. The building was subsequently completed in September 2007.

On June 5, 2017, the Development Advisory Board approved a 49,912-square-foot expansion at the northeasterly corner of the existing retail furniture store, increasing the area and capacity of the store’s warehouse facilities. Expansion construction was completed in 2019.

The Applicant is now requesting Development Advisory Board approval to construct an approximate 28,000-square-foot addition to the existing 476,318-square-foot retail commercial building (Mathis Furniture Store), for a total building area of 504,318 square feet, having a floor area ratio (FAR) of 0.60.

(b) Site Design/Building Layout — The overall site layout will remain substantially unchanged. Proposed, is the two-story addition of a new Design Studio and the remodel of the Main Showroom's exterior façade located at the southwesterly corner of the existing building. Also proposed, is a second-story addition that will extend over the existing customer pickup area located on the south side of the building, at the approximate center of the overall building façade, that will accommodate a Clearance Center (see Figure 1: Areas of Work, below). The remainder of the existing building, consisting of the customer service center, business offices, and furniture warehouse area, will remain untouched.



**Figure 1: Areas of Proposed Work**

In addition to the proposed building improvements, the Applicant is proposing improvements to the off-street parking and pedestrian areas immediately in front of the building, including the addition of well defined pedestrian pathways from the parking lot, enhanced paving within drive aisles and pedestrian walkways, added planter islands within the parking lot and along drive aisles, and enhanced landscape areas adjacent to the building.

(c) Site Access/Circulation — The Project site has a total of six existing points of vehicular access, as follows:

- One signalized primary access from Inland Empire Boulevard;
- Two secondary passenger vehicle accesses from Inland Empire Boulevard, which are limited to right-in and right-out movements only, due to the existing landscaped center median in Inland Empire Boulevard;
- One truck access from Ferrari Lane; and
- Two secondary passenger vehicle accesses from Concours Street, which are limited to right-in and right-out movements only, due to the existing landscaped center median in Concours Street.

(d) Parking — The Project has provided off-street parking pursuant to the "Furniture and Home Furnishings Stores" and "Warehousing and Distribution" parking standards specified in the Development Code. The number of off-street parking spaces provided exceeds the minimum parking

requirement for the Project. The off-street parking calculations for the Project are provided in the Table 1 (Off-Street Parking Summary), below:

**Table 1: Off-Street Parking Summary**

Type of Use	Building Area	Parking Ratio	Spaces Required	Spaces Provided
<b>Existing Building:</b>				
▪ Furniture and Home Furnishings Store	225,297	2.5 spaces for each 1,000 SF of GFA	563	676
▪ Warehouse Area	251,021	One space for each 1,000 SF of GFA for the first 20,000 SF; plus, 0.5 space for each 1,000 SF thereafter	90	90
SUBTOTAL	476,318		653	696
<b>Proposed Building Addition:</b>				
▪ Furniture and Home Furnishings Store Expansion	28,000	2.5 spaces for each 1,000 SF of GFA	70	70
<b>TOTAL</b>	<b>504,318</b>		<b>723</b>	<b>766</b>

(e) **Architecture** — The proposed building expansion and exterior remodel incorporates natural Travertine stone, Alucobond aluminum composite wall panels in gold and bronze finishes, smooth stucco, and extensive glazing with clear anodized aluminum mullions, and an LED feature wall (see Exhibit D—Exterior Elevations, attached). The mechanical equipment will be roof-mounted and obscured from public view by perforated Alucobond aluminum composite equipment screens, consistent with the building architecture.

The proposed project illustrates the type of high-quality architecture promoted by the Development Code. This is exemplified through the use of: (i) significant articulation in the building footprint; (ii) articulation in the building parapet/roof line; (iii) a mix of exterior materials, finishes and fixtures; (iv) incorporation of base and top treatments, materials, and recessed wall areas; and (v) the building changes are designed to be compatible with the existing architectural detailing.

(f) **Landscaping** — The project provides landscaping along the street frontages, the perimeter of the site, and throughout the parking lot. The Development Code requires that the Project provide a minimum 10 percent landscape coverage and 15 percent has been provided. Moreover, a combination of 24-, 36-, and 48-inch box accent and shade trees will be provided throughout the project site, in addition to a variety of shrubs and groundcovers that are low water usage and drought tolerant. The proposed on-site and off-site landscape improvements will assist towards creating a walkable, safe area for pedestrians (see Exhibit F—Landscape Plan, attached).

(g) **Signage** — All project signage is required to comply with sign regulations provided in The Ontario Center Specific Plan and Ontario Development Code Division 8.1. Prior to the issuance of a Building Permit for the installation of any new on-site signage, the Applicant is required to submit a Sign Program for Planning Director review and approval.

(h) **Utilities (drainage, sewer)** — Public utilities (water and sewer) are available to serve the Project. Furthermore, the Applicant has submitted a Preliminary Water Quality Management Plan (“PWQMP”), which establishes the Project’s compliance with storm water discharge/water quality requirements. The PWQMP includes site design measures that capture runoff and pollutant transport by minimizing impervious surfaces and maximizes low impact development (“LID”) best management practices (“BMPs”), such as retention and infiltration, biotreatment, and evapotranspiration. The PWQMP

proposes the use of on-site infiltration swales within landscaped areas. Any overflow drainage will be conveyed to the public street by way of parkway drains and culverts.

### **Part II—RECITALS**

WHEREAS, the Application is a project pursuant to the California Environmental Quality Act (Public Resources Code Section 21000 et seq.) ("CEQA") and an initial study has been prepared to determine possible environmental impacts; and

WHEREAS, the environmental impacts of this project were evaluated in conjunction with The Ontario Center Environmental Impact Report – EIR No. 88-2 (State Clearinghouse No. 1989041009), certified by the City Council on March 19, 1991; and

WHEREAS, the City's "Local Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board (hereinafter referred to as "DAB") the responsibility and authority to review and act on the subject Application; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan ("ALUCP"), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, on August 15, 2022, the DAB of the City of Ontario conducted a hearing on the Application and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.

### **Part III—THE DECISION**

NOW, THEREFORE, IT IS HEREBY FOUND AND DETERMINED by the Development Advisory Board of the City of Ontario, as follows:

**SECTION 1: *Environmental Determination and Findings.*** As the decision-making body for the Project, the DAB has reviewed and considered the information contained in the previous Certified EIR and supporting documentation. Based upon the facts and information contained in the previous Certified EIR and supporting documentation, the DAB finds as follows:

(1) The environmental impacts of this Project were previously analyzed in conjunction with The Ontario Center Environmental Impact Report – EIR No. 88-2 (State Clearinghouse No. 1989041009), certified by the City Council on March 19, 1991; and

(2) The previous Certified EIR contains a complete and accurate reporting of the environmental impacts associated with the Project; and

(3) The previous Certified EIR was completed in compliance with CEQA and the Guidelines promulgated thereunder, and the City of Ontario Local CEQA Guidelines; and

(4) The previous Certified EIR reflects the independent judgment of the Planning Commission; and

(5) The proposed Project will introduce no new significant environmental impacts beyond those previously analyzed in the previous Certified EIR, and all mitigation measures previously adopted with the Certified EIR, are incorporated herein by this reference.

**SECTION 2: *Subsequent or Supplemental Environmental Review Not Required.*** Based on the information presented to the DAB, and the specific findings set forth in Section 1, above, the DAB finds that the preparation of a subsequent or supplemental Certified EIR is not required for the Project, as the Project:

(1) Does not constitute substantial changes to the Certified EIR that will require major revisions to the Certified EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and

(2) Does not constitute substantial changes with respect to the circumstances under which the Certified EIR was prepared, that will require major revisions to the Certified EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of the previously identified significant effects; and

(3) Does not contain new information of substantial importance that was not known and could not have been known with the exercise of reasonable diligence at the time the Certified EIR was certified/adopted, that shows any of the following:

(a) The Project will have one or more significant effects not discussed in the Certified EIR; or

(b) Significant effects previously examined will be substantially more severe than shown in the Certified EIR; or

(c) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the Project, but the City declined to adopt such measures; or

(d) Mitigation measures or alternatives considerably different from those analyzed in the Certified EIR would substantially reduce one or more significant effects on the environment, but which the City declined to adopt.

**SECTION 3: Housing Element Compliance.** Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the decision-making body for the Project, the DAB finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the Project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan, as the Project site is not one of the properties in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix.

**SECTION 4: ALUCP Compliance.** The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land use Compatibility Plan, establishing the Airport Influence Area for Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the decision-making body for the Project, the DAB has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the DAB, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

**SECTION 5: Concluding Facts and Reasons.** Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the facts and information set forth in Parts I (Background and Analysis) and II (Recitals), above, and the determinations set forth in Sections 1 through 4, above, the DAB hereby concludes as follows:

(1) ***The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.*** The proposed Project is located within the Mixed Use (20 – 125 du/ac, 2.0 FAR for office, and 1.0 FAR for retail) land use district of the Policy Plan Land Use Map, and the Garden Commercial land use district of The Ontario Center Specific Plan. The development standards and conditions under which the proposed Project will be constructed and maintained, is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan; and

(2) ***The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located.*** The Project has been designed consistent with the requirements of the City of Ontario Development Code and the Garden Commercial land use district of The Ontario Center Specific Plan, including standards relative to the particular land use proposed (retail commercial), as-well-as building intensity, building and parking setbacks, building height, number of off-street parking and loading spaces, on-site and off-site landscaping, and fences, walls and obstructions; and

(3) ***The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed project.*** The Development Advisory Board has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the Garden Commercial land use district of The Ontario Center Specific Plan are maintained; [ii] the Project will not endanger the public health, safety

or general welfare; [iii] the project will not result in any significant environmental impacts; [iv] the project will be in harmony with the area in which it is located; and [v] the Project will be in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan, and The Ontario Center Specific Plan; and

(4) **The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.** The proposed Project has been reviewed for consistency with the general development standards and guidelines of The Ontario Center Specific Plan that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of off-street parking and loading spaces, parking lot dimensions, design and landscaping, bicycle parking, on-site landscaping, and fences and walls, as-well-as those development standards and guidelines specifically related to the particular land use being proposed (retail commercial). As a result of this review, the Development Advisory Board has determined that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the development standards and guidelines described in The Ontario Center Specific Plan.

**SECTION 6: Development Advisory Board Action.** Based on the findings and conclusions set forth in Sections 1 through 5, above, the DAB hereby APPROVES the Application subject to each and every condition set forth in the Department reports included as Attachment A of this Decision and incorporated herein by this reference.

**SECTION 7: Indemnification.** The Applicant shall agree to defend, indemnify, and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Ontario shall promptly notify the Applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**SECTION 8: Custodian of Records.** The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

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APPROVED AND ADOPTED this 15th day of August 2022.

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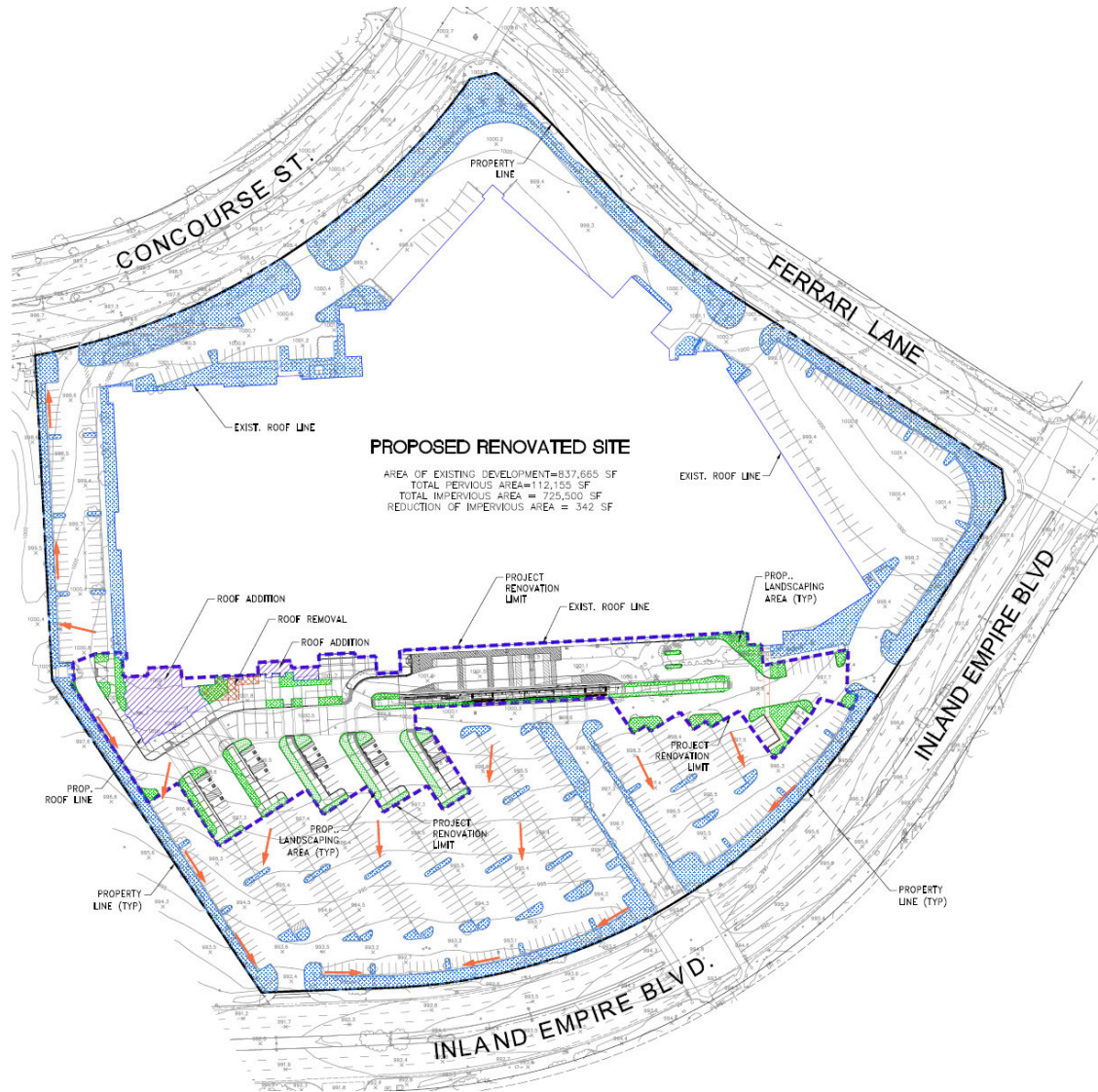
Development Advisory Board Chairman



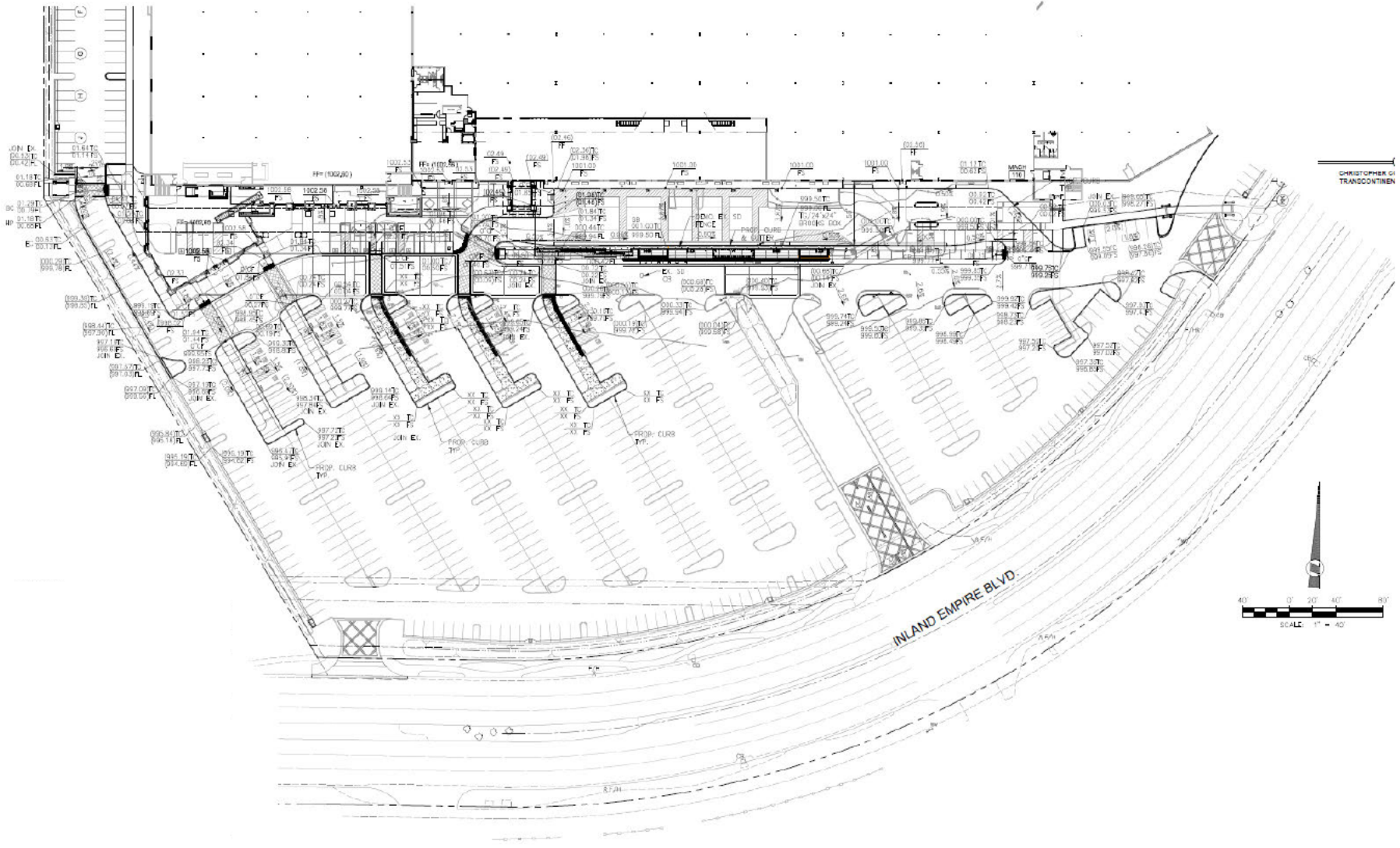
**Exhibit A—PROJECT LOCATION MAP**



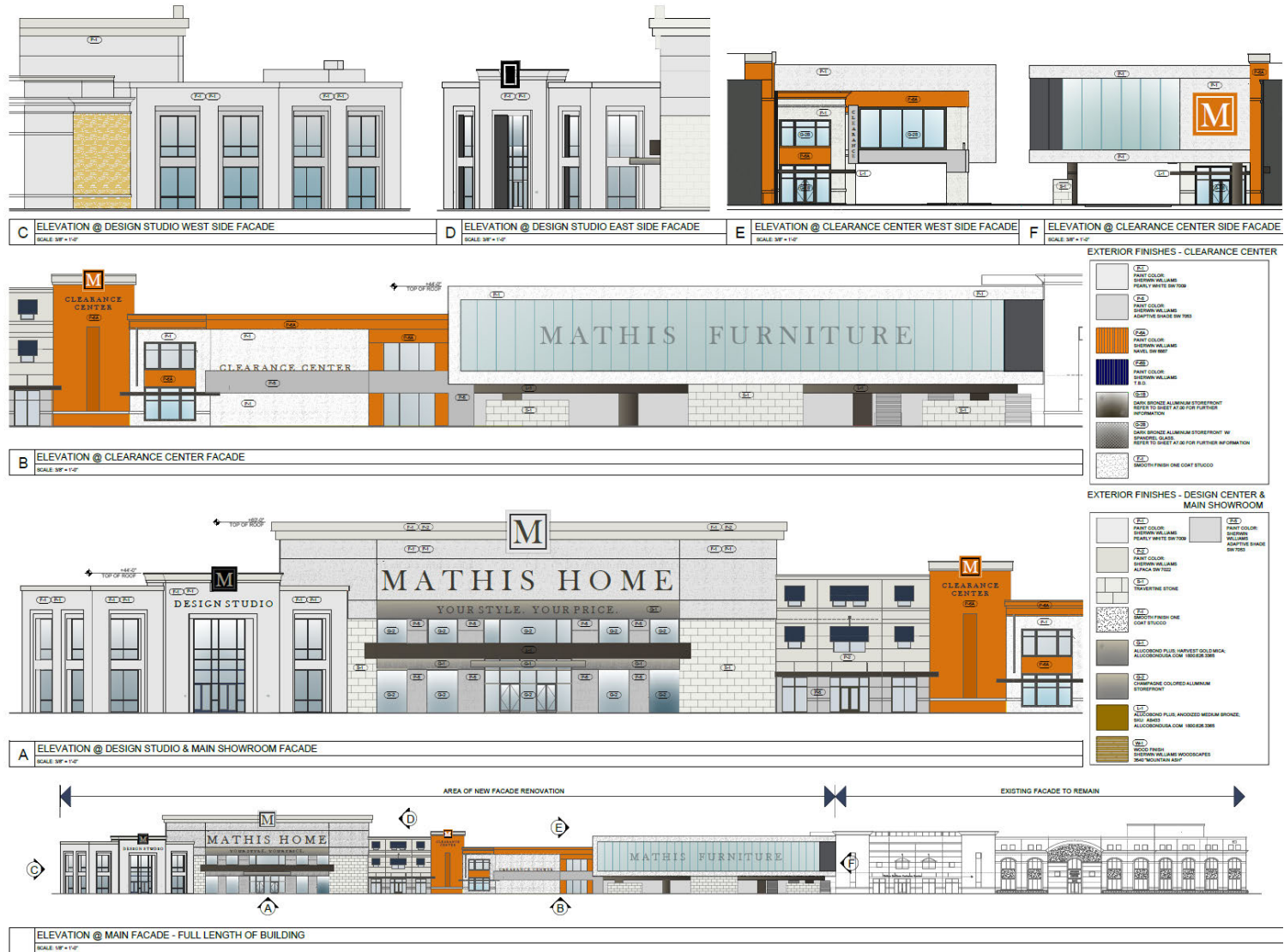
**Exhibit B—SITE PLAN**



**Exhibit C—AREA OF WORK**



**Exhibit D—EXTERIOR ELEVATIONS**



**Exhibit E—PERSPECTIVE DRAWINGS**



ELEVATION @ MAIN FACADE RENOVATION



ELEVATION @ MAIN FACADE RENOVATION



ELEVATION @ MATHIS MAIN SHOWROOM ENTRY

Exhibit F—LANDSCAPE PLAN



## **Attachment A—Departmental Conditions of Approval**

*(Departmental conditions of approval follow this page)*



## LAND DEVELOPMENT DIVISION CONDITIONS OF APPROVAL

303 East B Street, Ontario, California 91764 Phone: 909.395.2036 / Fax: 909.395.2420

**Date:** 8/15/2022  
**File No:** PDEV22-020  
**Related Files:** N/A

**Project Description:** A Development Plan to construct a 28,000-square-foot addition to an existing and extensive exterior remodel to an existing 476,318-square-foot retail commercial building (Mathis Furniture) on 19.23 acres of land located at 4105 East Inland Empire Boulevard, within the Garden Commercial land use district land use district of the Ontario Center Specific Plan (APN: 0210-205-12); **submitted by Steve La Bruna, Right Structures, Inc.**

**Prepared By:** Charles Mercier - Principal Planner  
Phone: 909.395.2425 (direct)  
Email: cmercier@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

**1.0 Standard Conditions of Approval.** The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

**2.0 Special Conditions of Approval.** In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

**2.1 Time Limits.** Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

**2.2 General Requirements.** The Project shall comply with the following general requirements:

**(a)** All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility, and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.



**(b)** The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

**(c)** The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

### **2.3** Landscaping.

**(a)** The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

**(b)** Comply with the conditions of approval of the Planning Department; Landscape Planning Division.

**(c)** Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

**(d)** Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

**2.4** Walls and Fences. All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

### **2.5** Parking, Circulation and Access.

**(a)** The Project shall comply with the applicable off-street parking, loading and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

**(b)** All drive approaches shall be provided with an enhanced pavement treatment. The enhanced paving shall extend from the back of the approach apron, into the site, to the first intersecting drive aisle or parking space.

**(c)** Areas provided to meet the City's parking requirements, including off-street parking and loading spaces, access drives, and maneuvering areas, shall not be used for the outdoor storage of materials and equipment, nor shall it be used for any other purpose than parking.

**(d)** The required number of off-street parking spaces and/or loading spaces shall be provided at the time of site and/or building occupancy. All parking and loading spaces shall be maintained in good condition for the duration of the building or use.

**(e)** Parking spaces specifically designated and conveniently located for use by the physically disabled shall be provided pursuant to current accessibility regulations contained in State law (CCR Title 24, Part 2, Chapters 2B71, and CVC Section 22507.8).

**(f)** Bicycle parking facilities, including bicycle racks, lockers, and other secure facilities, shall be provided in conjunction with development projects pursuant to current regulations contained in CALGreen (CAC Title 24, Part 11).

## **2.6** Site Lighting.

**(a)** All off-street parking facilities shall be provided with nighttime security lighting pursuant to Ontario Municipal Code Section 4-11.08 (Special Residential Building Provisions) and Section 4-11.09 (Special Commercial/Industrial Building Provisions), designed to confine emitted light to the parking areas. Parking facilities shall be lighted from sunset until sunrise, daily, and shall be operated by a photocell switch.

**(b)** Unless intended as part of a master lighting program, no operation, activity, or lighting fixture shall create illumination on any adjacent property.

## **2.7** Mechanical and Rooftop Equipment.

**(a)** All exterior roof-mounted mechanical, heating and air conditioning equipment, and all appurtenances thereto, shall be completely screened from public view by parapet walls or roof screens that are architecturally treated so as to be consistent with the building architecture.

**(b)** All ground-mounted utility equipment and structures, such as tanks, transformers, HVAC equipment, and backflow prevention devices, shall be located out of view from a public street, or adequately screened through the use of landscaping and/or decorative low garden walls.

**2.8** Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

## **2.9** Signs.

**(a)** All Project signage shall comply with the requirements of Ontario Development Code Division 8.1 (Sign Regulations) and The Ontario Center Specific Plan.

**2.10** Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noised levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

**2.11** Environmental Review. The environmental impacts of this Project were previously analyzed in conjunction with File No. 2069-GPA, a General Plan Amendment for which the Ontario International Centre Environmental Impact Report – EIR No. 80-3 (State Clearinghouse No. ) was previously certified by the City Council on December 16, 1980, and in conjunction with File No. 4059-SPA, a Specific Plan Amendment for which the Ontario Center Environmental Impact Report – EIR No. 88-2 (State Clearinghouse No. 1989041009) certified by the City Council on March 19, 1991. This application introduces no new significant environmental impacts. The City's "Guidelines

for the Implementation of the California Environmental Quality Act ("CEQA")" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed. The previously adopted mitigation measures shall be a condition of project approval and are incorporated herein by this reference.

**(a)** If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

**(b)** If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

**2.12** Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**2.13** Additional Fees.

**(a)** Within 5 days following final application approval, the Notice of Determination ("NOD") filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act ("CEQA"). failure to provide said fee within the time specified will result in the extension of the statute of limitations for the filing of a CEQA lawsuit from 30 days to 180 days.

**(b)** After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

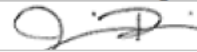
**2.14** Additional Conditions.

**(a)** Prior to the issuance of a Building Permit for the installation of any new on-site signage, the Applicant Shall submit a Sign Program for Planning Director review and approval.

**CITY OF ONTARIO**  
**LANDSCAPE PLANNING DIVISION**  
 303 East "B" Street, Ontario, CA 91764

**CONDITIONS OF APPROVAL**

Sign Off



07/18/2022

Jamie Richardson, Sr. Landscape Planner

Date

Reviewer's Name:

**Jamie Richardson, Sr. Landscape Planner**

Phone:

**(909) 395-2615**

D.A.B. File No.:  
 PDEV22-020

Case Planner:  
 Charles Mercier

Project Name and Location:

Mathis Brothers  
 4105 E Inland Empire

Applicant/Representative:

HPA, Inc. (949) 862-2107 [msizemore@panattoni.com](mailto:msizemore@panattoni.com)  
 18831 Bardeen Avenue, Suite 100  
 Irvine, CA 92612



**Preliminary Plans (dated June 2022) meet the Standard Conditions for New Development and have been approved considering that the following conditions below be met upon submittal of the landscape construction documents.**



**Preliminary Plans (dated) have not been approved. Corrections noted below are required before Preliminary Landscape Plan approval.**

**A RESPONSE SHEET IS REQUIRED WITH RESUBMITTAL OR PLANS WILL BE RETURNED AS INCOMPLETE.**

Landscape construction plans with plan check number may be emailed to:  
[landscapeplancheck@ontarioca.gov](mailto:landscapeplancheck@ontarioca.gov)

Civil/ Site Plans

1. Dimension, show and call out for step-outs at parking spaces adjacent to planters; a 12" wide monolithic concrete curb, DG paving or pavers with edging.

Landscape Plans

2. Provide an arborist report and tree inventory as noted in #1.
3. Provide broad canopy shade trees such as *Koelreuteria paniculata* (match) in parking lot island fingers. *Lagerstroemia* and Palms are OK at entry as accents.
4. During plan check, coordinate with Ontario Municipal Utilities Company (OMUC) to submit irrigation plans for recycled water systems to [omucwaterquality@ontarioca.gov](mailto:omucwaterquality@ontarioca.gov). OMUC shall review and approve irrigation systems utilizing recycled water before final landscape approval. Submit an electronic approval letter or memo from OMUC with the resubmittal of the landscape package.
5. Note on landscape plans: for compaction to be no greater than 85% at landscape areas. All finished grades at 1 1/2" below finished surfaces. Slopes to be maximum 3:1.
6. Dimension all planters to have a minimum 5' wide inside dimension with 6" curbs and 12" wide curbs where parking spaces are adjacent to planters.
7. Call out the type of proposed irrigation system (dripline and pop-up stream spray tree bubblers with PCS). Include preliminary MAWA calcs. Proposed water use must meet the water budget.
8. Show landscape hydrozones on plan or legend with plants per WUCOLS. Moderate water plants may be used for part shade north and east-facing locations, low water plants everywhere else.
9. Overhead spray systems shall be designed for plant material less than the height of the spray head. Subsurface dripline shall be used in planter spaces 10' wide and less.
10. Replace invasive, high water use, short-lived, high maintenance, or poor performing plants: *Carpenteria californica* (poor performer, is easily overwatered), *Lavandula stoechas* (short-lived, OK in limited accent areas), *Mulhlenberfia dubia* (use in limited accent areas, difficult to

maintain in masses).

11. Show 8' diameter of mulch only at new trees—detail irrigation dripline outside of mulched root zone.
12. Designer or developer to provide agronomical soil testing and include a report on landscape construction plans.
13. Landscape construction plans shall meet the requirements of the Landscape Development Guidelines. See <http://www.ontarioca.gov/landscape-planning/standards>
14. After a project's entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council. Landscape construction plans with building permit number for plan check may be emailed to: [landscapeplancheck@ontarioca.gov](mailto:landscapeplancheck@ontarioca.gov)

# AIRPORT LAND USE COMPATIBILITY PLANNING

## CONSISTENCY DETERMINATION REPORT



Project File No.: PDEV22-020  
 Address: 4105 East Inland Empire Blvd.  
 APN: 210-205-12  
 Existing Land Use: Commercial Building (Mathis Brothers)  
 Proposed Land Use: Development Plan to construct a 28,000-square-foot addition to a commercial building (Mathis Brothers)  
 Site Acreage: 19.23 Proposed Structure Height: 60 FT  
 ONT-IAC Project Review: n/a  
 Airport Influence Area: ONT

Reviewed By: Lorena Mejia  
 Contact Info: 909-395-2276  
 Project Planner: Chuck Mercier  
 Date: 8/10/2022  
 CD No.: 2022-032  
 PALU No.: n/a

### The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input type="checkbox"/> High Terrain Zone	<input type="checkbox"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input checked="" type="checkbox"/> FAA Notification Surfaces	<input type="checkbox"/> Recorded Overflight Notification
<input type="radio"/> Zone 2	<input type="checkbox"/> 65 - 70 dB CNEL	<input checked="" type="checkbox"/> Airspace Obstruction Surfaces	<input checked="" type="checkbox"/> Real Estate Transaction Disclosure
<input type="checkbox"/> Zone 3	<input type="checkbox"/> 60 - 65 dB CNEL	<input type="checkbox"/> Airspace Avigation Easement Area	
<input type="radio"/> Zone 4		Allowable Height: <u>95-105 FT</u>	
<input type="radio"/> Zone 5			

### The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1   
  Zone 2   
  Zone 3   
  Zone 4   
  Zone 5   
  Zone 6

Allowable Height: \_\_\_\_\_

## CONSISTENCY DETERMINATION

This proposed Project is:  Exempt from the ALUCP   
 Consistent   
 Consistent with Conditions   
 Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

Airport Planner Signature: \_\_\_\_\_



# CITY OF ONTARIO MEMORANDUM

## ENGINEERING DEPARTMENT CONDITIONS OF APPROVAL

(Engineering Services Division [Land Development Section and Environmental Section], Traffic & Transportation Division, Ontario Municipal Utilities Company and Broadband Operations Conditions incorporated)

**PROJECT ENGINEER:** Antonio Alejos, Assistant Engineer *AA*. (909) 395-2384

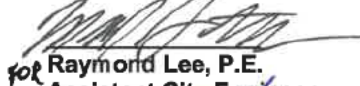
**PROJECT PLANNER:** Chuck Mercier, Principal Planner (909) 395-2425

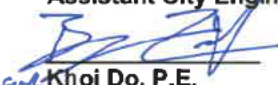
**DAB MEETING DATE:** August 15<sup>th</sup>, 2022

**PROJECT NAME/DESCRIPTION:** PDEV22-020, a Development Plan to construct a 28,000-square-foot addition and extensive exterior remodel to an existing commercial building on 19.23 acres of land.

**LOCATION:** 4105 East Inland Empire Boulevard

**APPLICANT:** Mathis Brothers Inc.

**REVIEWED BY:**   
for Raymond Lee, P.E.  
Assistant City Engineer 8/4/22  
Date

**APPROVED BY:**   
for Khoi Do, P.E.  
City Engineer 8/5/22  
Date

THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE GENERAL STANDARD CONDITIONS OF APPROVAL ADOPTED BY THE CITY COUNCIL (RESOLUTION NO. 2017-027) AND THE PROJECT SPECIFIC CONDITIONS OF APPROVAL SPECIFIED IN HEREIN. ONLY APPLICABLE CONDITIONS OF APPROVAL ARE LISTED BELOW. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL APPLICABLE CONDITIONS OF APPROVAL PRIOR TO ISSUANCE OF PERMITS AND/OR OCCUPANCY CLEARANCE, AS SPECIFIED IN THIS REPORT. SEE ATTACHED EXHIBIT 'A' FOR PLAN CHECK SUBMITTAL REQUIREMENTS.

1. The applicant/developer shall provide an updated Engineering Report (ER) for recycled water to the City of Ontario for review/approval. Please contact Cynthia Heredia – Torres via email: [ctorres@ontarioca.gov](mailto:ctorres@ontarioca.gov) or by phone: (909) 395-2647.

**EXHIBIT 'A'**

**ENGINEERING DEPARTMENT  
First Plan Check Submittal Checklist**

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**Project Number: PDEV22-020**

**The following items are required to be included with the first plan check submittal:**

1.  **A copy of this check list**
2.  Payment of fee for Plan Checking
3.  One (1) copy of Engineering Cost Estimate (on City form) with engineer's wet signature and stamp
4.  **One (1) copy of project Conditions of Approval**
5.  Include a PDF (electronic submittal) of each required improvement plan at every submittal
6.  Two (2) sets of Domestic and Recycled Water demand calculations (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)
7.  Three (3) sets of Public Street improvement plan with street cross-sections
8.  Three (3) sets of Public Street Light improvement plan
9.  Three (3) sets of Signing and Striping improvement plan
10.  Two (2) sets of the Site plan with proposed public street and utility improvements
11.  Two (2) sets of Delta Revision Plans to Record Street, Street Light, and/or Signing & Striping Drawings which reflect the proposed public street improvements
12.  Two (2) sets of Delta Revision Plans to Record Domestic Water, Recycled Water, and/or Sewer Drawings which reflect the installation of the proposed service laterals, and/or abandonment of unused existing service laterals
13.  Three (3) sets of Wet Utility plans within public right-of-way (at a minimum the plans must show existing and ultimate right-of-way, curb and gutter, proposed utility location including centerline dimensions, wall to wall clearances between proposed utility and adjacent public line, street work repaired per Standard Drawing No. 1306. Include Auto CAD electronic submittal)
14.  Two (2) sets of Dry Utility plans within public right-of-way (at a minimum the plans must show existing and ultimate right-of-way, curb and gutter, proposed utility location including centerline dimensions, wall to wall clearances between proposed utility and adjacent public line, street work repaired per Standard Drawing No. 1306. Include AutoCAD electronic submittal)
15.  Two (2) copies of Water Quality Management Plan (WQMP), including one (1) copy of the approved Preliminary WQMP (PWQMP)
16.  One (1) copy of Hydrology/Drainage study
17.  One (1) copy of Soils/Geology report
18.  **Other: Engineering Report (ER) for Recycled Water**





# CITY OF ONTARIO

## MEMORANDUM

**TO:** Charles Mercier, Principal Planner  
Planning Department

**FROM:** Paul Ehrman, Sr. Deputy Fire Chief/Fire Marshal  
Fire Department

**DATE:** May 10, 2022

**SUBJECT:** PDEV22-020 - A Development Plan to construct a 28,000-square-foot addition to an existing commercial building on 17.01 acres of land located at 4105 East Inland Empire Boulevard, within the Garden Commercial land use district land use district of the Ontario Center Specific Plan (APNs: 0210-205-12).

- 
- The plan **DOES** meet Fire Department requirements at this time.
- Notes: Any changes, alterations or modifications to either the sprinkler or alarm system shall require a separate plan submittal to the Fire Department. Placing the sprinkler or fire alarm system out of service for any reason is prohibited unless prior approval from the Fire Department is obtained.



# Development Advisory Board Decision

August 15, 2022

**DECISION NO.:** [insert #]

**FILE NO.:** PDEV22-001

**DESCRIPTION:** A Development Plan to construct a 1,003,918-square-foot industrial building on 54.28 acres of land generally located at the northwest corner of Hamner Avenue and Ontario Ranch Road, within Planning Area 7A (Light Industrial and Open Space-Non recreation) of the Rich Haven Specific Plan; (APN: 0218-211-31) **submitted by DP1F3 CA 36 Ontario Ranch, LLC C/O Dermody Properties.**

## Part I—BACKGROUND & ANALYSIS

DP1F3 CA 36 ONTARIO RANCH, LLC C/O DERMODY PROPERTIES, (herein after referred to as “Applicant”) has filed an application requesting Development Plan approval, File No. PDEV22-001, as described in the subject of this Decision (herein after referred to as "Application" or "Project").

(1) **Project Setting:** The Project site is comprised of 54.28 acres of land generally located at the northwest corner of Hamner Avenue and Ontario Ranch Road and is depicted in Exhibit A—Project Location Map, attached. Existing land uses, Policy Plan (general plan) and zoning designations, and specific plan land uses on and surrounding the Project site are as follows:

	<i>Existing Land Use</i>	<i>Policy Plan Designation</i>	<i>Zoning Designation</i>	<i>Specific Plan Land Use</i>
<i>Site</i>	Vacant Land and SCE Easement	Industrial (0.55 FAR) and Open Space – Non-Recreation	Rich-Haven Specific Plan	Planning Area 7A (Light Industrial and Open Space-Non recreation)
<i>North</i>	SCE Mira Loma Substation	Business Park (0.60 FAR)	Specific Plan/Agricultural Overlay Zoning District	N/A
<i>South</i>	Vacant Land	Mixed Use (9 – NMC East)	Rich-Haven Specific Plan	Planning Area 7B (Regional Commercial)
<i>East</i>	Vacant Land	Mixed Use (9 – NMC East)	Rich-Haven Specific Plan	Planning Area 6B (Stand Alone Residential Overlay and Open Space-Non recreation)
<i>West</i>	Industrial Development City of Eastvale	Light Industrial	I-P (Industrial Park)	N/A

(2) **Project Description:**

(a) **Background** — On December 4, 2007, the City Council adopted Ordinance No. 2884 approving the Rich-Haven Specific Plan (File No. PSP05-004) and certified the related Environmental Impact Report (State Clearinghouse No. 2006051081) The Specific Plan established the land use designations, development standards, and design guidelines for approximately 512 acres of land, which included the potential development of 4,256 residential units and 889,200 square feet of commercial/office land uses.

On February 20, 2018, the City Council approved an Amendment to the Rich-Haven Specific Plan (File No. PSPA16-005) for the annexation of 72.3 acres of land located at the southeast corner of Haven Avenue and Ontario Ranch Road, into the Mixed-Use district of the Rich-Haven Specific Plan. The amendment included updates to the development standards, exhibits, and text changes to reflect the proposed annexation and overall compliance with the Policy Plan component of The Ontario Plan (“Policy Plan”).

On May 18, 2021, the City Council approved a General Plan Amendment (File No. PGPA19-005), an Amendment to the Rich-Haven Specific Plan (File No. PSPA19-006), and an Addendum to The Ontario Plan (File No. PGPA06-001) Environmental Impact Report (State Clearinghouse No. 2008101140). The General Plan and Specific Plan amendments included several land use changes, including the rearrangement of residential land uses and densities, the reduction of commercial land use acreage, and the addition of approximately 49 acres of industrial land within Planning Area 7A (Light Industrial). The amendment included updates to the development standards, exhibits, and text changes to reflect the proposed land use changes and overall compliance with the General Plan Amendment. The amendments allowed Planning Area 7A to have a maximum build-out of 1,183,525 square feet, with a maximum floor area ratio (“FAR”) of 0.55.

On June 1, 2021, the City Council adopted Ordinance No. 3184, approving a Development Agreement (File No. PDA20-002) between the City of Ontario and Rich Haven Marketplace LLC. The Development agreement established the terms and conditions for the development of Planning Areas 7A and 7B within the Rich-Haven Specific Plan.

On January 4, 2022, the applicant submitted the subject Development Plan to construct a 1,003,918-square-foot industrial building on 54.28 acres of land generally located at the northwest corner of Hamner Avenue and Ontario Ranch Road, within Planning Area 7A of the Rich Haven Specific Plan.

(b) Site Design/Building Layout — Proposed, is the construction of a 1,003,918-square-foot industrial building, with a FAR of 0.43. The rectangular-shaped cross-dock warehouse building is centrally located on the site, with the front of the building and two primary office entries located at the northeast and southeast corners of the building, and oriented to the east, toward Hamner Avenue. A third office entry is located on the southwest corner of the building, oriented to the west, toward Mill Creek Avenue. The building is setback approximately 137 feet from the north property line, approximately 118 feet from the south property line, approximately 225 feet from the east property line (Hamner Avenue), and approximately 517 feet from the west property line. The primary off-street parking area is located on the east side of the building, serving employees and visitors. A secondary smaller parking area is located at the southwest corner of the site, adjacent to the west facing office, and will serve employees and visitors (see Exhibit B—Site Plan, attached).

The Project site provides three outdoor storage yard areas located to the north, south, and west of the proposed building. All three yard areas will be screened from view of public streets by 14-foot-high tilt-up screen walls with view-obstructing gates. All three tractor-trailer yard areas will provide adequate space for parking, truck maneuvering, loading activities, and outdoor staging.

The Applicant is proposing two site plan options. Option A proposes a reduction in the number of passenger vehicle spaces in anticipation of a reduced number of employees based upon a lack of need. Option B proposes the full number of required passenger vehicle parking spaces which are provided by reconfiguring the tractor-trailer/storage yard area located along the southern portion of the site, to accommodate additional passenger vehicle parking and reduce the number of tractor-trailer parking spaces. Option A provides 121 trailer parking spaces adjacent to the south property line (see Exhibit B—Site Plan (Option A), attached), while Option B provides 347 standard passenger vehicle parking stalls adjacent to the south property line (see Exhibit B—Site Plan (Option B), attached). Off-street parking requirements are analyzed in greater detail in subsection (d) of this report.

The western portion of the Project site is constrained by two SCE Easements. The primary SCE easement is 355 feet wide, runs diagonally in a southwest to northeast direction and contains one (115kV) transmission tower that is over 180 feet tall located near the southwest corner of the site. The 355-foot-wide easement will be utilized for tractor trailer parking. The second SCE easement is 75 feet wide and runs in a north-south direction adjacent to the west property line that must maintain a 16-foot-wide access road that has been provided on the proposed site plan. Additionally, there is a third SCE Easement located along the northern property line that is 25 feet wide and contains 15 (66 kV) utility poles and power lines that will remain in place.

(c) **Site Access/Circulation** — The Project site will have one access point from Mill Creek Avenue and three access points from Hamner Avenue. Access from Hamner Avenue includes a 50-foot-wide driveway for passenger vehicles and trucks located approximately 400 feet north of the Hamner/Ontario Ranch Road intersection, a centrally located 26-foot-wide driveway for passenger vehicles only, and a 50-foot-wide driveway for passenger vehicles and trucks located approximately 980 feet north of the Hamner/Ontario Ranch Road intersection that will be signalized. Access from Mill Creek Avenue is via a 40-foot-wide driveway located at the southwest corner of the Project site.

Internal circulation is provided by a 36-foot wide north-south drive aisle adjacent to the eastern portion of the building, connecting the two 50-foot driveways located along Hamner Avenue and the north and south tractor-trailer yard areas. A 40-foot-wide drive aisle running diagonally northeast-southwest is proposed along the western portion of the building, connecting to the west (SCE Easement), north, and south tractor-trailer yard areas and driveway access from Mill Creek Avenue. The internal drive-aisles all exceed the minimum 24-foot-wide fire emergency access lane requirement, providing adequate maneuvering and access for emergency vehicles throughout the Project site.

(d) **Parking** — The Rich Haven Specific Plan refers to the Ontario Development Code for off-street parking requirements. The Project has provided off-street parking pursuant to the “Warehouse and Distribution” parking standards specified in the Development Code. The Project requires a total of 512 passenger vehicle parking spaces and 49 trailer parking spaces. As the discussed in subsection (b), above, the Applicant is proposing two options for parking to allow greater flexibility for future building tenants that may require a greater or lesser parking demand. Both site plan options reconfigure the tractor-trailer/storage yard area located along the southern portion of the site to accommodate trailer parking or standard passenger vehicle parking. Option A provides a scenario with a lesser parking demand and has a deficit of 97 parking spaces. Option B provides a scenario with a greater parking demand and has a surplus of 250 parking spaces. Both options are shown in the Parking Summary, below.

<b>Parking Option</b>	<b>Type of Use</b>	<b>Building Area</b>	<b>Trailer Parking</b>		<b>Vehicle Spaces</b>	
			<b>Required</b>	<b>Provided</b>	<b>Required</b>	<b>Provided</b>
<b>A</b>	Warehouse/ Distribution Office	973,918 SF 30,000 SF	49	373	512	415 (- 97 deficit)
<b>B</b>	Warehouse/ Distribution Office	973,918 SF 30,000 SF	49	248	512	762 (+250 surplus)

(e) **Architecture** — The Project incorporates a Contemporary Architectural style. The proposed building will be of concrete tilt-up construction with enhanced elements and treatments located at office entries and along street facing elevations (see Exhibit C—Elevations, attached). Architectural elements include smooth-painted concrete in white and grey tones, a fluted patterned formliner, horizontal and vertical reveals, windows with clear anodized aluminum mullions with blue reflective glazing, canopies

at the main office entries, and recessed panel sections with contrasting colors. The mechanical equipment will be roof-mounted and obscured from public view by the parapet walls. Staff believes that the proposed Project illustrates the type of high-quality architecture promoted by the Development Code and Rich Haven Specific Plan. This is exemplified through the use of:

- Articulation in the building footprint, incorporating a combination of recessed and popped-out wall areas; and
- Articulation in the building parapet/roof line, which serves to accentuate the building's entries and breaks up large expanses of building wall; and
- Variations in building massing.

(f) Landscaping — The Rich Haven Specific Plan requires a minimum 10 percent landscape coverage within Planning Area 7A. As proposed, the Project landscape coverage is 10.1 percent, meeting the minimum requirement. The Project provides substantial landscaping along Hamner Avenue and Mill Creek Avenue, at each office element, throughout the parking areas, and along the southern property line (see Exhibit D—Landscape Plan, attached). The Project also includes a landscape easement between the Project site and the property to the south to maintain and construct a 10-foot-wide landscape planter located along the southern property line, adjacent and south of the proposed 14-foot-high screen wall.

The landscape plan incorporates 48 and 24-inch box shade trees in the right-of-way, including Coast Live Oaks along Hamner Avenue and Weeping Bottle Brush and Water Gum along Mill Creek Avenue. A combination of 48-inch, 36-inch, 24-inch box, and 15-gallon accent and shade trees will be provided on the Project site, the tree species include Yew Pine, California Sycamore, London Plane, Chinese Pistache, Afghan Pine, Canary Island Pine, Olive, Chinese Flame Tree, Toyon, Italian Cypress, Western Redbud and Diamond Leaf Pittosporum. The landscape plan also includes a variety of shrubs, grasses, and groundcovers that are low water usage and drought tolerant, to be planted throughout the Project site. Moreover, three employee break areas, with benches, tables, and shade structures will be provided.

The Project is responsible for the construction of right-of-way improvements (street widening, street median, curb, gutter, sidewalk, and parkway) along Hamner Avenue and the construction of Mill Creek Avenue in compliance with the approved Development Agreement (File No. PDA20-002) between the City of Ontario and Rich Haven Marketplace LLC. The proposed on-site and off-site landscape improvements will assist towards creating a walkable safe area for pedestrians to access the Project site.

(g) Utilities (drainage, sewer) — To serve the proposed industrial development, the Project will be required to construct infrastructure improvements per the Development Agreement (File No. PDA20-002) and requirements of the Rich Haven Specific Plan. Furthermore, the Applicant has submitted a Preliminary Water Quality Management Plan ("PWQMP"), which establishes the Project's compliance with storm water discharge/water quality requirements. The PWQMP includes site design measures that capture runoff and pollutant transport by minimizing impervious surfaces and maximizes low impact development ("LID") best management practices ("BMPs"), such as retention and infiltration, biotreatment, and evapotranspiration. The PWQMP proposes the use of underground storm water retention chambers to receive, retain, and treat storm water runoff located within the north and south tractor-trailer yard storage areas.

## **Part II—RECITALS**

WHEREAS, the Application is a project pursuant to the California Environmental Quality Act (Public Resources Code Section 21000 et seq.) ("CEQA") and an initial study has been prepared to determine possible environmental impacts; and

WHEREAS, the Rich Haven Specific Plan Environmental Impact Report (State Clearinghouse No. 2006051081) was certified on December 4, 2007 ("Certified EIR"), in conjunction with File No. PSP05-004; and

WHEREAS, The Ontario Plan Environmental Impact Report (State Clearinghouse No. 2008101140) was certified on January 27, 2010 ("Certified EIR"), in conjunction with File No. PGPA06-001; and

WHEREAS, an Addendum to The Ontario Plan Environmental Impact Report (State Clearinghouse No. 2008101140) that was approved for use by the City Council on May 18, 2021 ("Approved Addendum") in conjunction with File Nos. PGPA19-005 and PSPA19-006, in which development and use of the Project site was analyzed; and

WHEREAS, the environmental impacts of this Project were thoroughly analyzed in the Certified EIR and Approved Addendums, which concluded that implementation of the Project could result in a number of significant effects on the environment and identified mitigation measures that would reduce each of those significant effects to a less-than-significant level; and

WHEREAS, the City's "Local Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board (hereinafter referred to as "DAB") the responsibility and authority to review and act on the subject Application; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan ("ALUCP"), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, on August 15, 2022, the DAB of the City of Ontario conducted a hearing on the Application and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.

**Part III—THE DECISION**

NOW, THEREFORE, IT IS HEREBY FOUND AND DETERMINED by the Development Advisory Board of the City of Ontario, as follows:

**SECTION 1: *Environmental Determination and Findings.*** As the recommending body for the Project, the DAB has reviewed and considered the information contained in the previous Certified EIRs, Approved Addendums and supporting documentation. Based upon the facts and information contained in the previous Certified EIR and supporting documentation, the DAB finds as follows:

(1) The environmental impacts of this Project were previously analyzed in the following environmental documents.

(a) The Rich Haven Specific Plan Environmental Impact Report (State Clearinghouse No. 2006051081) was certified on December 4, 2007 (“Certified EIR”), in conjunction with File No. PSP05-004.

(b) The Ontario Plan Environmental Impact Report (State Clearinghouse No. 2008101140) was certified on January 27, 2010 (“Certified EIR”), in conjunction with File No. PGPA06-001.

(c) An Addendum to The Ontario Plan Environmental Impact Report (State Clearinghouse No. 2008101140) that was approved for use by the City Council on May 18, 2021 (“Approved Addendum”) in conjunction with File Nos. PGPA19-005 and PSPA19-006; and

(2) The previous Certified EIRs and Approved Addendum contains a complete and accurate reporting of the environmental impacts associated with the Project; and

(3) The previous Certified EIRs and Approved Addendum was completed in compliance with CEQA and the Guidelines promulgated thereunder, and the City of Ontario Local CEQA Guidelines; and

(4) The previous Certified EIRs and Approved Addendum reflects the independent judgment of the Planning Commission; and

(5) The proposed Project will introduce no new significant environmental impacts beyond those previously analyzed in the previous Certified EIRs and Approved Addendum, and all mitigation measures previously adopted with the Certified EIRs and Approved Addendums, are incorporated herein by this reference.

**SECTION 2: *Subsequent or Supplemental Environmental Review Not Required.*** Based on the information presented to the DAB, and the specific findings set forth in Section 1, above, the DAB finds that the preparation of a subsequent or supplemental Certified EIR is not required for the Project, as the Project:

(1) Does not constitute substantial changes to the Certified EIRs and Approved Addendum that will require major revisions to the Certified EIRs due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and

(2) Does not constitute substantial changes with respect to the circumstances under which the Certified EIRs and Approved Addendum was prepared, that will require major revisions to the Certified EIRs due to the involvement of new significant environmental effects or a substantial increase in the severity of the previously identified significant effects; and.

(3) Does not contain new information of substantial importance that was not known and could not have been known with the exercise of reasonable diligence at the time the Certified EIRs and Approved Addendum was certified/adopted, that shows any of the following:

(a) The Project will have one or more significant effects not discussed in the Certified EIRs and Approved Addendum; or

(b) Significant effects previously examined will be substantially more severe than shown in the Certified EIRs and Approved Addendum; or

(c) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the Project, but the City declined to adopt such measures; or

(d) Mitigation measures or alternatives considerably different from those analyzed in the Certified EIRs and Approved Addendum would substantially reduce one or more significant effects on the environment, but which the City declined to adopt.

**SECTION 3: *Housing Element Compliance.*** Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the decision-making body for the Project, the DAB finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the Project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan, as the Project site is not one of the properties in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix.

**SECTION 4: *ALUCP Compliance.*** The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land use Compatibility Plan, establishing the Airport Influence Area for Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the decision-making body for the Project, the DAB has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the DAB, therefore, finds and determines that the Project, is consistent with the policies and criteria set forth within the ALUCP.

**SECTION 5: *Concluding Facts and Reasons.*** Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the facts and information set forth in Parts I (Background and Analysis) and II (Recitals), above, and the determinations set forth in Sections 1 through 4, above, the DAB hereby concludes as follows:

(1) ***The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.*** The proposed Project is located within the Industrial (0.55 FAR) and Open Space – Non-Recreation land use district of the Policy Plan Land Use Map, and Planning Area 7A (Light Industrial and Open Space-Non recreation) of the Rich Haven Specific Plan. The development standards and conditions under which the proposed Project will be constructed and maintained, is



consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan; and

(2) ***The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located.*** The Project has been designed consistent with the requirements of the City of Ontario Development Code and Planning Area 7A (Light Industrial and Open Space-Non recreation) of the Rich Haven Specific Plan, including standards relative to the particular land use proposed (industrial warehouse), as-well-as building intensity, building and parking setbacks, building height, number of off-street parking and loading spaces, on-site and off-site landscaping, and fences, walls and obstructions; and

(3) ***The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed project.*** The Development Advisory Board has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the Rich Haven Specific Plan are maintained; [ii] the Project will not endanger the public health, safety or general welfare; [iii] the project will not result in any significant environmental impacts; [iv] the project will be in harmony with the area in which it is located; and [v] the Project will be in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan, and the Rich Haven Specific Plan; and

(4) ***The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.*** The proposed Project has been reviewed for consistency with the general development standards and guidelines of the Rich Haven Specific Plan that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of off-street parking and loading spaces, parking lot dimensions, design and landscaping, bicycle parking, on-site landscaping, and fences and walls, as-well-as those development standards and guidelines specifically related to the particular land use being proposed (industrial warehouse). As a result of this review, the Development Advisory Board has determined that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the development standards and guidelines described in the Rich Haven Specific Plan.

**SECTION 6: *Development Advisory Board Action.*** Based on the findings and conclusions set forth in Sections 1 through 5, above, the DAB hereby APPROVES the Application subject to each and every condition set forth in the Department reports included as Attachment A of this Decision and incorporated herein by this reference.

**SECTION 7: *Indemnification.*** The Applicant shall agree to defend, indemnify, and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Ontario shall promptly notify the Applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**SECTION 8: *Custodian of Records.*** The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

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APPROVED AND ADOPTED this 15th day of August 2022.

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Development Advisory Board Chairman

**Exhibit A—PROJECT LOCATION MAP**

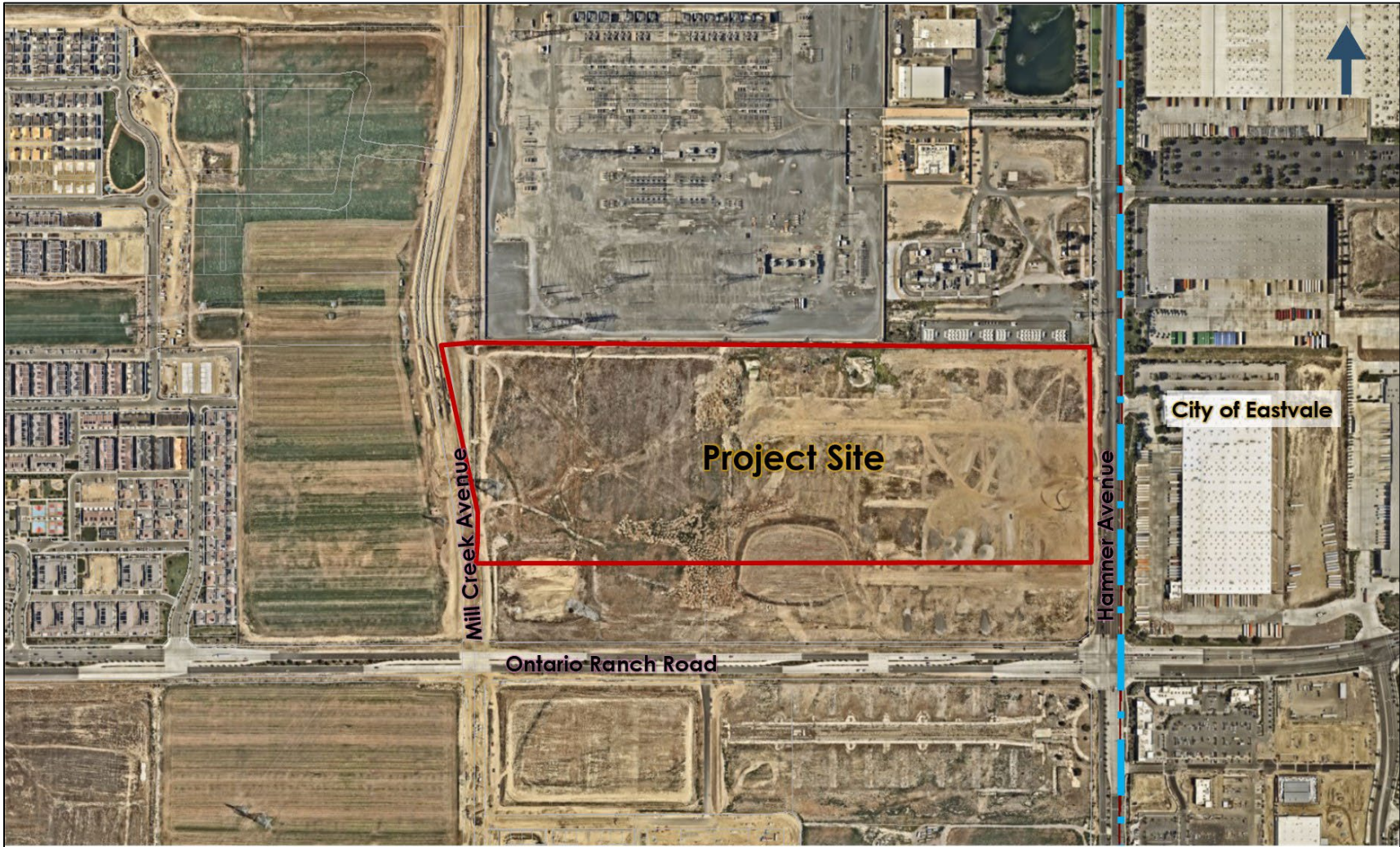


Exhibit B—SITE PLAN (OPTION A)

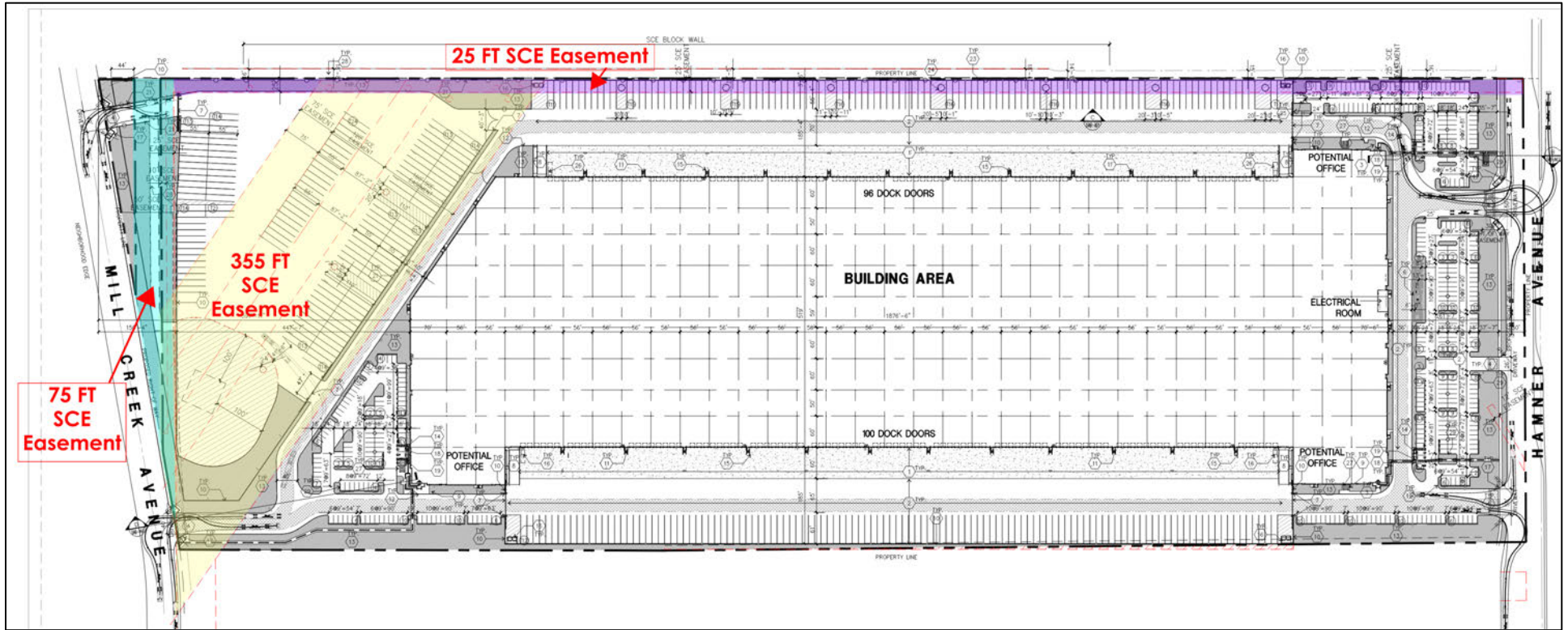
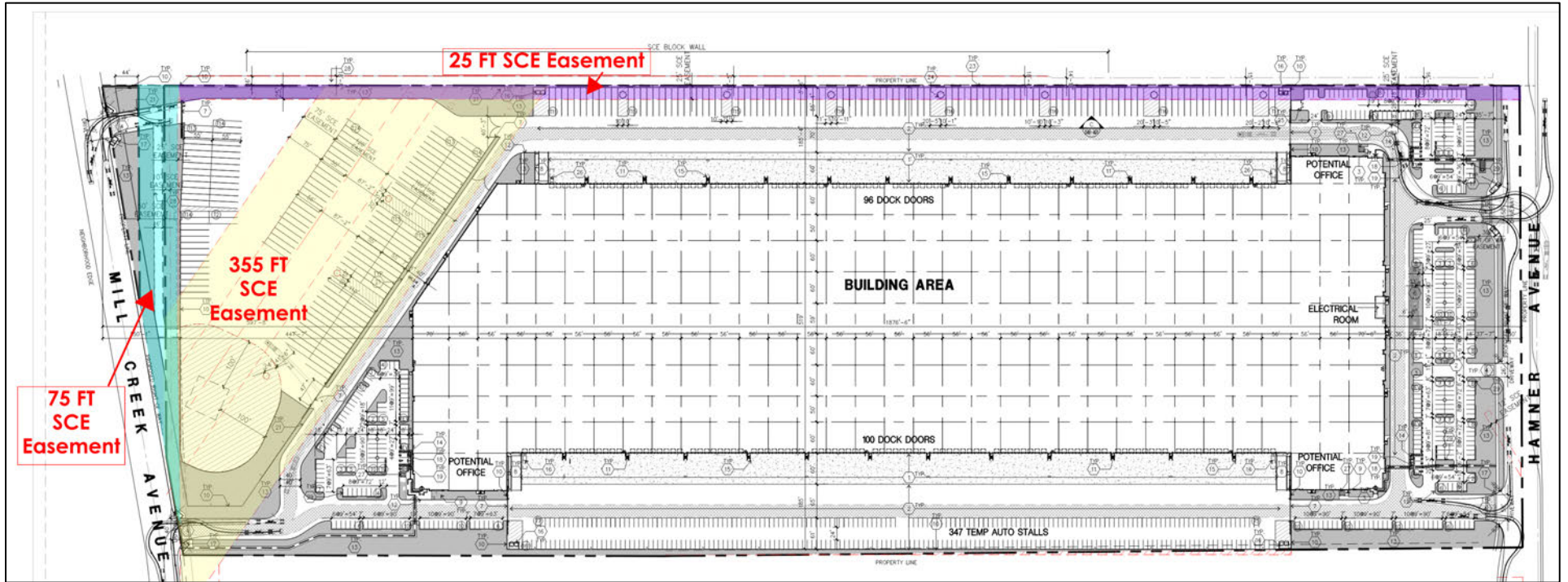


Exhibit B—SITE PLAN (OPTION B)



**Exhibit C—EXTERIOR ELEVATIONS**

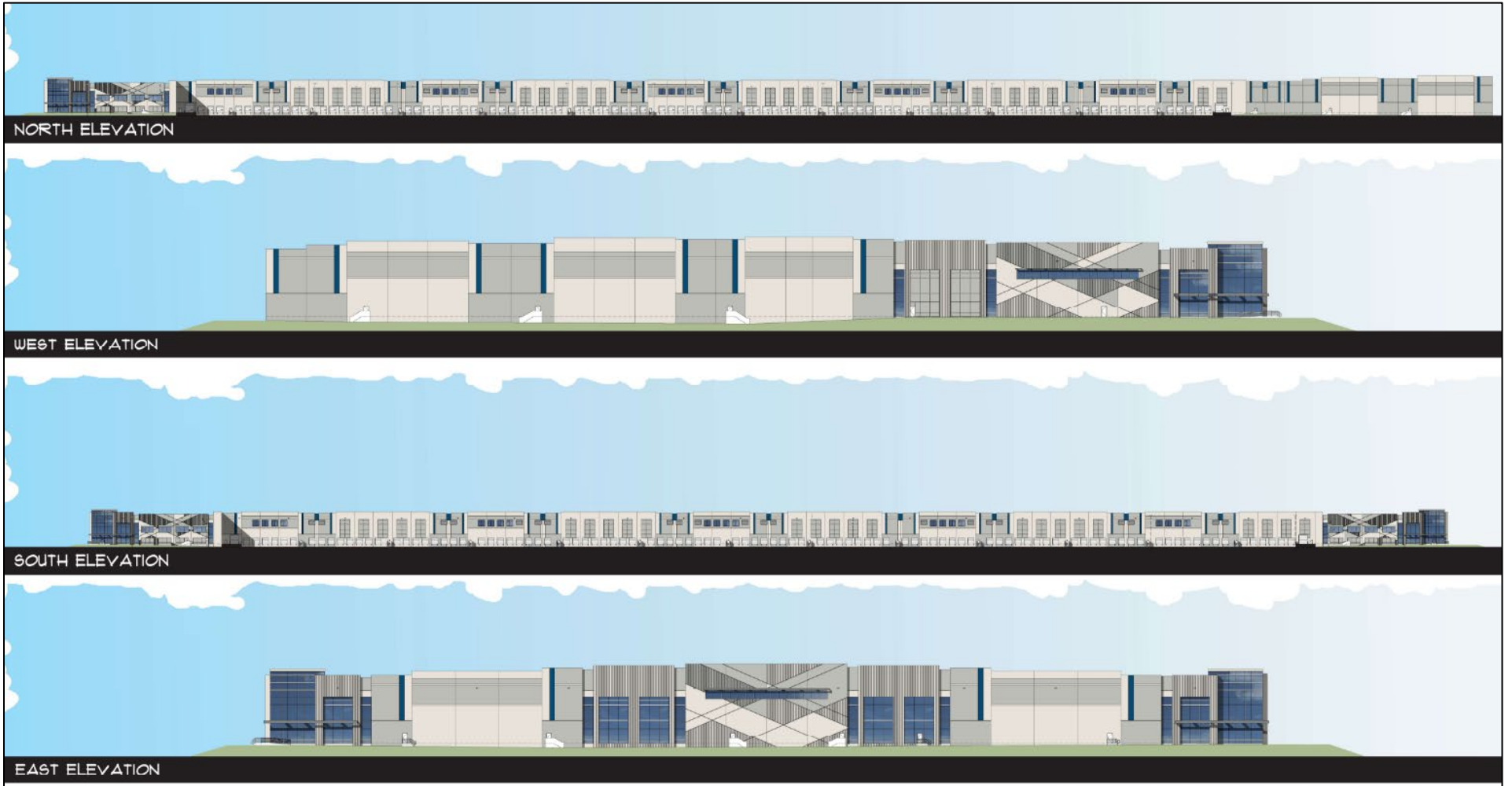
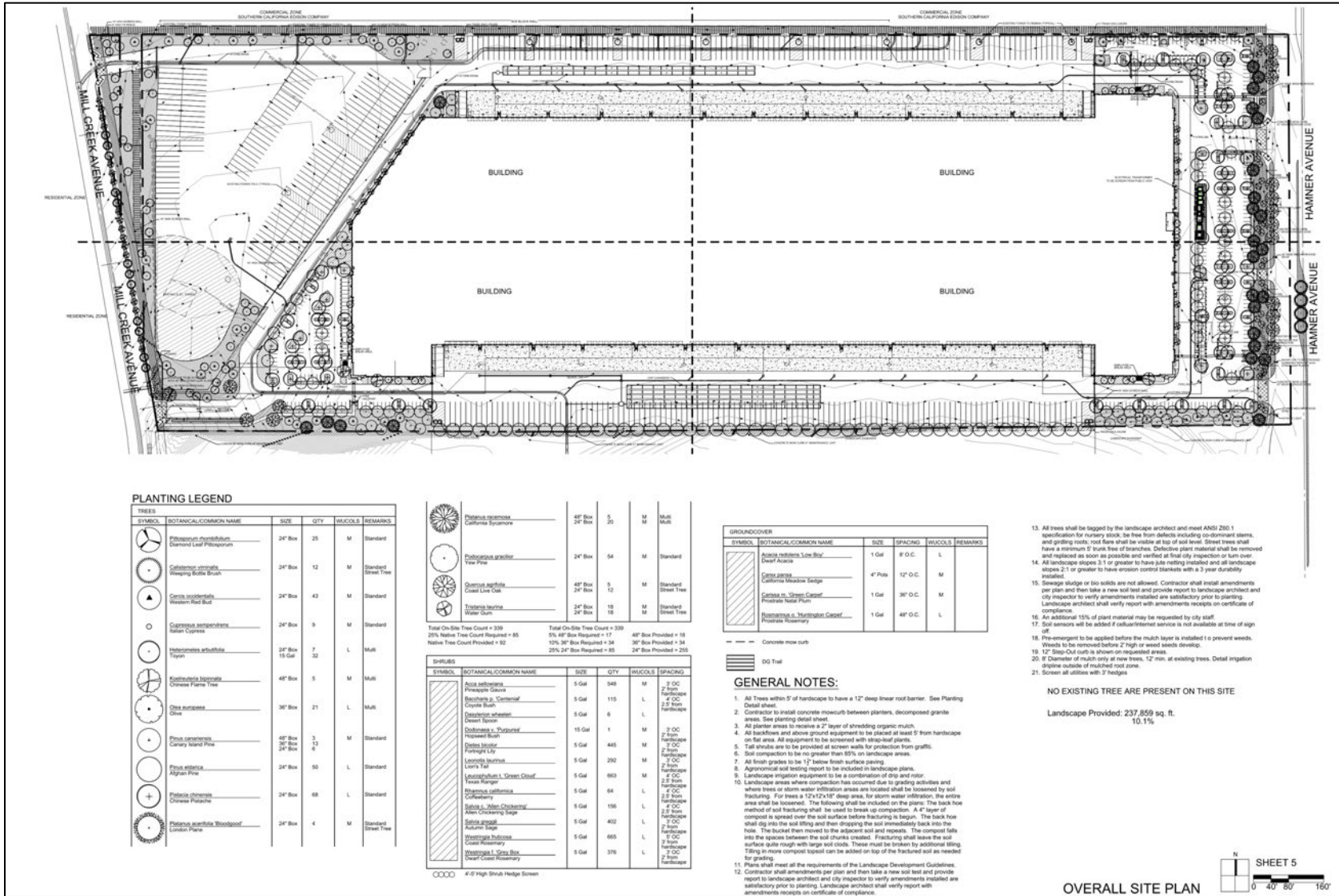


Exhibit D—LANDSCAPE PLAN



PLANTING LEGEND

TREES					
SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY	WUCOLS	REMARKS
	<i>Platycodon grandiflorus</i> Diamond Leaf Platycodon	24" Box	25	M	Standard
	<i>Calliandra ornata</i> Weeping Bottle Brush	24" Box	12	M	Standard Street Tree
	<i>Cercis canadensis</i> Redbud	24" Box	43	M	Standard
	<i>Quercus agrifolia</i> Oak Leaf Oak	48" Box	1	M	Standard Street Tree
	<i>Liquidambar styraciflua</i> Sweetgum	24" Box	18	M	Standard Street Tree
	<i>Quercus agrifolia</i> Oak Leaf Oak	24" Box	9	M	Standard
	<i>Metastachya arbutifolia</i> Typha	24" Box	7	L	Mult
	<i>Metastachya arbutifolia</i> Typha	15 Gal	22	L	Mult
	<i>Rhus typhina</i> Coke-Straw Tree	48" Box	5	M	Mult
	<i>Olea europaea</i> Olive	36" Box	21	L	Mult
	<i>Pinus contorta</i> Conary Wood Pine	48" Box	3	M	Standard
	<i>Pinus contorta</i> Conary Wood Pine	36" Box	13	M	Standard
	<i>Pinus strobus</i> Algar Pine	24" Box	50	L	Standard
	<i>Pinus strobus</i> Algar Pine	24" Box	68	L	Standard
	<i>Metastachya arbutifolia</i> London Plane	24" Box	4	M	Standard Street Tree

SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY	WUCOLS	REMARKS
	<i>Calceolaria sp.</i> California Spigonee	48" Box	5	M	Mult
	<i>Calceolaria sp.</i> California Spigonee	24" Box	20	M	Mult
	<i>Polygala gracilis</i> Tree Lily	24" Box	54	M	Standard
	<i>Quercus agrifolia</i> Oak Leaf Oak	48" Box	1	M	Standard Street Tree
	<i>Quercus agrifolia</i> Oak Leaf Oak	24" Box	12	M	Standard Street Tree
	<i>Liquidambar styraciflua</i> Sweetgum	24" Box	18	M	Standard Street Tree
	<i>Liquidambar styraciflua</i> Sweetgum	24" Box	18	M	Standard Street Tree

Total On-Site Tree Count = 339  
 25% Native Tree Count Required = 85  
 Native Tree Count Provided = 92

Total On-Site Tree Count = 339  
 5% 48" Box Required = 17  
 10% 36" Box Required = 34  
 25% 24" Box Required = 85  
 48" Box Provided = 18  
 36" Box Provided = 34  
 24" Box Provided = 255

SHRUBS					
SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY	WUCOLS	SPACING
	<i>Acaia salicifolia</i> Crepe Myrtle	5 Gal	548	M	2' OC
	<i>Rhoicarpus sp.</i> Canebrake	5 Gal	115	L	2' OC
	<i>Rhoicarpus sp.</i> Canebrake	5 Gal	6	L	2' OC
	<i>Rhoicarpus sp.</i> Canebrake	5 Gal	6	L	2' OC
	<i>Rhoicarpus sp.</i> Canebrake	15 Gal	1	M	2' OC
	<i>Rhoicarpus sp.</i> Canebrake	5 Gal	445	M	2' OC
	<i>Rhoicarpus sp.</i> Canebrake	5 Gal	445	M	2' OC
	<i>Rhoicarpus sp.</i> Canebrake	5 Gal	292	M	2' OC
	<i>Rhoicarpus sp.</i> Canebrake	5 Gal	963	M	2' OC
	<i>Rhoicarpus sp.</i> Canebrake	5 Gal	94	L	2' OC
	<i>Rhoicarpus sp.</i> Canebrake	5 Gal	156	L	2' OC
	<i>Rhoicarpus sp.</i> Canebrake	5 Gal	402	L	2' OC
	<i>Rhoicarpus sp.</i> Canebrake	5 Gal	402	L	2' OC
	<i>Rhoicarpus sp.</i> Canebrake	5 Gal	376	L	2' OC

#6 High Shrub Hedge Screen

GROUNDCOVER					
SYMBOL	BOTANICAL/COMMON NAME	SIZE	SPACING	WUCOLS	REMARKS
	<i>Acaia salicifolia</i> Low Shrub	1 Gal	#10" O.C.	L	
	<i>Acaia salicifolia</i> Low Shrub	4" Pots	12" O.C.	M	
	<i>Acaia salicifolia</i> Low Shrub	1 Gal	36" O.C.	M	
	<i>Acaia salicifolia</i> Low Shrub	1 Gal	48" O.C.	L	

--- Concrete curb  
 --- DG Trail

GENERAL NOTES:

- All trees within 5' of hardscape to have a 12" deep linear root barrier. See Planting Detail sheet.
- Contractor to install concrete curb between planters, decomposed granite areas. See planting detail sheet.
- All planter areas to receive a 2" layer of shredding organic mulch.
- All hardscapes and above ground equipment to be placed at least 5' from hardscape on flat area. All equipment to be screened with strap-leaf plants.
- Tall shrubs are to be provided at screen walls for protection from graffiti.
- Soil compaction to be no greater than 85% on landscape areas.
- All finish grades to be 12" below finish surface paving.
- Aggravated soil testing report to be included in landscape plans.
- Landscape irrigation equipment to be a combination of drip and rotor.
- Landscape areas where compaction has occurred due to grading activities and where trees or storm water infiltration areas are located shall be loosened by soil fracturing. For trees a 12"x12" deep area, for storm water infiltration, the entire area shall be loosened. The following shall be included on the plans: The back hoe method of soil fracturing shall be used to break up compaction. A 4" layer of compost is spread over the soil surface before fracturing is begun. The back hoe shall dig into the soil along and then dropping the soil immediately back into the hole. The bucket then moved to the adjacent soil and repeats. The compost falls into the space between the soil chunks created. Fracturing shall leave the soil surface quite rough with large soil clods. These must be broken by additional tilling. Tilling in more compost topsoil can be added on top of the fractured soil as needed for grading.
- Plans shall meet all the requirements of the Landscape Development Guidelines.
- Contractor shall amend plans per plan and then take a new soil test and provide report to landscape architect and city inspector to verify amendments installed are satisfactory prior to planting. Landscape architect shall verify report with amendments receipts on certificate of compliance.

- All trees shall be tagged by the landscape architect and meet ANSI Z60.1 specification for nursery stock. be free from defects including co-dominant stems, and grading marks, root flare shall be visible at top of soil level. Street trees shall have a minimum 5' trunk free of branches. Defective plant material shall be removed and replaced as soon as possible and verified at final city inspection or turn over.
- All landscape slopes 2:1 or greater to have silt netting installed and all landscape slopes 2:1 or greater to have erosion control blankets with a 3 year durability installed.
- Seaweed sludge or bio solids are not allowed. Contractor shall install amendments per plan and then take a new soil test and provide report to landscape architect and city inspector to verify amendments installed are satisfactory prior to planting. Landscape architect shall verify report with amendments receipts on certificate of compliance.
- Soil sensors will be added if cellular/internet service is not available at time of sign off.
- Pre-emergent to be applied before the mulch layer is installed. 1 prevent weeds. Weeds to be removed before 2" high or weed seeds develop.
- 12" Step-Out curb is shown on requested areas.
- 9" Diameter of mulch only at new trees, 12" min. at existing trees. Detail irrigation dripline outside of mulched root zone.
- Screen all utilities with 2" hedges.

NO EXISTING TREE ARE PRESENT ON THIS SITE  
 Landscape Provided: 237,859 sq. ft.  
 10.1%



## **Attachment A—Departmental Conditions of Approval**

*(Departmental conditions of approval follow this page)*



**Date Prepared:** 8/15/2022

**File No:** PDEV22-001

**Related Files:** PDA20-002

**Project Description:** A Development Plan to construct a 1,003,918-square-foot industrial building on 54.28 acres of land generally located at the northwest corner of Hamner Avenue and Ontario Ranch Road, within Planning Area 7A (Light Industrial and Open Space-Non recreation) of the Rich Haven Specific Plan; (APN: 0218-211-31); **submitted by DP1F3 CA 36 Ontario Ranch, LLC C/O Dermody Properties.**

**Prepared By:** Lorena Mejia, Senior Planner  
Phone: 909.395.2276 (direct)  
Email: lmejia@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

**1.0 Standard Conditions of Approval.** The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

**2.0 Special Conditions of Approval.** In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

**2.1** Time Limits.

(a) Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

**2.2** General Requirements. The Project shall comply with the following general requirements:

(a) All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape

and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

**(b)** The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

**(c)** The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

### **2.3** Landscaping.

**(a)** The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

**(b)** Comply with the conditions of approval of the Planning Department; Landscape Planning Division.

**(c)** Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

**(d)** Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

**2.4** Walls and Fences. All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

### **2.5** Parking, Circulation and Access.

**(a)** The Project shall comply with the applicable off-street parking, loading and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

**(b)** All drive approaches shall be provided with an enhanced pavement treatment. The enhanced paving shall extend from the back of the approach apron, into the site, to the first intersecting drive aisle or parking space.

**(c)** Areas provided to meet the City's parking requirements, including off-street parking and loading spaces, access drives, and maneuvering areas, shall not be used for the outdoor storage of materials and equipment, nor shall it be used for any other purpose than parking.

**(d)** The required number of off-street parking spaces and/or loading spaces shall be provided at the time of site and/or building occupancy. All parking and loading spaces shall be maintained in good condition for the duration of the building or use.

(e) Parking spaces specifically designated and conveniently located for use by the physically disabled shall be provided pursuant to current accessibility regulations contained in State law (CCR Title 24, Part 2, Chapters 2B71, and CVC Section 22507.8).

(f) Bicycle parking facilities, including bicycle racks, lockers, and other secure facilities, shall be provided in conjunction with development projects pursuant to current regulations contained in CALGreen (CAC Title 24, Part 11).

**2.6 Outdoor Loading and Storage Areas.**

(a) Loading facilities shall be designed and constructed pursuant to Development Code Division 6.03 (Off-Street Parking and Loading).

(b) Areas designated for off-street parking, loading, and vehicular circulation and maneuvering, shall not be used for the outdoor storage of materials or equipment.

(c) Outdoor loading and storage areas, and loading doors, shall be screened from public view pursuant to the requirements of Development Code Paragraph 6.02.025.A.2 (Screening of Outdoor Loading and Storage Areas, and Loading Doors) Et Seq.

(d) Outdoor loading and storage areas shall be provided with gates that are view-obstructing by one of the following methods:

(i) Construct gates with a perforated metal sheet affixed to the inside of the gate surface (50 percent screen); or

(ii) Construct gates with minimum one-inch square tube steel pickets spaced at maximum 2-inches apart.

(e) The minimum gate height for screen wall openings shall be established based upon the corresponding wall height, as follows:

<b>Screen Wall Height</b>	<b>Minimum Gate Height</b>
14 feet:	10 feet
12 feet:	9 feet
10 feet:	8 feet
8 feet:	8 feet
6 feet:	6 feet

**2.7 Site Lighting.**

(a) All off-street parking facilities shall be provided with nighttime security lighting pursuant to Ontario Municipal Code Section 4-11.08 (Special Residential Building Provisions) and Section 4-11.09 (Special Commercial/Industrial Building Provisions), designed to confine emitted light to the parking areas. Parking facilities shall be lighted from sunset until sunrise, daily, and shall be operated by a photocell switch.

(b) Unless intended as part of a master lighting program, no operation, activity, or lighting fixture shall create illumination on any adjacent property.

**2.8** Mechanical and Rooftop Equipment.

(a) All exterior roof-mounted mechanical, heating and air conditioning equipment, and all appurtenances thereto, shall be completely screened from public view by parapet walls or roof screens that are architecturally treated so as to be consistent with the building architecture.

(b) All ground-mounted utility equipment and structures, such as tanks, transformers, HVAC equipment, and backflow prevention devices, shall be located out of view from a public street, or adequately screened through the use of landscaping and/or decorative low garden walls.

**2.9** Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

**2.10** Signs.

(a) All Project signage shall comply with the requirements of Ontario Development Code Division 8.1 (Sign Regulations).

**2.11** Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noised levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

**2.12** Disclosure Statements.

(a) A copy of the Public Report from the Department of Real Estate, prepared for the subdivision pursuant to Business and Professions Code Section 11000 et seq., shall be provided to each prospective buyer of the residential units and shall include a statement to the effect that:

(i) This tract is subject to noise from the Ontario International Airport and may be more severely impacted in the future.

(ii) Some of the property adjacent to this tract is zoned for agricultural uses and there could be fly, odor, or related problems due to the proximity of animals.

(iii) The area south of Riverside Drive lies within the San Bernardino County Agricultural Preserve. Dairies currently existing in that area are likely to remain for the foreseeable future.

(iv) This tract is part of a Landscape Maintenance District. The homeowner(s) will be assessed through their property taxes for the continuing maintenance of the district.

**2.13** Environmental Review.

(a) The environmental impacts of this project were reviewed in conjunction with an **Addendum to The Ontario Plan Environmental Impact Report** (State Clearinghouse No. 2008101140). This application introduces no new significant environmental impacts. The City's

"Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed. This Application introduces no new significant environmental impacts. All previously adopted mitigation measures are a condition of project approval, and are incorporated herein by this reference. All previously adopted mitigation measures shall be a condition of project approval, as they are applicable, and are incorporated herein by this reference.

**(b)** If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

**(c)** If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

**2.14** Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**2.15** Additional Fees.

**(a)** Within 5 days following final application approval, the Notice of Determination ("NOD") filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act ("CEQA"). Failure to provide said fee within the time specified will result in the extension of the statute of limitations for the filing of a CEQA lawsuit from 30 days to 180 days.

**(b)** After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

**2.16** Tribal Consultation Conditions.

**(a)** The project developer shall retain a Native American Monitor of (Gabrieleno Band of Mission Indians - Kizh Nation) Ancestry (the "Tribe" or the "Consulting Tribe" that was consulted on this project pursuant to Assembly Bill A52 - SB18) to conduct a Native American Indian Sensitivity Training for construction personnel prior to commencement of any excavation activities. The training session shall include a handout and focus on how to identify Native American resources encountered during earthmoving activities and the procedures followed if resources are discovered, the duties of the Native American Monitor of (Gabrieleno

Band of Mission Indians - Kizh Nation) Ancestry and the general steps the Monitor would follow in conducting a salvage investigation.

**(b)** The project developer shall retain a Native American Monitor of (Gabrieleno Band of Mission Indians - Kizh Nation) Ancestry (the "Tribe" or the "Consulting Tribe" that was consulted on this project pursuant to Assembly Bill A52 - SB18) to be on-site during all project-related, ground-disturbing construction activities (e.g., pavement removal, auguring, boring, grading, excavation, potholing, trenching, and grubbing) of previously undisturbed native soils to a maximum depth of 30 feet below ground surface. A copy of the executed contract shall be submitted to the City of Ontario Planning Department prior to the issuance of any grading permit (any ground-disturbing activity). At their discretion, a Native American Monitor of (Gabrieleno Band of Mission Indians - Kizh Nation) Ancestry can be present during the removal of dairy manure to native soil, but not at the developers' expense.

**(c)** A qualified archaeologist and a Native American Monitor of (Gabrieleno Band of Mission Indians - Kizh Nation) Ancestry (the "Tribe" or the "Consulting Tribe" that was consulted on this project pursuant to Assembly Bill A52 - SB18) shall evaluate all archaeological resources unearthed by project construction activities. If the resources are Native American in origin, the Tribe shall coordinate with the developer regarding treatment and curation of these resources. Typically, the Tribe will request reburial or preservation for educational purposes. If archeological features are discovered, the archeologist shall report such findings to the Ontario Planning Director. If the archeological resources are found to be significant, the archeologist shall determine the appropriate actions, in cooperation with the City that shall be taken for exploration and/or salvage in compliance with CEQA Guidelines Section 15064.5(f).

**(d)** Prior to the start of ground disturbing activities, the developer shall arrange a designated site location within the footprint of the project for the respectful reburial of Tribal human remains and/or ceremonial objects. All human skeletal material discoveries shall be reported immediately to the County Coroner. The Native American Monitor shall immediately divert work a minimum of 50 feet from the discovery site and place an exclusion zone around the burial. The Native American Monitor shall notify the construction manager who shall contact the San Bernardino County Coroner. All construction activity shall be diverted while the San Bernardino County Coroner determines if the remains are Native American. The discovery shall be confidential and secure to prevent further disturbance. If Native American, the San Bernardino County Coroner shall notify the Native American Heritage Commission (NAHC) as mandated by state law who will then appoint a Most Likely Descendent. In the case where discovered human remains cannot be documented and recovered on the same day, the remains shall be covered with muslin cloth and a steel plate that can be moved by heavy equipment placed over the excavation opening to protect the remains. If this type of steel plate is not available, a 24-hour guard shall be posted outside working hours. The Tribe shall make every effort to recommend diverting the project and keep the remains in situ and protected. If the project cannot be diverted, it may be determined that burials will be removed. If data recovery is approved by the Tribe, documentation shall be taken, which includes at a minimum detailed descriptive notes and sketches. Additional types of documentation shall be approved by the Tribe for data recovery purposes. Cremations will either be removed in bulk or means necessary to ensure complete recovery of all material. If the discovery of human remains includes four (4) or more burials, the location is considered a cemetery and a separate treatment plan shall be created. The project developer shall consult with the Tribe regarding avoidance of all cemetery sites. Once complete, a final report of all activities shall be submitted to the NAHC.

**(e)** There shall be no Scientific study or the utilization of any invasive diagnostics on any Native American human remains.

**(f)** If the San Bernardino County Coroner determines the remains represent a historic non-Native American burial, the burial shall be treated in the same manner of respect with agreement of the San Bernardino County Coroner. Reburial will be in an appropriate setting. If the San Bernardino County Coroner determines the remains to be modern, the San Bernardino County Coroner shall take custody of the remains.

**(g)** Each occurrence of human remains and associated funerary objects shall be stored using opaque cloth bags. All human remains, funerary objects, sacred objects and objects of cultural patrimony shall be removed to a secure container on site if possible. These items shall be retained and reburied within six months of recovery. The site of reburial/repatriation shall be on the project site, but at a location agreed upon between the Tribe and the developer and protected in perpetuity. There shall be no publicity regarding any cultural materials recovered.

#### **2.17** Additional Requirements.

**(a)** The Ontario Climate Action Plan (CAP) requires new development to be 25% more efficient. The applicant shall utilize the Screening Tables provided in the CAP. The Screening Tables shall be required to garner a minimum of 100 points to be consistent with the reduction quantities outlined in the CAP. The applicant shall identify on the construction drawings the items identified in the Screening Tables.

**(b)** The location and ultimate design of the screen wall return located on the northwest corner of the Project site shall require Planning Director approval. The applicant shall work with SCE and provide documentation to City Staff related to the allowable wall materials and location within the SCE easement. The applicant shall also work with City Staff to relocate western screen wall further east to the appropriate limits as prescribed by SCE.

**(c)** All applicable conditions of approval of Development Agreement (File No. PDA20-002 shall apply.

**(d)** The row of utilities located within the eastern parking lot across from the center of the building shall be screened by landscaping and/or a decorative low wall with landscaping.

**(e)** The east facing elevation shall incorporate an additional two-foot building offset located at the office entries (northeast and southeast corners of the building) and at the building's center. The final building design shall require Planning Director approval.

**(f)** The perimeter screen walls shall complement the architectural style of the proposed building, the final design shall be subject to Planning Director approval.

# AIRPORT LAND USE COMPATIBILITY PLANNING

## CONSISTENCY DETERMINATION REPORT



Project File No.: PDEV22-001

Address: Northwest corner of Hamner Avenue and Ontario Ranch Road

APN: 0218-211-31

Existing Land Use: Vacant

Proposed Land Use: Development Plan to construct a 1,003,918-square-foot industrial building

Site Acreage: 54.28 ac Proposed Structure Height: 48 FT

ONT-IAC Project Review: n/a

Airport Influence Area: ONT

Reviewed By: Lorena Mejia

Contact Info: 909-395-2276

Project Planner: Lorena Mejia

Date: 8/10/2022

CD No.: 2022-033

PALU No.: n/a

### The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input type="checkbox"/> High Terrain Zone	<input type="checkbox"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input checked="" type="checkbox"/> FAA Notification Surfaces	<input type="checkbox"/> Recorded Overflight Notification
<input type="radio"/> Zone 2	<input type="checkbox"/> 65 - 70 dB CNEL	<input type="checkbox"/> Airspace Obstruction Surfaces	<input checked="" type="checkbox"/> Real Estate Transaction Disclosure
<input type="checkbox"/> Zone 3	<input type="checkbox"/> 60 - 65 dB CNEL	<input type="checkbox"/> Airspace Avigation Easement Area	
<input type="radio"/> Zone 4		Allowable Height: <u>200 FT +</u>	
<input type="radio"/> Zone 5			

### The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1   
  Zone 2   
  Zone 3   
  Zone 4   
  Zone 5   
  Zone 6

Allowable Height: \_\_\_\_\_

## CONSISTENCY DETERMINATION

This proposed Project is:  Exempt from the ALUCP   
 Consistent   
 Consistent with Conditions   
 Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

Airport Planner Signature: \_\_\_\_\_





**ENGINEERING DEPARTMENT  
CONDITIONS OF APPROVAL**

(Engineering Services Division [Land Development Section and Environmental Section], Traffic & Transportation Division, Ontario Municipal Utilities Company and Broadband Operations & Investment and Revenue Resources Department Conditions incorporated)

<input checked="" type="checkbox"/> <b>DEVELOPMENT PLAN</b> <input type="checkbox"/> OTHER	<input type="checkbox"/> PARCEL MAP <input type="checkbox"/> TRACT MAP  <input type="checkbox"/> FOR CONDOMINIUM PURPOSES	
<b>PROJECT FILE NO. PDEV22-001</b>  <b>RELATED FILE NO(S).</b> _____		
<input checked="" type="checkbox"/> <b>ORIGINAL</b> <input type="checkbox"/> REVISED: __/__/__		

**CITY PROJECT ENGINEER & PHONE NO:** Michael Bhatanawin, P.E. (909) 395-2130

**CITY PROJECT PLANNER & PHONE NO:** Lorena Mejia (909) 395-2276

**DAB MEETING DATE:** August 15, 2022

**PROJECT NAME / DESCRIPTION:** PDEV22-001, a Development Plan to construct 1 industrial building totaling 1,003,440 square feet on 53.06 acres of land within the Regional Commercial land use district of the Rich Haven Specific Plan

**LOCATION:** 13744 S Hamner Avenue

**APPLICANT:** Dermody Properties

**REVIEWED BY:**

FOR Raymond Lee, P.E.      8/11/22  
 Assistant City Engineer      Date

**APPROVED BY:**

Khoi Do, P.E.      8/11/22  
 City Engineer      Date



**THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE GENERAL STANDARD CONDITIONS OF APPROVAL ADOPTED BY THE CITY COUNCIL (RESOLUTION NO. 2017-027) AND THE PROJECT SPECIFIC CONDITIONS OF APPROVAL SPECIFIED HEREIN. ONLY APPLICABLE CONDITIONS OF APPROVAL ARE CHECKED. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL APPLICABLE CONDITIONS OF APPROVAL PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, ISSUANCE OF PERMITS AND/OR OCCUPANCY CLEARANCE, AS SPECIFIED IN THIS REPORT.**

**1. PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, APPLICANT SHALL:** Check When Complete

- 1.01 Dedicate to the City of Ontario, the right-of-way, described below:   
\_\_\_\_\_ feet on \_\_\_\_\_  
Property line corner 'cut-back' required at the intersection of \_\_\_\_\_  
and \_\_\_\_\_.
  
- 1.02 Dedicate to the City of Ontario, the following easement(s): \_\_\_\_\_   
\_\_\_\_\_
  
- 1.03 Restrict vehicular access to the site as follows: \_\_\_\_\_
  
- 1.04 Vacate the following street(s) and/or easement(s):   
  - A. All interfering on-site easements shall be quitclaimed, vacated, and/or submit non-interference letter from affected owner/utility company.
  
- 1.05 Submit a copy of a recorded private reciprocal use agreement or easement. The agreement or easement shall ensure, at a minimum, common ingress and egress and joint maintenance of all common access areas and drive aisles.
  
- 1.06 Provide (original document) Covenants, Conditions and Restrictions (CC&Rs) as applicable to the project and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&Rs shall provide for, but not be limited to, common ingress and egress, joint maintenance responsibility for all common access improvements, common facilities, parking areas, utilities, median and landscaping improvements and drive approaches, in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project. The CC&Rs shall also address the maintenance and repair responsibility for public improvements/utilities (sewer, water, storm drain, recycled water, etc.) located within open space/easements. In the event of any maintenance or repair of these facilities, the City shall only restore disturbed areas to current City Standards.
  
- 1.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at [http://geotracker.waterboards.ca.gov/profile\\_report?global\\_id=T10000004658](http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658).
  
- 1.08 File an application for Reapportionment of Assessment, together with payment of a reapportionment processing fee, for each existing assessment district listed below. Contact the Financial Services Department at (909) 395-2124 regarding this requirement.   
  - (1) \_\_\_\_\_
  - (2) \_\_\_\_\_



- 1.09 Prepare a fully executed Subdivision Agreement (on City approved format and forms) with accompanying security as required, or complete all public improvements.
- 1.10 Provide a monument bond (i.e. cash deposit) in an amount calculated by the City's approved cost estimate spreadsheet (available for download on the City's website: [www.ontarioca.gov](http://www.ontarioca.gov)) or as specified in writing by the applicant's Registered Engineer or Licensed Land Surveyor of Record and approved by the City Engineer, whichever is greater.
- 1.11 Provide a preliminary title report current to within 30 days.
- 1.12 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Investment and Revenue Resources at (909) 395-2341 to initiate the CFD application process.
- 1.13 Ontario Ranch Developments: 
  - 1) Provide evidence of final cancellation of Williamson Act contracts associated with this tract, prior to approval of any final subdivision map. Cancellation of contracts shall have been approved by the City Council.
  - 2) Provide evidence of sufficient storm water capacity availability equivalents (Certificate of Storm Water Treatment Equivalents).
  - 3) Provide evidence of sufficient water availability equivalents (Certificate of Net MDD Availability).
- 1.14 Other conditions: \_\_\_\_\_

**2. PRIOR TO ISSUANCE OF ANY PERMITS, APPLICANT SHALL:**

**A. GENERAL (Permits includes Grading, Building, Demolition and Encroachment)**

- 2.01 Record Parcel Map/Tract Map No. \_\_\_\_\_ pursuant to the Subdivision Map Act and in accordance with the City of Ontario Municipal Code.
- 2.02 Submit a PDF of the recorded map to the City Engineer's office.
- 2.03 **Note that the subject parcel is a recognized parcel in the City of Ontario per Lot Line Adjustment No. LLA 20-011 recorded January 28, 2021 as Instrument No. 2021-0041653.**
- 2.04 Note that the subject parcel is an 'unrecognized' parcel in the City of Ontario and shall require a Certificate of Compliance to be processed unless a deed is provided confirming the existence of the parcel prior to the date of March 4, 1972.
- 2.05 Apply for a: 
  - Certificate of Compliance with a Record of Survey;
  - Lot Line Adjustment (Record a Conforming Deed with the County of San Bernardino within six months of the recordation of the Lot Line Adjustment to conform the new LLA legal description. Submit a copy of the recorded Conforming Deed to the Engineering Department.);
  - Make a Dedication of Easement.



2.06 Provide (original document) Covenants, Conditions and Restrictions (CC&R's), as applicable to the project, and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&R's shall provide for, but not be limited to, common ingress and egress, joint maintenance of all common access improvements, common facilities, parking areas, utilities and drive approaches in addition to maintenance requirements established in the Water Quality Management Plan ( WQMP), as applicable to the project.

2.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at [http://geotracker.waterboards.ca.gov/profile\\_report?global\\_id=T10000004658](http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658).

2.08 **Submit a soils/geology report.**

2.09 **Other Agency Permit/Approval: Submit a copy of the approved permit and/or other form of approval of the project from the following agency or agencies:**

- State of California Department of Transportation (Caltrans)
- San Bernardino County Road Department (SBCRD)
- San Bernardino County Flood Control District (SBCFCD)
- Federal Emergency Management Agency (FEMA)
- Cucamonga Valley Water District (CVWD) for sewer/water service
- United States Army Corps of Engineers (USACE)
- California Department of Fish & Game
- Inland Empire Utilities Agency (IEUA)
- Other: Southern California Edison (SCE) – for any improvements encroaching into their easements**
- Other: City of Eastvale – for raised landscaped median and other improvements within Eastvale.**

2.10 **Dedicate to the City of Ontario the right-of-way described below:**

- A. **The applicant/developer shall acquire the ultimate full street right-of-way of 83 feet for Mill Creek Ave from Ontario Ranch Rd to approximately 830 feet north of Ontario Ranch Rd from SCE (APN: 0218-211-08). Applicant/developer shall pursue "grant out" process with SCE to obtain said right-of-way and dedicate the right-of-way to the City of Ontario.**
- B. **An additional 35 feet from the ultimate right-of-way along on the west side of Hamner Ave for a 50 feet neighborhood edge from the northerly project frontage to Ontario Ranch Rd.**
- C. **An additional 35 feet from the ultimate right-of-way along on the north side of Ontario Ranch Rd for a 50 feet neighborhood edge from Mill Creek Ave to Hamner Ave.**

**Property line corner 'cut-back' required at the intersection of:**

- A. **Hamner Ave & northerly project driveway**
- B. **Mill Creek Ave & Ontario Ranch Rd**

2.11 **Dedicate to the City of Ontario the following easement(s):** \_\_\_\_\_

\_\_\_\_\_



- 2.12 Vacate the following street(s) and/or easement(s):
- A. All interfering on-site easements shall be quitclaimed, vacated, and/or submit non-interference letter from affected owner/utility company.
- 2.13 Ontario Ranch Developments:
- 1) Submit a copy of the permit from the San Bernardino County Health Department to the Engineering Department and the Ontario Municipal Utilities Company (OMUC) for the destruction/abandonment of the on-site water well. The well shall be destroyed/abandoned in accordance with the San Bernardino County Health Department guidelines.
- 2) Make a formal request to the City of Ontario Engineering Department for the proposed temporary use of an existing agricultural water well for purposes other than agriculture, such as grading, dust control, etc. Upon approval, the Applicant shall enter into an agreement with the City of Ontario and pay any applicable fees as set forth by said agreement.
- 3) Design proposed retaining walls to retain up to a maximum of three (3) feet of earth. In no case shall a wall exceed an overall height of nine (9) feet (i.e. maximum 6-foot high wall on top of a maximum 3-foot high retaining wall.
- 4) Provide evidence of sufficient water availability equivalents (Certificate of Net MDD Availability).
- 2.14 Submit a security deposit to the Engineering Department to guarantee construction of the public improvements required herein valued at 100% of the approved construction cost estimate. Security deposit shall be in accordance with the City of Ontario Municipal Code. Security deposit will be eligible for release, in accordance with City procedure, upon completion and acceptance of said public improvements.
- 2.15 The applicant/developer shall submit all necessary survey documents prepared by a Licensed Surveyor registered in the State of California detailing all existing survey monuments in and around the project site. These documents are to be reviewed and approved by the City Survey Office.
- 2.16 Pay all Development Impact Fees (DIF) to the Building Department. Storm Drain Development Impact Fee, approximately \$2,164,854.66, shall be paid to the Building Department. Final fee shall be determined based on the approved site plan and the DIF rate at the time of payment.
- 2.17 Other conditions:
- A. This Development Plan shall comply with the approved Rich Haven Specific Plan and the approved Development Agreement (PDA20-002).
- B. Applicant/developer shall obtain all off-site right-of-way/easements necessary to construct the required public improvements identified within Section 2 of these Conditions of Approval.
- C. Final Utilities Systems Map (USM): Submit a Final Utilities Systems Map (USM) as part of the precise grading plan submittal that meets all the City's USM requirements. These requirements include to show and label all existing and proposed utilities (including all appurtenances such as backflow devices, DCDAs, etc.), sizes, points of connection, and any easements. The final utility design shall comply with all Division of Drinking Water (CCR §64572) Separation Requirements. See Utility Systems Map (USM) Requirements document for details.



**B. PUBLIC IMPROVEMENTS**  
 (See attached Exhibit 'A' for plan check submittal requirements.)

- 2.18 Design and construct full public improvements in accordance with the City of Ontario Municipal Code, current City standards and specifications, master plans and the adopted specific plan for the area, if any. These public improvements shall include, but not be limited to, the following (checked boxes):

Improvement	Mill Creek Ave	Hamner Ave	Ontario Ranch Rd
Curb and Gutter	<input checked="" type="checkbox"/> New; 32 ft. from C/L (A) <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New; 65 ft. from C/L (C) <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New; 52 ft. from C/L (G) <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace
AC Pavement	<input type="checkbox"/> Replacement <input checked="" type="checkbox"/> New (A, B)	<input type="checkbox"/> Replacement <input checked="" type="checkbox"/> Widen 34 additional feet along frontage, including pavm't transitions (C, D)	<input type="checkbox"/> Replacement <input checked="" type="checkbox"/> Widen 27 additional feet along frontage, including pavm't transitions (G)
PCC Pavement (Truck Route Only)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input checked="" type="checkbox"/> New (E) <input type="checkbox"/> Modify existing	<input checked="" type="checkbox"/> New (H) <input type="checkbox"/> Modify existing
Drive Approach	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Sidewalk	<input checked="" type="checkbox"/> New (A) <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New (C) <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New (G) <input type="checkbox"/> Remove and replace
ADA Access Ramp	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace
Parkway	<input checked="" type="checkbox"/> Trees (A) <input checked="" type="checkbox"/> Landscaping (w/irrigation) (A)	<input checked="" type="checkbox"/> Trees (C) <input checked="" type="checkbox"/> Landscaping (w/irrigation) (C) <input checked="" type="checkbox"/> Neighborhood edge (C)	<input checked="" type="checkbox"/> Trees (G) <input checked="" type="checkbox"/> Landscaping (w/irrigation) (G) <input checked="" type="checkbox"/> Neighborhood edge (G)
Raised Landscaped Median	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New (F) <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace



<b>Fire Hydrant</b>	<input checked="" type="checkbox"/> <b>New (A)</b> <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> <b>New (C)</b> <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> <b>New (G)</b> <input type="checkbox"/> Relocation
<b>Sewer (see Sec. 2.C)</b>	<input checked="" type="checkbox"/> <b>Main</b> <input checked="" type="checkbox"/> <b>Lateral</b>	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
<b>Water (see Sec. 2.D)</b>	<input checked="" type="checkbox"/> <b>Main</b> <input checked="" type="checkbox"/> <b>Service</b>	<input type="checkbox"/> Main <input checked="" type="checkbox"/> <b>Service</b>	<input type="checkbox"/> Main <input type="checkbox"/> Service
<b>Recycled Water (see Sec. 2.E)</b>	<input checked="" type="checkbox"/> <b>Main</b> <input checked="" type="checkbox"/> <b>Service</b>	<input checked="" type="checkbox"/> <b>Main</b> <input checked="" type="checkbox"/> <b>Service</b>	<input type="checkbox"/> Main <input type="checkbox"/> Service
<b>Traffic Signal System (see Sec. 2.F)</b>	<input checked="" type="checkbox"/> <b>New</b> <input type="checkbox"/> Modify existing	<input checked="" type="checkbox"/> <b>New</b> <input type="checkbox"/> Modify existing	<input checked="" type="checkbox"/> <b>New</b> <input type="checkbox"/> Modify existing
<b>Traffic Signing and Striping (see Sec. 2.F)</b>	<input checked="" type="checkbox"/> <b>New (A)</b> <input type="checkbox"/> Modify existing	<input checked="" type="checkbox"/> <b>New (C)</b> <input checked="" type="checkbox"/> <b>Modify existing</b>	<input checked="" type="checkbox"/> <b>New (G)</b> <input checked="" type="checkbox"/> <b>Modify existing</b>
<b>Street Light (see Sec. 2.F)</b>	<input checked="" type="checkbox"/> <b>New (A)</b> <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> <b>New (C)</b> <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> <b>New (G)</b> <input type="checkbox"/> Relocation
<b>Bus Stop Pad or Turn-out (see Sec. 2.F)</b>	<input checked="" type="checkbox"/> <b>New</b> <input type="checkbox"/> Modify existing	<input checked="" type="checkbox"/> <b>New</b> <input type="checkbox"/> Modify existing	<input checked="" type="checkbox"/> <b>New</b> <input type="checkbox"/> Modify existing
<b>Storm Drain (see Sec. 2G)</b>	<input checked="" type="checkbox"/> <b>Main</b> <input checked="" type="checkbox"/> <b>Lateral</b>	<input checked="" type="checkbox"/> <b>Main</b> <input checked="" type="checkbox"/> <b>Lateral</b>	<input type="checkbox"/> Main <input checked="" type="checkbox"/> <b>Lateral</b>
<b>Fiber Optics (see Sec. 2K)</b>	<input checked="" type="checkbox"/> <b>Conduit / Appurtenances (A)</b>	<input checked="" type="checkbox"/> <b>Conduit / Appurtenances (C)</b>	<input checked="" type="checkbox"/> <b>Conduit / Appurtenances (G)</b>
<b>Overhead Utilities</b>	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate
<b>Removal of Improvements</b>	_____ _____ _____	_____ _____ _____	_____ _____ _____
<b>Other Improvements</b>	_____ _____ _____	_____ _____ _____	_____ _____ _____

Specific notes for improvements listed in item no. 2.17, above:

- A. East side from Ontario Ranch Rd to northerly project frontage
- B. A 14' circulation lane and a 5' paved shoulder are required on the west side, from Ontario Ranch Rd to northerly project frontage.
- C. West side from Ontario Ranch Rd to northerly project frontage
- D. A raised landscaped median is required on the centerline (City of Eastvale may require



additional improvements). Please note, if the existing Hamner Ave pavement is not concurrent with current pavement standards, it will be required to be removed and replaced to be brought up to current standards.

- E. Limits of work are the following intersections:
  - i. Remaining portion of the signalized intersection of Hamner Ave & Ontario Ranch Rd
  - ii. New signalized intersection at Hamner Ave & the northerly project driveway.
  - iii. Remaining portion of the signalized intersection of Hamner Ave & Micro Dr.

The scope of work, includes but is not limited to, installing PCC pavement per City Std. No. 1207 and removing and replacing any existing PCC panels to the nearest joint line.
- F. Limits of work are from Ontario Ranch Rd to northerly project frontage. Please note that these improvements are partially in the City of Ontario and City of Eastvale.
- G. North side from Mill Creek Ave to Hamner Ave
- H. Limits of work are the following intersections:
  - i. Remaining portion of the signalized intersections of Mill Creek & Ontario Ranch Rd
  - ii. Project Driveway 1 & Ontario Ranch Rd
  - iii. Project Driveway 2 & Ontario Ranch Rd

The scope of work, includes but is not limited to, installing PCC pavement per City Std. No. 1207 and removing and replacing any existing PCC panels to the nearest joint line.
- I. All utilities and infrastructure shall be designed and installed to the ultimate condition

- 2.19 Construct a 2" asphalt concrete (AC) grind and overlay on the following street(s): \_\_\_\_\_
- 2.20 Reconstruction of the full pavement structural section, per City of Ontario Standard Drawing number 1011, may be required based on the existing pavement condition and final street design. Minimum limits of reconstruction shall be along property frontage, from street centerline to curb/gutter.
- 2.21 Make arrangements with the Cucamonga Valley Water District (CVWD) to provide  water service  sewer service to the site. This property is within the area served by the CVWD and Applicant shall provide documentation to the City verifying that all required CVWD fees have been paid.
- 2.22 Overhead utilities shall be under-grounded, in accordance with Title 7 of the City's Municipal Code (Ordinance No. 2804 and 2892). Developer may pay in-lieu fee, approximately \_\_\_\_\_, for undergrounding of utilities in accordance with Section 7-7.302.e of the City's Municipal Code.
- 2.23 Other conditions: \_\_\_\_\_

**C. SEWER**

- 2.24 A \_\_\_\_\_ inch sewer main is available for connection by this project in \_\_\_\_\_ (Ref: Sewer plan bar code: \_\_\_\_\_)
- 2.25 **Design and construct a sewer main extension. A sewer main is not available for direct connection. The closest main is approximately 4,683 feet away.**
- 2.26 Submit documentation that shows expected peak loading values for modeling the impact of the subject project to the existing sewer system. The project site is within a deficient public sewer system area. Applicant shall be responsible for all costs associated with the preparation of the model. Based on the results of the analysis, Applicant may be required to mitigate the project impact to the deficient public sewer system, including, but not limited to, upgrading of existing sewer main(s), construction of new sewer main(s) or diversion of sewer discharge to another sewer.
- 2.27 **Other conditions:** 
  - A. Construct 15" sewer line on Mill Creek Ave from northerly project frontage to point of connection near TM 17931.
  - B. Sewer Laterals: Install sewer laterals connected to City of Ontario sewer mains in accordance with City of Ontario Standards and Design Guidelines and Specifications. Install a monitoring manhole at each mainline connection.
  - C. Wastewater Discharge Permit: Each Occupant of the building, or units, shall apply for a Wastewater Discharge Permit for their Establishment, and shall comply with all the requirements of their Wastewater Discharge Permit. For wastewater permit application





questions, please contact OMUC Environmental at: [omucenvironmental@ontarioca.gov](mailto:omucenvironmental@ontarioca.gov)

#### D. WATER

- 2.28 A 30 inch water main is available for connection by this project in Hamner Ave. (Ref: Water plan bar code: W13500)
- 2.29 Design and construct a water main extension. A water main is not available for direct connection. The closest main is approximately \_\_\_\_\_ feet away.
- 2.30 Other conditions: 
  - A. Construct 12" domestic water line on Mill Creek from northerly project frontage to Ontario Ranch Rd.
  - B. Water Services: Install separate water services with backflow prevention devices. Backflow devices shall be located on private property directly behind the property line.
  - C. Fire Services: Install fire services each with a double check detector assembly (DCDA); one connected to the existing water main in Hamner Avenue and one connected to the new water main in Mill Creek Avenue. The DCDA shall be located on private property directly behind the property line. Each Fire Department Connect (FDC) shall be located within 100-feet of a public fire hydrant.
  - D. Fire Hydrants: Install public hydrants within the right-of-way at a maximum spacing of 300-feet along the frontages of Hamner Avenue and Mill Creek Avenue.

#### E. RECYCLED WATER

- 2.31 A 12 inch recycled water main is available for connection by this project in Ontario Ranch Rd. (Ref: Recycled Water plan bar code: P11417)
- 2.32 Design and construct an on-site recycled water system for this project. A recycled water main does exist in the vicinity of this project.
- 2.33 Design and construct an on-site recycled water ready system for this project. A recycled water main does not currently exist in the vicinity of this project, but is planned for the near future. If Applicant would like to connect to this recycled water main when it becomes available, the cost for the connection shall be borne solely by the Applicant.
- 2.34 Submit two (2) hard copies and one (1) electronic copy, in PDF format, of the Engineering Report (ER), for the use of recycled water, to the OMUC for review and subsequent submittal to the California Department of Public Health (CDPH) for final approval.

Note: The OMUC and the CDPH review and approval process will be approximately three (3) months. Contact the Ontario Municipal Utilities Company at (909) 395-2647 regarding this requirement.

- 2.35 Other conditions: 
  - A. Construct 12" recycled water line on Mill Creek Ave from northerly project frontage to Ontario Ranch Rd.
  - B. Construct 12" recycled water line on Hamner Ave from northerly project frontage to Ontario Ranch Rd.
  - C. City Ordinance 2689: This development shall comply with City Ordinance 2689 and make use of recycled water for all approved uses, including but not limited to landscaping irrigation. This also includes:
    - i. Separate recycled water irrigation services for each building's private landscape area.
    - ii. Separate recycled water irrigation services for the City maintained neighborhood edges and medians.
  - D. Recycled Water Services: Install new recycled water services to the new recycled water mains in Hamner Avenue and Mill Creek Avenue.



**F. TRAFFIC / TRANSPORTATION**

- 2.36 Submit a focused traffic impact study, prepared and signed by a Traffic/Civil Engineer registered in the State of California. The study shall address, but not be limited to, the following issues as required by the City Engineer: 
  - 1. On-site and off-site circulation
  - 2. Traffic level of service (LOS) at 'build-out' and future years
  - 3. Impact at specific intersections as selected by the City Engineer
- 2.37 New traffic signal installations shall be added to Southern California Edison (SCE) customer account number # 2-20-044-3877.
- 2.38 Other conditions: 
  - A. The Applicant/Developer shall be responsible to design and construct modification to the eastbound left turn median island on Ontario Ranch Road at Mill Creek Avenue. The Applicant/Developer shall remove approximately 60-feet of the existing left turn raised median island and create a striped gore area. The remaining raised median shall be reconstructed with a radius. See markup included with the attached Transportation Section memorandum dated 8/10/2022 for reference.
  - B. The Applicant/Developer shall be responsible to design and construct the curb returns at the northeast and northwest corners of Mill Creek Avenue and Ontario Ranch Road to accommodate WB-67. The Applicant/Developer shall verify that curb return radii are designed to adequately accommodate the WB-67 via truck turning templates.
  - C. The northernmost proposed driveway onto Mill Creek Avenue shall be designed to restrict all outbound vehicle turning movements to "left turn only" via a modified curb return radii and driveway median island. All outbound vehicles at this driveway must make left turns onto Mill Creek Avenue towards Ontario Ranch Road.
  - D. The southernmost proposed driveway onto Mill Creek Avenue shall be signed to restrict right turns onto Mill Creek Avenue for outbound trucks. All outbound trucks at this driveway must make left turns onto Mill Creek Avenue towards Ontario Ranch Road.
  - E. The Applicant/Developer shall design and construct the ultimate signing and striping improvements along the project frontage of Hamner Avenue including the southbound section of Hamner Avenue from 500-feet north of Micro Drive to Ontario Ranch Road. In addition to the installation of the ultimate signing and striping on Hamner Avenue, the Applicant/Developer shall design and construct modifications to the traffic signal on Hamner Avenue at Micro Drive. The traffic signal modification shall include the installation of additional overhead vehicle indications and the modification of vehicle detection and associated equipment necessary to accommodate the ultimate southbound Hamner Avenue signing and striping.
  - F. The Applicant/Developer shall design and construct the ultimate signing and striping improvements along the project frontage of Ontario Ranch Road including the westbound section of Ontario Ranch Road from Hamner Avenue to Goodman Road. In addition to the installation of the ultimate signing and striping on Ontario Ranch Road, the Applicant/Developer shall design and construct modifications to the traffic signal at Hamner Avenue. The traffic signal modifications shall include the installation of additional overhead vehicle indications and the modification of vehicle detection and associated equipment necessary to accommodate the ultimate westbound Ontario Ranch Road signing and striping.
  - G. The Applicant/Developer shall be responsible to design and construct a new traffic signal system at Ontario Ranch Road and Mill Creek Avenue to the satisfaction of the City Engineer. The new traffic signal shall include, video detection, CCTV, interconnect/fiber optic communication equipment, cable and conduit, emergency vehicle preemption systems and bicycle detection to the satisfaction of the City Engineer. All new signal equipment shall be installed at its ultimate location, unless precluded by right-of-way limitations.
  - H. The Applicant/Developer shall be responsible to design and construct a new traffic signal system at Hamner Avenue and the northerly driveway on Hamner Avenue to the satisfaction of the City Engineer. The new traffic signal shall include, video detection, CCTV, interconnect/fiber optic communication equipment, cable and conduit,



- emergency vehicle preemption systems and bicycle detection to the satisfaction of the City Engineer. All new signal equipment shall be installed at its ultimate location, unless precluded by right-of-way limitations.
- I. The Applicant/Developer shall be responsible to design and construct modifications to the existing traffic signal on Hamner Avenue and Ontario Ranch Road. The traffic signal modification shall address relocation or upgrade of any affected equipment including poles, video detection, interconnect/fiber optic communication equipment, cable and conduit, emergency vehicle preemption systems, and bicycle detection to the satisfaction of the City Engineer. All new signal equipment shall be installed at its ultimate location, unless precluded by right-of-way limitations.
  - J. The Applicant/Developer shall construct concrete approaches for southbound direction on Hamner Avenue at Ontario Ranch Road, and at signalized driveway north of Ontario Ranch Road, since Hamner Avenue is a truck route in accordance with the City of Ontario Standard Drawing No. 1207.
  - K. The Applicant/Developer shall construct concrete approaches for westbound direction on Ontario Ranch Road at Mill Creek Avenue and at the two median breaks in between since Ontario Ranch Road is a truck route in accordance with the City of Ontario Standard Drawing No. 1207.
  - L. The Applicant/Developer shall be responsible to design and construct concrete bus turnouts to serve future bus stops on Hamner Avenue and Ontario Ranch Road on the departure side of the following intersections:
    - i. Hamner Avenue and the proposed signalized driveway approximately 1,000-feet north of Ontario Ranch Road (on Hamner Avenue)
    - ii. Ontario Ranch Road and Hamner Avenue (on Ontario Ranch Road)
    - iii. Ontario Ranch Road and the future signalized median break approximately 960-feet east of Mill Creek Avenue (on Ontario Ranch Road)

The bus turnouts shall be designed in accordance with Omnitrans requirements and to the satisfaction of the City Engineer.

- M. The Applicant/Developer shall be responsible to design and construct a concrete bus pad to serve the future bus stop on the departure side of the following intersection:
  - i. Mill Creek Avenue and Ontario Ranch Road (on Mill Creek Avenue)

The bus pad shall be designed in accordance with Omnitrans requirements and to the satisfaction of the City Engineer.

- N. Design and construct proposed driveways in accordance with City of Ontario Standard Drawing No. 1204 for Commercial Driveway.
- O. Ontario Ranch Road, Hamner Avenue and Mill Creek Avenue shall be signed "No Parking Anytime" along the property frontage.
- P. All landscaping, block walls, and other obstructions shall be compatible with the stopping sight distance requirements per City of Ontario Standard Drawing No. 1309.
- Q. The Applicant/Developer's engineer-of-record shall meet with City Engineering staff prior to designing and submitting for plan check the signing/stripping, street lighting and traffic signal design plans to define limits of improvements.
- R. The improvements listed above in 2.38E, F, H and I are partially in the City of Eastvale. The City of Eastvale may require additional improvements.

**G. DRAINAGE / HYDROLOGY**

- 2.39 A \_\_\_\_\_ inch storm drain main is available to accept flows from this project in \_\_\_\_\_.   
 (Ref: Storm Drain plan bar code: \_\_\_\_\_)
- 2.40 Submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California. The study shall be prepared in accordance with the San Bernardino County Hydrology Manual and City of Ontario standards and guidelines. Additional drainage facilities, including, but not limited to, improvements beyond the project frontage, may be required to be designed and constructed, by Applicant, as a result of the findings of this study.



- 2.41 An adequate drainage facility to accept additional runoff from the site does not currently exist downstream of the project. Design and construct a storm water detention facility on the project site. 100 year post-development peak flow shall be attenuated such that it does not exceed 80% of pre-development peak flows, in accordance with the approved hydrology study and improvement plans.
- 2.42 Submit a copy of a recorded private drainage easement or drainage acceptance agreement to the Engineering Department for the acceptance of any increase to volume and/or concentration of historical drainage flows onto adjacent property, prior to approval of the grading plan for the project.
- 2.43 Comply with the City of Ontario Flood Damage Prevention Ordinance (Ordinance No. 2409). The project site or a portion of the project site is within the Special Flood Hazard Area (SFHA) as indicated on the Flood Insurance Rate Map (FIRM) and is subject to flooding during a 100 year frequency storm. The site plan shall be subject to the provisions of the National Flood Insurance Program.
- 2.44 **Other conditions:** 
  - A. **There is currently an update to upsize the storm drain line on Mill Creek Ave south of Chino Ave due to TOP/land use changes and hydraulic issues. As a result, this project will be required to detain onsite and outlet specific Qs to Ontario Ranch Rd as listed below:**
    - i. **West tributary area = 67 cfs**
    - ii. **East tributary area = 39 cfs**
  - B. **Construct storm drain line (size varies, 84" to 108") on Mill Creek Ave from northerly project frontage to point of connection near TM 17931.**
  - C. **Construct 36" storm drain line on Hamner Ave from northerly project frontage to point of connection near TM 20285.**

**H. STORM WATER QUALITY / NATIONAL POLLUTANT DISCHARGE AND ELIMINATION SYSTEM (NPDES)**

- 2.45 401 Water Quality Certification/404 Permit – Submit a copy of any applicable 401 Certification or 404 Permit for the subject project to the City project engineer. Development that will affect any body of surface water (i.e. lake, creek, open drainage channel, etc.) may require a 401 Water Quality Certification from the California Regional Water Quality Control Board, Santa Ana Region (RWQCB) and a 404 Permit from the United States Army Corps of Engineers (USACE). The groups of water bodies classified in these requirements are perennial (flow year round) and ephemeral (flow during rain conditions, only) and include, but are not limited to, direct connections into San Bernardino County Flood Control District (SBCFCD) channels.  
 If a 401 Certification and/or a 404 Permit are not required, a letter confirming this from Applicant's engineer shall be submitted.  
 Contact information: USACE (Los Angeles District) (213) 452-3414; RWQCB (951) 782-4130.
- 2.46 **Submit a Water Quality Management Plan (WQMP). This plan shall be approved by the Engineering Department prior to approval of any grading plan. The WQMP shall be submitted, utilizing the current San Bernardino County Stormwater Program template, available at: <http://www.sbcounty.gov/dpw/land/npdes.asp>.**
- 2.47 Design and construct a Connector Pipe Trash Screen or equivalent Trash Treatment Control Device, per catch basin located within or accepting flows tributary of a Priority Land Use (PLU) area that meets the Full Capture System definition and specifications, and is on the Certified List of the State Water Resources Control Board. The device shall be adequately sized per catch basin and include a deflector screen with vector control access for abatement application, vertical support bars, and removable component to facilitate maintenance and cleaning.
- 2.48 Other conditions: \_\_\_\_\_



**J. SPECIAL DISTRICTS**

- 2.49 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Investment and Revenue Resources at (909) 395-2341 to initiate the CFD application process.
- 2.50 Other conditions: \_\_\_\_\_

**K. FIBER OPTIC**

- 2.51 A fiber optic line is available for connection by this project in Hamner Ave. (Ref: Fiber Optic plan bar code: O10504)
- 2.52 Design and construct fiber optic system to provide access to the City's conduit and fiber optic system per the City's Fiber Optic Master Plan. Building entrance conduits shall start from the closest OntarioNet hand hole constructed along the project frontage in the ROW and shall terminate in the main telecommunications room for each building. Conduit infrastructure shall interconnect with the primary and/or secondary backbone fiber optic conduit system at the nearest OntarioNet hand hole located at the southwest corner Hamner Ave & Ontario Ranch Rd. Limits of work are generally located along the project frontages of Mill Creek Ave and Ontario Ranch Rd.
- 2.53 Refer to the City's Fiber Optic Master Plan for design and layout guidelines. Contact the Broadband Operations Department at (909) 395-2000, regarding this requirement.

**3. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, APPLICANT SHALL:**

- 3.01 Set new monuments in place of any monuments that have been damaged or destroyed as a result of construction of the subject project. Monuments shall be set in accordance with City of Ontario standards and to the satisfaction of the City Engineer.
- 3.02 Complete all requirements for recycled water usage. 
  - 1) Procure from the OMUC a copy of the letter of confirmation from the California Department of Public Health (CDPH) that the Engineering Report (ER) has been reviewed and the subject site is approved for the use of recycled water.
  - 2) Obtain clearance from the OMUC confirming completion of recycled water improvements and passing of shutdown tests and cross connection inspection, upon availability/usage of recycled water.
  - 3) Complete education training of on-site personnel in the use of recycled water, in accordance with the ER, upon availability/usage of recycled water.
- 3.03 The applicant/developer shall submit all final survey documents prepared by a Licensed Surveyor registered in the State of California detailing all survey monuments that have been preserved, revised, adjusted or set along with any maps, corner records or Records of Survey needed to comply with these Conditions of Approvals and the latest edition of the California Professional Land Survey Act. These documents are to be reviewed and approved by the City Survey Office.
- 3.04 Ontario Ranch Projects: For developments located at an intersection of any two collector or arterial streets, the applicant/developer shall set a monument if one does not already exist at that intersection. Contact the City Survey office for information on reference benchmarks, acceptable methodology and required submittals.



- 3.05 Confirm payment of all Development Impact Fees (DIF) to the Building Department.
- 3.06 Submit electronic copies (PDF and Auto CAD format) of all approved improvement plans, studies and reports (i.e. hydrology, traffic, WQMP, etc.).

**4. PRIOR TO FINAL ACCEPTANCE, APPLICANT SHALL:**

- 4.01 Complete all Conditions of Approval listed under Sections 1-3 above.
- 4.02 Pay all outstanding fees pursuant to the City of Ontario Municipal Code, including but not limited to, plan check fees, inspection fees and Development Impact Fees.
- 4.03 The applicant/developer shall submit a written request for the City's final acceptance of the project addressed to the City Project Engineer. The request shall include a completed Acceptance and Bond Release Checklist, state that all Conditions of Approval have been completed and shall be signed by the applicant/developer. Upon receipt of the request, review of the request shall be a minimum of 10 business days. Conditions of Approval that are deemed incomplete by the City will cause delays in the acceptance process.
- 4.04 Submit record drawings (PDF) for all public improvements identified within Section 2 of these Conditions of Approval.



## **EXHIBIT 'A'**

### **ENGINEERING DEPARTMENT First Plan Check Submittal Checklist**

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Project Number: PDEV22-001

**The following items are required to be included with the first plan check submittal:**

1.  **A copy of this check list**
2.  **Payment of fee for Plan Checking**
3.  **One (1) copy of Engineering Cost Estimate (on City form) with engineer's wet signature and stamp.**
4.  **One (1) copy of project Conditions of Approval**
5.  **Include a PDF (electronic submittal) of each required improvement plan at every submittal.**
6.  **Two (2) sets of Potable and Recycled Water demand calculations (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size).**
7.  **Three (3) sets of Public Street improvement plan with street cross-sections**
8.  **Four (4) sets of Public Water improvement plan (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)**
9.  **Four (4) sets of Recycled Water improvement plan (include recycled water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size and an exhibit showing the limits of areas being irrigated by each recycled water meter)**
10.  **Four (4) sets of Public Sewer improvement plan**
11.  **Five (5) sets of Public Storm Drain improvement plan**
12.  **Three (3) sets of Public Street Light improvement plan**
13.  **Three (3) sets of Signing and Striping improvement plan**
14.  **Three (3) sets of Fiber Optic plan (include Auto CAD electronic submittal)**
15.  **Three (3) sets of Dry Utility plans within public right-of-way (at a minimum the plans must show existing and ultimate right-of-way, curb and gutter, proposed utility location including centerline dimensions, wall to wall clearances between proposed utility and adjacent public line, street work repaired per Standard Drawing No. 1306. Include Auto CAD electronic submittal)**
16.  **Three (3) sets of Traffic Signal improvement plan and One (1) copy of Traffic Signal Specifications with modified Special Provisions. Please contact the Traffic Division at (909) 395-2154 to obtain Traffic Signal Specifications.**
17.  **Two (2) copies of Water Quality Management Plan (WQMP), including one (1) copy of the approved Preliminary WQMP (PWQMP).**
18.  **One (1) copy of Hydrology/Drainage study**
19.  **One (1) copy of Soils/Geology report**
20.  **Payment for Final Map/Parcel Map processing fee**



21.  Three (3) copies of Final Map/Parcel Map
22.  One (1) copy of approved Tentative Map
23.  **One (1) copy of Preliminary Title Report (current within 30 days)**
24.  **One (1) copy of Traverse Closure Calculations**
25.  **One (1) set of supporting documents and maps (legible copies): referenced improvement plans (full size), referenced record final maps/parcel maps (full size, 18"x26"), Assessor's Parcel map (full size, 11"x17"), recorded documents such as deeds, lot line adjustments, easements, etc.**
26.  **Two (2) copies of Engineering Report and an electronic file (include PDF format electronic submittal) for recycled water use**
27.  **Two (2) copies of prepared legal description and plat. (Original signed & wet stamped copies are not needed until after the City has completed the plan checking of the documents.)**
28.  **Two (2) copies of completely filled out "Easement Deed of Right-of-Way Dedication". (Original signed certificate and original acknowledgement(s) are not needed until after the City has completed the plan checking of the documents.)**





# CITY OF ONTARIO MEMORANDUM

## Development Plan Review Engineering Department: Transportation Section

Project: PDEV22-001

Date: August 10, 2022

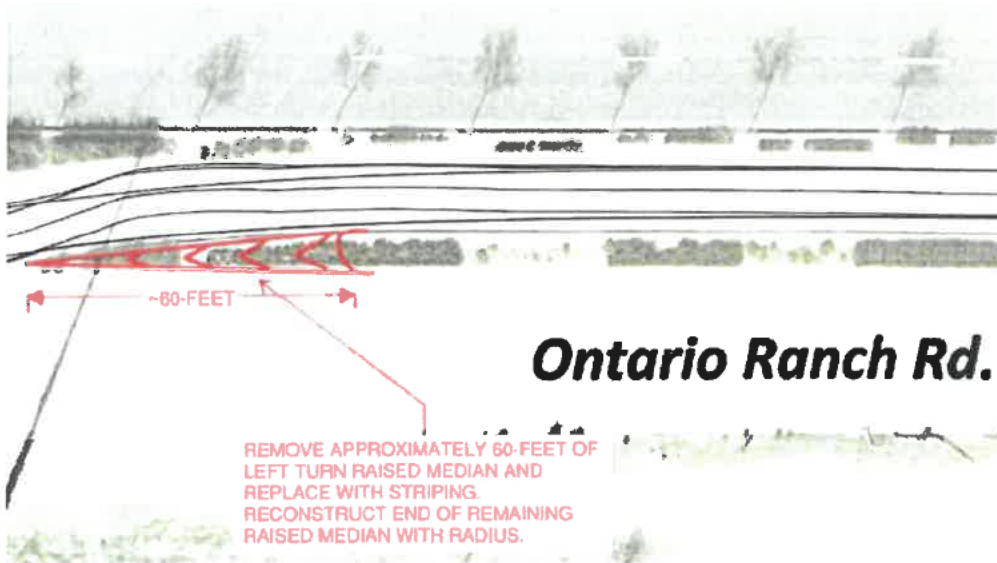
Location: NWC of Hamner Avenue and Ontario Ranch  
Road (Rich-Haven Specific Plan)

By: Jaime Maciel-Carrera  
Nathan Kuan

***The Transportation Division recommends the following to be incorporated into the Project's Conditions-of-Approval:***

### Conditions:

1. The Applicant/Developer shall be responsible to design and construct modification to the eastbound left turn median island on Ontario Ranch Road at Mill Creek Avenue. The Applicant/Developer shall remove approximately 60-feet of the existing left turn raised median island and create a striped gore area. The remaining raised median shall be reconstructed with a radius. See markup below for reference.



2. The Applicant/Developer shall be responsible to design and construct the curb returns at the northeast and northwest corners of Mill Creek Avenue and Ontario Ranch Road to accommodate WB-67. The Applicant/Developer shall verify that curb return radii are designed to adequately accommodate the WB-67 via truck turning templates.

3. The northernmost proposed driveway onto Mill Creek Avenue shall be designed to restrict all outbound vehicle turning movements to “left turn only” via a modified curb return radii and driveway median island. All outbound vehicles at this driveway must make left turns onto Mill Creek Avenue towards Ontario Ranch Road.
4. The southernmost proposed driveway onto Mill Creek Avenue shall be signed to restrict right turns onto Mill Creek Avenue for outbound trucks. All outbound trucks at this driveway must make left turns onto Mill Creek Avenue towards Ontario Ranch Road.
5. The Applicant/Developer shall be responsible to design and construct half-width frontage improvements including a two-way left turn lane, a southbound 14-foot wide circulation lane and 5-foot graded shoulder along Mill Creek Avenue between Ontario Ranch Road and the northerly property line in accordance with conditions issued by City’s Land Development Division. These, and all other street improvements required herein, shall include, but not be limited to, concrete curb and gutter, sidewalk, LED street lights, signing and striping, and parkway landscaping.
6. The Applicant/Developer shall be responsible to design and construct half-width frontage improvements along Hamner Avenue including a raised median between Ontario Ranch Road and the northerly property line in accordance with conditions issued by City’s Land Development Division. These, and all other street improvements required herein, shall include, but not be limited to, concrete curb and gutter, sidewalk, LED street lights, signing and striping, parkway landscaping and necessary pavement transitions and striping south of Ontario Ranch Road required accommodate 3 southbound thru lanes through the intersection.
7. The Applicant/Developer shall be responsible to design and construct half-width frontage improvements along Ontario Ranch Road between Hamner Avenue and Mill Creek Avenue in accordance with conditions issued by City’s Land Development Division. These, and all other street improvements required herein, shall include, but not be limited to, concrete curb and gutter, sidewalk, LED street lights, signing and striping, parkway landscaping and necessary pavement transitions and striping west of Mill Creek Avenue.
8. The Applicant/Developer shall design and construct the ultimate signing and striping improvements along the project frontage of Hamner Avenue including the southbound section of Hamner Avenue from 500-feet north of Micro Drive to Ontario Ranch Road. In addition to the installation of the ultimate signing and striping on Hamner Avenue, the Applicant/Developer shall design and construct modifications to the traffic signal on Hamner Avenue at Micro Drive. The traffic signal modification shall include the installation of additional overhead vehicle indications and the modification of vehicle detection and associated equipment necessary to accommodate the ultimate southbound Hamner Avenue signing and striping.
9. The Applicant/Developer shall design and construct the ultimate signing and striping improvements along the project frontage of Ontario Ranch Road including the westbound section of Ontario Ranch Road from Hamner Avenue to Goodman Road. In addition to the installation of the ultimate signing and striping on Ontario Ranch Road, the Applicant/Developer shall design and construct modifications to the traffic signal at Hamner Avenue. The traffic signal modifications shall include the installation of additional overhead vehicle indications and the modification of vehicle detection and associated equipment necessary to accommodate the ultimate westbound Ontario Ranch Road signing and striping.

10. The Applicant/Developer shall be responsible to design and construct a new traffic signal system at Ontario Ranch Road and Mill Creek Avenue to the satisfaction of the City Engineer. The new traffic signal shall include, video detection, CCTV, interconnect/fiber optic communication equipment, cable and conduit, emergency vehicle preemption systems and bicycle detection to the satisfaction of the City Engineer. All new signal equipment shall be installed at its ultimate location, unless precluded by right-of-way limitations.
11. The Applicant/Developer shall be responsible to design and construct a new traffic signal system at Hamner Avenue and the northerly driveway on Hamner Avenue to the satisfaction of the City Engineer. The new traffic signal shall include, video detection, CCTV, interconnect/fiber optic communication equipment, cable and conduit, emergency vehicle preemption systems and bicycle detection to the satisfaction of the City Engineer. All new signal equipment shall be installed at its ultimate location, unless precluded by right-of-way limitations.
12. The Applicant/Developer shall be responsible to design and construct modifications to the existing traffic signal on Hamner Avenue and Ontario Ranch Road. The traffic signal modification shall address relocation or upgrade of any affected equipment including poles, video detection, interconnect/fiber optic communication equipment, cable and conduit, emergency vehicle preemption systems, and bicycle detection to the satisfaction of the City Engineer. All new signal equipment shall be installed at its ultimate location, unless precluded by right-of-way limitations.
13. The Applicant/Developer shall construct concrete approaches for southbound direction on Hamner Avenue at Ontario Ranch Road, and at signalized driveway north of Ontario Ranch Road, since Hamner Avenue is a truck route in accordance with the City of Ontario Standard Drawing No. 1207.
14. The Applicant/Developer shall construct concrete approaches for westbound direction on Ontario Ranch Road at Mill Creek Avenue and at the two median breaks in between since Ontario Ranch Road is a truck route in accordance with the City of Ontario Standard Drawing No. 1207.
15. The Applicant/Developer shall be responsible to design and construct concrete bus turnouts to serve future bus stops on Hamner Avenue and Ontario Ranch Road on the departure side of the following intersections:
  - a. Hamner Avenue and the proposed signalized driveway approximately 1,000-feet north of Ontario Ranch Road (on Hamner Avenue)
  - b. Ontario Ranch Road and Hamner Avenue (on Ontario Ranch Road)
  - c. Ontario Ranch Road and the future signalized median break approximately 900-feet east of Mill Creek Avenue (on Ontario Ranch Road)

The bus turnouts shall be designed in accordance with Omnitrans requirements and to the satisfaction of the City Engineer.

13. The Applicant/Developer shall be responsible to design and construct concrete bus pads to serve future bus stops on the departure side of the following intersections:
  - a. Mill Creek Avenue and Ontario Ranch Road (on Mill Creek Avenue)

The bus pad shall be designed in accordance with Omnitrans requirements and to the satisfaction of the City Engineer.

16. Design and construct proposed driveways in accordance with City of Ontario Standard Drawing No. 1204 for Commercial Driveway.
17. Ontario Ranch Road, Hamner Avenue and Mill Creek Avenue shall be signed "No Parking Anytime" along the property frontage.
18. All landscaping, block walls, and other obstructions shall be compatible with the stopping sight distance requirements per City of Ontario Standard Drawing No. 1309.
19. The Applicant/Developer's engineer-of-record shall meet with City Engineering staff prior to designing and submitting for plan check the signing/striping, street lighting and traffic signal design plans to define limits of improvements.

jmc, nk;



# CITY OF ONTARIO

## MEMORANDUM

TO: Scott Murphy, Community Development Director (Copy of memo only)  
Rudy Zeledon, Planning Director (Copy of memo only)  
Diane Ayala, Advanced Planning Division (Copy of memo only)  
Charity Hernandez, Economic Development  
James Caro, Building Department  
Raymond Lee, Engineering Department  
Jamie Richardson, Landscape Planning Division  
Dennis Mejia, Municipal Utility Company  
Gabriel Gutierrez, Police Department  
Paul Erhman, Deputy Fire Chief/Fire Marshal  
Jay Bautista, Traffic/Transportation Manager  
Lorena Mejia, Airport Planning  
Eric Woosley, Engineering/NPDES  
Angela Magana, Community Improvement (Copy of memo only)  
Jimmy Chang, IPA Department  
Ben Mayorga, Integrated Waste

FROM: Lorena Mejia, Senior Planner

DATE: January 06, 2022

SUBJECT: FILE #: PDEV22-001

Finance Acct#:

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The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by .

- Note:**
- Only DAB action is required
  - Both DAB and Planning Commission actions are required
  - Only Planning Commission action is required
  - DAB, Planning Commission and City Council actions are required
  - Only Zoning Administrator action is required

**PROJECT DESCRIPTION:** A Development Plan to construct 1 industrial building totaling 1,003,440 square feet on 53.06 acres of land located at 13744 S Milliken Avenue, within the Regional Commercial land use district of the Rich Haven Specific Plan (APN(s): 218-211-31).

- The plan does adequately address the departmental concerns at this time.
  - No comments
  - Report attached (1 copy and email 1 copy)
  - Standard Conditions of Approval apply
- The plan does not adequately address the departmental concerns.
  - The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

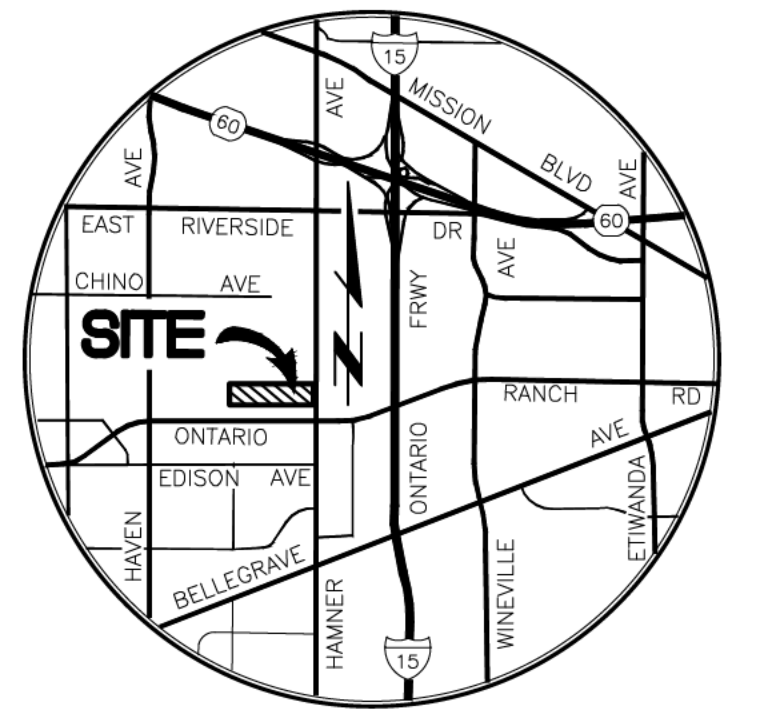
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Department

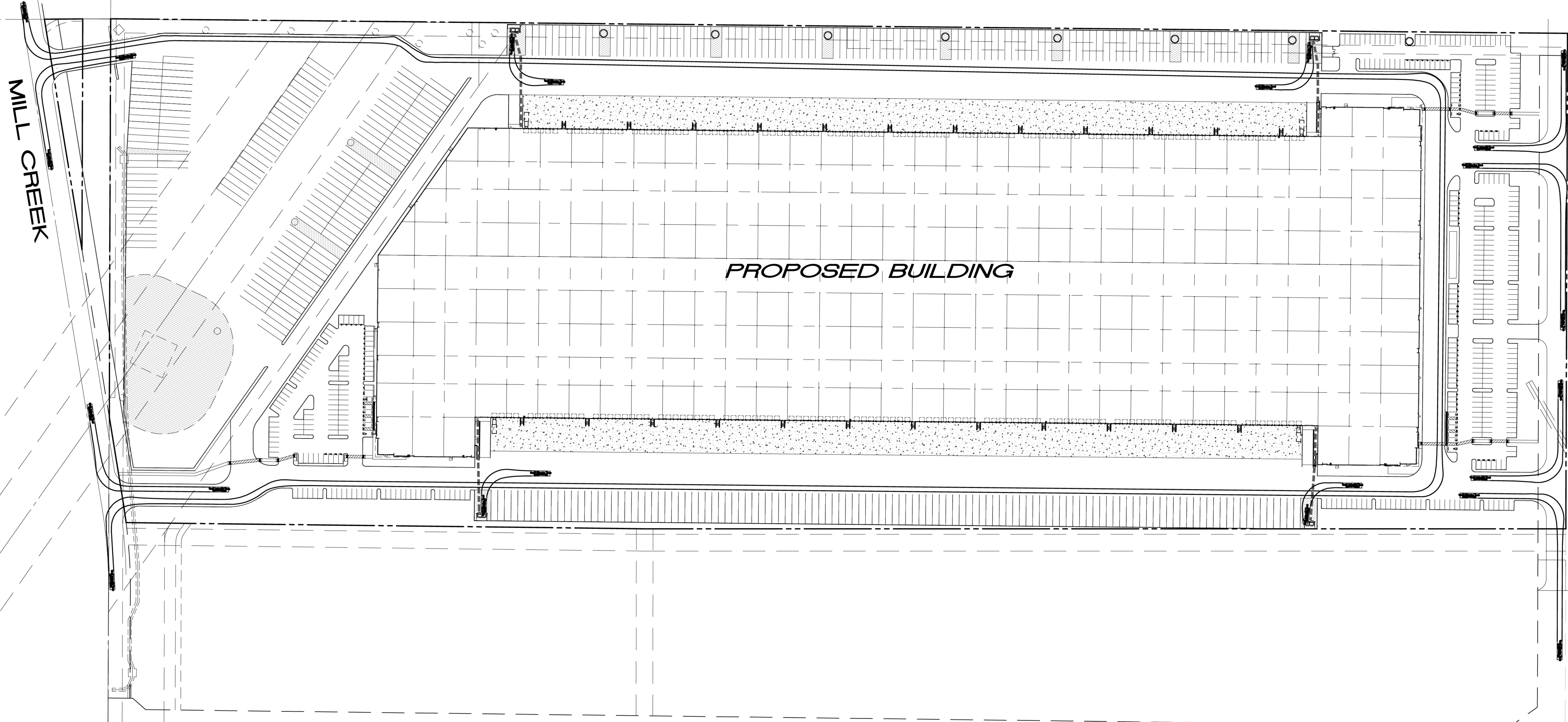
Signature

Title

Date  
Item C - 44 of 53



VICINITY MAP  
N.T.S.



HAMNER AVENUE

PROPOSED BUILDING

MILL CREEK

ONTARIO RANCH ROAD

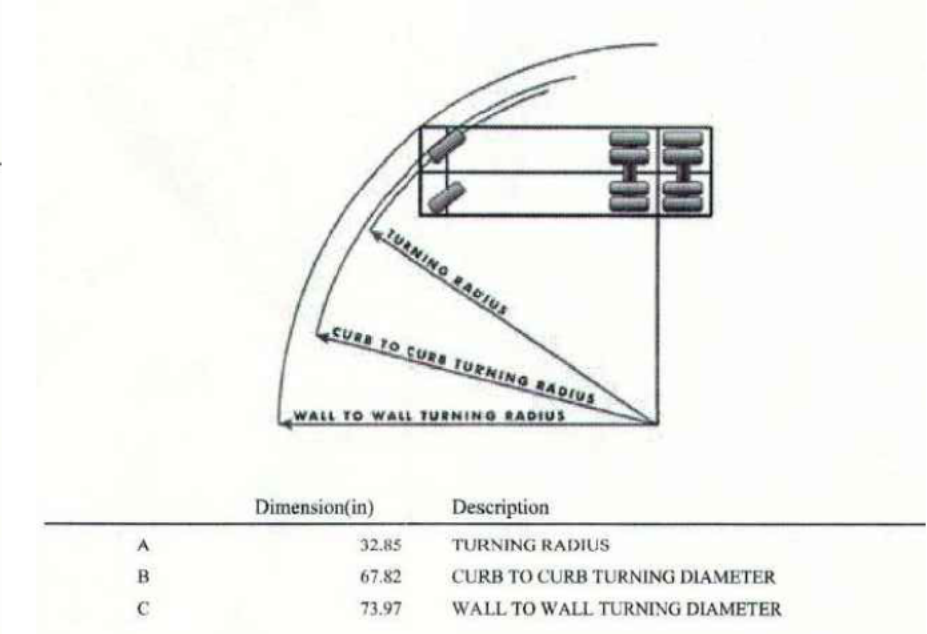
Dimensions

Dimension(s)	Description
A	39.00 CAB HEIGHT
B	62.00 BUMPER TO BACK OF CAB
C	94.00 EFFECTIVE BUMPER TO BACK OF CAB
D	370.00 OVERALL LENGTH
E	276.00 EFFECTIVE CAB TO END OF FRAME
F	172.00 EFFECTIVE CAB TO REAR AXLE
G	42.00 UNLADDER FRAME HEIGHT
H	184.00 OVERHANG
I	185.00 WHEELBASE
J	71.00 BUMPER TO FRONT AXLE
K	24.00 DRIVER CENTER OF GRAVITY
L	23.00 EFFECTIVE FRONT AXLE TO BACK
M	101.95 OVERALL HEIGHT
N	0.00 FRONT FRAME EXTENSION

**SPECIFICATION SUMMARY**

Model	ACM4 Class 8
Engine	ISL-G, 320 HP @ 2200/1900 LB-FT, CUMMINS-WESTPORT
Transmission	ALLISON 400 SERIES 6-SPEED
Rear Axle	MERITOR MT40-14X (40000 LBS)
Rear Axle Ratio	5.86
Rear Tire	11R22.5H

Turning Radius



**SPECIFICATION SUMMARY**

Model	ISL-G, 320 HP @ 2200/1900 LB-FT, CUMMINS-WESTPORT
Engine	ISL-G, 320 HP @ 2200/1900 LB-FT, CUMMINS-WESTPORT
Transmission	ALLISON 400 SERIES 6-SPEED
Rear Axle	MERITOR MT40-14X (40000 LBS)
Rear Axle Ratio	5.86
Rear Tire	11R22.5H

Ontario Trash Truck

Overall Length	370.00 FT
Overall Width	8.50 FT
Overall Height	101.95 FT
Truck Body Height	42.00 FT
Truck Wheel Ground Clearance	8.30 FT
Lock-to-lock time	8.00 Sec
Curb to Curb Turning Radius	33.97 FT

LEGEND

----- ADA PATH

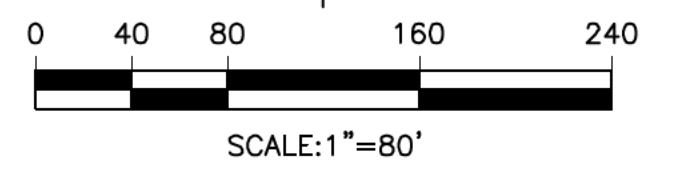
COMMERCIAL AND INDUSTRIAL REFUSE AND RECYCLING STANDARDS  
BIN COLLECTION

CONTAINER STORAGE STANDARDS

- A. THROUGH CIRCULATION SHALL BE PROVIDED FOR SOLID WASTE VEHICLES.
- B. ALL REFUSE ENCLOSURES SHALL BE LOCATED ON MAJOR DRIVES WITHIN DEVELOPMENTS TO ACHIEVE ADEQUATE CIRCULATION OF REFUSE VEHICLES.
- C. A FIVE FOOT WIDE CONCRETE APRON, WITH A 2% MAXIMUM PITCH, SHALL BE PLACED IN FRONT OF ALL REFUSE ENCLOSURES TO ALLOW FOR SAFE AND EFFICIENT REMOVAL OF BINS. NO DRAINAGE Y-DITCHES OR CATCH BASINS SHALL BE ALLOWED WITHIN THE FIVE FOOT APRON.
- D. TO ENCOURAGE RECYCLING, ENCLOSURES DESIGNED FOR A MAXIMUM OF ONE (1) BIN ARE PROHIBITED. ENCLOSURES SHALL ALLOW FOR STORAGE OF RECYCLING BINS OR CANS IN ADDITION TO REFUSE BINS.
- E. ENCLOSURES MUST BE DESIGNED SO THAT REFUSE AND RECYCLING CONTAINERS MAY BE ACCESSED BY THE GENERATOR AND SERVICED BY THE SERVICE PROVIDER WITHOUT MOVING OTHER BINS.
- F. ENCLOSURES MUST BE DESIGNED SO THAT BIN LIDS FACE THE PEDESTRIAN ACCESS LOCATION.
- G. ENCLOSURES MUST BE DESIGNED WITH A ROOF OR OVERHANG AT LEAST 8 VERTICAL FEET FROM THE GROUND. ENCLOSURES SHALL BE CONSTRUCTED WITH A SOLID ROOF MEETING ARCHITECTURAL AND STRUCTURAL DESIGN CRITERIA FROM PLANNING AND BUILDING DEPARTMENTS.
- H. ENCLOSURES SHALL BE LOCATED SO THAT REFUSE VEHICLES CAN PULL TO WITHIN 5 FEET OF GATES.
- I. ENCLOSURES LOCATED CLOSER THAN 5 FEET TO AN ADJACENT STRUCTURE SHALL BE PROTECTED BY AUTOMATIC FIRE SPRINKLERS APPROVED BY THE ONTARIO FIRE DEPARTMENT.
- J. GATE STOP COLLARS SHALL BE INSTALLED TO PREVENT ENCLOSURE GATES FROM SWINGING INTO ADJACENT PARKING STALLS. STEEL CANE BOLT SLEEVES SHALL BE INSTALLED IN THE GROUND OUTSIDE OF BIN ENCLOSURE GATES TO PREVENT GATES FROM SWINGING SHUT.
- K. ENCLOSURES SHALL BE SCREENED WITH PLANT MATERIAL WHENEVER POSSIBLE.
- L. REFER TO CITY OF ONTARIO ENCLOSURE DRAWINGS - P. 8, 10, 11

TRASH ENCLOSURE CALCULATIONS

BUILDING	OFFICE S.F.	WAREHOUSE S.F.	TOTAL BLDG S.F.	BINS REQUIRED (1 per 30,000)	C.Y. REQUIRED (4 per Bin)	TOTAL BINS PROVIDED	C.Y. PROVIDED
1	15,000	988,440	1,003,440	34	134	8	32



Last Update: 12/21/21  
0:\4000-4099\4033\4033SWHP.dwg

**CITY OF ONTARIO**

**SOLID WASTE HANDLING PLAN**  
FOR  
**NWC OF ONTARIO RANCH RD. AND  
HAMNER AVE.**  
**RICHLAND SITE DEVELOPMENT**  
ONTARIO CA

**ENGINEER:**  
**Thienes Engineering, Inc.**  
CIVIL ENGINEERING • LAND SURVEYING  
14348 FINESTONE BOULEVARD  
LA MIRADA, CALIFORNIA 90638  
PH: (714) 251-8111 FAX: (714) 251-4123

**OWNER/DEVELOPER:**  
**DPIF3 CA 36 Ontario Ranch, LLC**  
5500 Equity Avenue  
Reno, NV 89502  
PHONE: (206) 947-0789

**SHEET**  
**1**  
**OF**  
**1**

T.E. JOB No. 4033

**CITY OF ONTARIO**  
**BROADBAND OPERATIONS**  
303 East "B" Street, Ontario, CA 91764

<b>CONDITIONS OF APPROVAL</b>	
Sign Off	
<b>Broadband Operations</b>	1/25/22

Reviewer's Name <b>Cameron Chadwick</b>	Phone <b>909-395-2090</b>
File #PDEV22-001	Project Engineer: <b>Mike</b>
Project Name and Location: Sent to:	

<input type="checkbox"/>	Plan does adequately address the departmental concerns at this time. <b>No Comments.</b>
<input checked="" type="checkbox"/>	Plan does adequately address the departmental concerns at this time. <b>Report below.</b>
<input type="checkbox"/>	Plan does not adequately address the departmental concerns. <b>The conditions contained below must be met prior to scheduling for Development Advisory Board.</b>

Req'd for Project	CONDITIONS OF APPROVAL -	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. Project shall be designed and constructed to provide access to the City's conduit and fiber optic system per the City's Fiber Optic Master Plan. Building entrance conduits shall start from the closest OntarioNet hand hole in the Right-of-Way (ROW) and shall terminate in the main telecommunications room for each building. Conduit infrastructure shall interconnect with the primary and/or secondary backbone fiber optic conduit system at the nearest OntarioNet hand hole.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	2. Contractor is responsible for locating and connecting conduit to existing OntarioNet hand holes on adjacent properties within a reasonable distance. There should be no "Gaps" in conduit between the contractor's development and the adjacent property. OntarioNet hand holes are typically located in the ROW at the extreme edge of a property.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	3. Where a joint telcom or street light street crossing is required, include (2) 2" hdpe sdr-11 conduits or (1) 4" schedule 80 conduit sleeve. Terminate the street crossing conduit(s) in a new HH-3/22 ontarionet hand hole in the right of way
<input checked="" type="checkbox"/>	<input type="checkbox"/>	4. The City requires a public utility easement for fiber optics on all private aisles/alley ways.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	5. Hand holes - Design and install OntarioNet fiber optic hand hole HH-2 (17x30x24), HH-2A (24x36x30), HH-3 (30x48x36) and/or HH-4 (36x60x36) as needed. Respectively Newbasis Part # PCA-173024-90116, PCA-243630-90064, PCA-304836-90244 and PCA-366036-90146 per City Standard 1316. Conduits sweeping into hand holes shall enter in flush with the cut-out mouse holes aligned parallel to the bottom of the box and come in perpendicular to the wall of the box. Conduits shall not enter at any angle other than parallel. Provide 5 foot minimum clearance from existing/proposed utilities. All hand holes will have ¼-inch galvanized wire between the hand holes and the gravel it is placed on.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	6. ROW Conduit – Design and install fiber optic conduit at a minimum depth of 36-inch. Trenching shall be per City Standard 1306. Install (1) 2-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct and (1) 2-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange with Black Stripe) duct. Conduit(s) between ROW hand holes and hand holes on private property shall be 2-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct.
<input type="checkbox"/>	<input type="checkbox"/>	7. Building Entrance (Single Family) – Design and install 0.75-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct from hand holes on property or hand holes in the ROW. Consult City's Fiber Team for design assistance.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	8. Building Entrance (Multi-family and Commercial) - From the nearest handhole to the building entrance, design and install fiber optic conduit at a minimum depth of 36-inches. Trenching shall be per City Standard for Commercial Buildings. (1) 2-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct. Install locate/tracer wires minimum 12AWG within conduit bank and fiber warning tape 18-inch above the uppermost duct

Req'd for Project	CONDITIONS OF APPROVAL -	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	9. Multi-family and commercial properties shall terminate conduit in an electrical room adjacent to the wall no less than five inches above the finished floor. A 20" width X length 36" space shall be reserved on the plywood wall for OntarioNet equipment. This space shall be labeled "OntarioNet Only". Ontario Conduit shall be labeled "OntarioNet"
<input checked="" type="checkbox"/>	<input type="checkbox"/>	10. A minimum 1.5-inch joint use telecommunications conduit with pull-rope from the multi-family or commercial building communal telecomm/electrical room/closet to each multi-family or commercial building unit shall be installed. See Structured Wiring Checklist on City's website for additional details.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	11. Warning Tape - Contractor shall supply and install an approved non-detectable warning tape 18-inch above the uppermost conduit when backfilling trenches, pits or excavations greater than 10' in length. Warning Tape shall be non-detectable, Orange in color, 4-inch minimum width, 4 mil, 500% minimum elongation, with bold printed black letters "CAUTION - BURIED FIBER OPTIC CABLE BELOW" printed in bold black lettering no less than 2-inch high.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	12. All hand holes, conduits, conduit banks, materials and installations are per the City's Fiber Optic Master Plan and City Fiber Optic Cable and Duct Standards. All hand holes, conduits and ducts shall be placed in the public right of way.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	13. All unused conduits/ducts/microducts shall be protected with duct plugs that provide a positive seal. Ducts that are occupied shall be protected with industry accepted duct seal compound.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	14. Locate/Tracer Wire - Conduit bank requires (1) 12AWG high strength (minimum break load 452#) copper-clad steel with 30mil HDPE orange insulation for locate/tracer wire. Contact City's Fiber Team for tracer wire specifications and see note 8.
<input type="checkbox"/>	<input type="checkbox"/>	15. Developer to install 3 inch SCE conduit stub for future City fiber optic meter pedestal within an 8-foot wide, 5-foot deep reserved area for City fiber optic network cabinet. A 3-foot clearance must be maintained around the cabinet and the meter. HH4 shall be placed near the reserved area for cable entrance to network cabinet. The pedestal and network cabinet will be supplied and installed by the City. The service submittal to SCE will be coordinated by the City.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	16. Multi-family dwellings are considered commercial property.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	17. Refer to the In-tract Fiber Network Design guideline on the City's website for additional in-tract conduit guidelines.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	18. Please contact City's Fiber Team at <a href="mailto:OntarioNet@ontarioca.gov">OntarioNet@ontarioca.gov</a> for conduit design assistance.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	19. For additional information please refer to the City's Fiber Optic Master Plan.
<input type="checkbox"/>	<input type="checkbox"/>	20. Please see attached corrections.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	21. Please provide plans in digital format (PDF) on future revisions.





# CITY OF ONTARIO

## MEMORANDUM

**TO:** Lorena Mejia, Senior Planner  
Planning Department

**FROM:** Paul Ehrman, Sr. Deputy Fire Chief/Fire Marshal  
Fire Department

**DATE:** January 24, 2022

**SUBJECT:** PDEV22-001 - A Development Plan to construct one industrial building totaling 1,003,440 square feet on 53.06 acres of land located at 13744 S Milliken Avenue, within the Light Industrial land use district (PA-7) of the Rich Haven Specific Plan (APN(s): 218-211-31).

- 
- The plan **does** adequately address Fire Department requirements at this time.
- Standard Conditions of Approval apply, as stated below.

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### **SITE AND BUILDING FEATURES:**

- A. 2019 CBC Type of Construction: Not Listed (Assumed II-B)
- B. Type of Roof Materials: Panelized
- C. Ground Floor Area(s): N/A
- D. Number of Stories: 1
- E. Total Square Footage: 1,003,440 Sq. Ft.
- F. 2019 CBC Occupancy Classification(s): S

## **CONDITIONS OF APPROVAL:**

### **1.0 GENERAL**

- ☒ 1.1 The following are the Ontario Fire Department (“Fire Department”) requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards (“Standards.”) It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at [www.ontarioca.gov/Fire/Prevention](http://www.ontarioca.gov/Fire/Prevention).
- ☒ 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

### **2.0 FIRE DEPARTMENT ACCESS**

- ☒ 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See Standard #B-004.
- ☒ 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25’) inside and forty-five feet (45’) outside turning radius per Standard #B-005.
- ☒ 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150’) in length shall have an approved turn-around per Standard #B-002.
- ☒ 2.4 Access drive aisles which cross property lines shall be provided with CC&Rs, access easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of building plan check.
- ☒ 2.5 "No Parking-Fire Lane" signs and /or red painted curbs with lettering are required to be installed in interior access roadways, in locations where vehicle parking would obstruct the minimum clear width requirement. Installation shall be per Standard #B-001.
- ☒ 2.6 Security gates or other barriers on fire access roadways shall be provided with a Knox brand key switch or padlock to allow Fire Department access. See Standards #B-003, B-004 and H-001.
- ☒ 2.7 Any time PRIOR to on-site combustible construction and/or storage, a minimum twenty-four (24) ft. wide circulating all weather access roads shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved by fire department and other emergency services.

### **3.0 WATER SUPPLY**

- ☒ 3.1 The required fire flow per Fire Department standards, based on the 2019 California Fire Code, Appendix B, is 4000 gallons per minute (g.p.m.) for 4 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.
- ☒ 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300') apart, per Engineering Department specifications.
- ☒ 3.3 Buildings that exceed 100,000 square feet in floor area shall provide an onsite looped fire protection water line around the building(s.) The loops shall be required to have two or more points of connection from a public circulating water main.
- ☒ 3.4 The water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

### **4.0 FIRE PROTECTION SYSTEMS**

- ☒ 4.2 Underground fire mains which cross property lines shall be provided with CC & R, easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of fire department plan check. The shared use of private fire mains or fire pumps is allowable only between immediately adjacent properties and shall not cross any public street.
- ☒ 4.3 An automatic fire sprinkler system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 13. All new fire sprinkler systems, except those in single family dwellings, which contain twenty (20) sprinkler heads or more shall be monitored by an approved listed supervising station. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- ☒ 4.5 Fire Department Connections (FDC) shall be located on the address side of the building within one hundred fifty feet (150') of a public fire hydrant on the same side of the street. Provide identification for all fire sprinkler control valves and fire department connections per Standard #D-007. Raised curbs adjacent to Fire Department connection(s) shall be painted red, five feet either side, per City standards.
- ☒ 4.6 A fire alarm system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 72. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- ☒ 4.7 Portable fire extinguishers are required to be installed prior to occupancy per Standard #C-001. Please contact the Fire Prevention Bureau to determine the exact number, type and placement required.

## 5.0 BUILDING CONSTRUCTION FEATURES

- ☒ 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- ☒ 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.
- ☒ 5.6 Knox ® brand key-box(es) shall be installed in location(s) acceptable to the Fire Department. All Knox boxes shall be monitored for tamper by the building fire alarm system. See Standard #H-001 for specific requirements.
- ☒ 5.7 Placards shall be installed in acceptable locations on buildings that store, use or handle hazardous materials in excess of the quantities specified in the CFC. Placards shall meet the requirements of National Fire Protection Association (NFPA) Standard 704.


## 6.0 OTHER SPECIAL USES

- ☒ 6.1 The storage, use, dispensing, or handling of any hazardous materials shall be approved by the Fire Department, and adequate fire protection features shall be required. If hazardous materials are proposed, a Fire Department Hazardous Materials Information Packet, including Disclosure Form and Information Worksheet, shall be completed and submitted with Material Safety Data Sheets to the Fire Department along with building construction plans.
- ☒ 6.2 Any High Piled Storage, or storage of combustible materials greater than twelve (12') feet in height for ordinary (Class I-IV) commodities or storage greater than six feet (6') in height of high hazard (Group A plastics, rubber tires, flammable liquids, etc.) shall be approved by the Fire Department, and adequate fire protection features shall be required. If High Piled Storage is proposed, a Fire Department High Piled Storage Worksheet shall be completed and detailed racking plans or floor plans submitted prior to occupancy of the building.
- ☒ 6.3 Underground fuel tanks, their associated piping and dispensers shall be reviewed, approved, and permitted by Ontario Building Department, Ontario Fire Department, and San Bernardino County Fire Department Hazardous Materials Division. In fueling facilities, an exterior emergency pump shut-off switch shall be provided.

**CITY OF ONTARIO**  
**LANDSCAPE PLANNING DIVISION**  
 303 East "B" Street, Ontario, CA 91764

**CONDITIONS OF APPROVAL**

Sign Off



08/10/2022

Jamie Richardson, Sr. Landscape Planner

Date

Reviewer's Name: **Jamie Richardson, Sr. Landscape Planner** Phone: **(909) 395-2615**

D.A.B. File No.: PDEV22-001 Case Planner: Lorena Mejia

Project Name and Location:  
 Industrial Building  
 13744 S Milliken Avenue

Applicant/Representative:  
 HPA, Inc. (949) 862-2137 [joseph.kim@hparchs.com](mailto:joseph.kim@hparchs.com)  
 18831 Bardeen Avenue, Suite 100  
 Irvine, CA 92612

Preliminary Plans (dated 08/05/2022) meet the Standard Conditions for New Development and have been approved considering that the following conditions below are met upon the landscape construction documents submittal.

Preliminary Plans (dated) have not been approved. Corrections noted below are required before Preliminary Landscape Plan approval.

**A RESPONSE SHEET IS REQUIRED WITH RESUBMITTAL OR PLANS WILL BE RETURNED INCOMPLETE.**  
 Landscape construction plans with plan check number may be emailed to:  
[landscapeplancheck@ontarioca.gov](mailto:landscapeplancheck@ontarioca.gov)

**PREVIOUS COMMENTS – 2/28/2022**

Civil/ Site Plans

1. Provide an arborist report and tree inventory for existing trees, including genus, species, trunk diameter, canopy width, and condition. Show and note existing trees in good condition to remain and note trees proposed to be removed. Include existing trees within **15' of adjacent property** that would be affected by new walls, footings, or on-site tree planting. Add tree protection notes on construction and demo plans to protect trees to remain. Replacement and mitigation for removed trees shall equal the trunk diameter of heritage trees removed per the Development Code Tree Preservation Policy and Protection Measures, section 6.05.020.
2. Show on demo plans and landscape construction plans trees to be preserved, removed or mitigation measures for trees removed, such as:
  - a. New 15-gallon trees min 1" diameter trunk, in addition to trees required.
  - b. New 24" box trees min 1.5" diameter trunk, in addition to trees required.
  - c. Upsizing trees on the plan one size larger such as 15 gallon to 24" box, or 24" to 36" box size.
  - d. Monetary value of the trees removed as identified in the "Guide for Plant Appraisal," approved certified arborist plant appraiser, or may be equal to the value of the installation cost of planting, fertilizing, staking, and irrigating 15-gallon trees (100\$ each) to the City of Ontario Historic Preservation Fund for city tree planting or city approved combination of the above items.
3. Slopes 3:1 and greater require jute netting.
4. Tree diamonds shall be a minimum of 5' in width and length (inside dimension).
5. Parkway tree locations shall be shown on all plans where utilities are proposed. Parkway trees are 30' apart. Show and note a 10' total space, 5' clearance each side of the tree from any

utility or hardscape, including water, sewer, drain lines, driveways, and 10' clear from street lights.

6. Relocate the DDC at the southern entry out of the accessible path. Backflows shall be located a minimum of 4' from paving to allow landscape screening.
7. Before permit issuance, stormwater infiltration devices located in landscape areas shall be reviewed and plans approved by the Landscape Planning Division. Any stormwater devices in parkway areas shall not displace street trees.
8. Show transformers set back 5' from paving all sides. Coordinate with landscape plans. Show and dimension on plans.
9. Show backflow devices set back 4' from paving all sides. Locate on level grade. Show and dimension on plans.
10. Locate utilities including light standards, fire hydrants, water, drain, and sewer lines to not conflict with required tree locations—coordinate civil plans with landscape plans.
11. Show corner ramp and sidewalk per city standard drawing 1213 with max 10' or 13' of ramp and sidewalk behind corners. Show 5' sidewalk and 7' parkway within the right of way or as required by Engineering dept.
12. Dimension, show and call out for step-outs at parking spaces adjacent to planters; a 12" wide monolithic concrete curb, DG paving or pavers with edging.

#### Landscape Plans

13. Provide an arborist report and tree inventory as noted in #1.
14. Tree diamonds shall be a minimum of 5' in width and length (inside dimension).
15. During plan check, coordinate with Ontario Municipal Utilities Company (OMUC) to submit irrigation plans for recycled water systems to [omucwaterquality@ontarioca.gov](mailto:omucwaterquality@ontarioca.gov). OMUC shall review and approve irrigation systems utilizing recycled water before final landscape approval. Submit an electronic approval letter or memo from OMUC with resubmittal of the landscape package.
16. Show and callout backflow devices with 36" high strappy leaf shrub screening and trash enclosures and transformers, a 4'-5' high evergreen hedge screening. Do not encircle utility, show as masses and duplicate masses in other locations at regular intervals.
17. Show and locate light standards, fire hydrants, water, and sewer lines to not conflict with required tree locations. Coordinate civil plans with landscape plans.
18. Show all utilities on the landscape plans. Coordinate so utilities are clear of tree locations.
19. Dimension all planters to have a minimum 5' wide inside dimension with 6" curbs and 12" wide curbs where parking spaces are adjacent to planters.
20. Designer or developer to provide agronomical soil testing and include a report on landscape construction plans.
21. Show concrete mowstrips to identify property lines along open areas or to separate ownership or between maintenance areas. CFD areas for Mill Creek Avenue and Hamner Avenue will be required to be submitted to the Engineering Department during plan check.
22. After a project's entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council. Landscape construction plans with building permit number for plan check may be emailed to: [landscapeplancheck@ontarioca.gov](mailto:landscapeplancheck@ontarioca.gov)



# Development Advisory Board Decision

August 15, 2022

**DECISION NO.:** DAB22-[insert #]

**FILE NOS.:** PMTT21-020 and PDEV22-032

**DESCRIPTION:** A Tentative Tract Map No. 20524 (File No. PMTT21-020) for condominium purposes, subdividing 6.43 acres of land into 4 numbered lots and 4 lettered lots for residential uses, private drives, parking, landscape edges and common open space purposes, in conjunction with a Development Plan (File No. PDEV22-032) to construct 108 multiple-family residential units located at the northeast corner of Mill Creek Avenue and Chino Avenue, within PA-8 (Garden Court/ Rowtown) of the Edenglen Specific Plan (APN Nos. 0218-921-19 and 0218-921-22); **submitted by Brookcal Ontario, LLC. Planning Commission action is required.**

## Part I—BACKGROUND & ANALYSIS

BROOKCAL ONTARIO, LLC., (herein after referred to as "Applicant") has filed an application requesting a Tentative Tract Map and Development Plan approval for, File Nos. PMTT21-020 and PDEV22-032, as described in the subject of this Decision (herein after referred to as "Application" or "Project").

(1) **Project Setting:** The Project site is comprised of 6.43 acres of land located at northeast corner of Mill Creek Avenue and Chino Avenue and is depicted in Exhibit A—Project Location Map, attached. Existing land uses, Policy Plan and zoning designations, and specific plan land uses on and surrounding the Project site are as follows:

	<i>Existing Land Use</i>	<i>Policy Plan Designation</i>	<i>Zoning Designation</i>	<i>Specific Plan Land Use</i>
<i>Site</i>	Flood Control Basin and Sewer Lift Station	MDR (Medium Density Residential 11.1 – 25 du/ac)	Edenglen Specific Plan	P-8 (Garden Court/ Rowtown)
<i>North</i>	Single Family Homes and Multiple Family Homes	MDR (Medium Density Residential 11.1 – 25 du/ac)	Edenglen Specific Plan	P-3 (Cottage Home SFD) and P-5 (Garden Town Home)
<i>South</i>	SCE Mira Loma Substation	Business Park (0.60 FAR)	Specific Plan/Agricultural Overlay Zoning District	N/A
<i>East</i>	Multiple Family Homes and Vacant Lot (Future Park)	MDR (Medium Density Residential 11.1 – 25 du/ac)	Edenglen Specific Plan	P-5 (Garden Town Home) and Park
<i>West</i>	Dairy Farm	MDR (Medium Density Residential 11.1 – 25 du/ac)	Rich Haven Specific Plan	Planning 1C (Residential – SFD/SFA)

(2) **Project Description:**

(a) Background — On November 1, 2005, the City Council adopted Ordinance No. 2017 approving the Edenglen Specific Plan (File No. PSP03-005) and certified the related Environmental Impact Report (State Clearinghouse No. 2004051108). The Edenglen Specific Plan established the land use designations, development standards, and design guidelines on 158.7 acres of land, which included the potential development of 584 dwelling units, approximately 217,000 square feet of Commercial development, and 550,000 square feet of Business Park/Light Industrial development.

On May 5, 2009, the City Council approved an Amendment to the Edenglen Specific Plan (File No. PSPA08-005) that reconfigured the land use plan by adding three new Planning Areas and incorporated three new product types and related development standards. The overall number of units allowed within the specific plan did not increase, remaining at 584 dwelling units.

On February 2, 2021, the City Council approved a General Plan Amendment (File No. PGPA18-002), an amendment to the Edenglen Specific Plan (File No. PSPA18-003), and an Addendum to The Ontario Plan (File No. PGPA06-001) Environmental Impact Report (State Clearinghouse No. 2008101140). The General Plan and Specific Plan amendments included the reduction of commercial and business park land uses and the addition of 39 acres of light industrial designated property. The amendment included updates to the development standards, exhibits, and text changes to reflect the proposed land use changes and overall compliance with the General Plan Amendment. The amendments resulted in allowing a maximum of 40,000 square feet of Neighborhood Commercial development, 165,000 square feet of Business Park development and 935,000 square feet of Light Industrial development.

On December 21, 2021, the applicant submitted Tentative Tract Map No. TT 20524 (File No. PMTT21-020) for condominium purposes, to subdivide 6.43 acres of land into 4 numbered lots and 4 lettered lots for residential uses, private drives, parking, landscape edges, and common open space purposes located at the northeast corner of Mill Creek Avenue and Chino Avenue, within PA-8 (Garden Court/ Rowtown) of the Edenglen Specific Plan. On June 21, 2022, the applicant submitted the related Development Plan (File No. PDEV22-032) to construct 108 multiple-family residential units.

(b) Tentative Tract Map — Proposed Tentative Tract Map No. 20524 will subdivide the Project site into 4 numbered lots and 4 lettered lots for residential uses, private drives, parking, landscape edges, and common open space purposes (see Exhibit B—Tentative Tract Map, attached). The Project site is being subdivided for residential condominium purposes to accommodate the Rowtown product type. The Edenglen Specific Plan requires the Rowtown product type to maintain a minimum lot size of 5,000 square feet. The proposed lot sizes range from 43,224 to 80,490 square feet.

(c) Site Access/Circulation — The Project site will have one access point from Emory Lane, which runs east-west along the northerly Project boundary, and one access point from Edenglen Avenue, which runs north-south along the easterly Project boundary. The Tentative Tract Map will facilitate the construction of the private lanes that will provide access to the residential development. The tract map is consistent with TOP Policy CD2-2, which promotes the importance of neighborhood connectivity through local street patterns and neighborhood edges as a way to unify neighborhoods.

(d) Open Space — The Tentative Tract Map will facilitate the construction of sidewalks, parkways, and open space areas within the tract. The proposed pedestrian circulation system provides connectivity to existing parks and residential neighborhoods within the Edenglen Specific Plan, surrounding trails, and adjacent communities. TOP Policy PR1-1 requires new developments to provide a minimum of 2 acres of Private Park per 1,000 residents. The Project site is the last remaining property to be developed within the residential portion of the Edenglen Specific Plan. The Specific Plan is required to provide 4.16 acres of parkland to meet the minimum TOP private park requirement and a total 4.24 acres of parkland have been provided exceeding the minimum requirement. To satisfy the park requirement, the applicant is constructing a 0.28-acre passive park (Lot C) located immediately east of the Project site that



will be available for use by all residents within the Edenglen Specific Plan (see Exhibit C—Edenglen Parkland, attached). The southern portion of Lot C contains an SCE Easement, and the ultimate design of the park will require SCE approval. The applicant is proposing two conceptual options for developing Lot C with a passive park (see Exhibit D—Lot C Park Options, attached) to address existing SCE Easement constraints and required access.

- **Option A** – Option A incorporates a 20-foot SCE access road in an L-shaped configuration located along the eastern and southern portion of Lot C with a driveway approach on Oakwood Drive located on the northeast corner of Lot C and a second driveway approach on Edenglen Avenue located on the southwest corner of Lot C. The remaining areas of Lot C would be improved with a large open turf area, picnic tables and shade trees, and landscape enhancements. This option also provides a new six-foot wide multi-purpose trail connection that would extend from the existing SCE trail terminus at Chino Avenue and continue west to the proposed trail that runs along the southern edge of the Project site.
- **Option B** – Option B incorporates a 20-foot SCE access road located along the southern portion Lot C connecting to the existing SCE trail with a driveway approach on Edenglen Avenue located on the southwest corner of Lot C. The remaining areas of Lot C would be improved with a dog park area for smaller dogs to complement the existing dog park located east of Lot C. The applicant is proposing to install site lighting at both the existing and proposed dog park, and incorporate seating areas, with shade trees between the two dog park areas. This option also provides a new six-foot wide multi-purpose trail connection that would extend from the existing SCE trail terminus at Chino Avenue and continue west to the proposed trail that runs along the southern edge of the Project site.

(e) Utilities (drainage, sewer) — The Applicant has submitted a Preliminary Water Quality Management Plan (“PWQMP”), which establishes both Projects’ compliance with storm water discharge/water quality requirements. The PWQMP includes site design measures that capture runoff and pollutant transport by minimizing impervious surfaces and maximizes low impact development (“LID”) best management practices (“BMPs”), such as retention and infiltration, biotreatment, and evapotranspiration. The PWQMP proposes new storm drain lines within the private drive aisles that will be conveyed to the storm drain located within Edenglen Avenue that continues south to Chino Avenue and then west to Mill Creek Avenue.

(f) Development Plan

(i) Site Design/Building Layout — The Rowtown product proposes five 5-unit complexes, eight 6-unit complexes, and five 7-unit complexes, for a total of 18 buildings and 108 multiple-family units, that includes four floor plans and two architectural styles, including Spanish and Craftsman (see Exhibit E—Site Plan, attached). The proposed floor plans range in size from 1,130 to 1,582 square feet are further described below.

<i>Floor Plan (No. of units)</i>	<i>Total Unit Area</i>	<i>Plan Features</i>
<b>Plan 1 (31 units)</b>	1,130 SF	2 bedrooms, 2 bath and 2-car garage
<b>Plan 2 (31 units)</b>	1,310 SF	3 bedrooms, 2.5 bath and 2-car garage
<b>Plan 3 (31 units)</b>	1,530 SF	3 bedrooms, 2.5 bath and 2-car garage
<b>Plan 4 (15 units)</b>	1,582 SF	4 bedrooms, 2.5 bath and 2-car garage

The proposed Rowtown products have garage access from a private drive aisle or lane, with the main entrances of the units fronting the street, private drive aisles, or paseos (see Exhibit E1—Typical Plotting, attached). The paseos will be landscaped with accent trees, provide landscape planters, an enhanced entry for the street (Mill Creek Avenue) adjacent paseo, enhanced paving for pedestrian paths across private drive aisles, and private patios with 3.5-foot-high walls for each unit to provide visual interest and promote pedestrian mobility. The landscape installation will be the responsibility of the builder and maintenance will be the responsibility of the homeowners association.

All plans incorporate design features such as horizontal and vertical building articulation, varied entry designs, private patios, and second floor laundry facilities. All homes will have a two-car garage, and to minimize the visual impact of garages, the applicant proposes access off a private lane that includes varied massing, second story projections over garages, recessed garage doors, landscaped finger planters, and varied roof lines.

(ii) **Parking** — Off-Street parking provided for the Project is consistent with the Edenglen Specific Plan development standards, which requires a minimum of two parking spaces (one within a garage) for two-bedroom units, and 2.5 spaces (two within a garage) for three or more-bedroom units. Visitor parking is required at the rate of one space for every five units. The proposed product type is required to provide 275 parking spaces and is providing 307 parking spaces (see Exhibit F—Parking Plan, attached). Each unit will provide a two-car garage for a total of 216 enclosed parking spaces. One of the proposed Rowtown buildings will provide a two-car driveway for each unit, totaling 14 unenclosed driveway parking spaces. Additionally, the Project is providing 60 uncovered parking spaces within the private drive aisles. The Project is required to provide 21 visitor parking spaces that will be provided within the driveways and private drive aisles. Based on the Edenglen Specific Plan parking requirements, the Project will be over parked by 32 spaces (see Parking Summary shown below), providing more than adequate on-site parking to accommodate visitors and residents of the proposed development.

**Table 1: Off-Street Parking Summary**

<b>Product Type (No. of Units)</b>	<b>Required Parking Per Unit</b>	<b>Required Guest Parking</b>	<b>Total Required Parking</b>	<b>Garage Spaces Provided</b>	<b>On-Street/ Drive-Aisle Driveway Parking Spaces</b>	<b>Total Spaces Provided</b>
<b>Rowtown 2- Bedrooms (31 Units)</b>	2 spaces, Including one-car garage (62 spaces)	one space per 5 units (6 spaces)	74 spaces	2-car garage (62 spaces)	4 Driveway	66
<b>Rowtown – 3 or 4 Bedrooms (77 Units)</b>	2.5 spaces, Including one-car garage (192 spaces)	one space per 5 units (15 spaces)	230 spaces	2-car garage (154 spaces)	10 Driveway 60 Drive aisle 17 On-Street	241
<b>Totals (108 Units)</b>	<b>254</b>	<b>21</b>	<b>275</b>	<b>216</b>	<b>91</b>	<b>307</b>
<b>2.8 spaces per unit</b>						

(iii) **Architecture** — The Project proposes two architectural styles: Spanish and Craftsman (see Exhibit G—Elevations, attached), and incorporate the following design features/elements:

- **Spanish:** Varying gable and shed roofs with flat concrete S roof tiles; first and second story pop-out features; smooth stucco exterior; square and arched entry openings with accent tile and stucco trim; decorative barrel clay tiles below gable ends; square recessed window openings with stucco trim; decorative window sills; and wood trellis awnings over entries and windows.
- **Craftsman:** Varying gable and shed roofs with asphalt shingles, roof overhangs, second story pop-out features; recessed windows; decorative wood out-lookers; stucco and composite horizontal siding exterior; board and batten siding, wood railing; square entry openings with stucco surrounds; decorative gable end treatment; square window openings with composite wood trim; corbels and rafter tails; and decorative shed door awnings.

The proposed architectural designs of the buildings meet the design guidelines of the Edenglen Specific Plan, which encourages high quality architecture and a level of authenticity of styles through the use of appropriate architectural elements. These styles complement one another through the overall scale, massing, proportions, and details.

(g) Community Meeting — The Planning Department held a virtual community meeting via Zoom on Thursday July 14, 2022, for the proposed subject applications. A total of 22 members from the community logged onto the Zoom meeting and 11 residents provided comments and asked questions. To date the Planning Department has received two emails requesting additional project information and one phone call in opposition to the proposed project. Below is a summary of concerns and comments raised by the residents:

- Residents had concerns regarding the lack of existing amenities and felt that additional residents would overburden the existing recreational facilities. Residents inquired about adding additional pools, basketball courts and lighting improvements at the existing dog park.
- Residents inquired how the new development would be integrated into the existing HOA and had concerns regarding fee increases and maintenance responsibilities.
- Inquiries were expressed regarding future street connections/improvements from Mill Creek to Ontario Ranch Road and Chino Avenue to Hamner Avenue.
- Residents requested more police presence and security to address issues regarding speeding and reckless driving (donuts) along Mill Creek and Chino Avenue. Concerns were raised regarding securing trash enclosures and vagrancy.
- Inquiries were made regarding the estimated construction time frame.
- Comments were made regarding the increased amount of wildlife along the existing SCE trail including but not limited to possums, rodents, snakes, skunks, gophers, and squirrels. Residents requested traps and mitigation measures be put in place to control the wildlife along the SCE trail.
- Residents also requested existing light standards to be improved with LED lighting.

### ***Part II—RECITALS***

WHEREAS, the Application is a project pursuant to the California Environmental Quality Act (Public Resources Code Section 21000 et seq.) ("CEQA") and an initial study has been prepared to determine possible environmental impacts; and

WHEREAS, the Edenglen Specific Plan Environmental Impact Report (State Clearinghouse No. 2004051108) was certified on November 1, 2005 ("Certified EIR"), in conjunction with File No. PSP03-005; and

WHEREAS, the environmental impacts of this Project were thoroughly analyzed in the Certified EIR, which concluded that implementation of the Project could result in a number of significant effects on the environment and identified mitigation measures that would reduce each of those significant effects to a less-than-significant level; and

WHEREAS, the City's "Local Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board (hereinafter referred to as "DAB") the responsibility and authority to review and make recommendation to Planning Commission on the subject Application; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan ("ALUCP"), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, on August 15, 2022, the DAB of the City of Ontario conducted a hearing on the Application and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.

### ***Part III—THE DECISION***

NOW, THEREFORE, IT IS HEREBY FOUND AND DETERMINED by the Development Advisory Board of the City of Ontario, as follows:

**SECTION 1: *Environmental Determination and Findings.*** As the recommending body for the Project, the DAB has reviewed and considered the information contained in the previous Certified EIR and supporting documentation. Based upon the facts and information contained in the previous Certified EIR and supporting documentation, the DAB finds as follows:

(1) The environmental impacts of this Project were previously reviewed in conjunction with File No. PSP03-005, the Edenglen Specific Plan, for which an Environmental Impact Report (State Clearinghouse No. 2004051108) was adopted by the City Council on November 1, 2005; and

(2) The previous Certified EIR contains a complete and accurate reporting of the environmental impacts associated with the Project; and

(3) The previous Certified EIR was completed in compliance with CEQA and the Guidelines promulgated thereunder, and the City of Ontario Local CEQA Guidelines; and

(4) The previous Certified EIR reflects the independent judgment of the Planning Commission; and

(5) The proposed Project will introduce no new significant environmental impacts beyond those previously analyzed in the previous Certified EIR, and all mitigation measures previously adopted with the Certified EIR, are incorporated herein by this reference.

**SECTION 2: *Subsequent or Supplemental Environmental Review Not Required.*** Based on the information presented to the DAB, and the specific findings set forth in Section 1, above, the DAB finds that the preparation of a subsequent or supplemental Certified EIR is not required for the Project, as the Project:

(1) Does not constitute substantial changes to the Certified EIR that will require major revisions to the Certified EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and

(2) Does not constitute substantial changes with respect to the circumstances under which the Certified EIR was prepared, that will require major revisions to the Certified EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of the previously identified significant effects; and

(3) Does not contain new information of substantial importance that was not known and could not have been known with the exercise of reasonable diligence at the time the Certified EIR was certified/adopted, that shows any of the following:

(a) The Project will have one or more significant effects not discussed in the Certified EIR; or

(b) Significant effects previously examined will be substantially more severe than shown in the Certified EIR; or

(c) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the Project, but the City declined to adopt such measures; or

(d) Mitigation measures or alternatives considerably different from those analyzed in the Certified EIR would substantially reduce one or more significant effects on the environment, but which the City declined to adopt.

**SECTION 3: *Housing Element Compliance.*** Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the recommending body for the Project, the DAB finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the Project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan. The Project site is one of the

properties listed in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix, and the proposed Project is consistent with the number of dwelling units (108) and density (16.8) specified in the Available Land Inventory.

**SECTION 4: ALUCP Compliance.** The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land use Compatibility Plan, establishing the Airport Influence Area for Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the recommending body for the Project, the DAB has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the DAB, therefore, finds and determines that the Project, will be consistent with the policies and criteria set forth within the ALUCP.

**SECTION 5: Concluding Facts and Reasons.** Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the facts and information set forth in Parts I (Background and Analysis) and II (Recitals), above, and the determinations set forth in Sections 1 through 4, above, the DAB hereby concludes as follows:

(1) Development Plan.

(a) ***The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.*** The proposed Project is located within the MDR (Medium Density Residential 11.1 – 25 du/ac) land use district of the Policy Plan Land Use Map, and PA-8 (Garden Court/ Rowtown) of the Edenglen Specific Plan. The development standards and conditions under which the proposed Project will be constructed and maintained, is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan; and

(b) ***The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located.*** The Project has been designed consistent with the requirements of the City of Ontario Development Code and PA-8 (Garden Court/ Rowtown) of the Edenglen Specific Plan, including standards relative to the particular land use proposed (multiple-family residential), as-well-as building intensity, building and parking setbacks, building height, number of off-street parking and loading spaces, on-site and off-site landscaping, and fences, walls and obstructions; and

(c) ***The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed project.*** The Development Advisory Board has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the Edenglen Specific Plan are maintained; [ii] the Project will not endanger the public health, safety or general welfare; [iii] the project will not result in any significant environmental impacts; [iv] the project will be in harmony with the area in which it is located; and [v] the Project will be in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan, and the Edenglen Specific Plan; and

(d) **The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.** The proposed Project has been reviewed for consistency with the general development standards and guidelines of the Edenglen Specific Plan that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of off-street parking and loading spaces, parking lot dimensions, design and landscaping, bicycle parking, on-site landscaping, and fences and walls, as-well-as those development standards and guidelines specifically related to the particular land use being proposed (multiple-family residential). As a result of this review, the Development Advisory Board has determined that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the development standards and guidelines described in the Edenglen Specific Plan.

(2) Tentative Tract Map.

(a) **The proposed Tentative Tract is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan, and applicable area and specific plans, and planned unit developments.** The proposed Tentative Tract Map is located within the MDR (Medium Density Residential 11.1 – 25 du/ac) land use district of the Policy Plan Land Use Map, and PA-8 (Garden Court/ Rowtown) of the Edenglen Specific Plan. The proposed subdivision is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan, as the Project will contribute to providing “a spectrum of housing types and price ranges that match the jobs in the City, and that make it possible for people to live and work in Ontario and maintain a quality of life” (Goal LU1). Furthermore, the Project will promote the City’s policy to “incorporate a variety of land uses and building types that contribute to a complete community where residents at all stages of life, employers, workers, and visitors, have a wide spectrum of choices of where they can live, work, shop, and recreate within Ontario” (Policy LU1-6 *Complete Community*); and

(b) **The design or improvement of the proposed Tentative Tract is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan, and applicable specific plans and planned unit developments.** The proposed Tentative Tract is located within the MDR (Medium Density Residential 11.1 – 25 du/ac) land use district of the Policy Plan Land Use Map, and PA-8 (Garden Court/ Rowtown) of the Edenglen Specific Plan. The proposed design or improvement of the subdivision is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan, as the Project will contribute to providing “[a] high level of design quality resulting in public spaces, streetscapes, and developments that are attractive, safe, functional and distinct” (Goal CD2). Furthermore, the Project will promote the City’s policy to “create distinct residential neighborhoods that are functional, have a sense of community, emphasize livability and social interaction, and are uniquely identifiable places through such elements as:

- A pattern of smaller, walkable blocks that promote access, activity, and safety;
- Variable setbacks and parcel sizes to accommodate a diversity of housing types;
- Traffic calming measures to slow traffic and promote walkability while maintaining acceptable fire protection and traffic flows;
- Floor plans that encourage views onto the street and de-emphasize the visual and physical dominance of garages (introducing the front porch as the “outdoor living room”), as appropriate; and
- Landscaped parkways, with sidewalks separated from the curb.” (Policy CD2-2 *Neighborhood Design*); and

(c) **The site is physically suitable for the type of development proposed.** The Project site meets the minimum lot area and dimensions of PA-8 (Garden Court/ Rowtown) of the Edenglen Specific Plan and is physically suitable for the type of multiple family residential development proposed in

terms of zoning, land use and development activity proposed, and existing and proposed site conditions;  
and

(d) **The site is physically suitable for the density/intensity of development proposed.** The Project site is proposed for multiple family residential development at a density of 16.8 DUs/acre. The Project site meets the minimum lot area and dimensions of PA-8 (Garden Court/ Rowtown) of the Edenglen Specific Plan and is physically suitable for this proposed density / intensity of development;  
and

(e) **The design of the subdivision or the proposed improvements thereon, are not likely to cause substantial environmental damage, or substantially and avoidably injure fish or wildlife, or their habitat.** The Project site is not located in an area that has been identified as containing species identified as a candidate, sensitive, or special status species in local or regional plans, policies or regulations or by the California Department of Fish and Wildlife or the U.S. Fish and Wildlife Service, nor does the site contain any riparian habitat or other sensitive natural community, and no wetland habitat is present on site; therefore, the design of the subdivision, or improvements proposed thereon, are not likely to cause substantial environmental damage, or substantially and avoidably injure fish or wildlife, or their habitat; and

(f) **The design of the subdivision, or the type of improvements thereon, are not likely to cause serious public health problems.** The design of the proposed subdivision, and the right-of-way improvements existing or proposed on the Project site, are not likely to cause serious public health problems, as the Project is not anticipated to involve the transport, use, or disposal of hazardous materials during either construction or Project implementation, include the use of hazardous materials or volatile fuels, nor are there any known stationary commercial or industrial land uses within close proximity to the subject site that use/store hazardous materials to the extent that they would pose a significant hazard to visitors or occupants to the Project site; and

(g) **The design of the subdivision, or the type of improvements thereon, will not conflict with easements acquired by the public at large for access through, or use of property within, the proposed subdivision.** The proposed subdivision has provided for all necessary public easements and dedications for access through, or use of property within, the proposed subdivision. Furthermore, all such public easements and dedications have been designed pursuant to: (a) the requirements of the Policy Plan component of The Ontario Plan and applicable area plans; (b) applicable specific plans or planned unit developments; (c) applicable provisions of the City of Ontario Development Code; (d) applicable master plans and design guidelines of the City; and (e) applicable Standard Drawings of the City.

**SECTION 6: Development Advisory Board Action.** Based on the findings and conclusions set forth in Sections 1 through 5, above, the DAB hereby recommends the Planning Commission APPROVES the Application subject to each and every condition set forth in the Department reports included as Attachment A of this Decision, and incorporated herein by this reference.

**SECTION 7: Indemnification.** The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Ontario shall promptly notify the Applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**SECTION 8: Custodian of Records.** The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

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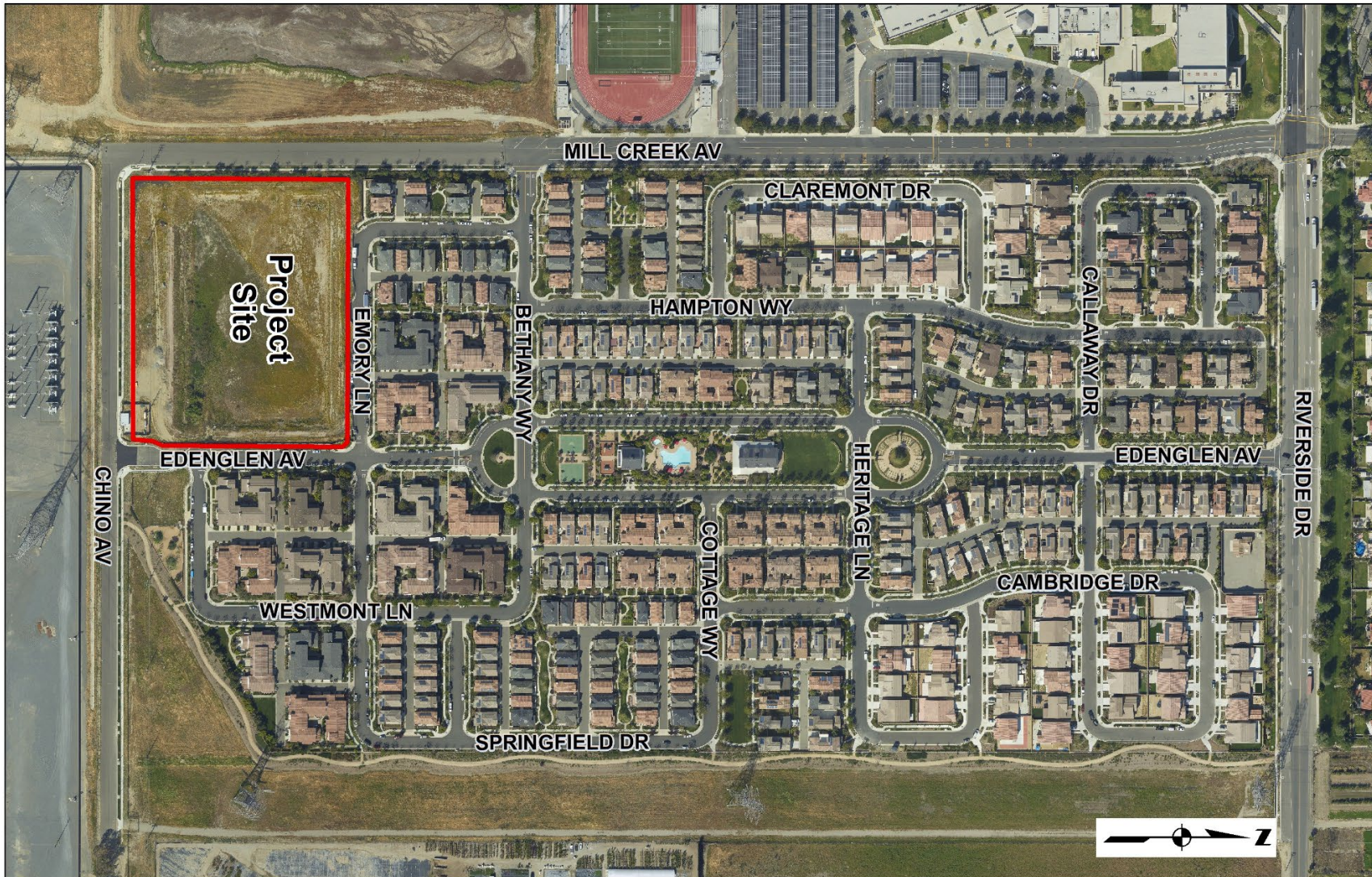


APPROVED AND ADOPTED this 15th day of August 2022.

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Development Advisory Board Chairman

**Exhibit A—PROJECT LOCATION MAP**



**Exhibit B—TENTATIVE TRACT MAP**

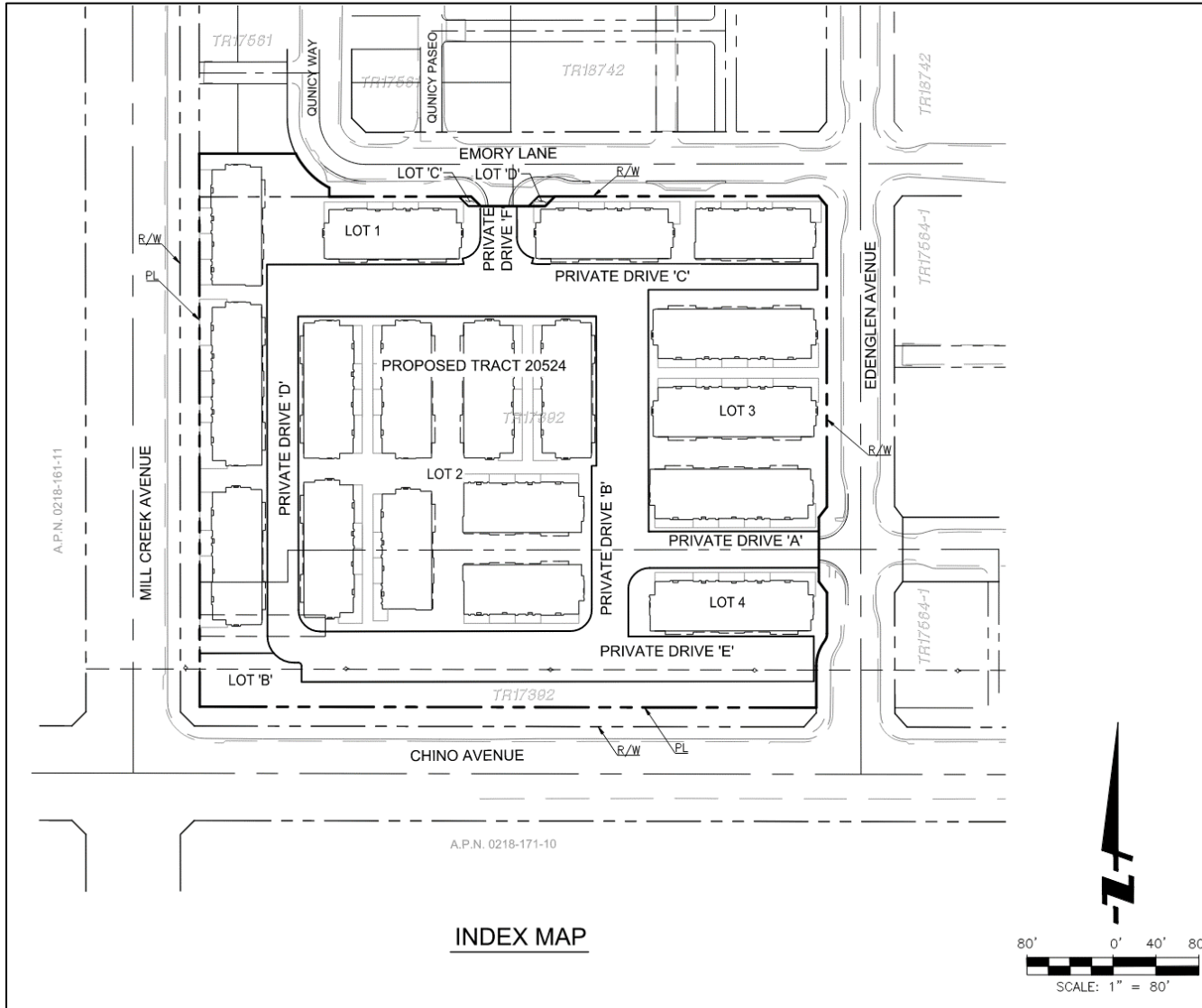


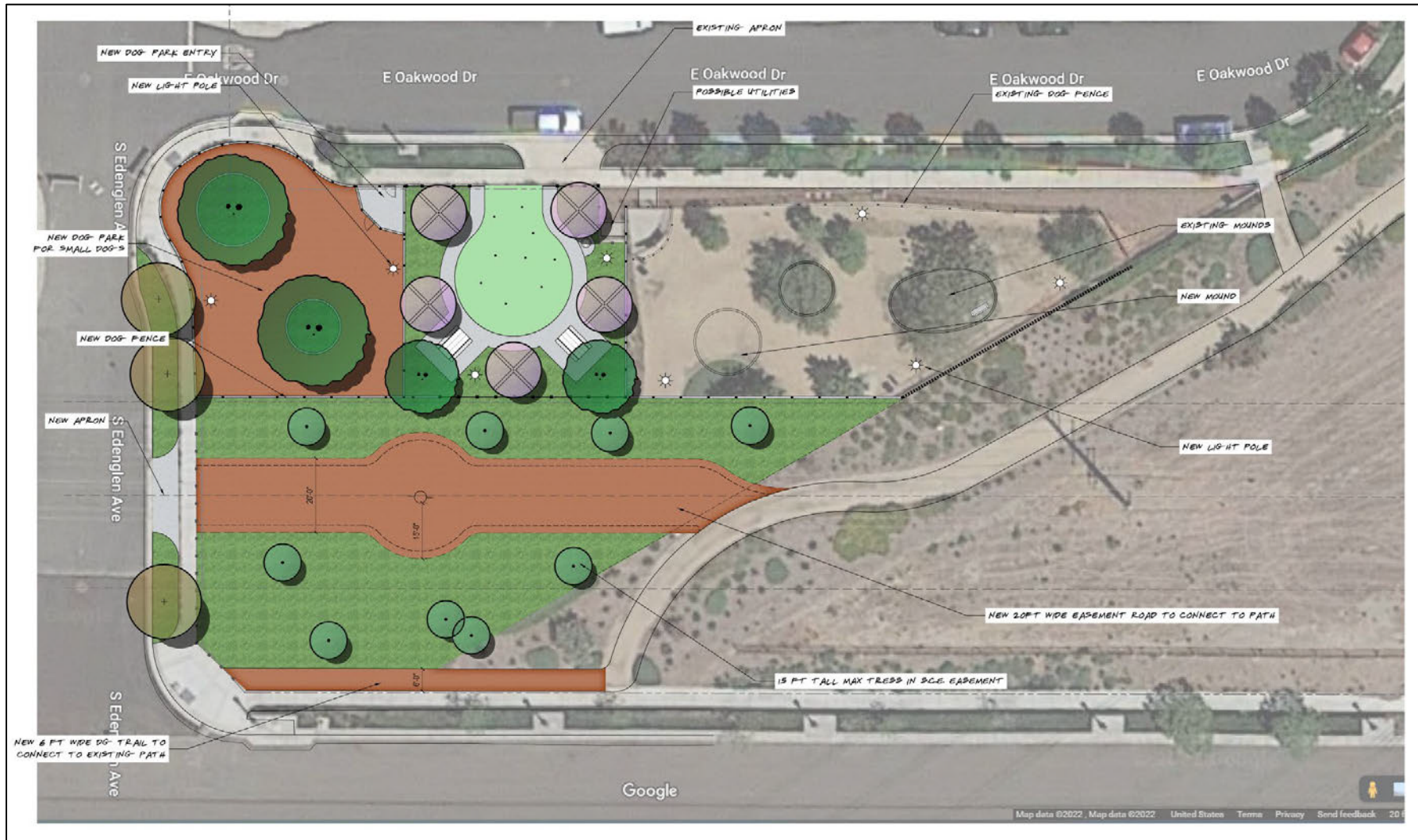
Exhibit C—EDENGLLEN PARKLAND



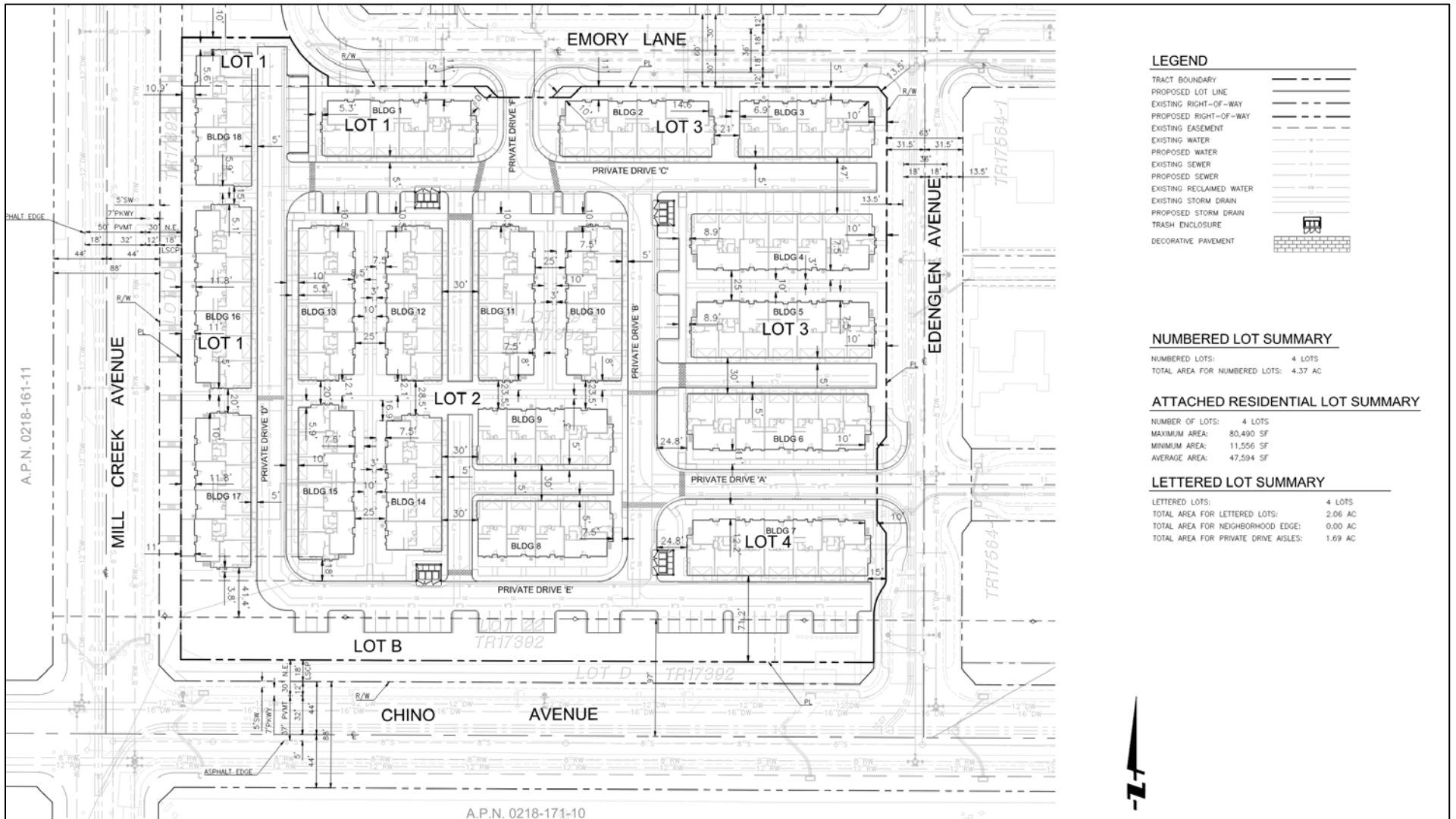
**Exhibit D—LOT C PARK (OPTION A)**



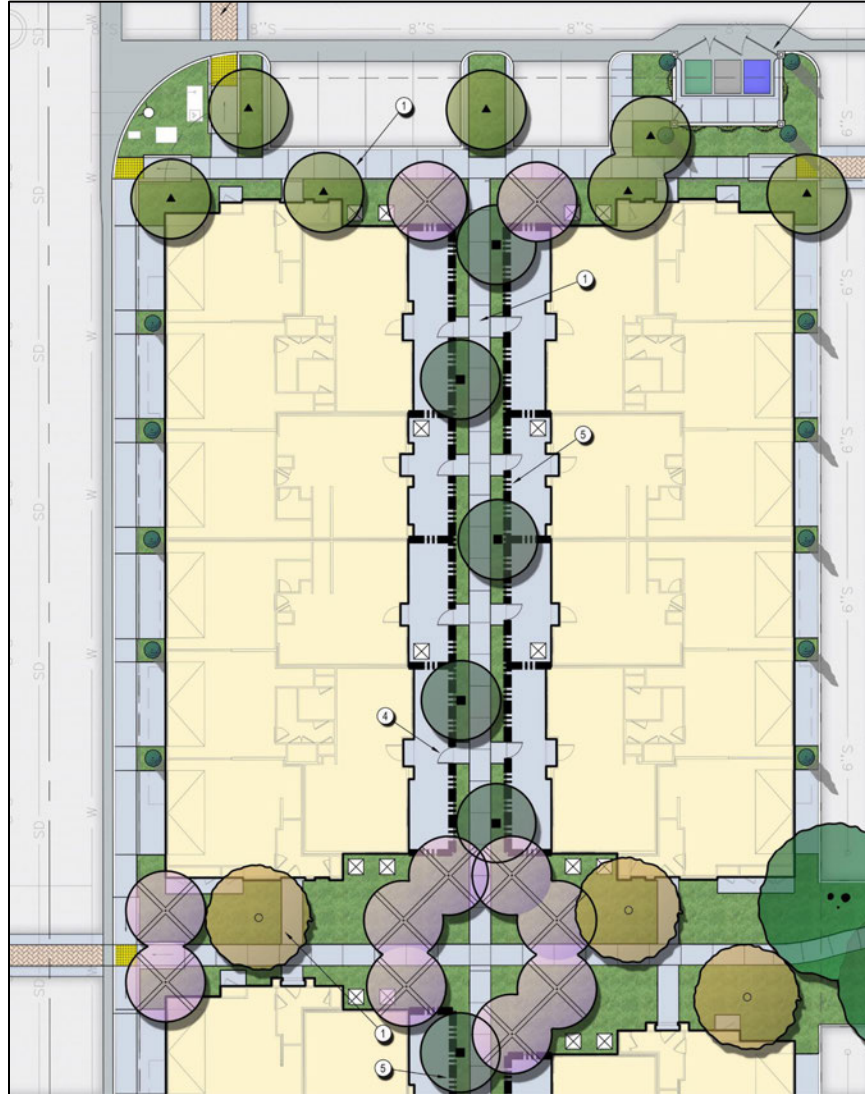
**Exhibit D—LOT C PARK (OPTION B)**



**Exhibit E—SITE PLAN**



**Exhibit E-1—TYPICAL PLOTTING**

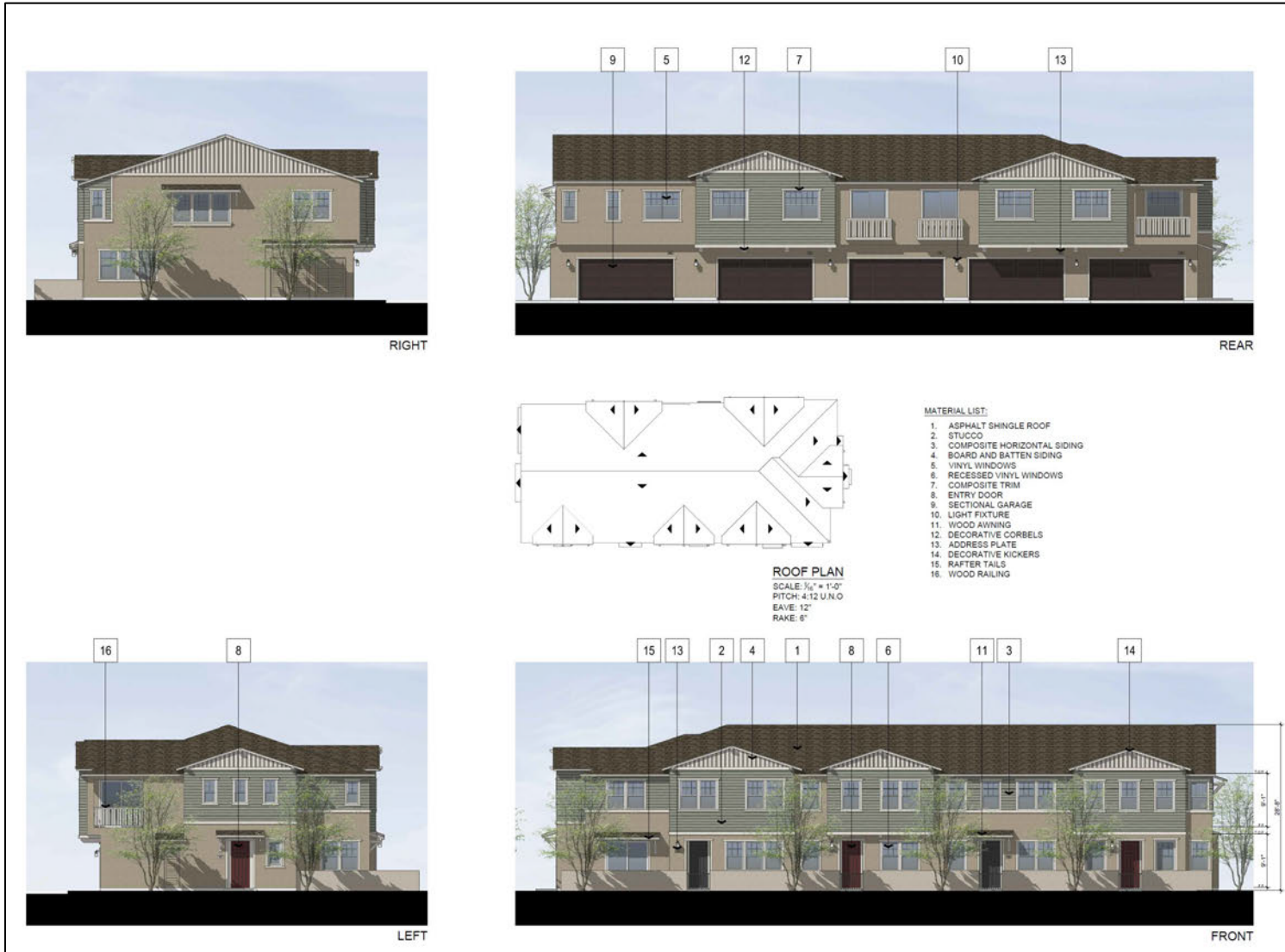




**Exhibit F—PARKING PLAN**



**Exhibit G—ELEVATIONS (CRAFTSMAN 5-PLEX BUILDING)**



**Exhibit G—ELEVATIONS (SPANISH 5-PLEX BUILDING)**



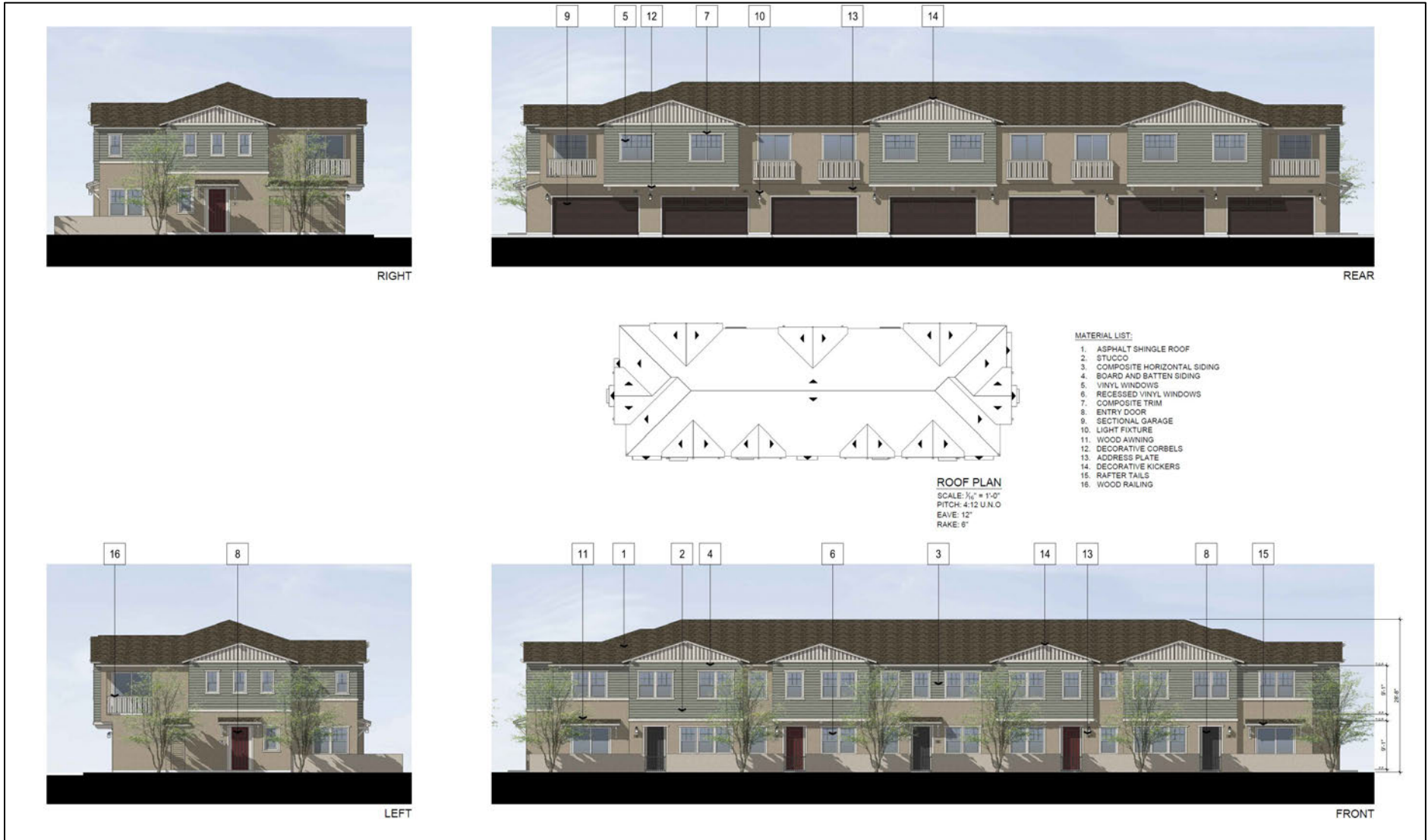
**Exhibit G—ELEVATIONS (CRAFTSMAN 6-PLEX BUILDING)**



**Exhibit G—ELEVATIONS (SPANISH 6-PLEX BUILDING)**



**Exhibit G—ELEVATIONS (CRAFTSMAN 7-PLEX BUILDING)**



**Exhibit G—ELEVATIONS (SPANISH 7-PLEX BUILDING)**



**Exhibit H—LANDSCAPE PLAN**





## **Attachment A—Departmental Conditions of Approval**

*(Departmental conditions of approval follow this page)*



# LAND DEVELOPMENT DIVISION CONDITIONS OF APPROVAL

303 East B Street, Ontario, California 91764 Phone: 909.395.2036 / Fax: 909.395.2420

**Date Prepared:** 8/15/2022

**File No:** PMTT21-020

**Related Files:** PDEV22-032

**Project Description:** A Tentative Tract Map No. 20524 (File No. PMTT21-020) for condominium purposes, subdividing 6.43 acres of land into 4 numbered lots and 4 lettered lots for residential uses, private drives, parking, landscape edges and common open space purposes, to construct 108 multiple-family residential units located at the northeast corner of Mill Creek Avenue and Chino Avenue, within PA-8 (Garden Court/ Rowtown) of the Edenglen Specific Plan; (APN(s): 0218-921-19 and 0218-921-22); **submitted by Brookcal Ontario, LLC.**

**Prepared By:** Lorena, Mejia, Senior Planner  
Phone: 909.395.2276 (direct)  
Email: lmejia@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

**1.0 Standard Conditions of Approval.** The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

**2.0 Special Conditions of Approval.** In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

**2.1** Time Limits.

**(a)** Tentative Tract Map approval shall become null and void 2 years following the effective date of application approval, unless the final parcel/tract map has been recorded, or a time extension has been approved by the Planning Commission pursuant to Development Code Section 2.02.025 (Time Limits and Extensions). This Permit does not supersede any individual time limits specified herein for performance of specific conditions or improvements.

**2.2** Subdivision Map.

**(a)** The Final Tract Map shall be in conformance with the approved Tentative Tract Map on file with the City. Variations from the approved Tentative Tract Map may be reviewed and approved by the Planning Department. A substantial variation from the approved Tentative

Tract Map may require review and approval by the Planning Commission, as determined by the Planning Director.

**(b)** Tentative Tract Map approval shall be subject to all conditions, requirements and recommendations from all other departments/agencies provided on the attached reports/memorandums.

**(c)** The subject Tentative Tract Map for condominium purposes shall require the recordation of a condominium plan concurrent with the recordation of the Final Tract Map and CC&Rs.

**(d)** Pursuant to California Government Section 66474.9, the subdivider agrees that it will defend, indemnify, and hold harmless the City of Ontario or its agents, officers and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer of this subdivision, which action is brought within the time period provided for in Government Code Section 66499.37. The City of Ontario shall promptly notify the subdivider of any such claim, action or proceeding and the City of Ontario shall cooperate fully in the defense.

**2.3** Covenants, Conditions and Restrictions (CC&Rs)/Mutual Access and Maintenance Agreements.

**(a)** CC&Rs shall be prepared for the Project and shall be recorded prior to the issuance of a building permit.

**(b)** The CC&Rs shall be in a form and contain provisions satisfactory to the City. The articles of incorporation for the property owners association and the CC&Rs shall be reviewed and approved by the City.

**(c)** CC&Rs shall ensure reciprocal parking and access between parcels.

**(d)** CC&Rs shall ensure reciprocal parking and access between parcels, and common maintenance of:

**(i)** Landscaping and irrigation systems within common areas;

**(ii)** Landscaping and irrigation systems within parkways adjacent to the project site, including that portion of any public highway right-of-way between the property line or right-of-way boundary line and the curb line and also the area enclosed within the curb lines of a median divider (Ontario Municipal Code Section 7-3.03), pursuant to Ontario Municipal Code Section 5-22-02;

**(iii)** Shared parking facilities and access drives; and

**(iv)** Utility and drainage easements.

**(e)** CC&Rs shall include authorization for the City's local law enforcement officers to enforce City and State traffic and penal codes within the project area.

**(f)** The CC&Rs shall grant the City of Ontario the right of enforcement of the CC&R provisions.

**(g)** A specific methodology/procedure shall be established within the CC&Rs for enforcement of its provisions by the City of Ontario, if adequate maintenance of the development does not occur, such as, but not limited to, provisions that would grant the City the right of access to correct maintenance issues and assess the property owners association for all costs incurred.

#### **2.4** Disclosure Statements.

**(a)** A copy of the Public Report from the Department of Real Estate, prepared for the subdivision pursuant to Business and Professions Code Section 11000 et seq., shall be provided to each prospective buyer of the residential units and shall include a statement to the effect that:

**(i)** This tract is subject to noise from the Ontario International Airport and may be more severely impacted in the future.

**(ii)** Some of the property adjacent to this tract is zoned for agricultural uses and there could be fly, odor, or related problems due to the proximity of animals.

**(iii)** The area south of Riverside Drive lies within the San Bernardino County Agricultural Preserve. Dairies currently existing in that area are likely to remain for the foreseeable future.

**(iv)** This tract is part of a Landscape Maintenance District. The homeowner(s) will be assessed through their property taxes for the continuing maintenance of the district.

#### **2.5** Environmental Review.

**(a)** The environmental impacts of this project were previously reviewed in conjunction with File No. PSP03-005, the Edenglen Specific Plan for which an Environmental Impact Report (State Clearinghouse No. 2004051108) was previously adopted by the City Council on 11/1/2005. This application introduces no new significant environmental impacts. The City's "Guidelines for the Implementation of the California Environmental Quality Act ("CEQA")" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed. The previously adopted mitigation measures shall be a condition of project approval, and are incorporated herein by this reference.

**(b)** If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

**(c)** If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

**2.6** Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other

authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**2.7**     Additional Fees.

**(a)**     Within 5 days following final application approval, the Notice of Determination ("NOD") filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act ("CEQA"). Failure to provide said fee within the time specified will result in the extension of the statute of limitations for the filing of a CEQA lawsuit from 30 days to 180 days.

**(b)**     After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

**2.8**     Additional Requirements.

**(a)**     The south facing community wall shall be a six-foot-high masonry (split-face with matching cap) wall with decorative pilasters designed to match the existing community perimeter wall.

**(b)**     Prior to issuance of the 55th home certificate of occupancy within Tract Map 20524 all the passive open space improvements for Lot C shall be fully constructed. The Planning Director pursuant to his/her administrative authority, shall allow for additional time for completing improvements located within the SCE Easement.



**ENGINEERING DEPARTMENT  
CONDITIONS OF APPROVAL**

(Engineering Services Division [Land Development Section and Environmental Section], Traffic & Transportation Division, Ontario Municipal Utilities Company and Broadband Operations & Investment and Revenue Resources Department Conditions incorporated)

<input checked="" type="checkbox"/> <b>DEVELOPMENT PLAN</b>	<input type="checkbox"/> <b>PARCEL MAP</b>	<input checked="" type="checkbox"/> <b>TRACT MAP</b>
<input type="checkbox"/> <b>OTHER</b>	<input checked="" type="checkbox"/> <b>FOR CONDOMINIUM PURPOSES</b>	
<b>PROJECT FILE NO. TM-20524</b>		
<b>RELATED FILE NO(S). PMTT22-020, PDEV22-032, PSPA21-008</b>		
<input checked="" type="checkbox"/> <b>ORIGINAL</b> <input type="checkbox"/> <b>REVISED: __/__/__</b>		

**CITY PROJECT ENGINEER & PHONE NO:** Michael Bhatanawin, P.E. (909) 395-2130

**CITY PROJECT PLANNER & PHONE NO:** Lorena Mejia (909) 395-2276

**DAB MEETING DATE:** August 15, 2022

**PROJECT NAME / DESCRIPTION:** TM-20524, a Tentative Tract Map to subdivide 6.43 acres of land into three (3) numbered lots (104 multifamily units) and four (4) common lots within Planning Areas 4 and 5 of The Edenglen Specific Plan

**LOCATION:** Northeast corner of Mill Creek Ave and Chino Ave

**APPLICANT:** Brookfield Residential

**REVIEWED BY:**

*Raymond Lee*  
Raymond Lee, P.E.  
Assistant City Engineer  
8/11/22  
Date

**APPROVED BY:**

*Khoi Do*  
Khoi Do, P.E.  
City Engineer  
8/11/22  
Date



THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE GENERAL STANDARD CONDITIONS OF APPROVAL ADOPTED BY THE CITY COUNCIL (RESOLUTION NO. 2017-027) AND THE PROJECT SPECIFIC CONDITIONS OF APPROVAL SPECIFIED HEREIN. ONLY APPLICABLE CONDITIONS OF APPROVAL ARE CHECKED. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL APPLICABLE CONDITIONS OF APPROVAL PRIOR TO FINAL MAP APPROVAL, ISSUANCE OF PERMITS AND/OR OCCUPANCY CLEARANCE, AS SPECIFIED IN THIS REPORT.

**1. PRIOR TO FINAL MAP APPROVAL, APPLICANT SHALL:** Check When Complete

- 1.01 Dedicate to the City of Ontario, the right-of-way, described below:   
\_\_\_\_\_ feet on \_\_\_\_\_  
Property line corner 'cut-back' required at the intersection of \_\_\_\_\_  
and \_\_\_\_\_.
- 1.02 Dedicate to the City of Ontario, the following easement(s): 
  - A. 34 feet wide easement for public utility purposes over all private drives.
  - B. 20 feet wide easement for public utility purposes over all private alleys
- 1.03 Restrict vehicular access to the site as follows: \_\_\_\_\_
- 1.04 Vacate the following street(s) and/or easement(s): 
  - A. All interfering on-site easements shall be quitclaimed, vacated, and/or submit non-interference letter from affected owner/utility company.
  - B. Easement for storm drain and appurtenant electrical system purposes to the City of Ontario over Lot 22 of TM 17392 (APN: 0218-921-19)
- 1.05 Submit a copy of a recorded private reciprocal use agreement or easement. The agreement or easement shall ensure, at a minimum, common ingress and egress and joint maintenance of all common access areas and drive aisles.
- 1.06 Provide (original document) Covenants, Conditions and Restrictions (CC&Rs) as applicable to the project and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&Rs shall provide for, but not be limited to, common ingress and egress, joint maintenance responsibility for all common access improvements, common facilities, parking areas, utilities, median and landscaping improvements and drive approaches, in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project. The CC&Rs shall also address the maintenance and repair responsibility for public improvements/utilities (sewer, water, storm drain, recycled water, etc.) located within open space/easements. In the event of any maintenance or repair of these facilities, the City shall only restore disturbed areas to current City Standards.
- 1.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at [http://geotracker.waterboards.ca.gov/profile\\_report?global\\_id=T10000004658](http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658).
- 1.08 File an application for Reapportionment of Assessment, together with payment of a reapportionment processing fee, for each existing assessment district listed below. Contact the Financial Services Department at (909) 395-2124 regarding this requirement.

(1) \_\_\_\_\_



(2) \_\_\_\_\_

- 1.09 Prepare a fully executed Subdivision Agreement (on City approved format and forms) with accompanying security as required, or complete all public improvements.
- 1.10 Provide a monument bond (i.e. cash deposit) in an amount calculated by the City's approved cost estimate spreadsheet (available for download on the City's website: [www.ontarioca.gov](http://www.ontarioca.gov)) or as specified in writing by the applicant's Registered Engineer or Licensed Land Surveyor of Record and approved by the City Engineer, whichever is greater.
- 1.11 Provide a preliminary title report current to within 30 days.
- 1.12 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Investment and Revenue Resources at (909) 395-2341 to initiate the CFD application process.
- 1.13 Ontario Ranch Developments: 
  - 1) Provide evidence of final cancellation of Williamson Act contracts associated with this tract, prior to approval of any final subdivision map. Cancellation of contracts shall have been approved by the City Council.
  - 2) Provide evidence of sufficient storm water capacity availability equivalents (Certificate of Storm Water Treatment Equivalents). This should include but not be limited to the following maps: TM 17392, TM 17558 through TM 17564-1, TM 18742, TM 18789 through TM 18791 and TM 20524.
  - 3) Provide evidence of sufficient water availability equivalents (Certificate of Net MDD Availability).
- 1.14 Other conditions: 
  - A. The Tract Map shall comply with the approved Edenglen Specific Plan, the Development Agreement and the Conditions of Approval for Tentative Tract Map No. 20524.
  - B. Applicant/developer shall obtain all off-site right-of-way/easements necessary to construct the required public improvements identified within Section 2 of these Conditions of Approval.

**2. PRIOR TO ISSUANCE OF ANY PERMITS, APPLICANT SHALL:**

**A. GENERAL  
( Permits includes Grading, Building, Demolition and Encroachment )**

- 2.01 Record Tract Map No. 20524 pursuant to the Subdivision Map Act and in accordance with the City of Ontario Municipal Code.
- 2.02 Submit a PDF of the recorded map to the City Engineer's office.
- 2.03 Note that the subject parcel is a recognized parcel in the City of Ontario per \_\_\_\_\_





- 2.04 Note that the subject parcel is an 'unrecognized' parcel in the City of Ontario and shall require a Certificate of Compliance to be processed unless a deed is provided confirming the existence of the parcel prior to the date of March 4, 1972.
  
- 2.05 Apply for a: 
  - Certificate of Compliance with a Record of Survey;
  - Lot Line Adjustment (Record a Conforming Deed with the County of San Bernardino within six months of the recordation of the Lot Line Adjustment to conform the new LLA legal description. Submit a copy of the recorded Conforming Deed to the Engineering Department.);
  - Make a Dedication of Easement.
  
- 2.06 Provide (original document) Covenants, Conditions and Restrictions (CC&R's), as applicable to the project, and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&R's shall provide for, but not be limited to, common ingress and egress, joint maintenance of all common access improvements, common facilities, parking areas, utilities and drive approaches in addition to maintenance requirements established in the Water Quality Management Plan ( WQMP), as applicable to the project.
  
- 2.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at [http://geotracker.waterboards.ca.gov/profile\\_report?global\\_id=T10000004658](http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658).
  
- 2.08 **Submit a soils/geology report.**
  
- 2.09 **Other Agency Permit/Approval: Submit a copy of the approved permit and/or other form of approval of the project from the following agency or agencies:** 
  - State of California Department of Transportation (Caltrans)
  - San Bernardino County Road Department (SBCRD)
  - San Bernardino County Flood Control District (SBCFCD)
  - Federal Emergency Management Agency (FEMA)
  - Cucamonga Valley Water District (CVWD) for sewer/water service
  - United States Army Corps of Engineers (USACE)
  - California Department of Fish & Game
  - Inland Empire Utilities Agency (IEUA)
  - Other: Southern California Edison (SCE) – for any improvements encroaching into their easements and right of way acquisition.**
  
- 2.10 **Dedicate to the City of Ontario the right-of-way described below:** 
  - A. The applicant/developer shall acquire ultimate south half street right-of-way width of 44 feet for Chino Ave from Mill Creek Ave to APN: 0218-171-19**
  - B. The applicant/developer shall acquire ultimate full street right-of-way width of 88 feet for Chino Ave from APN: 0218-171-19 to APN: 0218-171-20**
  - C. The applicant/developer shall acquire the ultimate north half street right-of-way width of 44 feet for Chino Ave from APN: 0218-171-20 to Hamner Ave**

**Property line corner 'cut-back' required at the following intersections:**

  - A. Mill Creek Ave & Chino Ave**
  - B. Hamner Ave & Chino Ave**



**Applicant/developer shall pursue “grant out” process with SCE to obtain said rights-of-way listed above and dedicate the right-of-way to the City of Ontario.**

- 2.11 Dedicate to the City of Ontario the following easement(s): \_\_\_\_\_   
\_\_\_\_\_
- 2.12 Vacate the following street(s) and/or easement(s): 
  - A. All interfering on-site easements shall be quitclaimed, vacated, and/or submit non-interference letter from affected owner/utility company.
- 2.13 **Ontario Ranch Developments:** 
  - 1) Submit a copy of the permit from the San Bernardino County Health Department to the Engineering Department and the Ontario Municipal Utilities Company (OMUC) for the destruction/abandonment of the on-site water well. The well shall be destroyed/abandoned in accordance with the San Bernardino County Health Department guidelines.
  - 2) Make a formal request to the City of Ontario Engineering Department for the proposed temporary use of an existing agricultural water well for purposes other than agriculture, such as grading, dust control, etc. Upon approval, the Applicant shall enter into an agreement with the City of Ontario and pay any applicable fees as set forth by said agreement.
  - 3) **Design proposed retaining walls to retain up to a maximum of three (3) feet of earth. In no case shall a wall exceed an overall height of nine (9) feet (i.e. maximum 6-foot high wall on top of a maximum 3-foot high retaining wall.**
- 2.14 Submit a security deposit to the Engineering Department to guarantee construction of the public improvements required herein valued at \_\_\_\_\_% of the approved construction cost estimate. Security deposit shall be in accordance with the City of Ontario Municipal Code. Security deposit will be eligible for release, in accordance with City procedure, upon completion and acceptance of said public improvements.
- 2.15 **The applicant/developer shall submit all necessary survey documents prepared by a Licensed Surveyor registered in the State of California detailing all existing survey monuments in and around the project site. These documents are to be reviewed and approved by the City Survey Office.**
- 2.16 **Pay all Development Impact Fees (DIF) to the Building Department. Final fee shall be determined based on the approved site plan.**
- 2.17 **Other conditions:** 
  - A. **Final Utilities Systems Map (USM): As part of the precise grading plans submittal, provide a Final Utilities Systems Map that shows all existing and proposed Utilities (Potable Water, Recycled Water, Sewer, Storm Drain, and other utilities) including each of the City's public utilities' points of connection to the existing systems.**



**B. PUBLIC IMPROVEMENTS**

(See attached Exhibit 'A' for plan check submittal requirements.)

- 2.18 Design and construct full public improvements in accordance with the City of Ontario Municipal Code, current City standards and specifications, master plans and the adopted specific plan for the area, if any. These public improvements shall include, but not be limited to, the following (checked boxes):

Improvement	Chino Ave	Emory Ln	Mill Creek Ave	Edenglen Ave
Curb and Gutter	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace
AC Pavement	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions
PCC Pavement (Truck Route Only)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Drive Approach	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New (C) <input type="checkbox"/> Remove and replace
Sidewalk	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New (B) <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
ADA Access Ramp	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Parkway	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation) <input checked="" type="checkbox"/> Neighborhood edge (w/irrigation) (A)	<input checked="" type="checkbox"/> Trees (B) <input checked="" type="checkbox"/> Landscaping (w/irrigation) (B)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)	<input checked="" type="checkbox"/> Trees (D) <input checked="" type="checkbox"/> Landscaping (w/irrigation) (D)
Raised Landscaped Median	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace



Fire Hydrant	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation
Sewer (see Sec. 2.C)	<input checked="" type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
Water (see Sec. 2.D)	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Recycled Water (see Sec. 2.E)	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Traffic Signal System (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Traffic Signing and Striping (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input checked="" type="checkbox"/> New <input checked="" type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input checked="" type="checkbox"/> New <input checked="" type="checkbox"/> Modify existing
Street Light (see Sec. 2.F)	<input checked="" type="checkbox"/> Upgrade <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> Upgrade <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation
Bus Stop Pad or Turn-out (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Storm Drain (see Sec. 2G)	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
Fiber Optics (see Sec. 2K)	<input type="checkbox"/> Conduit / Appurtenances	<input checked="" type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances	<input checked="" type="checkbox"/> Conduit / Appurtenances
Overhead Utilities	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate
Removal of Improvements	_____	_____	_____	_____
Other Improvements	_____	_____	_____	_____



Improvement	All Private Drives	All Private Alleys
Curb and Gutter	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace
AC Pavement	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions
PCC Pavement (Truck Route Only)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Drive Approach	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Sidewalk	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
ADA Access Ramp	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Parkway	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)
Raised Landscaped Median	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Fire Hydrant	<input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation
Sewer (see Sec. 2.C)	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral
Water (see Sec. 2.D)	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service



Recycled Water (see Sec. 2.E)	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Traffic Signal System (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Traffic Signing and Striping (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Street Light (see Sec. 2.F)	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation
Bus Stop Pad or Turn-out (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Storm Drain (see Sec. 2G)	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
Fiber Optics (see Sec. 2K)	<input checked="" type="checkbox"/> Conduit / Appurtenances	<input checked="" type="checkbox"/> Conduit / Appurtenances
Overhead Utilities	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate
Removal of Improvements	_____ _____	_____ _____
Other Improvements	_____ _____	_____ _____

Specific notes for improvements listed in item no. 2.17, above:

- A. From Mill Creek Ave to APN: 0218-171-19
- B. South side from Quincy Way to Edenglen Ave
- C. West side only
- D. Both west and east sides from Chino Ave to approximately 270' north of Chino Ave

2.19 Construct a 2" asphalt concrete (AC) grind and overlay on the following street(s):

- A. Mill Creek Ave from Bethany Way to Chino Ave curb-to-curb
- B. Chino Ave from Mill Creek Ave to westerly property limits of SCE owned property (APN: 0218-171-19) curb-to-curb

2.20 Reconstruction of the full pavement structural section, per City of Ontario Standard Drawing number 1011, may be required based on the existing pavement condition and final street design. Minimum limits of reconstruction shall be along property frontage, from street centerline to curb/gutter.



- 2.21 Make arrangements with the Cucamonga Valley Water District (CVWD) to provide  water service   
 sewer service to the site. This property is within the area served by the CVWD and Applicant shall provide documentation to the City verifying that all required CVWD fees have been paid.
- 2.22 Overhead utilities shall be under-grounded, in accordance with Title 7 of the City's Municipal Code (Ordinance No. 2804 and 2892). Developer may pay in-lieu fee, approximately \_\_\_\_\_, for undergrounding of utilities in accordance with Section 7-7.302.e of the City's Municipal Code.
- 2.23 **Other conditions:** 
  - A. Applicant/developer shall design the ultimate Chino Ave street improvements from Mill Creek Ave to Hamner Ave. Additionally, applicant/developer shall pursue "grant out" process with SCE to obtain all right-of-way necessary to construct the required ultimate street improvements. See COA 2.10.

**C. SEWER**

- 2.24 **A 8 inch sewer main is available for connection by this project in Edenglen Ave. (Ref: Sewer plan bar code: S13834)**
- 2.25 Design and construct a sewer main extension. A sewer main is not available for direct connection. The closest main is approximately \_\_\_\_\_ feet away.
- 2.26 Submit documentation that shows expected peak loading values for modeling the impact of the subject project to the existing sewer system. The project site is within a deficient public sewer system area. Applicant shall be responsible for all costs associated with the preparation of the model. Based on the results of the analysis, Applicant may be required to mitigate the project impact to the deficient public sewer system, including, but not limited to, upgrading of existing sewer main(s), construction of new sewer main(s) or diversion of sewer discharge to another sewer.
- 2.27 **Other conditions:** 
  - A. Construct public sewer main in Chino Avenue, west to Mill Creek, south on Mill Creek to existing point of connection on Ontario Ranch Road. Also, refer to the Development Agreement (DA).
  - B. Abandon the existing sewer lift/pump station at the northwest corner of Chino Avenue and Edenglen Avenue and deliver all equipment and/or parts to Ontario Municipal Utilities Company (OMUC).
  - C. Abandon the existing sewer force main via slurry backfill in Chino Avenue to Mill Creek Avenue, north on Mill Creek Avenue to Riverside Avenue, west on Riverside Avenue to Turner Avenue.
  - D. Abandon gravity sewer main via slurry backfill along the neighborhood edge, east side of Mill Creek Avenue and the north side of the neighborhood edge on Chino Avenue.
  - E. Connect the sewer main in Bethany Way to the gravity sewer in Mill Creek Avenue and connect Edenglen gravity sewer into Chino Ave.
  - F. Developer is to coordinate with Ontario Municipal Utilities Company (OMUC) to transfer all existing SCADA equipment and by-pass pump to OMUC.

**D. WATER**

- 2.28 **8 inch water mains are available for connection by this project in Emory Ln and Edenglen Ave (Ref: Water plan bar code: W13204)**
- 2.29 Design and construct a water main extension. A water main is not available for direct connection. The closest main is approximately \_\_\_\_\_ feet away.
- 2.30 Other conditions: \_\_\_\_\_

**E. RECYCLED WATER**

- 2.31 **8 inch recycled water mains are available for connection by this project in Mill Creek Ave and Edenglen Ave. (Ref: Recycled Water plan bar code: P11008, P10101)**



- 2.32 **Design and construct an on-site recycled water system for this project. A recycled water main does exist in the vicinity of this project.**
  - 2.33 Design and construct an on-site recycled water ready system for this project. A recycled water main does not currently exist in the vicinity of this project, but is planned for the near future. If Applicant would like to connect to this recycled water main when it becomes available, the cost for the connection shall be borne solely by the Applicant.
  - 2.34 **Submit two (2) hard copies and one (1) electronic copy, in PDF format, of the Engineering Report (ER), for the use of recycled water, to the OMUC for review and subsequent submittal to the California Department of Public Health (CDPH) for final approval.**
- Note: The OMUC and the CDPH review and approval process will be approximately three (3) months. Contact the Ontario Municipal Utilities Company at (909) 395-2647 regarding this requirement.**
- 2.35 Other conditions: \_\_\_\_\_

#### F. TRAFFIC / TRANSPORTATION

- 2.36 Submit a focused traffic impact study, prepared and signed by a Traffic/Civil Engineer registered in the State of California. The study shall address, but not be limited to, the following issues as required by the City Engineer: 
  - 1. On-site and off-site circulation
  - 2. Traffic level of service (LOS) at 'build-out' and future years
  - 3. Impact at specific intersections as selected by the City Engineer
- 2.37 New traffic signal installations shall be added to Southern California Edison (SCE) customer account number # 2-20-044-3877.
- 2.38 **Other conditions:** 
  - A. **Parking shall be restricted on property frontage along Mill Creek Avenue.**
  - B. **The modified bend at Quincy Way and Emory Lane shall be constructed per City Standard Drawing No. 1114. Parking shall be restricted with red curb along modified bends as depicted in the standard.**
  - C. **Replace any missing signing and striping at the existing street chokers along project frontage streets required per City of Ontario Standard Drawing No. 1110.**
  - D. **Design and construct in-fill public street lights along its project frontage streets. Street lighting shall be LED-type and in accordance with City's Traffic and Transportation Design Guidelines.**
  - E. **Replace any existing street light fixtures along its project frontage streets with the current City approved LED equivalent fixture per the City's Approved Material List (AML) for Led Luminaires.**
  - F. **All landscaping, block walls, and other obstructions shall be compatible with the stopping sight distance requirements per City of Ontario Standard Drawing No. 1309.**
  - G. **Engineer-of-record shall meet with City Engineering staff prior to designing and submitting for plan check the signing/striping and street light design plans to define limits of improvements.**

#### G. DRAINAGE / HYDROLOGY

- 2.39 **A 48 inch storm drain main is available to accept flows from this project in Edenglen Ave. (Ref: Storm Drain plan bar code: D11805)**
- 2.40 **Submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California. The study shall be prepared in accordance with the San Bernardino County Hydrology Manual and City of Ontario standards and guidelines. Additional drainage facilities, including, but not limited to, improvements beyond the project frontage, may be required to be designed and constructed, by Applicant, as a result of the findings of this study.**





- 2.41 An adequate drainage facility to accept additional runoff from the site does not currently exist downstream of the project. Design and construct a storm water detention facility on the project site. 100 year post-development peak flow shall be attenuated such that it does not exceed 80% of pre-development peak flows, in accordance with the approved hydrology study and improvement plans.
- 2.42 Submit a copy of a recorded private drainage easement or drainage acceptance agreement to the Engineering Department for the acceptance of any increase to volume and/or concentration of historical drainage flows onto adjacent property, prior to approval of the grading plan for the project.
- 2.43 Comply with the City of Ontario Flood Damage Prevention Ordinance (Ordinance No. 2409). The project site or a portion of the project site is within the Special Flood Hazard Area (SFHA) as indicated on the Flood Insurance Rate Map (FIRM) and is subject to flooding during a 100 year frequency storm. The site plan shall be subject to the provisions of the National Flood Insurance Program.
- 2.44 **Other conditions:** 
  - A. Design and construct storm drain improvements in Mill Creek Ave (size varies 72", 84", 108") from Chino Ave to existing point of connection at Ontario Ranch Rd. Additionally, there is a section of 48" storm drain pipe missing from Mill Creek Ave between Riverside Dr and Chino Ave that needs to be completed to provide connectivity to downstream facilities. Once this is complete the following items need to be taken care of:**
    - i. Remove existing onsite detention basin and its related appurtenances (e.g. pump station, riser, laterals, etc.).**
    - ii. Remove existing 30" storm drain lateral from Mill Creek Ave to onsite detention basin.**
    - iii. Remove existing onsite detention basin and its related appurtenances (e.g. pump station, riser, laterals, etc.) on the west side of Mill Creek Ave south of Chino Ave.**
  - B. Should the downstream ultimate storm drain facilities on Mill Creek Ave not be fully constructed and operational, this project will need to construct interim storm drain improvements such as a detention basin. The interim storm drain improvements must be completed prior to issuance of grading permits.**
  - C. All storm drains in the private streets and alleys are private and shall be maintained by the Home Owner Association.**

**H. STORM WATER QUALITY / NATIONAL POLLUTANT DISCHARGE AND ELIMINATION SYSTEM (NPDES)**

- 2.45 401 Water Quality Certification/404 Permit – Submit a copy of any applicable 401 Certification or 404 Permit for the subject project to the City project engineer. Development that will affect any body of surface water (i.e. lake, creek, open drainage channel, etc.) may require a 401 Water Quality Certification from the California Regional Water Quality Control Board, Santa Ana Region (RWQCB) and a 404 Permit from the United States Army Corps of Engineers (USACE). The groups of water bodies classified in these requirements are perennial (flow year round) and ephemeral (flow during rain conditions, only) and include, but are not limited to, direct connections into San Bernardino County Flood Control District (SBCFCD) channels.  
If a 401 Certification and/or a 404 Permit are not required, a letter confirming this from Applicant's engineer shall be submitted.  
Contact information: USACE (Los Angeles District) (213) 452-3414; RWQCB (951) 782-4130.
- 2.46 **Submit a Water Quality Management Plan (WQMP). This plan shall be approved by the Engineering Department prior to approval of any grading plan. The WQMP shall be submitted, utilizing the current San Bernardino County Stormwater Program template, available at: <http://www.sbcounty.gov/dpw/land/npdes.asp>.**
- 2.47 Design and construct a Connector Pipe Trash Screen or equivalent Trash Treatment Control Device, per catch basin located within or accepting flows tributary of a Priority Land Use (PLU) area that meets the Full Capture System definition and specifications, and is on the Certified List of the State Water Resources Control Board. The device shall be adequately sized per catch basin and include a deflector screen with vector control access for abatement application, vertical support bars, and removable component to facilitate maintenance and cleaning.



2.48 Other conditions: \_\_\_\_\_

#### J. SPECIAL DISTRICTS

2.49 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Investment and Revenue Resources at (909) 395-2341 to initiate the CFD application process.

2.50 Other conditions: \_\_\_\_\_

#### K. FIBER OPTIC

2.51 Fiber optic lines are available for connection by this project in Chino Ave, Emory Ln, Mill Creek Ave and Edenglen Ave.   
(Ref: Fiber Optic plan bar code: O10009-10010, Fiber Contract WO2017-062)

2.52 Design and construct fiber optic system to provide access to the City's conduit and fiber optic system per the City's Fiber Optic Master Plan. Building entrance conduits shall start from the closest OntarioNet hand hole constructed along the project frontage in the ROW and shall terminate in the main telecommunications room for each building. Conduit infrastructure shall interconnect with the primary and/or secondary backbone fiber optic conduit system at the nearest OntarioNet hand hole on Emory Ln, Edenglen Ave and Chino Ave. Limits of work are generally located on Emory Ln, Edenglen Ave, Private Drive E and Lot 2.

2.53 Refer to the City's Fiber Optic Master Plan for design and layout guidelines. Contact the Broadband Operations Department at (909) 395-2000, regarding this requirement.

### 3. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, APPLICANT SHALL:

3.01 Set new monuments in place of any monuments that have been damaged or destroyed as a result of construction of the subject project. Monuments shall be set in accordance with City of Ontario standards and to the satisfaction of the City Engineer.

3.02 Complete all requirements for recycled water usage.

1) Procure from the OMUC a copy of the letter of confirmation from the California Department of Public Health (CDPH) that the Engineering Report (ER) has been reviewed and the subject site is approved for the use of recycled water.

2) Obtain clearance from the OMUC confirming completion of recycled water improvements and passing of shutdown tests and cross connection inspection, upon availability/usage of recycled water.

3) Complete education training of on-site personnel in the use of recycled water, in accordance with the ER, upon availability/usage of recycled water.

3.03 The applicant/developer shall submit all final survey documents prepared by a Licensed Surveyor registered in the State of California detailing all survey monuments that have been preserved, revised, adjusted or set along with any maps, corner records or Records of Survey needed to comply with these Conditions of Approvals and the latest edition of the California Professional Land Survey Act. These documents are to be reviewed and approved by the City Survey Office.



- 3.04 Ontario Ranch Projects: For developments located at an intersection of any two collector or arterial streets, the applicant/developer shall set a monument if one does not already exist at that intersection. Contact the City Survey office for information on reference benchmarks, acceptable methodology and required submittals.
- 3.05 Confirm payment of all Development Impact Fees (DIF) to the Building Department.
- 3.06 Submit electronic copies (PDF and Auto CAD format) of all approved improvement plans, studies and reports (i.e. hydrology, traffic, WQMP, etc.).

#### 4. PRIOR TO FINAL ACCEPTANCE, APPLICANT SHALL:

- 4.01 Complete all Conditions of Approval listed under Sections 1-3 above.
- 4.02 Pay all outstanding fees pursuant to the City of Ontario Municipal Code, including but not limited to, plan check fees, inspection fees and Development Impact Fees.
- 4.03 The applicant/developer shall submit a written request for the City's final acceptance of the project addressed to the City Project Engineer. The request shall include a completed Acceptance and Bond Release Checklist, state that all Conditions of Approval have been completed and shall be signed by the applicant/developer. Upon receipt of the request, review of the request shall be a minimum of 10 business days. Conditions of Approval that are deemed incomplete by the City will cause delays in the acceptance process.
- 4.04 Submit record drawings (PDF) for all public improvements identified within Section 2 of these Conditions of Approval.



## **EXHIBIT 'A'**

### **ENGINEERING DEPARTMENT First Plan Check Submittal Checklist**

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Project Number: PDEV22-032, PMTT22-020 and/or Tract Map No. 20524

**The following items are required to be included with the first plan check submittal:**

1.  **A copy of this check list**
2.  **Payment of fee for Plan Checking**
3.  **One (1) copy of Engineering Cost Estimate (on City form) with engineer's wet signature and stamp.**
4.  **One (1) copy of project Conditions of Approval**
5.  **Include a PDF (electronic submittal) of each required improvement plan at every submittal.**
6.  **Two (2) sets of Potable and Recycled Water demand calculations (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size).**
7.  **Three (3) sets of Public Street improvement plan with street cross-sections**
8.  **Four (4) sets of Public Water improvement plan (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)**
9.  **Four (4) sets of Recycled Water improvement plan (include recycled water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size and an exhibit showing the limits of areas being irrigated by each recycled water meter)**
10.  **Four (4) sets of Public Sewer improvement plan**
11.  **Five (5) sets of Public Storm Drain improvement plan**
12.  **Three (3) sets of Public Street Light improvement plan**
13.  **Three (3) sets of Signing and Striping improvement plan**
14.  **Three (3) sets of Fiber Optic plan (include Auto CAD electronic submittal)**
15.  **Three (3) sets of Dry Utility plans within public right-of-way (at a minimum the plans must show existing and ultimate right-of-way, curb and gutter, proposed utility location including centerline dimensions, wall to wall clearances between proposed utility and adjacent public line, street work repaired per Standard Drawing No. 1306. Include Auto CAD electronic submittal)**
16.  **Three (3) sets of Traffic Signal improvement plan and One (1) copy of Traffic Signal Specifications with modified Special Provisions. Please contact the Traffic Division at (909) 395-2154 to obtain Traffic Signal Specifications.**
17.  **Two (2) copies of Water Quality Management Plan (WQMP), including one (1) copy of the approved Preliminary WQMP (PWQMP).**
18.  **One (1) copy of Hydrology/Drainage study**
19.  **One (1) copy of Soils/Geology report**
20.  **Payment for Final Map/Parcel Map processing fee**



21.  **Three (3) copies of Final Map/Parcel Map**
22.  **One (1) copy of approved Tentative Map**
23.  **One (1) copy of Preliminary Title Report (current within 30 days)**
24.  **One (1) copy of Traverse Closure Calculations**
25.  **One (1) set of supporting documents and maps (legible copies): referenced improvement plans (full size), referenced record final maps/parcel maps (full size, 18"x26"), Assessor's Parcel map (full size, 11"x17"), recorded documents such as deeds, lot line adjustments, easements, etc.**
26.  **Two (2) copies of Engineering Report and an electronic file (include PDF format electronic submittal) for recycled water use**
27.  **Other:** \_\_\_\_\_

# AIRPORT LAND USE COMPATIBILITY PLANNING

## CONSISTENCY DETERMINATION REPORT



Project File No.: PMTT21-020 and PDEV22-032

Address: northeast corner of Mill Creek Avenue and Chino Avenue

APN: 0218-921-19 and 0218-921-22

Existing Land Use: Vacant

Proposed Land Use: Tentative Tract Map No. 20524 to subdivide 6.43 acres and Development Plan to construct 108 multiple-family residential units

Site Acreage: 6.43 ac Proposed Structure Height: 32 FT

ONT-IAC Project Review: n/a

Airport Influence Area: ONT

Reviewed By: Lorena Mejia

Contact Info: 909-395-2276

Project Planner: Lorena Mejia

Date: 8/10/2022

CD No.: 2022-034

PALU No.: n/a

### The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input type="checkbox"/> High Terrain Zone	<input type="checkbox"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input checked="" type="checkbox"/> FAA Notification Surfaces	<input type="checkbox"/> Recorded Overflight Notification
<input type="radio"/> Zone 2	<input type="checkbox"/> 65 - 70 dB CNEL	<input type="checkbox"/> Airspace Obstruction Surfaces	<input checked="" type="checkbox"/> Real Estate Transaction Disclosure
<input type="checkbox"/> Zone 3	<input type="checkbox"/> 60 - 65 dB CNEL	<input type="checkbox"/> Airspace Avigation Easement Area	
<input type="radio"/> Zone 4		Allowable Height: <u>200 FT +</u>	
<input type="radio"/> Zone 5			

### The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1   
  Zone 2   
  Zone 3   
  Zone 4   
  Zone 5   
  Zone 6

Allowable Height: \_\_\_\_\_

## CONSISTENCY DETERMINATION

This proposed Project is:  Exempt from the ALUCP   
 Consistent   
 Consistent with Conditions   
 Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

Real Estate Transaction Disclosure required

Airport Planner Signature: \_\_\_\_\_



# CITY OF ONTARIO

## MEMORANDUM

**TO:** Lorena Mejia, Senior Planner  
Planning Department

**FROM:** Paul Ehrman, Sr. Deputy Fire Chief/Fire Marshal  
Fire Department

**DATE:** January 31, 2022

**SUBJECT:** PMTT21-020 - A Tentative Tract Map (TTM 20524) to subdivide 6.43 acres of land into 3 numbered lots (104 multiple-family units) and 4 common lots, for Common Interest Subdivision purposes, located at the North East corner of Mill Creek Boulevard and Chino Ave, within Planning Areas 4 and 5 of the Edenglen Specific Plan (APNs: 0218-921-19 and 0218-921-22). Related File: PSPA21-008.

- 
- The plan **does** adequately address Fire Department requirements at this time.
- Standard Conditions of Approval apply, as stated below.
- 

### **SITE AND BUILDING FEATURES:**

- A. 2019 CBC Type of Construction: Type V-B wood frame
- B. Type of Roof Materials: non-rated
- C. Ground Floor Area(s): Various
- D. Number of Stories: Not Listed
- E. Total Square Footage: Various
- F. 2019 CBC Occupancy Classification(s): R-3, U

## **CONDITIONS OF APPROVAL:**

### **1.0 GENERAL**

- ☒ 1.1 The following are the Ontario Fire Department (“Fire Department”) requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards (“Standards.”) It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario website at [www.ontarioca.gov/Fire/Prevention](http://www.ontarioca.gov/Fire/Prevention).
- ☒ 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

### **2.0 FIRE DEPARTMENT ACCESS**

- ☒ 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See Standard #B-004.
- ☒ 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25’) inside and forty-five feet (45’) outside turning radius per Standard #B-005.
- ☒ 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150’) in length shall have an approved turn-around per Standard #B-002.
- ☒ 2.7 Any time PRIOR to on-site combustible construction and/or storage, a minimum twenty-four (24) ft. wide circulating all weather access roads shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved by fire department and other emergency services.

### **3.0 WATER SUPPLY**

- ☒ 3.1 The required fire flow per Fire Department standards, based on the 2019 California Fire Code, Appendix B, is 1500 gallons per minute (g.p.m.) for 2 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.
- ☒ 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300’) apart, per Engineering Department specifications.
- ☒ 3.4 The public water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.



#### **4.0 FIRE PROTECTION SYSTEMS**

- ☒ 4.3 An automatic fire sprinkler system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 13 D. All new fire sprinkler systems, except those in single family dwellings, which contain twenty (20) sprinkler heads or more shall be monitored by an approved listed supervising station. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.


#### **5.0 BUILDING CONSTRUCTION FEATURES**

- ☒ 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- ☒ 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Homes that do not front street shall be provided with an address entry sign at the street. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.
- ☒ 5.3 Single station smoke alarms and carbon monoxide alarms are required to be installed per the California Building Code and the California Fire Code.
- ☒ 5.5 All residential chimneys shall be equipped with an approved spark arrester meeting the requirements of the California Building Code.

**CITY OF ONTARIO**  
**LANDSCAPE PLANNING DIVISION**  
 303 East "B" Street, Ontario, CA 91764

**TRACT MAP**  
**CONDITIONS OF APPROVAL**

Sign Off



08/05/2022

Jamie Richardson, Sr. Landscape Planner

Date

Reviewer's Name: **Jamie Richardson, Sr. Landscape Planner** Phone: **(909) 395-2615**

D.A.B. File No.: PMTT21-020 Related Files: Case Planner: Lorena Mejia

Project Name and Location:  
 Tentative Tract Map to Subdivide 6/43 acres  
 Northeast Corner of Mill Creek Blvd and Chino Ave

Applicant/Representative:  
 Brookfield Homes – Derek Spalding 714.380.1628 [derek.spalding@brookfieldrp.com](mailto:derek.spalding@brookfieldrp.com)  
 3200 Park Center Drive, Suite 1000  
 Ontario, CA 92692

- A Tentative Tract/Parcel Map (dated 07/11/2022) has been approved considering that the following conditions below are met upon the landscape construction documents submittal.**
- A Tentative Tract Map/Parcel (dated) has not been approved. Corrections noted below are required before DAB approval.**

**CORRECTIONS REQUIRED**

1. Relocate utilities to minimum clearances to allow parkway trees. Show and note a 10' parkway tree space, 5' clearance each side of tree from any utility or hardscape including water, sewer, drain lines and driveways; and min. 10' clear from street lights. Parkway trees are to be 30' apart.
1. Mill Creek; show conceptual grading to verify slopes and steps. Show finish grades, surfaces, and maximum 3:1 slopes at the units with steps. Note maximum 3:1 slope.
2. Note corner ramp and sidewalk per city standard drawing 1213 with max 10' or 13' of ramp and sidewalk behind at corners.
3. Corners; verify dimension and grade for required monumentation (see Specific Plan for detail). Adjacent walls shall not interfere with required monumentation.
4. Show and identify any on-site stormwater infiltration areas or stormwater infiltration devices proposed in parkways or other landscape areas.
5. New residential projects shall use recycled water for HOA maintained property (parks, parkways, neighborhood edges, common areas). Potable water with a backflow shall only be used on single-family detached properties even if HOA maintained..
6. Stormwater infiltration devices located in parkways or other landscape areas shall be routed to this department to be reviewed and approved before permit approval or installation.
7. Note decorative paving for all motor courts, including the lots facing the parking rows aisles.
8. After a project's entitlement approval, the applicant shall pay all applicable fees at a rate established by resolution of the City Council.

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303 East B Street, Ontario, California 91764 Phone: 909.395.2036 / Fax: 909.395.2420

**Date Prepared:** 8/15/2022

**File No:** PDEV22-032

**Related Files:** PMTT21-020

**Project Description:** A Development Plan (File No. PDEV22-032) to construct 108 multiple-family residential units located at the northeast corner of Mill Creek Avenue and Chino Avenue, within PA-8 (Garden Court/ Rowtown) of the Edenglen Specific Plan; (APN(s): 0218-921-19 and 0218-921-22); **submitted by Brookcal Ontario, LLC.**

**Prepared By:** Lorena Mejia, Senior Planner  
Phone: 909.395.2276 (direct)  
Email: lmejia@ontarioca.gov

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The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

**1.0 Standard Conditions of Approval.** The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

**2.0 Special Conditions of Approval.** In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

**2.1** Time Limits.

**(a)** Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

**2.2** General Requirements. The Project shall comply with the following general requirements:

**(a)** All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

**(b)** The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

**(c)** The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

### **2.3** Landscaping.

**(a)** The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

**(b)** Comply with the conditions of approval of the Planning Department; Landscape Planning Division.

**(c)** Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

**(d)** Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

**2.4** Walls and Fences. All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

### **2.5** Parking, Circulation and Access.

**(a)** The Project shall comply with the applicable off-street parking, loading and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

**(b)** All drive approaches shall be provided with an enhanced pavement treatment. The enhanced paving shall extend from the back of the approach apron, into the site, to the first intersecting drive aisle or parking space.

**(c)** Areas provided to meet the City's parking requirements, including off-street parking and loading spaces, access drives, and maneuvering areas, shall not be used for the outdoor storage of materials and equipment, nor shall it be used for any other purpose than parking.

**(d)** The required number of off-street parking spaces and/or loading spaces shall be provided at the time of site and/or building occupancy. All parking and loading spaces shall be maintained in good condition for the duration of the building or use.

**(e)** Parking spaces specifically designated and conveniently located for use by the physically disabled shall be provided pursuant to current accessibility regulations contained in State law (CCR Title 24, Part 2, Chapters 2B71, and CVC Section 22507.8).

**2.6** Site Lighting.

**(a)** All off-street parking facilities shall be provided with nighttime security lighting pursuant to Ontario Municipal Code Section 4-11.08 (Special Residential Building Provisions) and Section 4-11.09 (Special Commercial/Industrial Building Provisions), designed to confine emitted light to the parking areas. Parking facilities shall be lighted from sunset until sunrise, daily, and shall be operated by a photocell switch.

**(b)** Unless intended as part of a master lighting program, no operation, activity, or lighting fixture shall create illumination on any adjacent property.

**2.7** Mechanical and Rooftop Equipment.

**(a)** All exterior roof-mounted mechanical, heating and air conditioning equipment, and all appurtenances thereto, shall be completely screened from public view by parapet walls or roof screens that are architecturally treated so as to be consistent with the building architecture.

**(b)** All ground-mounted utility equipment and structures, such as tanks, transformers, HVAC equipment, and backflow prevention devices, shall be located out of view from a public street, or adequately screened through the use of landscaping and/or decorative low garden walls.

**2.8** Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

**2.9** Signs.

**(a)** All Project signage shall comply with the requirements of Ontario Development Code Division 8.1 (Sign Regulations).

**2.10** Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noised levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

**2.11** Disclosure Statements.

**(a)** A copy of the Public Report from the Department of Real Estate, prepared for the subdivision pursuant to Business and Professions Code Section 11000 et seq., shall be provided to each prospective buyer of the residential units and shall include a statement to the effect that:

**(i)** This tract is subject to noise from the Ontario International Airport and may be more severely impacted in the future.

**(ii)** Some of the property adjacent to this tract is zoned for agricultural uses and there could be fly, odor, or related problems due to the proximity of animals.

**(iii)** The area south of Riverside Drive lies within the San Bernardino County Agricultural Preserve. Dairies currently existing in that area are likely to remain for the foreseeable future.

**(iv)** This tract is part of a Landscape Maintenance District. The homeowner(s) will be assessed through their property taxes for the continuing maintenance of the district.

## **2.12** Environmental Review.

**(a)** The environmental impacts of this project were previously reviewed in conjunction with File No. PSP03-005, the Edenglen Specific Plan for which an Environmental Impact Report (State Clearinghouse No. 2004051108) was previously adopted by the City Council on 11/1/2005. This application introduces no new significant environmental impacts. The City's "Guidelines for the Implementation of the California Environmental Quality Act ("CEQA")" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed. The previously adopted mitigation measures shall be a condition of project approval, and are incorporated herein by this reference.

**(b)** If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

**(c)** If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

**2.13** Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

## **2.14** Additional Fees.

**(a)** Within 5 days following final application approval, the Notice of Determination ("NOD") filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act ("CEQA"). Failure to provide said fee within the time specified will result in the extension of the statute of limitations for the filing of a CEQA lawsuit from 30 days to 180 days.

**(b)** After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

**2.15** Additional Requirements.

**(a)** The south facing community wall shall be a six-foot-high masonry (split-face with matching cap) wall with decorative pilasters designed to match the existing community perimeter wall.

**(b)** The patio walls shall incorporate decorative pilasters with decorative cap located paseo entries and building corners.

**(c)** Prior to issuance of the 55th home certificate of occupancy within Tract Map 20524 all the passive open space improvements for Lot C shall be fully constructed. The Planning Director pursuant to his/her administrative authority, shall allow for additional time for completing improvements located within the SCE Easement of Lot C.

**(d)** Provide an enhanced elevation for the 5-unit craftsman building right elevation.



**ENGINEERING DEPARTMENT  
CONDITIONS OF APPROVAL**

(Engineering Services Division [Land Development Section and Environmental Section], Traffic & Transportation Division, Ontario Municipal Utilities Company and Broadband Operations & Investment and Revenue Resources Department Conditions incorporated)

<input checked="" type="checkbox"/> <b>DEVELOPMENT PLAN</b> <input type="checkbox"/> <b>OTHER</b>	<input type="checkbox"/> <b>PARCEL MAP</b>	<input checked="" type="checkbox"/> <b>TRACT MAP</b>  <input checked="" type="checkbox"/> <b>FOR CONDOMINIUM PURPOSES</b>
<b>PROJECT FILE NO. TM-20524</b>  <b>RELATED FILE NO(S). PMTT22-020, PDEV22-032, PSPA21-008</b>		
<input checked="" type="checkbox"/> <b>ORIGINAL</b> <input type="checkbox"/> <b>REVISED: __/__/__</b>		

**CITY PROJECT ENGINEER & PHONE NO:** Michael Bhatanawin, P.E. (909) 395-2130

**CITY PROJECT PLANNER & PHONE NO:** Lorena Mejia (909) 395-2276

**DAB MEETING DATE:** August 15, 2022

**PROJECT NAME / DESCRIPTION:** TM-20524, a Tentative Tract Map to subdivide 6.43 acres of land into three (3) numbered lots (104 multifamily units) and four (4) common lots within Planning Areas 4 and 5 of The Edenglen Specific Plan

**LOCATION:** Northeast corner of Mill Creek Ave and Chino Ave

**APPLICANT:** Brookfield Residential

**REVIEWED BY:**

Fox Raymond Lee, P.E.      8/11/22  
 Assistant City Engineer      Date

**APPROVED BY:**

Khoi Do, P.E.      8/11/22  
 City Engineer      Date





**THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE GENERAL STANDARD CONDITIONS OF APPROVAL ADOPTED BY THE CITY COUNCIL (RESOLUTION NO. 2017-027) AND THE PROJECT SPECIFIC CONDITIONS OF APPROVAL SPECIFIED HEREIN. ONLY APPLICABLE CONDITIONS OF APPROVAL ARE CHECKED. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL APPLICABLE CONDITIONS OF APPROVAL PRIOR TO FINAL MAP APPROVAL, ISSUANCE OF PERMITS AND/OR OCCUPANCY CLEARANCE, AS SPECIFIED IN THIS REPORT.**

**1. PRIOR TO FINAL MAP APPROVAL, APPLICANT SHALL:** Check When Complete

- 1.01 Dedicate to the City of Ontario, the right-of-way, described below:   
 \_\_\_\_\_ feet on \_\_\_\_\_  
 Property line corner 'cut-back' required at the intersection of \_\_\_\_\_  
 and \_\_\_\_\_
- 1.02 Dedicate to the City of Ontario, the following easement(s): 
  - A. 34 feet wide easement for public utility purposes over all private drives.
  - B. 20 feet wide easement for public utility purposes over all private alleys
- 1.03 Restrict vehicular access to the site as follows: \_\_\_\_\_
- 1.04 Vacate the following street(s) and/or easement(s): 
  - A. All interfering on-site easements shall be quitclaimed, vacated, and/or submit non-interference letter from affected owner/utility company.
  - B. Easement for storm drain and appurtenant electrical system purposes to the City of Ontario over Lot 22 of TM 17392 (APN: 0218-921-19)
- 1.05 Submit a copy of a recorded private reciprocal use agreement or easement. The agreement or easement shall ensure, at a minimum, common ingress and egress and joint maintenance of all common access areas and drive aisles.
- 1.06 Provide (original document) Covenants, Conditions and Restrictions (CC&Rs) as applicable to the project and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&Rs shall provide for, but not be limited to, common ingress and egress, joint maintenance responsibility for all common access improvements, common facilities, parking areas, utilities, median and landscaping improvements and drive approaches, in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project. The CC&Rs shall also address the maintenance and repair responsibility for public improvements/utilities (sewer, water, storm drain, recycled water, etc.) located within open space/easements. In the event of any maintenance or repair of these facilities, the City shall only restore disturbed areas to current City Standards.
- 1.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at [http://geotracker.waterboards.ca.gov/profile\\_report?global\\_id=T10000004658](http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658).
- 1.08 File an application for Reapportionment of Assessment, together with payment of a reapportionment processing fee, for each existing assessment district listed below. Contact the Financial Services Department at (909) 395-2124 regarding this requirement.

(1) \_\_\_\_\_



(2) \_\_\_\_\_

- 1.09 Prepare a fully executed Subdivision Agreement (on City approved format and forms) with accompanying security as required, or complete all public improvements.
- 1.10 Provide a monument bond (i.e. cash deposit) in an amount calculated by the City's approved cost estimate spreadsheet (available for download on the City's website: [www.ontarioca.gov](http://www.ontarioca.gov)) or as specified in writing by the applicant's Registered Engineer or Licensed Land Surveyor of Record and approved by the City Engineer, whichever is greater.
- 1.11 Provide a preliminary title report current to within 30 days.
- 1.12 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Investment and Revenue Resources at (909) 395-2341 to initiate the CFD application process.
- 1.13 Ontario Ranch Developments: 
  - 1) Provide evidence of final cancellation of Williamson Act contracts associated with this tract, prior to approval of any final subdivision map. Cancellation of contracts shall have been approved by the City Council.
  - 2) Provide evidence of sufficient storm water capacity availability equivalents (Certificate of Storm Water Treatment Equivalents). This should include but not be limited to the following maps: TM 17392, TM 17558 through TM 17564-1, TM 18742, TM 18789 through TM 18791 and TM 20524.
  - 3) Provide evidence of sufficient water availability equivalents (Certificate of Net MDD Availability).
- 1.14 Other conditions: 
  - A. The Tract Map shall comply with the approved Edenglen Specific Plan, the Development Agreement and the Conditions of Approval for Tentative Tract Map No. 20524.
  - B. Applicant/developer shall obtain all off-site right-of-way/easements necessary to construct the required public improvements identified within Section 2 of these Conditions of Approval.

**2. PRIOR TO ISSUANCE OF ANY PERMITS, APPLICANT SHALL:**

**A. GENERAL  
( Permits includes Grading, Building, Demolition and Encroachment )**

- 2.01 Record Tract Map No. 20524 pursuant to the Subdivision Map Act and in accordance with the City of Ontario Municipal Code.
- 2.02 Submit a PDF of the recorded map to the City Engineer's office.
- 2.03 Note that the subject parcel is a recognized parcel in the City of Ontario per \_\_\_\_\_



- 2.04 Note that the subject parcel is an 'unrecognized' parcel in the City of Ontario and shall require a Certificate of Compliance to be processed unless a deed is provided confirming the existence of the parcel prior to the date of March 4, 1972.
  
- 2.05 Apply for a: 
  - Certificate of Compliance with a Record of Survey;
  - Lot Line Adjustment (Record a Conforming Deed with the County of San Bernardino within six months of the recordation of the Lot Line Adjustment to conform the new LLA legal description. Submit a copy of the recorded Conforming Deed to the Engineering Department.);
  - Make a Dedication of Easement.
  
- 2.06 Provide (original document) Covenants, Conditions and Restrictions (CC&R's), as applicable to the project, and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&R's shall provide for, but not be limited to, common ingress and egress, joint maintenance of all common access improvements, common facilities, parking areas, utilities and drive approaches in addition to maintenance requirements established in the Water Quality Management Plan ( WQMP), as applicable to the project.
  
- 2.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at [http://geotracker.waterboards.ca.gov/profile\\_report?global\\_id=T10000004658](http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658).
  
- 2.08 **Submit a soils/geology report.**
  
- 2.09 **Other Agency Permit/Approval: Submit a copy of the approved permit and/or other form of approval of the project from the following agency or agencies:** 
  - State of California Department of Transportation (Caltrans)
  - San Bernardino County Road Department (SBCRD)
  - San Bernardino County Flood Control District (SBCFCD)
  - Federal Emergency Management Agency (FEMA)
  - Cucamonga Valley Water District (CVWD) for sewer/water service
  - United States Army Corps of Engineers (USACE)
  - California Department of Fish & Game
  - Inland Empire Utilities Agency (IEUA)
  - Other: Southern California Edison (SCE) – for any improvements encroaching into their easements and right of way acquisition.**
  
- 2.10 **Dedicate to the City of Ontario the right-of-way described below:** 
  - A. The applicant/developer shall acquire ultimate south half street right-of-way width of 44 feet for Chino Ave from Mill Creek Ave to APN: 0218-171-19**
  - B. The applicant/developer shall acquire ultimate full street right-of-way width of 88 feet for Chino Ave from APN: 0218-171-19 to APN: 0218-171-20**
  - C. The applicant/developer shall acquire the ultimate north half street right-of-way width of 44 feet for Chino Ave from APN: 0218-171-20 to Hamner Ave**

**Property line corner 'cut-back' required at the following intersections:**

  - A. Mill Creek Ave & Chino Ave**
  - B. Hamner Ave & Chino Ave**



**Applicant/developer shall pursue “grant out” process with SCE to obtain said rights-of-way listed above and dedicate the right-of-way to the City of Ontario.**

- 2.11 Dedicate to the City of Ontario the following easement(s): \_\_\_\_\_
- 2.12 Vacate the following street(s) and/or easement(s): 
  - A. All interfering on-site easements shall be quitclaimed, vacated, and/or submit non-interference letter from affected owner/utility company.
- 2.13 **Ontario Ranch Developments:** 
  - 1) Submit a copy of the permit from the San Bernardino County Health Department to the Engineering Department and the Ontario Municipal Utilities Company (OMUC) for the destruction/abandonment of the on-site water well. The well shall be destroyed/abandoned in accordance with the San Bernardino County Health Department guidelines.
  - 2) Make a formal request to the City of Ontario Engineering Department for the proposed temporary use of an existing agricultural water well for purposes other than agriculture, such as grading, dust control, etc. Upon approval, the Applicant shall enter into an agreement with the City of Ontario and pay any applicable fees as set forth by said agreement.
  - 3) **Design proposed retaining walls to retain up to a maximum of three (3) feet of earth. In no case shall a wall exceed an overall height of nine (9) feet (i.e. maximum 6-foot high wall on top of a maximum 3-foot high retaining wall.**
- 2.14 Submit a security deposit to the Engineering Department to guarantee construction of the public improvements required herein valued at \_\_\_\_\_% of the approved construction cost estimate. Security deposit shall be in accordance with the City of Ontario Municipal Code. Security deposit will be eligible for release, in accordance with City procedure, upon completion and acceptance of said public improvements.
- 2.15 **The applicant/developer shall submit all necessary survey documents prepared by a Licensed Surveyor registered in the State of California detailing all existing survey monuments in and around the project site. These documents are to be reviewed and approved by the City Survey Office.**
- 2.16 **Pay all Development Impact Fees (DIF) to the Building Department. Final fee shall be determined based on the approved site plan.**
- 2.17 **Other conditions:** 
  - A. **Final Utilities Systems Map (USM): As part of the precise grading plans submittal, provide a Final Utilities Systems Map that shows all existing and proposed Utilities (Potable Water, Recycled Water, Sewer, Storm Drain, and other utilities) including each of the City's public utilities' points of connection to the existing systems.**



**B. PUBLIC IMPROVEMENTS**  
 (See attached Exhibit 'A' for plan check submittal requirements.)

- 2.18 Design and construct full public improvements in accordance with the City of Ontario Municipal Code, current City standards and specifications, master plans and the adopted specific plan for the area, if any. These public improvements shall include, but not be limited to, the following (checked boxes):

Improvement	Chino Ave	Emory Ln	Mill Creek Ave	Edenglen Ave
Curb and Gutter	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace
AC Pavement	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions
PCC Pavement (Truck Route Only)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Drive Approach	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New (C) <input type="checkbox"/> Remove and replace
Sidewalk	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New (B) <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
ADA Access Ramp	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Parkway	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation) <input checked="" type="checkbox"/> Neighborhood edge (w/irrigation) (A)	<input checked="" type="checkbox"/> Trees (B) <input checked="" type="checkbox"/> Landscaping (w/irrigation) (B)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)	<input checked="" type="checkbox"/> Trees (D) <input checked="" type="checkbox"/> Landscaping (w/irrigation) (D)
Raised Landscaped Median	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace



Fire Hydrant	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation
Sewer (see Sec. 2.C)	<input checked="" type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
Water (see Sec. 2.D)	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Recycled Water (see Sec. 2.E)	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Traffic Signal System (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Traffic Signing and Striping (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input checked="" type="checkbox"/> New <input checked="" type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input checked="" type="checkbox"/> New <input checked="" type="checkbox"/> Modify existing
Street Light (see Sec. 2.F)	<input checked="" type="checkbox"/> Upgrade <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> Upgrade <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation
Bus Stop Pad or Turn-out (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Storm Drain (see Sec. 2G)	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
Fiber Optics (see Sec. 2K)	<input type="checkbox"/> Conduit / Appurtenances	<input checked="" type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances	<input checked="" type="checkbox"/> Conduit / Appurtenances
Overhead Utilities	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate
Removal of Improvements	_____	_____	_____	_____
Other Improvements	_____	_____	_____	_____



Improvement	All Private Drives	All Private Alleys
Curb and Gutter	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace
AC Pavement	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions
PCC Pavement (Truck Route Only)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Drive Approach	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Sidewalk	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
ADA Access Ramp	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Parkway	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)
Raised Landscaped Median	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Fire Hydrant	<input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation
Sewer (see Sec. 2.C)	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral
Water (see Sec. 2.D)	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service



Recycled Water (see Sec. 2.E)	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Traffic Signal System (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Traffic Signing and Striping (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Street Light (see Sec. 2.F)	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation
Bus Stop Pad or Turn-out (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Storm Drain (see Sec. 2G)	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
<b>Fiber Optics (see Sec. 2K)</b>	<input checked="" type="checkbox"/> <b>Conduit / Appurtenances</b>	<input checked="" type="checkbox"/> <b>Conduit / Appurtenances</b>
Overhead Utilities	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate
Removal of Improvements	_____ _____	_____ _____
Other Improvements	_____ _____ _____	_____ _____ _____

Specific notes for improvements listed in item no. 2.17, above:

- A. From Mill Creek Ave to APN: 0218-171-19
- B. South side from Quincy Way to Edenglen Ave
- C. West side only
- D. Both west and east sides from Chino Ave to approximately 270' north of Chino Ave

2.19 Construct a 2" asphalt concrete (AC) grind and overlay on the following street(s):

- A. Mill Creek Ave from Bethany Way to Chino Ave curb-to-curb
- B. Chino Ave from Mill Creek Ave to westerly property limits of SCE owned property (APN: 0218-171-19) curb-to-curb

2.20 Reconstruction of the full pavement structural section, per City of Ontario Standard Drawing number 1011, may be required based on the existing pavement condition and final street design. Minimum limits of reconstruction shall be along property frontage, from street centerline to curb/gutter.





- 2.21 Make arrangements with the Cucamonga Valley Water District (CVWD) to provide  water service   
 sewer service to the site. This property is within the area served by the CVWD and Applicant shall provide documentation to the City verifying that all required CVWD fees have been paid.
- 2.22 Overhead utilities shall be under-grounded, in accordance with Title 7 of the City's Municipal Code (Ordinance No. 2804 and 2892). Developer may pay in-lieu fee, approximately \_\_\_\_\_, for undergrounding of utilities in accordance with Section 7-7.302.e of the City's Municipal Code.
- 2.23 **Other conditions:** 
  - A. Applicant/developer shall design the ultimate Chino Ave street improvements from Mill Creek Ave to Hamner Ave. Additionally, applicant/developer shall pursue "grant out" process with SCE to obtain all right-of-way necessary to construct the required ultimate street improvements. See COA 2.10.

**C. SEWER**

- 2.24 **A 8 inch sewer main is available for connection by this project in Edenglen Ave. (Ref: Sewer plan bar code: S13834)**
- 2.25 Design and construct a sewer main extension. A sewer main is not available for direct connection. The closest main is approximately \_\_\_\_\_ feet away.
- 2.26 Submit documentation that shows expected peak loading values for modeling the impact of the subject project to the existing sewer system. The project site is within a deficient public sewer system area. Applicant shall be responsible for all costs associated with the preparation of the model. Based on the results of the analysis, Applicant may be required to mitigate the project impact to the deficient public sewer system, including, but not limited to, upgrading of existing sewer main(s), construction of new sewer main(s) or diversion of sewer discharge to another sewer.
- 2.27 **Other conditions:** 
  - A. Construct public sewer main in Chino Avenue, west to Mill Creek, south on Mill Creek to existing point of connection on Ontario Ranch Road. Also, refer to the Development Agreement (DA).
  - B. Abandon the existing sewer lift/pump station at the northwest corner of Chino Avenue and Edenglen Avenue and deliver all equipment and/or parts to Ontario Municipal Utilities Company (OMUC).
  - C. Abandon the existing sewer force main via slurry backfill in Chino Avenue to Mill Creek Avenue, north on Mill Creek Avenue to Riverside Avenue, west on Riverside Avenue to Turner Avenue.
  - D. Abandon gravity sewer main via slurry backfill along the neighborhood edge, east side of Mill Creek Avenue and the north side of the neighborhood edge on Chino Avenue.
  - E. Connect the sewer main in Bethany Way to the gravity sewer in Mill Creek Avenue and connect Edenglen gravity sewer into Chino Ave.
  - F. Developer is to coordinate with Ontario Municipal Utilities Company (OMUC) to transfer all existing SCADA equipment and by-pass pump to OMUC.

**D. WATER**

- 2.28 **8 inch water mains are available for connection by this project in Emory Ln and Edenglen Ave (Ref: Water plan bar code: W13204)**
- 2.29 Design and construct a water main extension. A water main is not available for direct connection. The closest main is approximately \_\_\_\_\_ feet away.
- 2.30 Other conditions: \_\_\_\_\_

**E. RECYCLED WATER**

- 2.31 **8 inch recycled water mains are available for connection by this project in Mill Creek Ave and Edenglen Ave. (Ref: Recycled Water plan bar code: P11008, P10101)**



- 2.32 **Design and construct an on-site recycled water system for this project. A recycled water main does exist in the vicinity of this project.**
  - 2.33 Design and construct an on-site recycled water ready system for this project. A recycled water main does not currently exist in the vicinity of this project, but is planned for the near future. If Applicant would like to connect to this recycled water main when it becomes available, the cost for the connection shall be borne solely by the Applicant.
  - 2.34 **Submit two (2) hard copies and one (1) electronic copy, in PDF format, of the Engineering Report (ER), for the use of recycled water, to the OMUC for review and subsequent submittal to the California Department of Public Health (CDPH) for final approval.**
- Note: The OMUC and the CDPH review and approval process will be approximately three (3) months. Contact the Ontario Municipal Utilities Company at (909) 395-2647 regarding this requirement.**
- 2.35 Other conditions: \_\_\_\_\_

#### F. TRAFFIC / TRANSPORTATION

- 2.36 Submit a focused traffic impact study, prepared and signed by a Traffic/Civil Engineer registered in the State of California. The study shall address, but not be limited to, the following issues as required by the City Engineer: 
  - 1. On-site and off-site circulation
  - 2. Traffic level of service (LOS) at 'build-out' and future years
  - 3. Impact at specific intersections as selected by the City Engineer
- 2.37 New traffic signal installations shall be added to Southern California Edison (SCE) customer account number # 2-20-044-3877.
- 2.38 **Other conditions:** 
  - A. **Parking shall be restricted on property frontage along Mill Creek Avenue.**
  - B. **The modified bend at Quincy Way and Emory Lane shall be constructed per City Standard Drawing No. 1114. Parking shall be restricted with red curb along modified bends as depicted in the standard.**
  - C. **Replace any missing signing and striping at the existing street chokers along project frontage streets required per City of Ontario Standard Drawing No. 1110.**
  - D. **Design and construct in-fill public street lights along its project frontage streets. Street lighting shall be LED-type and in accordance with City's Traffic and Transportation Design Guidelines.**
  - E. **Replace any existing street light fixtures along its project frontage streets with the current City approved LED equivalent fixture per the City's Approved Material List (AML) for Led Luminaires.**
  - F. **All landscaping, block walls, and other obstructions shall be compatible with the stopping sight distance requirements per City of Ontario Standard Drawing No. 1309.**
  - G. **Engineer-of-record shall meet with City Engineering staff prior to designing and submitting for plan check the signing/striping and street light design plans to define limits of improvements.**

#### G. DRAINAGE / HYDROLOGY

- 2.39 **A 48 inch storm drain main is available to accept flows from this project in Edenglen Ave. (Ref: Storm Drain plan bar code: D11805)**
- 2.40 **Submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California. The study shall be prepared in accordance with the San Bernardino County Hydrology Manual and City of Ontario standards and guidelines. Additional drainage facilities, including, but not limited to, improvements beyond the project frontage, may be required to be designed and constructed, by Applicant, as a result of the findings of this study.**



- 2.41 An adequate drainage facility to accept additional runoff from the site does not currently exist downstream of the project. Design and construct a storm water detention facility on the project site. 100 year post-development peak flow shall be attenuated such that it does not exceed 80% of pre-development peak flows, in accordance with the approved hydrology study and improvement plans.
- 2.42 Submit a copy of a recorded private drainage easement or drainage acceptance agreement to the Engineering Department for the acceptance of any increase to volume and/or concentration of historical drainage flows onto adjacent property, prior to approval of the grading plan for the project.
- 2.43 Comply with the City of Ontario Flood Damage Prevention Ordinance (Ordinance No. 2409). The project site or a portion of the project site is within the Special Flood Hazard Area (SFHA) as indicated on the Flood Insurance Rate Map (FIRM) and is subject to flooding during a 100 year frequency storm. The site plan shall be subject to the provisions of the National Flood Insurance Program.
- 2.44 **Other conditions:** 
  - A. **Design and construct storm drain improvements in Mill Creek Ave (size varies 72", 84", 108") from Chino Ave to existing point of connection at Ontario Ranch Rd. Additionally, there is a section of 48" storm drain pipe missing from Mill Creek Ave between Riverside Dr and Chino Ave that needs to be completed to provide connectivity to downstream facilities. Once this is complete the following items need to be taken care of:**
    - i. **Remove existing onsite detention basin and its related appurtenances (e.g. pump station, riser, laterals, etc.).**
    - ii. **Remove existing 30" storm drain lateral from Mill Creek Ave to onsite detention basin.**
    - iii. **Remove existing onsite detention basin and its related appurtenances (e.g. pump station, riser, laterals, etc.) on the west side of Mill Creek Ave south of Chino Ave.**
  - B. **Should the downstream ultimate storm drain facilities on Mill Creek Ave not be fully constructed and operational, this project will need to construct interim storm drain improvements such as a detention basin. The interim storm drain improvements must be completed prior to issuance of grading permits.**
  - C. **All storm drains in the private streets and alleys are private and shall be maintained by the Home Owner Association.**

**H. STORM WATER QUALITY / NATIONAL POLLUTANT DISCHARGE AND ELIMINATION SYSTEM (NPDES)**

- 2.45 401 Water Quality Certification/404 Permit – Submit a copy of any applicable 401 Certification or 404 Permit for the subject project to the City project engineer. Development that will affect any body of surface water (i.e. lake, creek, open drainage channel, etc.) may require a 401 Water Quality Certification from the California Regional Water Quality Control Board, Santa Ana Region (RWQCB) and a 404 Permit from the United States Army Corps of Engineers (USACE). The groups of water bodies classified in these requirements are perennial (flow year round) and ephemeral (flow during rain conditions, only) and include, but are not limited to, direct connections into San Bernardino County Flood Control District (SBCFCD) channels.  
If a 401 Certification and/or a 404 Permit are not required, a letter confirming this from Applicant's engineer shall be submitted.  
Contact information: USACE (Los Angeles District) (213) 452-3414; RWQCB (951) 782-4130.
- 2.46 **Submit a Water Quality Management Plan (WQMP). This plan shall be approved by the Engineering Department prior to approval of any grading plan. The WQMP shall be submitted, utilizing the current San Bernardino County Stormwater Program template, available at: <http://www.sbcounty.gov/dpw/land/npdes.asp>.**
- 2.47 Design and construct a Connector Pipe Trash Screen or equivalent Trash Treatment Control Device, per catch basin located within or accepting flows tributary of a Priority Land Use (PLU) area that meets the Full Capture System definition and specifications, and is on the Certified List of the State Water Resources Control Board. The device shall be adequately sized per catch basin and include a deflector screen with vector control access for abatement application, vertical support bars, and removable component to facilitate maintenance and cleaning.



2.48 Other conditions: \_\_\_\_\_

**J. SPECIAL DISTRICTS**

2.49 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Investment and Revenue Resources at (909) 395-2341 to initiate the CFD application process.

2.50 Other conditions: \_\_\_\_\_

**K. FIBER OPTIC**

2.51 **Fiber optic lines are available for connection by this project in Chino Ave, Emory Ln, Mill Creek Ave and Edenglen Ave.**   
(Ref: Fiber Optic plan bar code: O10009-10010, Fiber Contract WO2017-062)

2.52 **Design and construct fiber optic system to provide access to the City's conduit and fiber optic system per the City's Fiber Optic Master Plan. Building entrance conduits shall start from the closest OntarioNet hand hole constructed along the project frontage in the ROW and shall terminate in the main telecommunications room for each building. Conduit infrastructure shall interconnect with the primary and/or secondary backbone fiber optic conduit system at the nearest OntarioNet hand hole on Emory Ln, Edenglen Ave and Chino Ave. Limits of work are generally located on Emory Ln, Edenglen Ave, Private Drive E and Lot 2.**

2.53 **Refer to the City's Fiber Optic Master Plan for design and layout guidelines. Contact the Broadband Operations Department at (909) 395-2000, regarding this requirement.**

**3. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, APPLICANT SHALL:**

3.01 **Set new monuments in place of any monuments that have been damaged or destroyed as a result of construction of the subject project. Monuments shall be set in accordance with City of Ontario standards and to the satisfaction of the City Engineer.**

3.02 **Complete all requirements for recycled water usage.**

1) **Procure from the OMUC a copy of the letter of confirmation from the California Department of Public Health (CDPH) that the Engineering Report (ER) has been reviewed and the subject site is approved for the use of recycled water.**

2) **Obtain clearance from the OMUC confirming completion of recycled water improvements and passing of shutdown tests and cross connection inspection, upon availability/usage of recycled water.**

3) **Complete education training of on-site personnel in the use of recycled water, in accordance with the ER, upon availability/usage of recycled water.**

3.03 **The applicant/developer shall submit all final survey documents prepared by a Licensed Surveyor registered in the State of California detailing all survey monuments that have been preserved, revised, adjusted or set along with any maps, corner records or Records of Survey needed to comply with these Conditions of Approvals and the latest edition of the California Professional Land Survey Act. These documents are to be reviewed and approved by the City Survey Office.**



- 3.04 Ontario Ranch Projects:** For developments located at an intersection of any two collector or arterial streets, the applicant/developer shall set a monument if one does not already exist at that intersection. Contact the City Survey office for information on reference benchmarks, acceptable methodology and required submittals.
- 3.05 Confirm payment of all Development Impact Fees (DIF) to the Building Department.**
- 3.06 Submit electronic copies (PDF and Auto CAD format) of all approved improvement plans, studies and reports (i.e. hydrology, traffic, WQMP, etc.).**

**4. PRIOR TO FINAL ACCEPTANCE, APPLICANT SHALL:**

- 4.01 Complete all Conditions of Approval listed under Sections 1-3 above.**
- 4.02 Pay all outstanding fees pursuant to the City of Ontario Municipal Code, including but not limited to, plan check fees, inspection fees and Development Impact Fees.**
- 4.03 The applicant/developer shall submit a written request for the City's final acceptance of the project addressed to the City Project Engineer. The request shall include a completed Acceptance and Bond Release Checklist, state that all Conditions of Approval have been completed and shall be signed by the applicant/developer. Upon receipt of the request, review of the request shall be a minimum of 10 business days. Conditions of Approval that are deemed incomplete by the City will cause delays in the acceptance process.**
- 4.04 Submit record drawings (PDF) for all public improvements identified within Section 2 of these Conditions of Approval.**



## **EXHIBIT 'A'**

### **ENGINEERING DEPARTMENT First Plan Check Submittal Checklist**

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Project Number: PDEV22-032, PMTT22-020 and/or Tract Map No. 20524

**The following items are required to be included with the first plan check submittal:**

1.  **A copy of this check list**
2.  **Payment of fee for Plan Checking**
3.  **One (1) copy of Engineering Cost Estimate (on City form) with engineer's wet signature and stamp.**
4.  **One (1) copy of project Conditions of Approval**
5.  **Include a PDF (electronic submittal) of each required improvement plan at every submittal.**
6.  **Two (2) sets of Potable and Recycled Water demand calculations (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size).**
7.  **Three (3) sets of Public Street improvement plan with street cross-sections**
8.  **Four (4) sets of Public Water improvement plan (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)**
9.  **Four (4) sets of Recycled Water improvement plan (include recycled water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size and an exhibit showing the limits of areas being irrigated by each recycled water meter)**
10.  **Four (4) sets of Public Sewer improvement plan**
11.  **Five (5) sets of Public Storm Drain improvement plan**
12.  **Three (3) sets of Public Street Light improvement plan**
13.  **Three (3) sets of Signing and Striping improvement plan**
14.  **Three (3) sets of Fiber Optic plan (include Auto CAD electronic submittal)**
15.  **Three (3) sets of Dry Utility plans within public right-of-way (at a minimum the plans must show existing and ultimate right-of-way, curb and gutter, proposed utility location including centerline dimensions, wall to wall clearances between proposed utility and adjacent public line, street work repaired per Standard Drawing No. 1306. Include Auto CAD electronic submittal)**
16.  **Three (3) sets of Traffic Signal improvement plan and One (1) copy of Traffic Signal Specifications with modified Special Provisions. Please contact the Traffic Division at (909) 395-2154 to obtain Traffic Signal Specifications.**
17.  **Two (2) copies of Water Quality Management Plan (WQMP), including one (1) copy of the approved Preliminary WQMP (PWQMP).**
18.  **One (1) copy of Hydrology/Drainage study**
19.  **One (1) copy of Soils/Geology report**
20.  **Payment for Final Map/Parcel Map processing fee**



21.  **Three (3) copies of Final Map/Parcel Map**
22.  **One (1) copy of approved Tentative Map**
23.  **One (1) copy of Preliminary Title Report (current within 30 days)**
24.  **One (1) copy of Traverse Closure Calculations**
25.  **One (1) set of supporting documents and maps (legible copies): referenced improvement plans (full size), referenced record final maps/parcel maps (full size, 18"x26"), Assessor's Parcel map (full size, 11"x17"), recorded documents such as deeds, lot line adjustments, easements, etc.**
26.  **Two (2) copies of Engineering Report and an electronic file (include PDF format electronic submittal) for recycled water use**
27.  Other: \_\_\_\_\_

# AIRPORT LAND USE COMPATIBILITY PLANNING

## CONSISTENCY DETERMINATION REPORT



Project File No.: PMTT21-020 and PDEV22-032

Address: northeast corner of Mill Creek Avenue and Chino Avenue

APN: 0218-921-19 and 0218-921-22

Existing Land Use: Vacant

Proposed Land Use: Tentative Tract Map No. 20524 to subdivide 6.43 acres and Development Plan to construct 108 multiple-family residential units

Site Acreage: 6.43 ac Proposed Structure Height: 32 FT

ONT-IAC Project Review: n/a

Airport Influence Area: ONT

Reviewed By: Lorena Mejia

Contact Info: 909-395-2276

Project Planner: Lorena Mejia

Date: 8/10/2022

CD No.: 2022-034

PALU No.: n/a

### The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input type="checkbox"/> High Terrain Zone	<input type="checkbox"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input checked="" type="checkbox"/> FAA Notification Surfaces	<input type="checkbox"/> Recorded Overflight Notification
<input type="radio"/> Zone 2	<input type="checkbox"/> 65 - 70 dB CNEL	<input type="checkbox"/> Airspace Obstruction Surfaces	<input checked="" type="checkbox"/> Real Estate Transaction Disclosure
<input type="checkbox"/> Zone 3	<input type="checkbox"/> 60 - 65 dB CNEL	<input type="checkbox"/> Airspace Avigation Easement Area	
<input type="radio"/> Zone 4		Allowable Height: <u>200 FT +</u>	
<input type="radio"/> Zone 5			

### The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1   
  Zone 2   
  Zone 3   
  Zone 4   
  Zone 5   
  Zone 6

Allowable Height: \_\_\_\_\_

## CONSISTENCY DETERMINATION

This proposed Project is:  Exempt from the ALUCP   
 Consistent   
 Consistent with Conditions   
 Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

Real Estate Transaction Disclosure required

Airport Planner Signature: \_\_\_\_\_





# CITY OF ONTARIO

## MEMORANDUM

**TO:** Lorena Mejia, Senior Planner  
Planning Department

**FROM:** Paul Ehrman, Sr. Deputy Fire Chief/Fire Marshal  
Fire Department

**DATE:** July 18, 2022

**SUBJECT:** PDEV22-032 - A Development Plan approval to construct 108 multiple-family dwellings on approximately 6.43 acres of land located at located at the northeast corner of Mill Creek Boulevard and Chino Avenue, within Planning Areas 4 and 5 of the Edenglen Specific Plan (APNs: 0218-921-19 and 0218-921-22). Related File: PSPA21-008 and PMTT21-020.

- 
- The plan **does** adequately address Fire Department requirements at this time.
- Standard Conditions of Approval apply, as stated below.
- 

### **SITE AND BUILDING FEATURES:**

- A. 2019 CBC Type of Construction: Type V-B
- B. Type of Roof Materials: Ordinary
- C. Ground Floor Area(s): Varies, Multiple Buildings
- D. Number of Stories: 2
- E. Total Square Footage: Varies, Approximately 12,000 Sq. Ft. per Building
- F. 2019 CBC Occupancy Classification(s): R-2

## **CONDITIONS OF APPROVAL:**

### **1.0 GENERAL**

- ☒ 1.1 The following are the Ontario Fire Department (“Fire Department”) requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards (“Standards.”) It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at [www.ontarioca.gov/Fire/Prevention](http://www.ontarioca.gov/Fire/Prevention).
- ☒ 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

### **2.0 FIRE DEPARTMENT ACCESS**

- ☒ 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See Standard #B-004.
- ☒ 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25’) inside and forty-five feet (45’) outside turning radius per Standard #B-005.
- ☒ 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150’) in length shall have an approved turn-around per Standard #B-002.
- ☒ 2.4 Access drive aisles which cross property lines shall be provided with CC&Rs, access easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of building plan check.
- ☒ 2.5 "No Parking-Fire Lane" signs and /or red painted curbs with lettering are required to be installed in interior access roadways, in locations where vehicle parking would obstruct the minimum clear width requirement. Installation shall be per Standard #B-001.
- ☒ 2.6 Security gates or other barriers on fire access roadways shall be provided with a Knox brand key switch or padlock to allow Fire Department access. See Standards #B-003, B-004 and H-001.
- ☒ 2.7 Any time PRIOR to on-site combustible construction and/or storage, a minimum twenty-four (24) ft. wide circulating all weather access roads shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved by fire department and other emergency services.

### 3.0 WATER SUPPLY

- ☒ 3.1 The required fire flow per Fire Department standards, based on the 2019 California Fire Code, Appendix B, is 1500 gallons per minute (g.p.m.) for 2 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.
- ☒ 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300') apart, per Engineering Department specifications.
- ☒ 3.4 The water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

### 4.0 FIRE PROTECTION SYSTEMS

- ☒ 4.1 On-site private fire hydrants are required per Standard #D-005, and identified in accordance with Standard #D-002. Installation and locations(s) are subject to the approval of the Fire Department. An application with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- ☒ 4.2 Underground fire mains which cross property lines shall be provided with CC & R, easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of fire department plan check. The shared use of private fire mains or fire pumps is allowable only between immediately adjacent properties and shall not cross any public street.
- ☒ 4.3 An automatic fire sprinkler system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 13. All new fire sprinkler systems, except those in single family dwellings, which contain twenty (20) sprinkler heads or more shall be monitored by an approved listed supervising station. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- ☒ 4.4 Wood frame buildings that are to be sprinkled shall have these systems in service (but not necessarily finalized) before the building is enclosed.
- ☒ 4.5 Fire Department Connections (FDC) shall be located on the address side of the building within one hundred fifty feet (150') of a public fire hydrant on the same side of the street. Provide identification for all fire sprinkler control valves and fire department connections per Standard #D-007. Raised curbs adjacent to Fire Department connection(s) shall be painted red, five feet either side, per City standards.
- ☒ 4.6 A fire alarm system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 72. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.

- ☒ 4.7 Portable fire extinguishers are required to be installed prior to occupancy per Standard #C-001. Please contact the Fire Prevention Bureau to determine the exact number, type and placement required.

## **5.0 BUILDING CONSTRUCTION FEATURES**

- ☒ 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- ☒ 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.
- ☒ 5.3 Single station smoke alarms and carbon monoxide alarms are required to be installed per the California Building Code and the California Fire Code.
- ☒ 5.4 Multiple unit building complexes shall have building directories provided at the main entrances. The directories shall be designed to the requirements of the Fire Department, see Section 9-1 6.06 of the Ontario Municipal Code and Standard #H-003.
- ☒ 5.5 All residential chimneys shall be equipped with an approved spark arrester meeting the requirements of the California Building Code.
- ☒ 5.6 Knox ® brand key-box(es) shall be installed in location(s) acceptable to the Fire Department. All Knox boxes shall be monitored for tamper by the building fire alarm system. See Standard #H-001 for specific requirements.

**CITY OF ONTARIO**  
**LANDSCAPE PLANNING DIVISION**  
 303 East "B" Street, Ontario, CA 91764

**PRELIMINARY PLAN**  
**CORRECTIONS**

Sign Off



08/05/2022

Jamie Richardson, Sr. Landscape Planner

Date

Reviewer's Name:  
**Jamie Richardson, Sr. Landscape Planner**

Phone:  
**(909) 395-2615**

D.A.B. File No.:  
 PDEV22-032

Case Planner:  
 Lorena Mejia

Project Name and Location:  
 108 Multiple-Family Dwellings  
 NE Corner Mill Creek Blvd & Chino Ave

Applicant/Representative:  
 Brookfield Residential – Derek Spalding [derek.spalding@brookfieldrp.com](mailto:derek.spalding@brookfieldrp.com) (714) 200-2448  
 3200 Park Center Drive, Suite 1000  
 Costa Mesa, CA 92626

**Preliminary Plans (dated) meet the Standard Conditions for New Development and have been approved considering that the following conditions below are met upon the landscape construction documents submittal.**

**Preliminary Plans (dated 6/29/2022) have not been approved. Corrections noted below are required before Preliminary Landscape Plan approval.**

**A RESPONSE SHEET IS REQUIRED WITH RESUBMITTAL OR PLANS WILL BE RETURNED AS INCOMPLETE.**  
 Landscape construction plans with plan check number may be emailed to:  
[landscapeplancheck@ontarioca.gov](mailto:landscapeplancheck@ontarioca.gov)

Civil/ Site Plans

1. New residential projects shall use recycled water for HOA maintained property (parks, parkways, neighborhood edges, common areas). Potable water with a backflow shall only be used on single-family detached properties even if HOA maintained.
2. Parkway tree locations shall be shown on all tract maps and plans where utilities are proposed. Parkway trees are 30' apart. Show and note a 10' total space, 5' clearance on each side of the tree from any utility or hardscape, including water, sewer, drain lines, driveways, and 10' clear from street lights. Relocate utilities to minimum clearances to allow parkway trees.
3. Corners; verify dimension and grade for required monumentation (see Specific Plan for detail). Adjacent walls shall not interfere with required monumentation.
4. DG trails and parkways at corners (Chino Ave.) shall have the trail curve into the sidewalk rather than out to the corner ramp; OK to end parkway landscape before corner utilities.
5. Before permit issuance, stormwater infiltration devices located in landscape areas shall be reviewed and plans approved by the Landscape Planning Division. Any stormwater devices in parkway areas shall not displace street trees.
6. Note decorative paving for all motor courts.
7. Show and dimension transformers set back 5' from paving all sides. Coordinate with landscape plans.
8. Show and dimension backflow devices set back 4' from paving on all sides. Locate on level grade
9. Locate utilities including light standards, fire hydrants, water, drain, and sewer lines to not conflict with required tree locations—coordinate civil plans with landscape plans.

10. Show corner ramp and sidewalk per city standard drawing 1213 with max 10' or 13' of ramp and sidewalk behind corners. Maximum 4' behind the ramp, landscape shall extend to the limits of the corner treatment.
11. Note for compaction to be no greater than 85% in landscape areas. All finished grades at 1 ½" below finished surfaces. Slopes to be maximum 3:1.
12. Finished grade shall be no more than 8" from the stucco/plaster face of the wall.
13. Dimension all planters to have a minimum 5' wide inside dimension.
14. Dimension, show and call out for step-outs at parking spaces adjacent to planters; a 12" wide monolithic concrete curb, DG paving or pavers with edging.
15. Show letter lots between the sidewalk and single-family residence side yard wall to identify HOA maintained landscape and recycled water irrigation.
16. Typical lot drainage shall include a catch basin with a gravel sump below each before exiting the property if no other water quality infiltration is provided.
17. Note and show on plans: all AC units shall be located in residential side yards, opposite the main back yard access path with gate, or a second gate and solid surface path on the opposite side shall be added for access.
18. Add Note to Grading and Landscape Plans: Landscape areas where compaction has occurred due to grading activities and where trees or stormwater infiltration areas are located shall be loosened by soil fracturing. For trees, a 12'x12'x18" deep area; for stormwater infiltration, the entire area shall be loosened. Add the following information on the plans: The backhoe method of soil fracturing shall be used to break up compaction. A 4" layer of Compost is spread over the soil surface before fracturing is begun. The backhoe shall dig into the soil lifting and then drop the soil immediately back into the hole. The bucket then moves to the adjacent soil and repeats. The Compost falls into the spaces between the soil chunks created. Fracturing shall leave the soil surface quite rough with large soil clods. These must be broken by additional tilling. Tilling in more Compost to the surface after fracturing per the soil report will help create an A horizon soil. Imported or reused Topsoil can be added on top of the fractured soil as needed for grading. The Landscape Architect shall be present during this process and provide certification of the soil fracturing. For additional reference, see Urban Tree Foundation – Planting Soil Specifications.

#### Landscape Plans

19. During plan check, coordinate with Ontario Municipal Utilities Company (OMUC) to submit irrigation plans for recycled water systems to [omucwaterquality@ontarioca.gov](mailto:omucwaterquality@ontarioca.gov). OMUC shall review and approve irrigation systems utilizing recycled water before final landscape approval. Submit an electronic approval letter or memo from OMUC with the resubmittal of the landscape package.
20. During plan check provide an overall exhibit showing water meter locations, to include POC and controllers.
21. During plan check (for HOA tracts), submit an overall tree exhibit showing HOA parkways and common area trees and typical front yard tree locations to avoid conflicts.
22. Show and dimension backflow devices with 36" high strappy leaf shrub screening and trash enclosures and transformers, a 4'-5' high evergreen hedge screening. Do not encircle utility; show as masses and duplicate masses in other locations at regular intervals.
23. Locate light standards, fire hydrants, water, and sewer lines to not conflict with required tree locations. Coordinate civil plans with landscape plans
24. Show all utilities on the landscape plans. Coordinate so utilities are clear of tree locations.
25. Show corner ramp and sidewalk per city standard drawing 1213.
26. Note on landscape plans: Compaction to be no greater than 85% at landscape areas. All finished grades at 1 ½" below finished surfaces. Slopes to be maximum 3:1.
27. Dimension all planters to have a minimum 5' wide inside dimension with 6" curbs and 12" wide curbs where parking spaces are adjacent to planters.
28. Street trees for this project are: north side of Chino - Chitalpa tashkentensis 'Pink Dawn' 30'

on center in the parkway and alternating the *Quercus suber* as background trees, Mill Creek show *Pistacia chinensis* 30' on center in the parkway alternating with *Quercus suber* as background tree.

29. Additional trees will be required during plan check: Locate trees for shade on buildings, parking area, seating areas, and paving, screen blank walls and adjacent properties where missing, accent trees to entries and driveways, and provide visibility to signs, windows, and doors. Locate trees 50% of canopy width from walls, buildings, and existing trees.
30. Provide a planting list of proposed water-efficient plants. Use turfgrass for recreation areas only. Proposed water use must meet the water budget.
31. Replace invasive, high water use, short-lived, high maintenance, or poor performing plants *Magnolia* (city council directive), *Cinnamomum* and *Hymenosporum* (not performing well in Ontario Ranch), use *Toyon* as a shrub, *Bougainvillea* (sensitive to frost).
32. Show 8' diameter of mulch only at new trees. Detail irrigation dripline outside of mulched root zone.
33. Show landscape hydrozones on plan or legend with plants per WUCOLS. Moderate water plants may be used for part shade north and east-facing locations, low water plants everywhere else.
34. Overhead spray systems shall be designed for plant material less than the height of the spray head.
35. Designer or developer to provide agronomical soil testing and include a report on landscape construction plans. A new report is required for phased projects for each phase or a minimum of every six homes in residential developments.
36. Show concrete mowstrips to identify property lines along open areas or to separate ownership or between maintenance areas.
37. Show letter lots between the sidewalk and single-family residence side yard wall to identify HOA maintained landscape and recycled water irrigation.
38. Typical lot drainage shall include a catch basin with a gravel sump below each before exiting the property if no other water quality infiltration is provided.
39. Residential projects shall include a stub-out for future backyard irrigation systems with anti-siphon valves. All single-family and multi-family residential front yards shall have landscape and irrigation.
40. Construction plans shall be designed and signed by a licensed landscape architect.
41. Show minimum on-site tree sizes per the Landscape Development standards; see the Landscape Planning website. 5% 48" box, 10% 36 box, 30% 24" box, 55% 15 gallon.
42. Show 25% of trees as California native (*Platanus racemosa*, *Quercus agrifolia*, *Quercus wislizenii*, *Quercus douglasii*, *Cercis occidentalis*, etc.) in appropriate locations.
43. Landscape construction plans shall meet the requirements of the Landscape Development Guidelines. See <http://www.ontarioca.gov/landscape-planning/standards>
44. Provide phasing map for multi-phase projects.
45. After a project's entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council. Landscape construction plans with building permit number for plan check may be emailed to: [landscapeplancheck@ontarioca.gov](mailto:landscapeplancheck@ontarioca.gov)



# Development Advisory Board Decision

August 15, 2022

**DECISION NO.:** DAB22-[insert #]

**DECISION NO.:** DAB22-[insert #]

**FILE NOS.:** PVAR19-004 and PDEV19-028

**DESCRIPTION:** A Variance (File No. PVAR19-004) to deviate from the maximum Development Code standard for percentage of tandem parking spaces, from 12 percent to 46 percent, to facilitate a Development Plan (File No. PDEV19-028) to construct five multiple-family apartment dwellings on 0.28-acre of land located at 1063 East Elma Street, to be fully located within the MDR-18 (Medium Density Residential – 11.1 to 18.0 du/ac) zoning district; (APNs: 1048-461-17 and 1048-491-23) **submitted by Maria G. Oseguera. Planning Commission action is required.**

## Part I—BACKGROUND & ANALYSIS

MARIA G. OSEGUERA, (herein after referred to as “Applicant”) has filed applications requesting Variance and Development Plan approval, File Nos. PVAR19-004 and PDEV19-028, respectively, as described in the subject of this Decision (herein after referred to as “Application” or “Project”).

(1) **Project Setting:** The Project site is comprised of 0.28-acre of land located at 1063 East Elma Street, and is depicted in Exhibit A—Project Location Map, attached. The subject site consists of two parcels of land, including a vacant 0.07-acre property within the MDR-11 (Low-Medium Density Residential - 5.1 to 11.0 du/ac) zoning district and a 0.21-acre property within the MDR-18 (Medium Density Residential – 11.1 to 18.0 du/ac) zoning district, which is developed with a three unit apartment building that will be razed to accommodate the Project. Existing land uses, Policy Plan (general plan) and zoning designations, and specific plan land uses on and surrounding the Project site are as follows:

	<i>Existing Land Use</i>	<i>Policy Plan Designation</i>	<i>Zoning Designation</i>	<i>Specific Plan Land Use</i>
<i>Site:</i>	Vacant and Single-Family Residential	LMDR (Low-Medium Density, 5.1-11 du/ac) and MDR (Medium-Density, 11.1-25 du/ac)	MDR-11 (Medium Density, 5.1-11 du/ac) and MDR-18 (Medium-Density, 11.1-18 du/ac)	N/A
<i>North:</i>	Single-Family Residential	LDR (Low-Density Residential, 2.1-5 du/ac)	LDR-5 (Low-Density, 2.1-5 du/ac)	N/A
<i>South:</i>	Multiple-Family Residential	LMDR (Low-Medium Density, 5.1-11 du/ac) and MDR (Medium-Density, 11.1-25 du/ac)	MDR-11 (Medium Density, 5.1-11 du/ac) and MDR-18 (Medium-Density, 11.1-18 du/ac)	N/A
<i>East:</i>	Multiple-Family Residential	MDR (Medium-Density, 11.1-25 du/ac)	MDR-18 (Medium-Density, 11.1-18 du/ac)	N/A
<i>West:</i>	Single-Family Residential	LMDR (Low-Medium Density, 5.1-11 du/ac)	MDR-11 (Medium Density, 5.1-11 du/ac)	N/A



(2) **Project Description:**

(a) Background — The Applicant is requesting to construct a 6,649-square-foot apartment building, consisting of five residential units with enclosed garages, as well as a detached trash enclosure and recreational patio with trellis. A Variance is being processed in conjunction with the Development Plan to increase the maximum allowable percentage of tandem parking spaces, from 12 percent to 46 percent, which will allow for the requisite covered parking stalls to be provided for the Project. The Project site currently consists of two parcels, and the applicant will file a Lot Line Adjustment to create one contiguous Project site.

In order to facilitate the Project, a Zone Change (File No. PZC19-001) has also been requested for the smaller, 0.07-acre parcel, from MDR-11 (Medium-Density Residential, 5.1-11 du/ac) to MDR-18 (Medium-Density Residential, 11.1-18 du/ac). The Zone Change will be reviewed by the Planning Commission for recommendation to the City Council and will: a) bring the full Project site's zoning into conformance with the proposed The Ontario Plan 2050 General Plan Update (File No. PGPA20-002, to change the site's Policy Plan land use designation from LMDR (Low-Medium Density Residential) to MDR (Medium-Density Residential)); b) make the smaller parcel consistent with the zoning designation of the remainder of the Project site; and c) allow for the development of five dwelling units on the overall 0.28-acre Project site.

While the existing residential structure does not have a building permit on file, it is likely it was constructed in or near 1948, based on the Building Department's permit history records. The building is not considered an historic resource.

(b) Development Plan

(i) Site Design/Building Layout — The Project site currently consists of two parcels, the smaller of which is generally undevelopable as a stand-alone lot due to the lot's narrow width (approximately 23.6 feet). As conditioned, the Applicant will pursue a Lot Line Adjustment to incorporate the smaller lot into the Project site to allow for more flexibility in development of the site. The apartment building will be sited along the eastern portion of the Project site and the ancillary recreational facility, outdoor parking, and trash enclosure will be sited along the western portion of the Project site. The access drive will occupy the center of the Project site and allow for vehicular access to the enclosed and unenclosed parking spaces. Pedestrian access to the site will be provided via a walkway that connects from the apartment building to the public sidewalk (see Exhibit B—Site Plan). The current residential building and ancillary structures will be demolished to accommodate construction of the proposed Project.

The two dwelling units on the first floor will have a private, enclosed patio between the building and the eastern property line. The three dwelling units on the second floor will each have a private balcony, also facing east. Two exterior stairwells provide access to the second-floor units and are located along the northern and southern ends of the building. One one-bedroom and four two-bedroom units will be provided, ranging from approximately 500 to 1,140 square feet in area (see Exhibit D—Floor Plans).

(ii) Site Access/Circulation — The apartment complex will be served by one centrally-located vehicular drive aisle. Enclosed garages for each unit will be situated at ground level and accessed by the drive aisle. Additional open parking spaces will be provided opposite the garages.

(iii) Parking — The Development Code requires multiple-family residential land uses to provide 1.75 parking spaces for each one-bedroom dwelling, including one space in a garage or carport, and 2.0 spaces for each two-bedroom dwelling, including one space in a garage or carport, in addition to guest parking spaces at the rate of 0.25 space for each dwelling. The Development Code thus requires 13 on-site parking spaces, and 13 spaces have been provided.

Garage spaces have been provided with a 60 to 65-square-foot storage area, having an approximate volume of 480 to 520 cubic feet. A minimum of 240 cubic feet of storage area is required by the Development Code.

The Development Code limits the amount of tandem parking for a multiple-family-dwelling project to 12 percent of the required parking. Given the development constraints on the site, the applicant filed for a Variance to increase the percentage of tandem spaces from 12 to 46 percent. Two units will have one enclosed garage space and one outdoor parking space, and three units will have two enclosed garage spaces in a tandem configuration. The Project has been conditioned such that tandem parking spaces within an enclosed garage will be assigned to one dwelling unit. Further, the project has been conditioned such that the storage of personal items may occur in a garage only to the extent that such storage does not impede vehicle parking nor reduce the number or required minimum size of the required garage space; and, no dwelling or home occupation activities shall be allowed to occur within the garage spaces, which will serve to ensure that adequate on-site parking remains in place.

(iv) Architecture — The proposed building has a contemporary architectural design with Spanish influences, using arches as a key element (see Exhibit C—Exterior Elevations). The exterior walls will be treated with white stucco and furnished with wood outlookers, shutters, gable end detailing, wrought-iron elements, decorative Spanish-style arched garage and front doors, and enhanced window trim. Spanish roof tile will be provided, in addition to a decorative wrought-iron porch and arcade railing. The second floor's private balconies will feature an open trellis to provide partial shade. Additional screening will be provided for any outdoor mechanical equipment.

A small recreational facility has been proposed to the rear of the lot, at the northwest corner of the Project site. The facility will be comprised of a picnic area with overhead trellis and decorative chimney feature, as well as a small lawn area and dog run.

(v) Landscaping — The Project provides landscaping improvements throughout the site, including areas along the building frontage and perimeter of the property (See Exhibit E—Conceptual Landscape Plan). For multiple-family residential projects, the Development Code requires all areas not occupied by buildings and hardscape, such as sidewalks or parking stalls, to be fully landscaped. The Project proposes a total of 3,290 square feet of landscaped areas (26.4 percent of the Project site), and will utilize a variety of trees, shrubs, vines, and groundcovers such as Valley Oak, Brisbane Box, Mexican Redbud, Crape Myrtle, True Green Elm, Dwarf Strawberry Tree, Southern Moon Hawthorn, Parry's Agave, Flax Lily, Cleveland Sage, Creeping Fig, Dymondia, and St. Augustine Grass.

The front setback will be fully landscaped, as will a small greenspace area toward the northeast corner of the Project site. Additionally, a small lawn will be provided next to the picnic area. Beyond the picnic area, the applicant has proposed a small dog run, as no major plantings or structures may occupy this area due to a sewer easement.

(vi) Signage — All signage and addressing for the site will need to meet Development Code, Building Code, and Municipal Code standards and will be reviewed in the Plan Check process.

(vii) Utilities (drainage, sewer) — Public utilities (water and sewer) are available to serve the Project. Furthermore, the Applicant has submitted a Preliminary Water Quality Management Plan ("PWQMP") which establishes the Project's compliance with storm water discharge/water quality requirements. The PWQMP includes site design measures that capture runoff and pollutant transport by minimizing impervious surfaces and maximizes low impact development ("LID") best management practices ("BMPs"), such as retention and infiltration. The proposed development will not substantially alter the existing drainage pattern.

A sewer easement exists to the rear of the Project site, which impacts placement of substantial landscaping and does not permit the construction of permanent features or wall footings. The main area impacted by this easement is the northwest corner of the Project site. As such, simple plantings and a moveable wrought iron fence have been proposed for this area to accommodate the easement.

(c) Variance – The Applicant is requesting approval of a Variance to exceed the maximum allowable percentage of tandem parking spaces within a multiple-family residential project, from 12 percent to 46 percent. The Project site's dimensions in combination with an unbuildable sewer easement area and surrounding existing one-story development impose substantial limitations on development that would preclude the Project from attaining the maximum percent of tandem parking spaces allowed, while at the same time providing the required landscaping and recreation improvements, meeting building setbacks and drive aisle dimensions, meeting the minimum density requirement, and limiting potential impacts to the surrounding neighborhood, such as excessive building height, in a neighborhood consisting of predominantly one- and two-story structures.

Staff believes that the Variance request is consistent with TOP Goal LU3, which promotes flexibility in order to respond to special conditions and circumstances in order to achieve the Vision. The Variance request to increase the number of tandem parking spaces, each pair of which have been conditioned to be assigned to a singular dwelling unit, will result in a superior development that will achieve the following:

- Allow for the residential building, accessory buildings, outdoor parking stalls, and central drive aisle to meet all current Development Code standards.
- Allow for the required landscape improvements to be provided.
- Allow for the installation of a recreational area for the Project's residents.
- Prevent the building from increasing in height to three or more stories, which could negatively impact the predominantly one- and two-story neighborhood.
- Allow for first-floor dwelling units that provide an additional option for residents who may require accessibility accommodations.

In acting on a Variance request, the Development Advisory Board must consider and clearly establish certain findings of fact, which are prescribed by State law and the City's Development Code, which are then included in a recommendation to the Planning Commission. The facts and findings have been provided below in *Part III – The Decision*, below, as basis for approval of the requested Variance.

(d) Zone Change— A Zone Change application also accompanies this Project. While Zone Changes are reviewed by the Planning Commission and recommended to the City Council for final action, the proposed Zone Change is presented to the Development Advisory Board for context purposes, as it impacts the orderly development of the Project. The westerly portion of the Project site is a 0.07-acre parcel making up approximately one quarter of the overall Project area and is currently zoned MDR-11 (Medium-Density Residential, 5.1-11 du/ac). The westerly parcel is 23.6 feet wide and unbuildable as a stand-alone parcel. As such, the applicant filed a Zone Change request to rezone this parcel to be consistent with the main Project parcel (zoned MDR-18, Medium-Density Residential, 11.1-18 du/ac) and the proposed underlying TOP land use designation (Medium-Density, 11.1-25 du/ac). The TOP land use designation change is occurring under related File No. PGPA20-002, which is scheduled for review by the City Council on August 16, 2022. Once the Zone Change and The Ontario Plan 2050 Update are approved, the applicant will then submit a Lot Line Adjustment application to merge the Project site into one parcel. As conditioned, the Project is contingent on City Council approval of the related Zone Change application and The Ontario Plan 2050 Update.

(e) Senate Bill 18 (SB-18) — At the time of project submittal, a General Plan Amendment was attributed to the file, which has since been absorbed by The Ontario Plan 2050 Update. Tribal notification was required for the project pursuant to the requirements of SB-18, which requires cities and counties to consult with Native American tribes when adopting and amending general plans and specific plans. Staff received responses from two Tribes:

- The San Manuel Band of Mission Indians (SMBMI) stated that the Project site is located outside of their ancestral territory and as such no consultation would be required.
- The Morongo Band of Mission Indians stated that the area is located within the Tribe's aboriginal territory and requested to be provided future notices but declined to initiate a consultation.

Pursuant to SB-18, staff will be providing The Morongo Band of Mission Indians with notification of the Planning Commission public hearing a minimum of ten days prior to the hearing.

(f) Code Enforcement Case — The Project site has an active Community Improvement (previously Code Enforcement) case for several issues. Since the Applicant has been actively pursuing redevelopment of the site, the Community Improvement Department has granted deadline extensions for code compliance improvements and actions, which will be eliminated with redevelopment and construction activities.

### ***Part II—RECITALS***

WHEREAS, the Application is a project pursuant to the California Environmental Quality Act (Public Resources Code Section 21000 et seq.) ("CEQA") and an initial study has been prepared to determine possible environmental impacts; and

WHEREAS, The Ontario Plan (general plan) Update's Environmental Impact Report (State Clearinghouse No. 2021070364) is scheduled to be reviewed and certified by the City Council on August 16, 2022 ("TOP EIR") in conjunction with File No. PGPA20-002, in which development and use of the Project site was discussed; and

WHEREAS, the environmental impacts of this Project were thoroughly analyzed in the TOP EIR, which concluded that implementation of the Project could result in a number of significant effects on the environment and identified mitigation measures that would reduce each of those significant effects to a less-than-significant level; and

WHEREAS, the City's "Local Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board ("DAB") the responsibility and authority to review and make recommendation to the Planning Commission on the subject Application; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan ("ALUCP"), which applies only to jurisdictions within San Bernardino County,

and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, on August 15, 2022, the DAB of the City of Ontario conducted a hearing on the Application and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.

### **Part III—THE DECISION**

NOW, THEREFORE, IT IS HEREBY FOUND AND DETERMINED by the Development Advisory Board of the City of Ontario, as follows:

**SECTION 1: *Environmental Determination and Findings.*** As the recommending body for the Project, the DAB has reviewed and considered the information contained in the TOP EIR and supporting documentation. Based upon the facts and information contained in the TOP EIR and supporting documentation, the DAB finds as follows:

- (1) The environmental impacts of this Project were previously reviewed in conjunction with File No. PGPA20-002, an update to TOP for which an Environmental Impact Report (State Clearing House No. 2021070364) is scheduled for review and certification by the City Council on August 16, 2022.
- (2) The TOP EIR contains a complete and accurate reporting of the environmental impacts associated with the Project; and
- (3) The TOP EIR was completed in compliance with CEQA and the Guidelines promulgated thereunder, and the City of Ontario Local CEQA Guidelines; and
- (4) The TOP EIR reflects the independent judgment of the Planning Commission; and
- (5) The proposed Project will introduce no new significant environmental impacts beyond those previously analyzed in the TOP EIR, and all mitigation measures proposed to be adopted with the EIR, are incorporated herein by this reference.

**SECTION 2: *Subsequent or Supplemental Environmental Review Not Required.*** Based on the information presented to the DAB, and the specific findings set forth in Section 1, above, the DAB finds that the preparation of a subsequent or supplemental Certified EIR is not required for the Project, as the Project:

- (1) Does not constitute substantial changes to the EIR that will require major revisions to the EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and
- (2) Does not constitute substantial changes with respect to the circumstances under which the EIR was prepared, that will require major revisions to the EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of the previously identified significant effects; and.

(3) Does not contain new information of substantial importance that was not known and could not have been known with the exercise of reasonable diligence at the time the TOP EIR was analyzed, that shows any of the following:

- (a) The Project will have one or more significant effects not discussed in the EIR; or
- (b) Significant effects previously examined will be substantially more severe than shown in the EIR; or
- (c) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the Project, but the City declined to adopt such measures; or
- (d) Mitigation measures or alternatives considerably different from those analyzed in the EIR would substantially reduce one or more significant effects on the environment, but which the City declined to adopt.

**SECTION 3: *Housing Element Compliance.*** Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the recommending body for the Project, the DAB finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the Project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan, as the Project site is not one of the properties in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix.

**SECTION 4: *ALUCP Compliance.*** The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land use Compatibility Plan, establishing the Airport Influence Area for Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the recommending body for the Project, the DAB has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the DAB, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

**SECTION 5: *Concluding Facts and Reasons.*** Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the facts and information set forth in Parts I (Background and Analysis) and II (Recitals), above, and the determinations set forth in Sections 1 through 4, above, the DAB hereby concludes as follows:

- (1) Development Plan
  - (a) ***The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.*** The proposed Project is currently located within the Low-Medium Density (5.1-11 du/ac) and Medium Density (11.1-25 du/ac) land use districts of the Policy Plan Land Use Map, and the MDR-11 (Low-Medium Density Residential - 5.1 to 11.0 du/ac) and MDR-18

(Medium Density Residential - 11.1 to 18.0 du/ac) zoning districts; however, a General Plan Amendment and Zone Change are also under review which, if approved, would make the entire Project site located within the Medium-Density land use district and MDR-18 zoning district. With the Project's conditions of approval and the related Variance file, the development standards and conditions under which the proposed Project will be constructed and maintained is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan. The proposed five-unit apartment complex will revitalize the existing Project site and increase housing availability for the area, as well as provide improvements to landscaping, drainage, parking, and other visual improvements for the dilapidating, underdeveloped Project site and eliminate the existing open Community Improvement (formerly Code Enforcement) cases for the site; and

(b) ***The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located.*** With implementation of the Project's conditions of approval and approval of the related Variance, as well as the Zone Change and General Plan Amendment files outlined in Finding (1) above, the Project has been designed consistent with the requirements of the City of Ontario Development Code and the MDR-18 (Medium Density Residential - 11.1 to 18.0 du/ac) zoning district, including standards relative to the particular land use proposed (multi-family residential), as-well-as building intensity, building and parking setbacks, building height, number of off-street parking and loading spaces, on-site and off-site landscaping, and fences, walls and obstructions. The Project will be located within an existing single- and multi-family residential neighborhood on a site currently developed with a residence that does not meet code standards regarding rear or interior side setbacks. While the Project's east-facing patios and windows will be facing existing building walls and not a recreational rear yard area, the north-facing windows may pose privacy impacts for the undeveloped rear yard on the property to the north. As such, screening trees and vegetation will be paired with a thirteen-foot setback to reduce this potential impact; and

(c) ***The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the Project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed Project.*** The Development Advisory Board has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the Development Code are maintained; [ii] the Project will not endanger the public health, safety or general welfare; [iii] the Project will not result in any significant environmental impacts; [iv] the Project will be in harmony with the area in which it is located; and [v] the Project will be in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan. With implementation of the Project's conditions of approval and approval of the related Variance, Zone Change, and General Plan Amendment requests, the Project will improve the partially vacant, underdeveloped site and respond to active Community Improvement (Code Enforcement) cases on the site. The Project will improve the site with a well-designed new building, paving, infrastructure, landscaping, private recreation, and overall visual improvements from the public right-of-way along Elma Street; and

(d) ***The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.*** The proposed Project has been reviewed for consistency with the general development standards and guidelines of the Development Code that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of off-street parking and loading spaces, parking lot dimensions, design and landscaping, bicycle parking, on-site landscaping, and fences and walls, as-well-as those development standards and guidelines specifically related to the particular land use being proposed (multiple-family residential). As a result of this review, the Development Advisory Board has determined that the Project, when implemented in conjunction with the conditions of approval and related Variance, Zone Change, and General Plan Amendment requests, will be consistent with the development standards and guidelines described in the Development Code.

(2) Variance

(a) ***The strict or literal interpretation and enforcement of the specified regulation would result in practical difficulty or unnecessary physical hardship inconsistent with the objectives of the development regulations contained in this Development Code.*** The existing residential dwelling was built in or near 1948 and does not meet current Development Code standards regarding setbacks. The remainder of the Project site has remained largely vacant according to historic aerial photographs of the site. Since the original home was constructed, Development Code standards and the overall vision for the neighborhood has changed, currently with an emphasis on multiple-family and medium-density development. Strict application of the maximum percent of tandem parking would not allow the Applicant to feasibly build the proposed five-unit apartment complex that meets the intent and vision of the Development Code and The Ontario Plan (TOP). Further, strict application of the maximum percent of tandem parking would incur impacts to development in other ways, including inability to provide sufficient building setbacks, landscaping, a private recreational facility, and a building height that is in keeping with the surrounding one- and two-story neighborhood. TOP Goal LU3 allows for flexible response to conditions and circumstances in order to achieve the Vision; and

(b) ***There are exceptional or extraordinary circumstances or conditions applicable to the property involved, or to the intended use of the property, that do not apply generally to other properties in the vicinity and in the same zoning district.*** The current zoning of the neighborhood acts as a substantial barrier to redeveloping the residential lots in a way that promotes the Vision of the Development Code and TOP as well as allows for well-designed, economically-feasible Projects akin to other projects within comparable zoning districts with larger project sites. The requested relief from the maximum percentage of tandem parking spaces will allow for greater design flexibility and will serve to enable an economically-viable development that can provide desirable enclosed and secure parking, landscaping throughout the site, additional outdoor parking spaces, safe ingress and egress, and private recreational features for future residents of the Project site as well as limit impacts to existing neighbors of the Project; and

(c) ***The strict or literal interpretation and enforcement of the specified regulation would deprive the applicant of privileges enjoyed by the owners of other properties in the same zoning district.*** The requested relief from the increase the maximum allowable percentage of tandem parking spaces will allow for greater design flexibility and will serve to equalize development rights between the applicant and owners of multiple-family properties in comparable zoning districts, located within the area of the Project site. While the zoning district for the neighborhood was established as multiple-dwelling residential since at least 1976, the lot configurations preclude new construction or redevelopment that meets the current Development Code standards and Vision of the TOP without imposing significant financial hardships and elimination of existing neighborhoods by means of property acquisition and consolidation and demolition of existing dwelling units; and

(d) ***The granting of the Variance will not be detrimental to the public health, safety or welfare, or be materially injurious to properties or improvements in the vicinity.*** A thorough review and analysis of the proposed Variance and its potential to adversely impact properties surrounding the subject site was completed by staff. As a result of this review, certain design considerations will be incorporated into the Project as conditions of approval to mitigate identified impacts to an acceptable level, including the use of upgraded materials, the inclusion of certain architectural design elements on building exteriors, appropriate setbacks, availability of on-site parking, intensified landscape elements, and decorative paving. Furthermore, development of the Project site will resolve the existing active Community Improvement (Code Enforcement) cases on the site; and

(e) ***The proposed Variance is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan, and the purposes of any applicable specific plan or planned unit development, and the purposes of this Development Code.*** The proposed Project is currently located within the Low-



Medium Density (5.1-11 du/ac) and Medium-Density (11.1-25 du/ac) land use districts of the Policy Plan Land Use Map, and the MDR-11 (Low-Medium Density Residential - 5.1 to 11.0 du/ac) and MDR-18 (Medium Density Residential - 11.1 to 18.0 du/ac) zoning districts; however, a General Plan Amendment and Zone Change are also under review which, if approved, would make the entire Project site located within the Medium-Density land use district and MDR-18 zoning district. With approval of the Project's conditions of approval and related Variance application, the development standards and conditions under which the proposed Project will be constructed and maintained, is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan. The Project will serve to provide additional housing units and will improve upon the partially vacant and under-utilized site.

**SECTION 6: *Development Advisory Board Action.*** Based on the findings and conclusions set forth in Sections 1 through 5, above, the DAB hereby recommends the Planning Commission APPROVES the Application subject to each and every condition set forth in the Department reports included as Attachment A of this Decision, and incorporated herein by this reference.

**SECTION 7: *Indemnification.*** The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Ontario shall promptly notify the Applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**SECTION 8: *Custodian of Records.*** The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

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APPROVED AND ADOPTED this 15th day of August 2022.

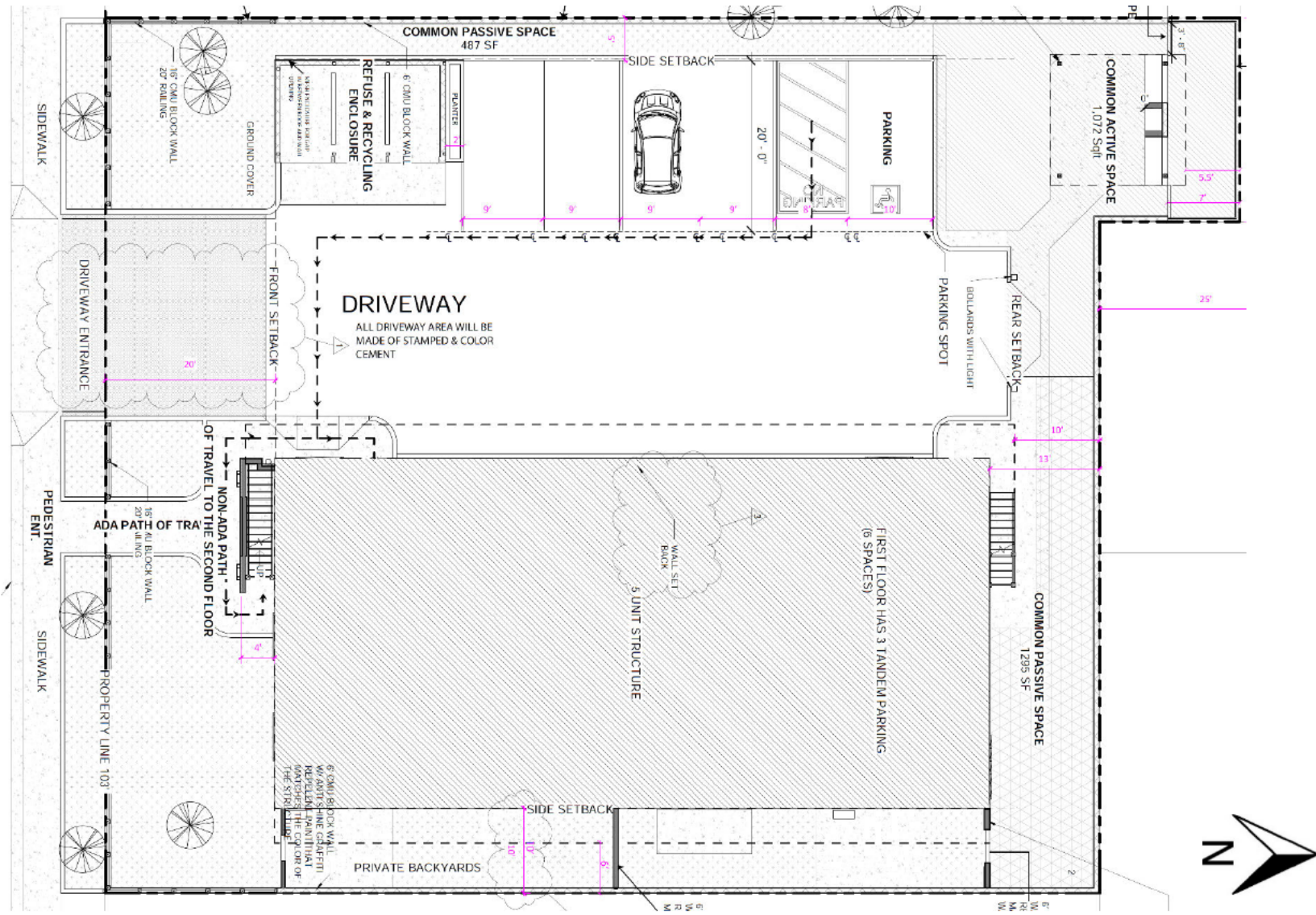
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Development Advisory Board Chairman

Exhibit A—PROJECT LOCATION MAP



**Exhibit B—SITE PLAN**



**Exhibit C—EXTERIOR ELEVATIONS**



**West Elevation**



**East Elevation**

**Exhibit C—EXTERIOR ELEVATIONS CONTINUED**



**North Elevation**

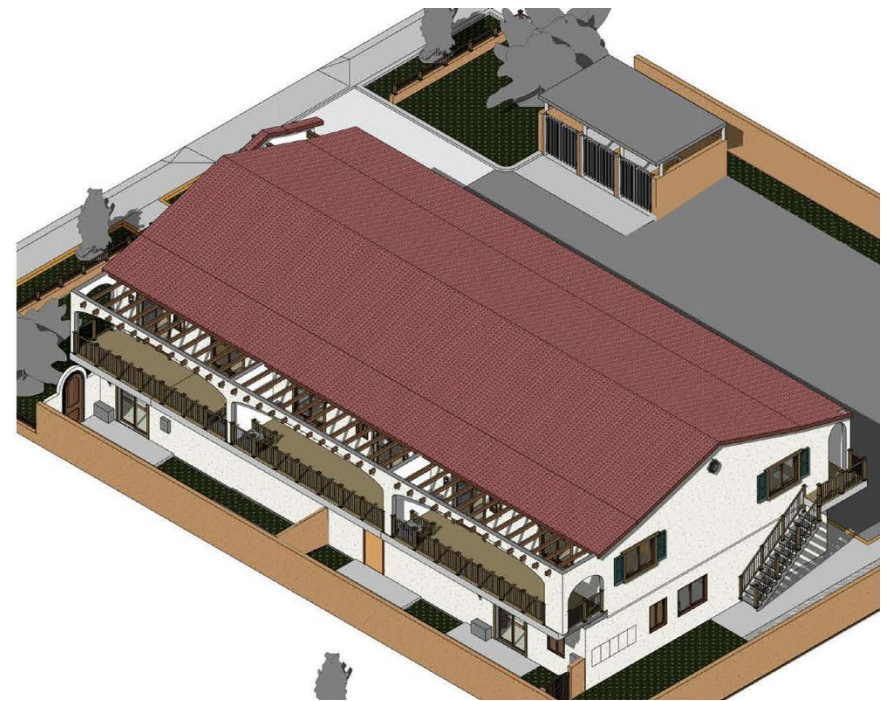


**South Elevation**

***Exhibit C—EXTERIOR ELEVATIONS CONTINUED – RENDERINGS: REAR PROJECT VIEW***

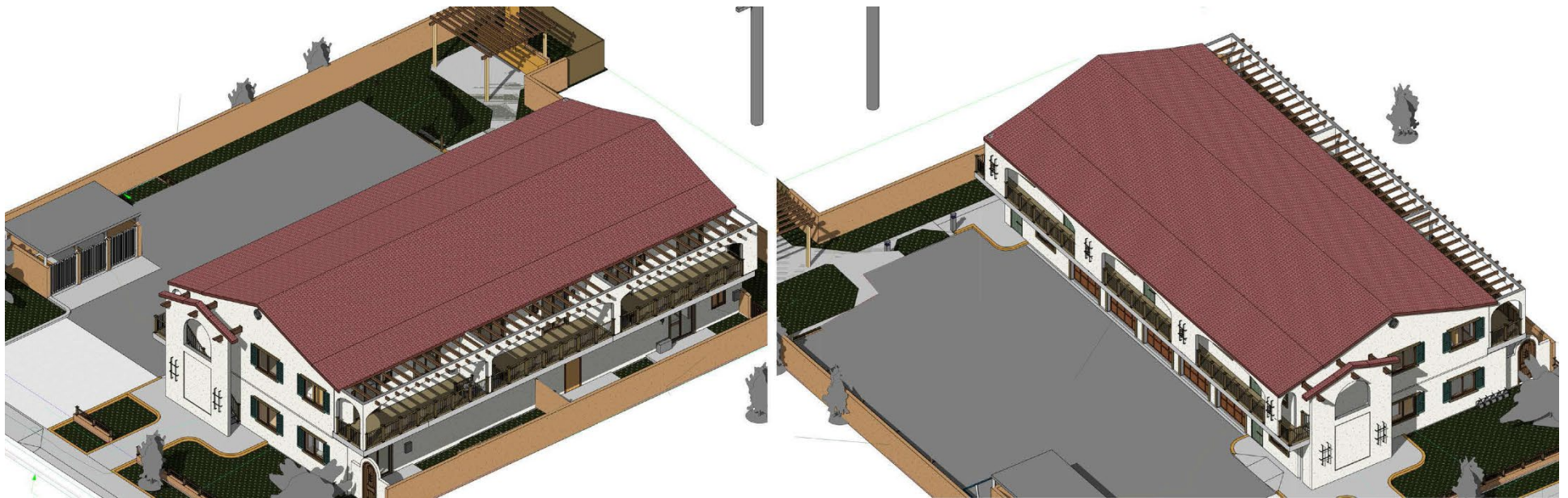


**West-Facing Elevation**



**East-Facing Elevation**

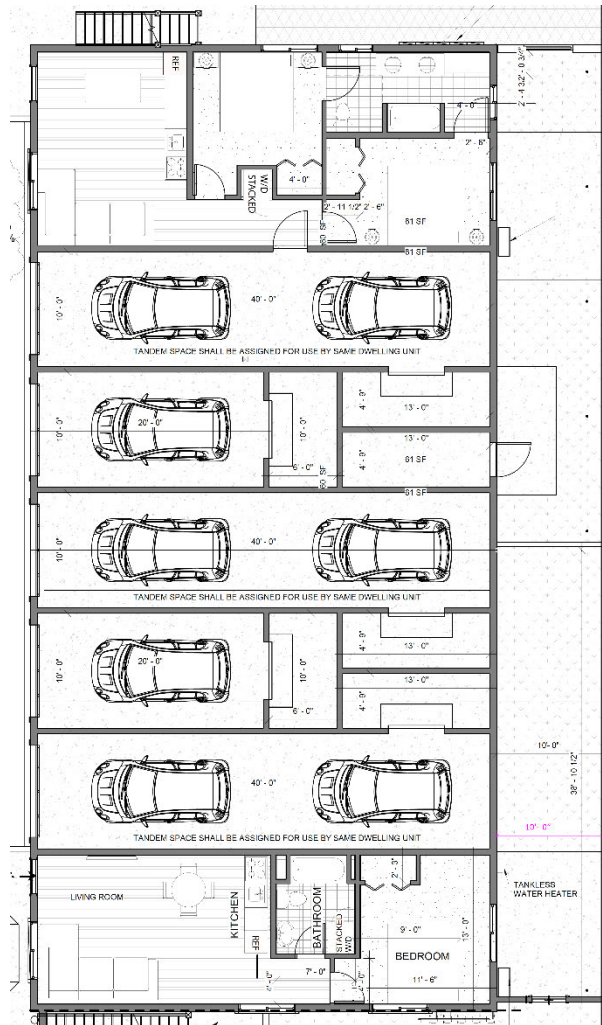
**Exhibit C—EXTERIOR ELEVATIONS CONTINUED – RENDERINGS: FRONT PROJECT VIEW**



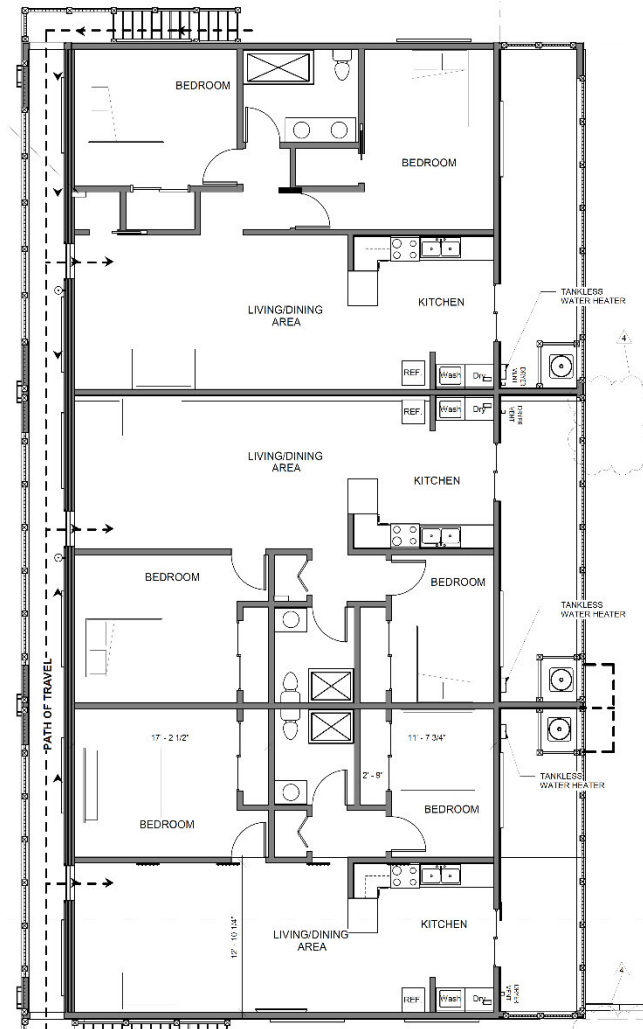
**East-Facing Elevation**

**West-Facing Elevation**

**Exhibit D—FLOOR PLANS**



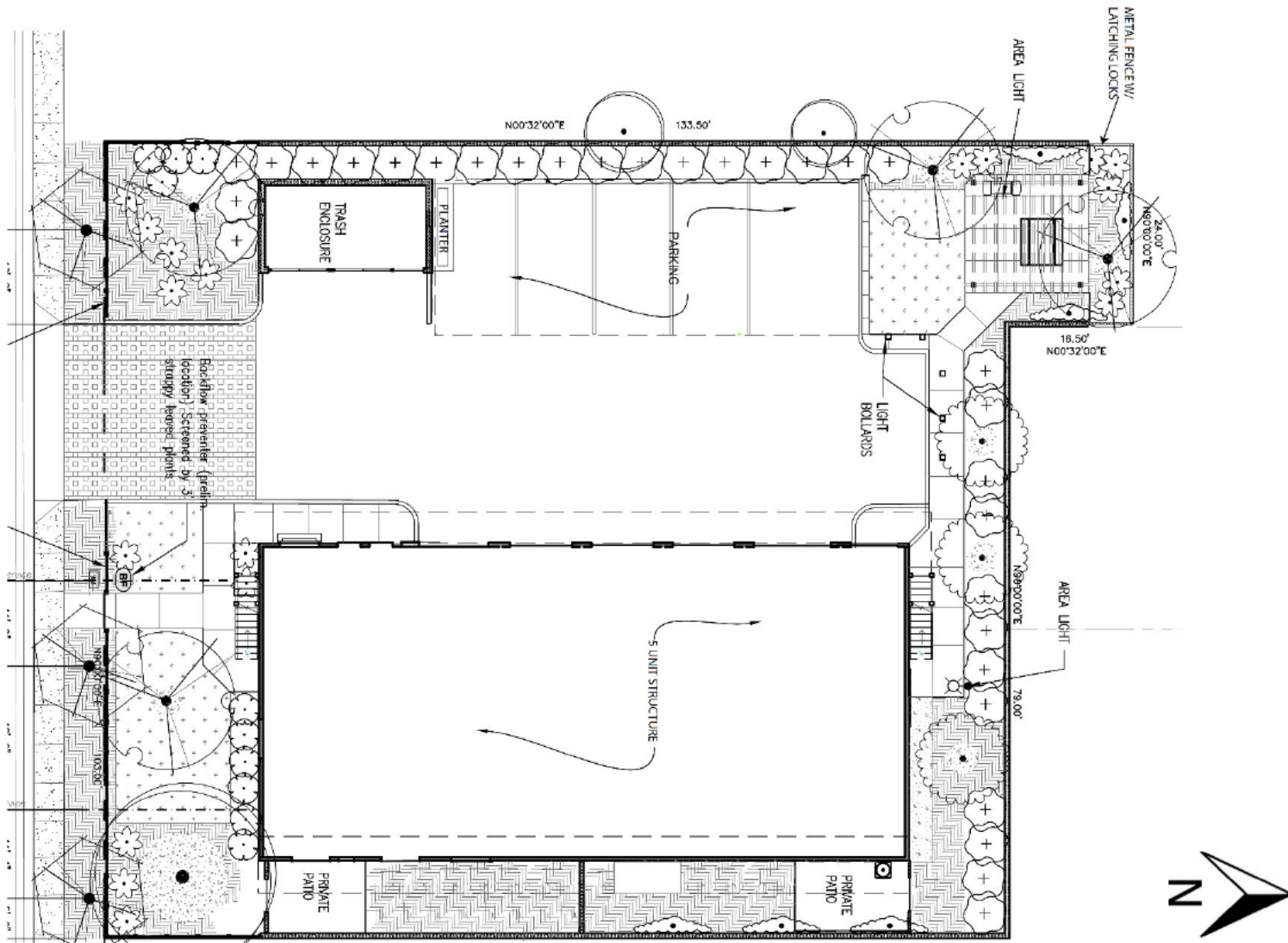
**First Floor**



**Second Floor**



**Exhibit E—CONCEPTUAL LANDSCAPE PLAN**



## **Attachment A—Departmental Conditions of Approval**

*(Departmental conditions of approval follow this page)*



## LAND DEVELOPMENT DIVISION CONDITIONS OF APPROVAL

303 East B Street, Ontario, California 91764 Phone: 909.395.2036 / Fax: 909.395.2420

**Date Prepared:** 6/15/2022

**File No:** PVAR19-004

**Related Files:** PDEV19-028

**Project Description:** A Variance (File No. PVAR19-004) to deviate from the maximum Development Code standard for percentage of tandem parking spaces, from 12 percent to 46 percent, to facilitate a Development Plan (File No. PDEV19-028) to construct five multiple-family apartment dwellings, on 0.28 acres of land located at 1063 E. Elma Street, to be fully located within the MDR-18 zoning district; (APNs: 1048-461-17 and 1048-491-23) **submitted by Maria G. Oseguera.**

**Prepared By:** Alexis Vaughn, Associate Planner  
Phone: 909.395.2416 (direct)  
Email: [avaughn@ontarioca.gov](mailto:avaughn@ontarioca.gov)

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

**1.0 Standard Conditions of Approval.** The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

**2.0 Special Conditions of Approval.** In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

**2.1 Time Limits.** Variance approval shall become null and void one year following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director, except that a Variance approved in conjunction with a Development Plan shall have the same time limits as said Development Plan. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

**2.2 Environmental Review.** The environmental impacts of this project were previously reviewed in conjunction with File No. PGPA20-002, a General Plan update for which an Environmental Impact Report (State Clearing House No. 2021070364) is scheduled for review and certification by the City Council on August 16, 2022. This application introduces no new significant environmental impacts. The City's "Guidelines for the Implementation of the California Environmental Quality Act ("CEQA")" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed. The mitigation

measures in said EIR shall be a condition of project approval and are incorporated herein by this reference.

**2.3** Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**2.4** Additional Fees. Within 5 days following final application approval, the Notice of Determination ("NOD") filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act ("CEQA"). Failure to provide said fee within the time specified will result in the extension of the statute of limitations for the filing of a CEQA lawsuit from 30 days to 180 days.

**2.5** Additional Requirements.

**(a)** Approval of the Variance (File No. PVAR19-004) is contingent upon Planning Commission approval of the related Development Plan (File No. PDEV19-028) and upon City Council approval of the related Zone Change (File No. PZC19-001) as well as City Council approval of The Ontario Plan 2050 Update (File No. PGPA20-002).



# LAND DEVELOPMENT DIVISION CONDITIONS OF APPROVAL

303 East B Street, Ontario, California 91764 Phone: 909.395.2036 / Fax: 909.395.2420

**Date Prepared:** 6/15/2022

**File No:** PDEV19-028

**Related Files:** PVAR19-004

**Project Description:** A Variance (File No. PVAR19-004) to deviate from the maximum Development Code standard for percentage of tandem parking spaces, from 12 percent to 46 percent, to facilitate a Development Plan (File No. PDEV19-028) to construct five multiple-family apartment dwellings, on 0.28 acres of land located at 1063 E. Elma Street, to be fully located within the MDR-18 zoning district; (APNs: 1048-461-17 and 1048-491-23) **submitted by Maria G. Oseguera.**

**Prepared By:** Alexis Vaughn, Associate Planner  
Phone: 909.395.2416 (direct)  
Email: [avaughn@ontarioca.gov](mailto:avaughn@ontarioca.gov)

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

**1.0 Standard Conditions of Approval.** The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

**2.0 Special Conditions of Approval.** In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

**2.1 Time Limits.** Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

**2.2 General Requirements.** The Project shall comply with the following general requirements:

**(a)** All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility, and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

**(b)** The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

**(c)** The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

### **2.3** Landscaping.

**(a)** The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

**(b)** Comply with the conditions of approval of the Planning Department; Landscape Planning Division.

**(c)** Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

**(d)** Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

### **2.4** Walls and Fences.

**(a)** All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

**(b)** The six-foot-high wrought-iron/tube steel fencing to be installed at the northwest corner of the project site shall consist of sections that are moveable/removeable and no footings shall impose upon the adjacent sewer line. Final fence design shall be subject to Planning Department review and approval.

**(c)** Private rear yards for first floor residences shall be provided with a six-foot-high block wall (treated to match the architecture) and decorative access gate, with a six-foot-high privacy wall or fence between the two yards (block, wood, or vinyl).

**(d)** All walls and fences within the front yard setback shall not exceed three feet in height.

### **2.5** Parking, Circulation and Access.

**(a)** The Project shall comply with the applicable off-street parking, loading, and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

**(b)** All drive approaches shall be provided with an enhanced pavement treatment which utilizes integral-color materials. The enhanced paving shall extend from the back of the approach apron, into the site, to the first intersecting drive aisle or parking space. Any drive entry area within the public right-of-way shall be designed to Engineering and Ontario Municipal Utilities Company standards.

**(c)** Areas provided to meet the City's parking requirements, including off-street parking and loading spaces, access drives, and maneuvering areas, shall not be used for the outdoor storage of materials and equipment, nor shall it be used for any other purpose than parking.

**(d)** The required number of off-street parking spaces and/or loading spaces shall be provided at the time of site and/or building occupancy. All parking and loading spaces shall be maintained in good condition for the duration of the building or use.

**(e)** Parking spaces specifically designated and conveniently located for use by the physically disabled shall be provided pursuant to current accessibility regulations contained in State law (CCR Title 24, Part 2, Chapters 2B71, and CVC Section 22507.8).

**(f)** Tandem parking spaces within one enclosed garage shall be assigned to the same dwelling unit.

**(g)** Storage of personal items may occur in a garage only to the extent that such storage does not impede vehicle parking nor reduce the number or required minimum size of the required garage space.

**(h)** No dwelling or home occupation (business) activities shall be allowed to occur within the garage spaces.

## **2.6** Site Lighting.

**(a)** All off-street parking facilities shall be provided with nighttime security lighting pursuant to Ontario Municipal Code Section 4-11.08 (Special Residential Building Provisions) and Section 4-11.09 (Special Commercial/Industrial Building Provisions), designed to confine emitted light to the parking areas. Parking facilities shall be lighted from sunset until sunrise, daily, and shall be operated by a photocell switch.

**(b)** Unless intended as part of a master lighting program, no operation, activity, or lighting fixture shall create illumination on any adjacent property.

## **2.7** Mechanical Equipment.

**(a)** All exterior mechanical, heating and air conditioning equipment, and all appurtenances thereto, shall be completely screened from public view by walls or screens that are architecturally treated so as to be consistent with the building architecture.

**(b)** All ground-mounted utility equipment and structures, such as tanks, transformers, HVAC equipment, and backflow prevention devices, shall be located out of view from a public street, or adequately screened through the use of landscaping and/or decorative low garden walls.

**2.8** Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

**2.9** Signs. All Project signage shall comply with the requirements of Ontario Development Code Division 8.1 (Sign Regulations).

**2.10** Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noised levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

**2.11** Disclosure Statements. The lease/rental agreement for each dwelling unit shall include a disclosure statement specifying that that the dwelling is subject to noise from the Ontario International Airport and may be more severely impacted in the future.

**2.12** Environmental Review.

**(a)** The environmental impacts of this project were previously reviewed in conjunction with File No. PGPA20-002, a General Plan update for which an Environmental Impact Report (State Clearing House No. 2021070364) is scheduled for review and certification by the City Council on August 16, 2022. This application introduces no new significant environmental impacts. The City's "Guidelines for the Implementation of the California Environmental Quality Act ("CEQA")" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed. The mitigation measures in said EIR shall be a condition of project approval and are incorporated herein by this reference.

**(b)** If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

**(c)** If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

**2.13** Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**2.14** Additional Fees.

**(a)** Within 5 days following final application approval, the Notice of Determination ("NOD") filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded



to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act ("CEQA"). failure to provide said fee within the time specified will result in the extension of the statute of limitations for the filing of a CEQA lawsuit from 30 days to 180 days.

**(b)** After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

**2.15** Additional Requirements.

**(a)** The Development Plan application (File No. PDEV19-028) is contingent upon Planning Commission approval of the related Variance (File No. PVAR19-004), City Council approval of the related Zone Change (File No. PZC19-001), and City Council approval of The Ontario Plan 2050 Update (File No. PGPA20-002).

**(b)** The applicant shall work with all reviewing Departments in plan check to address any and all outstanding design issues with the project and/or to fully implement the project's conditions of approval.



**ENGINEERING DEPARTMENT  
CONDITIONS OF APPROVAL**

(Engineering Services Division [Land Development Section and Environmental Section], Traffic & Transportation Division, Ontario Municipal Utilities Company and Broadband Operations & Investment and Revenue Resources Department Conditions incorporated)

<input checked="" type="checkbox"/> <b>DEVELOPMENT PLAN</b> <input type="checkbox"/> OTHER	<input type="checkbox"/> PARCEL MAP <input type="checkbox"/> TRACT MAP <input type="checkbox"/> FOR CONDOMINIUM PURPOSES
<b>PROJECT FILE NO. PDEV19-028</b>  <b>RELATED FILE NO(S). PVAR19-004, PZC19-001, PGPA19-001</b>	
<input checked="" type="checkbox"/> ORIGINAL <input type="checkbox"/> REVISED: __/__/__	

**CITY PROJECT ENGINEER & PHONE NO:** David Zurita (909) 395-2155

**CITY PROJECT PLANNER & PHONE NO:** Alexis Vaughn (909) 395-2416

**DAB MEETING DATE:** August 15, 2022

**PROJECT NAME / DESCRIPTION:** A Development Plan to construct 5 multiple-family dwellings on 0.28 acres of land within the MDR-18 (Medium Density Residential) zoning district.

**LOCATION:** 1063 East Elma Street (1048-431-17 and 1048-491-23)

**APPLICANT:** Maria Guadalupe Oseguera

**REVIEWED BY:** Raymond Lee      7/21/22  
 Raymond Lee, P.E.      Date  
 Assistant City Engineer

**APPROVED BY:** [Signature]      7-21-22  
 Khoi Do, P.E.      Date  
 City Engineer



**THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE GENERAL STANDARD CONDITIONS OF APPROVAL ADOPTED BY THE CITY COUNCIL (RESOLUTION NO. 2017-027) AND THE PROJECT SPECIFIC CONDITIONS OF APPROVAL SPECIFIED HEREIN. ONLY APPLICABLE CONDITIONS OF APPROVAL ARE CHECKED. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL APPLICABLE CONDITIONS OF APPROVAL PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, ISSUANCE OF PERMITS AND/OR OCCUPANCY CLEARANCE, AS SPECIFIED IN THIS REPORT.**

**1. PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, APPLICANT SHALL:** Check When Complete

- 1.01 Dedicate to the City of Ontario, the right-of-way, described below:   
\_\_\_\_\_ feet on \_\_\_\_\_  
Property line corner 'cut-back' required at the intersection of \_\_\_\_\_  
and \_\_\_\_\_.
- 1.02 Dedicate to the City of Ontario, the following easement(s): \_\_\_\_\_   
\_\_\_\_\_
- 1.03 Restrict vehicular access to the site as follows: \_\_\_\_\_
- 1.04 Vacate the following street(s) and/or easement(s): 
  - A. All interfering on-site easements shall be quitclaimed, vacated, and/or submit non-interference letter from affected owner/utility company.
- 1.05 Submit a copy of a recorded private reciprocal use agreement or easement. The agreement or easement shall ensure, at a minimum, common ingress and egress and joint maintenance of all common access areas and drive aisles.
- 1.06 Provide (original document) Covenants, Conditions and Restrictions (CC&Rs) as applicable to the project and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&Rs shall provide for, but not be limited to, common ingress and egress, joint maintenance responsibility for all common access improvements, common facilities, parking areas, utilities, median and landscaping improvements and drive approaches, in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project. The CC&Rs shall also address the maintenance and repair responsibility for public improvements/utilities (sewer, water, storm drain, recycled water, etc.) located within open space/easements. In the event of any maintenance or repair of these facilities, the City shall only restore disturbed areas to current City Standards.
- 1.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at [http://geotracker.waterboards.ca.gov/profile\\_report?global\\_id=T10000004658](http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658).
- 1.08 File an application for Reapportionment of Assessment, together with payment of a reapportionment processing fee, for each existing assessment district listed below. Contact the Financial Services Department at (909) 395-2124 regarding this requirement. 
  - (1) \_\_\_\_\_
  - (2) \_\_\_\_\_
- 1.09 Prepare a fully executed Subdivision Agreement (on City approved format and forms) with



accompanying security as required, or complete all public improvements.

- 1.10 Provide a monument bond (i.e. cash deposit) in an amount calculated by the City's approved cost estimate spreadsheet (available for download on the City's website: [www.ontarioca.gov](http://www.ontarioca.gov)) or as specified in writing by the applicant's Registered Engineer or Licensed Land Surveyor of Record and approved by the City Engineer, whichever is greater.
- 1.11 Provide a preliminary title report current to within 30 days.
- 1.12 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Investment and Revenue Resources at (909) 395-2341 to initiate the CFD application process.
- 1.13 Ontario Ranch Developments: 
  - 1) Provide evidence of final cancellation of Williamson Act contracts associated with this tract, prior to approval of any final subdivision map. Cancellation of contracts shall have been approved by the City Council.
  - 2) Provide evidence of sufficient storm water capacity availability equivalents (Certificate of Storm Water Treatment Equivalents).
  - 3) Provide evidence of sufficient water availability equivalents (Certificate of Net MDD Availability).
- 1.14 Other conditions: \_\_\_\_\_

**2. PRIOR TO ISSUANCE OF ANY PERMITS, APPLICANT SHALL:**

**A. GENERAL  
 (Permits includes Grading, Building, Demolition and Encroachment)**

- 2.01 Record Parcel Map/Tract Map No. \_\_\_\_\_ pursuant to the Subdivision Map Act and in accordance with the City of Ontario Municipal Code.
- 2.02 Submit a PDF of the recorded map to the City Engineer's office.
- 2.03 Note that the subject parcel is a recognized parcel in the City of Ontario per \_\_\_\_\_
- 2.04 **Note that the subject parcel is an 'unrecognized' parcel in the City of Ontario and shall require a Certificate of Compliance to be processed unless a deed is provided confirming the existence of the parcel prior to the date of March 4, 1972.**
- 2.05 **Apply for a:** 
  - Certificate of Compliance with a Record of Survey;
  - Lot Line Adjustment (Record a Conforming Deed with the County of San Bernardino within six months of the recordation of the Lot Line Adjustment to conform the new LLA legal description. Submit a copy of the recorded Conforming Deed to the Engineering Department.);**
  - Make a Dedication of Easement.



- 2.06 Provide (original document) Covenants, Conditions and Restrictions (CC&R's), as applicable to the project, and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&R's shall provide for, but not be limited to, common ingress and egress, joint maintenance of all common access improvements, common facilities, parking areas, utilities and drive approaches in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project.
  
- 2.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at [http://geotracker.waterboards.ca.gov/profile\\_report?global\\_id=T10000004658](http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658).
  
- 2.08 Submit a soils/geology report.
  
- 2.09 Other Agency Permit/Approval: Submit a copy of the approved permit and/or other form of approval of the project from the following agency or agencies: 
  - State of California Department of Transportation (Caltrans)
  - San Bernardino County Road Department (SBCRD)
  - San Bernardino County Flood Control District (SBCFCD)
  - Federal Emergency Management Agency (FEMA)
  - Cucamonga Valley Water District (CVWD) for sewer/water service
  - United States Army Corps of Engineers (USACE)
  - California Department of Fish & Game
  - Inland Empire Utilities Agency (IEUA)
  - Other: \_\_\_\_\_
  
- 2.10 Dedicate to the City of Ontario the right-of-way described below: 

\_\_\_\_\_ feet on \_\_\_\_\_

Property line corner 'cut-back' required at the intersection of \_\_\_\_\_ and \_\_\_\_\_.
  
- 2.11 Dedicate to the City of Ontario the following easement(s): \_\_\_\_\_ 

\_\_\_\_\_
  
- 2.12 **Vacate the following street(s) and/or easement(s):** 
  - a. All interfering on-site easements shall be quitclaimed, vacated, and/or submit non-interference letter from affected owner/utility company.**
  
- 2.13 Ontario Ranch Developments: 
  - 1) Submit a copy of the permit from the San Bernardino County Health Department to the Engineering Department and the Ontario Municipal Utilities Company (OMUC) for the destruction/abandonment of the on-site water well. The well shall be destroyed/abandoned in accordance with the San Bernardino County Health Department guidelines.
  - 2) Make a formal request to the City of Ontario Engineering Department for the proposed temporary use of an existing agricultural water well for purposes other than agriculture, such as grading, dust control, etc. Upon approval, the Applicant shall enter into an agreement with the City of Ontario and pay



any applicable fees as set forth by said agreement.

3) Design proposed retaining walls to retain up to a maximum of three (3) feet of earth. In no case shall a wall exceed an overall height of nine (9) feet (i.e. maximum 6-foot high wall on top of a maximum 3-foot high retaining wall).

- 2.14 **Submit a security deposit to the Engineering Department to guarantee construction of the public improvements required herein valued at 100% of the approved construction cost estimate. Security deposit shall be in accordance with the City of Ontario Municipal Code. Security deposit will be eligible for release, in accordance with City procedure, upon completion and acceptance of said public improvements.**
- 2.15 **The applicant/developer shall submit all necessary survey documents prepared by a Licensed Surveyor registered in the State of California detailing all existing survey monuments in and around the project site. These documents are to be reviewed and approved by the City Survey Office.**
- 2.16 **Pay all Development Impact Fees (DIF) to the Building Department. Final fee shall be determined based on the approved site plan.**
- 2.17 Other conditions: \_\_\_\_\_



**B. PUBLIC IMPROVEMENTS**  
 (See attached Exhibit 'A' for plan check submittal requirements.)

- 2.18 Design and construct full public improvements in accordance with the City of Ontario Municipal Code, current City standards and specifications, master plans and the adopted specific plan for the area, if any. These public improvements shall include, but not be limited to, the following (checked boxes):

Improvement	Elma Street	Street 2	Street 3	Street 4
<b>Curb and Gutter</b>	<input type="checkbox"/> New; ___ ft. from C/L <input checked="" type="checkbox"/> <b>Replace Damaged<sup>2.18.a</sup></b> <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace
<b>AC Pavement</b>	<input checked="" type="checkbox"/> <b>Replacement</b> <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions
<b>PCC Pavement (Truck Route Only)</b>	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
<b>Drive Approach</b>	<input checked="" type="checkbox"/> <b>New<sup>2.18.b</sup></b> <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
<b>Sidewalk</b>	<input type="checkbox"/> New <input checked="" type="checkbox"/> <b>Replace damaged</b>	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
<b>ADA Access Ramp</b>	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
<b>Parkway</b>	<input checked="" type="checkbox"/> <b>Trees</b> <input checked="" type="checkbox"/> <b>Landscaping (w/irrigation)</b>	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)
<b>Raised Landscaped Median</b>	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
<b>Fire Hydrant</b>	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation



<b>Sewer</b> (see Sec. 2.C)	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
<b>Water</b> (see Sec. 2.D)	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Services	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Recycled Water (see Sec. 2.E)	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Traffic Signal System (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Traffic Signing and Striping (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
<b>Street Light</b> (see Sec. 2.F)	<input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation
Bus Stop Pad or Turn-out (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Storm Drain (see Sec. 2G)	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
<b>Fiber Optics</b> (see Sec. 2K)	<input checked="" type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances
Overhead Utilities	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate
Removal of Improvements	_____	_____	_____	_____
Other Improvements	_____	_____	_____	_____

Specific notes for improvements listed in item no. 2.18, above:

- a. Replace damaged curb and gutter per City Standard Drawing Number 1201 Type "V" curb.
- b. Abandon existing approach and construct new approach in kind. Residential drive approach per City Standard would not work with Type "V" curb. Note: Decorative pavement is not allowed in public right-of-way.

2.19 Construct a 2" asphalt concrete (AC) grind and overlay on the following street(s):

- a. Elma Street along the entire frontage from centerline to gutter.





- 2.20 Reconstruction of the full pavement structural section, per City of Ontario Standard Drawing number 1011, may be required based on the existing pavement condition and final street design. Minimum limits of reconstruction shall be along property frontage, from street centerline to curb/gutter.
- 2.21 Make arrangements with the Cucamonga Valley Water District (CVWD) to provide  water service  sewer service to the site. This property is within the area served by the CVWD and Applicant shall provide documentation to the City verifying that all required CVWD fees have been paid.
- 2.22 Overhead utilities shall be under-grounded, in accordance with Title 7 of the City's Municipal Code (Ordinance No. 2804 and 2892). Developer may pay in-lieu fee, approximately \_\_\_\_\_, for undergrounding of utilities in accordance with Section 7-7.302.e of the City's Municipal Code.
- 2.23 Other conditions: \_\_\_\_\_

**C. SEWER**

- 2.24 **An 8-inch sewer main is available for connection by this project in Elma Street. (Ref: Sewer plan bar code: S13122)**
- 2.25 Design and construct a sewer main extension. A sewer main is not available for direct connection. The closest main is approximately \_\_\_\_\_ feet away.
- 2.26 Submit documentation that shows expected peak loading values for modeling the impact of the subject project to the existing sewer system. The project site is within a deficient public sewer system area. Applicant shall be responsible for all costs associated with the preparation of the model. Based on the results of the analysis, Applicant may be required to mitigate the project impact to the deficient public sewer system, including, but not limited to, upgrading of existing sewer main(s), construction of new sewer main(s) or diversion of sewer discharge to another sewer.
- 2.27 **Other conditions:** 
  - a. **Construct sewer lateral per City Standard No. 2003.**
  - b. **No permanent structure, trees, etc. shall be placed within the public utility easement (PUE) at the northwest corner of the property. No permanent walls within the easement; however, removable sectional wrought iron fence is allowed.**
  - c. **Abandon all unused sewer laterals back to the public main.**

**D. WATER**

- 2.28 **A 6-inch water main is available for connection by this project in Elma Street. (Ref: Water plan bar code: W11728)**
- 2.29 Design and construct a water main extension. A water main is not available for direct connection. The closest main is approximately \_\_\_\_\_ feet away.
- 2.30 **Other conditions:** 
  - a. **Construct separate water services (Domestic Water, Irrigation, and Fire) per City Standard.**
  - b. **Install a master meter within the public right-of-way followed by backflow device and submetering on private property.**
  - c. **Abandon all unused water services back to the public main.**

**E. RECYCLED WATER**

- 2.31 A \_\_\_\_\_ inch recycled water main is available for connection by this project in \_\_\_\_\_. (Ref: Recycled Water plan bar code: \_\_\_\_\_)
- 2.32 Design and construct an on-site recycled water system for this project. A recycled water main does exist in the vicinity of this project.
- 2.33 Design and construct an on-site recycled water ready system for this project. A recycled water main does not currently exist in the vicinity of this project, but is planned for the near future. If Applicant would like to connect to this recycled water main when it becomes available, the cost for the connection shall be borne solely by the Applicant.



- 2.34 Submit two (2) hard copies and one (1) electronic copy, in PDF format, of the Engineering Report (ER), for the use of recycled water, to the OMUC for review and subsequent submittal to the California Department of Public Health (CDPH) for final approval.

Note: The OMUC and the CDPH review and approval process will be approximately three (3) months. Contact the Ontario Municipal Utilities Company at (909) 395-2647 regarding this requirement.

- 2.35 Other conditions: \_\_\_\_\_

#### F. TRAFFIC / TRANSPORTATION

- 2.36 Submit a focused traffic impact study, prepared and signed by a Traffic/Civil Engineer registered in the State of California. The study shall address, but not be limited to, the following issues as required by the City Engineer:
1. On-site and off-site circulation
  2. Traffic level of service (LOS) at 'build-out' and future years
  3. Impact at specific intersections as selected by the City Engineer

- 2.37 New traffic signal installations shall be added to Southern California Edison (SCE) customer account number # 2-20-044-3877.

- 2.38 Other conditions:
- a. Driveway shall be designed to maintain sidewalk and Type "V" curb per City standard No. 1201.
  - b. The Applicant/Developer shall be responsible to design and construct in-fill public streetlights along the property frontage of Elma Street. Streetlight shall be LED-type and in accordance with the City's Traffic and Transportation Guidelines.

#### G. DRAINAGE / HYDROLOGY

- 2.39 A \_\_\_\_\_ inch storm drain main is available to accept flows from this project in \_\_\_\_\_.   
(Ref: Storm Drain plan bar code: \_\_\_\_\_)

- 2.40 Submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California. The study shall be prepared in accordance with the San Bernardino County Hydrology Manual and City of Ontario standards and guidelines. Additional drainage facilities, including, but not limited to, improvements beyond the project frontage, may be required to be designed and constructed, by Applicant, as a result of the findings of this study.

- 2.41 An adequate drainage facility to accept additional runoff from the site does not currently exist downstream of the project. Design and construct a storm water detention facility on the project site. 100 year post-development peak flow shall be attenuated such that it does not exceed 80% of pre-development peak flows, in accordance with the approved hydrology study and improvement plans.

- 2.42 Submit a copy of a recorded private drainage easement or drainage acceptance agreement to the Engineering Department for the acceptance of any increase to volume and/or concentration of historical drainage flows onto adjacent property, prior to approval of the grading plan for the project.

- 2.43 Comply with the City of Ontario Flood Damage Prevention Ordinance (Ordinance No. 2409). The project site or a portion of the project site is within the Special Flood Hazard Area (SFHA) as indicated on the Flood Insurance Rate Map (FIRM) and is subject to flooding during a 100 year frequency storm. The site plan shall be subject to the provisions of the National Flood Insurance Program.

- 2.44 Other conditions: \_\_\_\_\_

#### H. STORM WATER QUALITY / NATIONAL POLLUTANT DISCHARGE AND ELIMINATION SYSTEM (NPDES)

- 2.45 401 Water Quality Certification/404 Permit – Submit a copy of any applicable 401 Certification or 404 Permit for the subject project to the City project engineer. Development that will affect any body of surface water (i.e. lake, creek, open drainage channel, etc.) may require a 401 Water Quality



Certification from the California Regional Water Quality Control Board, Santa Ana Region (RWQCB) and a 404 Permit from the United States Army Corps of Engineers (USACE). The groups of water bodies classified in these requirements are perennial (flow year round) and ephemeral (flow during rain conditions, only) and include, but are not limited to, direct connections into San Bernardino County Flood Control District (SBCFCD) channels.

If a 401 Certification and/or a 404 Permit are not required, a letter confirming this from Applicant's engineer shall be submitted.

Contact information: USACE (Los Angeles District) (213) 452-3414; RWQCB (951) 782-4130.

- 2.46 Submit a Water Quality Management Plan (WQMP). This plan shall be approved by the Engineering Department prior to approval of any grading plan. The WQMP shall be submitted, utilizing the current San Bernardino County Stormwater Program template, available at: <http://www.sbcounty.gov/dpw/land/npdes.asp>.
- 2.47 Design and construct a Connector Pipe Trash Screen or equivalent Trash Treatment Control Device, per catch basin located within or accepting flows tributary of a Priority Land Use (PLU) area that meets the Full Capture System definition and specifications, and is on the Certified List of the State Water Resources Control Board. The device shall be adequately sized per catch basin and include a deflector screen with vector control access for abatement application, vertical support bars, and removable component to facilitate maintenance and cleaning.
- 2.48 Other conditions: \_\_\_\_\_

**J. SPECIAL DISTRICTS**

- 2.49 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Investment and Revenue Resources at (909) 395-2341 to initiate the CFD application process.
- 2.50 Other conditions: \_\_\_\_\_

**K. FIBER OPTIC**

- 2.51 A fiber optic line is available for connection by this project in \_\_\_\_\_. (Ref: Fiber Optic plan bar code: \_\_\_\_\_)
- 2.52 Design and construct fiber optic system to provide access to the City's conduit and fiber optic system per the City's Fiber Optic Master Plan. Building entrance conduits shall be constructed along the project frontage in the ROW and shall terminate in the main telecommunications room for each building. Conduit infrastructure shall be constructed along the project frontage; see Fiber Optic Exhibit herein.
- 2.53 Refer to the City's Fiber Optic Master Plan for design and layout guidelines. Contact the Broadband Operations Department at (909) 395-2000, regarding this requirement.

**3. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, APPLICANT SHALL:**

- 3.01 Set new monuments in place of any monuments that have been damaged or destroyed as a result of construction of the subject project. Monuments shall be set in accordance with City of Ontario standards and to the satisfaction of the City Engineer.



- 3.02 Complete all requirements for recycled water usage. 
  - 1) Procure from the OMUC a copy of the letter of confirmation from the California Department of Public Health (CDPH) that the Engineering Report (ER) has been reviewed and the subject site is approved for the use of recycled water.
  - 2) Obtain clearance from the OMUC confirming completion of recycled water improvements and passing of shutdown tests and cross connection inspection, upon availability/usage of recycled water.
  - 3) Complete education training of on-site personnel in the use of recycled water, in accordance with the ER, upon availability/usage of recycled water.
- 3.03 **The applicant/developer shall submit all final survey documents prepared by a Licensed Surveyor registered in the State of California detailing all survey monuments that have been preserved, revised, adjusted or set along with any maps, corner records or Records of Survey needed to comply with these Conditions of Approvals and the latest edition of the California Professional Land Survey Act. These documents are to be reviewed and approved by the City Survey Office.**
- 3.04 Ontario Ranch Projects: For developments located at an intersection of any two collector or arterial streets, the applicant/developer shall set a monument if one does not already exist at that intersection. Contact the City Survey office for information on reference benchmarks, acceptable methodology and required submittals.
- 3.05 **Confirm payment of all Development Impact Fees (DIF) to the Building Department.**
- 3.06 **Submit electronic copies (PDF and Auto CAD format) of all approved improvement plans, studies and reports (i.e. hydrology, traffic, WQMP, etc.).**

#### 4. PRIOR TO FINAL ACCEPTANCE, APPLICANT SHALL:

- 4.01 **Complete all Conditions of Approval listed under Sections 1-3 above.**
- 4.02 **Pay all outstanding fees pursuant to the City of Ontario Municipal Code, including but not limited to, plan check fees, inspection fees and Development Impact Fees.**
- 4.03 **The applicant/developer shall submit a written request for the City's final acceptance of the project addressed to the City Project Engineer. The request shall include a completed Acceptance and Bond Release Checklist, state that all Conditions of Approval have been completed and shall be signed by the applicant/developer. Upon receipt of the request, review of the request shall be a minimum of 10 business days. Conditions of Approval that are deemed incomplete by the City will cause delays in the acceptance process.**
- 4.04 **Submit record drawings (PDF) for all public improvements identified within Section 2 of these Conditions of Approval.**



**EXHIBIT 'A'**

**ENGINEERING DEPARTMENT  
First Plan Check Submittal Checklist**

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Project Number: PDEV19-028

**The following items are required to be included with the first plan check submittal:**

1.  **A copy of this check list**
2.  **Payment of fee for Plan Checking**
3.  **One (1) copy of Engineering Cost Estimate (on City form) with engineer's wet signature and stamp.**
4.  **One (1) copy of project Conditions of Approval**
5.  **Include a PDF (electronic submittal) of each required improvement plan at every submittal.**
6.  Two (2) sets of Potable and Recycled Water demand calculations (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size).
7.  Three (3) sets of Public Street improvement plan with street cross-sections
8.  Four (4) sets of Public Water improvement plan (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)
9.  Four (4) sets of Recycled Water improvement plan (include recycled water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size and an exhibit showing the limits of areas being irrigated by each recycled water meter)
10.  Four (4) sets of Public Sewer improvement plan
11.  Five (5) sets of Public Storm Drain improvement plan
12.  **Three (3) sets of Public Street Light improvement plan**
13.  Three (3) sets of Signing and Striping improvement plan
14.  **Three (3) sets of Fiber Optic plan (include Auto CAD electronic submittal)**
15.  **Three (3) sets of Dry Utility plans within public right-of-way (at a minimum the plans must show existing and ultimate right-of-way, curb and gutter, proposed utility location including centerline dimensions, wall to wall clearances between proposed utility and adjacent public line, street work repaired per Standard Drawing No. 1306. Include Auto CAD electronic submittal)**
16.  Three (3) sets of Traffic Signal improvement plan and One (1) copy of Traffic Signal Specifications with modified Special Provisions. Please contact the Traffic Division at (909) 395-2154 to obtain Traffic Signal Specifications.
17.  Two (2) copies of Water Quality Management Plan (WQMP), including one (1) copy of the approved Preliminary WQMP (PWQMP).
18.  One (1) copy of Hydrology/Drainage study
19.  One (1) copy of Soils/Geology report
20.  Payment for Final Map/Parcel Map processing fee



21.  Three (3) copies of Final Map/Parcel Map
22.  One (1) copy of approved Tentative Map
23.  One (1) copy of Preliminary Title Report (current within 30 days)
24.  One (1) copy of Traverse Closure Calculations
25.  **One (1) set of supporting documents and maps (legible copies): referenced improvement plans (full size), referenced record final maps/parcel maps (full size, 18"x26"), Assessor's Parcel map (full size, 11"x17"), recorded documents such as deeds, lot line adjustments, easements, etc.**
26.  Two (2) copies of Engineering Report and an electronic file (include PDF format electronic submittal) for recycled water use
27.  **Other:**
  - a. **Final Utilities System Map (USM): As part of the precise grading plans submittal, provide a Final Utilities Systems Map that shows all existing and proposed Utilities (Potable Water, Recycled Water, Sewer, Storm Drain, and other utilities) including each of the City's public utilities' point of connection to the existing systems.**



# CITY OF ONTARIO

## MEMORANDUM

**TO:** Alexis Vaughn, Assistant Planner  
Planning Department

**FROM:** Paul Ehrman, Deputy Fire Chief/Fire Marshal  
Fire Department

**DATE:** June 5, 2019

**SUBJECT:** PDEV19-028 - A Development Plan to construct 5 multiple-family dwellings on 0.28 acres of land located at 1063 East Elma Street, within the MDR-18 (Medium Density Residential – 11.1 to 18.0 DU/Acre) zoning district (APNs: 1048-461-17 and 1048-491-23). Related Files: PVAR19-004, PZC19-001 and PGPA19-001.

- 
- The plan **does** adequately address Fire Department requirements at this time.
- Standard Conditions of Approval apply, as stated below.
- 

### **SITE AND BUILDING FEATURES:**

- A. 2016 CBC Type of Construction: Not Listed, Type V
- B. Type of Roof Materials: Ordinary
- C. Ground Floor Area(s): Not Listed
- D. Number of Stories: 2
- E. Total Square Footage: 6,469 Sq. Ft.
- F. 2016 CBC Occupancy Classification(s): R

## **CONDITIONS OF APPROVAL:**

### **1.0 GENERAL**

- ☒ 1.1 The following are the Ontario Fire Department (“Fire Department”) requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards (“Standards.”) It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at [www.ontarioca.gov](http://www.ontarioca.gov), click on “Fire Department” and then on “Standards and Forms.”
- ☒ 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

### **2.0 FIRE DEPARTMENT ACCESS**

- ☒ 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See Standard #B-004.
- ☒ 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25’) inside and forty-five feet (45’) outside turning radius per Standard #B-005.
- ☒ 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150’) in length shall have an approved turn-around per Standard #B-002.
- ☒ 2.4 Access drive aisles which cross property lines shall be provided with CC&Rs, access easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of building plan check.
- ☒ 2.5 "No Parking-Fire Lane" signs and /or red painted curbs with lettering are required to be installed in interior access roadways, in locations where vehicle parking would obstruct the minimum clear width requirement. Installation shall be per Standard #B-001.
- ☒ 2.6 Security gates or other barriers on fire access roadways shall be provided with a Knox brand key switch or padlock to allow Fire Department access. See Standards #B-003, B-004 and H-001.
- ☒ 2.7 Any time PRIOR to on-site combustible construction and/or storage, a minimum twenty-four (24) ft. wide circulating all weather access roads shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved by fire department and other emergency services.



### **3.0 WATER SUPPLY**

- ☒ 3.1 The required fire flow per Fire Department standards, based on the 2016 California Fire Code, Appendix B, is 1500 gallons per minute (g.p.m.) for 2 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.
- ☒ 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300') apart, per Engineering Department specifications.
- ☒ 3.4 The water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

### **4.0 FIRE PROTECTION SYSTEMS**

- ☒ 4.2 Underground fire mains which cross property lines shall be provided with CC & R, easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of fire department plan check. The shared use of private fire mains or fire pumps is allowable only between immediately adjacent properties and shall not cross any public street.
- ☒ 4.3 An automatic fire sprinkler system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard ~~Choose an item.~~ All new fire sprinkler systems, except those in single family dwellings, which contain twenty (20) sprinkler heads or more shall be monitored by an approved listed supervising station. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- ☒ 4.4 Wood frame buildings that are to be sprinkled shall have these systems in service (but not necessarily finalized) before the building is enclosed.
- ☒ 4.7 Portable fire extinguishers are required to be installed prior to occupancy per Standard #C-001. Please contact the Fire Prevention Bureau to determine the exact number, type and placement required.

### **5.0 BUILDING CONSTRUCTION FEATURES**

- ☒ 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- ☒ 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.

- ☒ 5.3 Single station smoke alarms and carbon monoxide alarms are required to be installed per the California Building Code and the California Fire Code.
- ☒ 5.5 All residential chimneys shall be equipped with an approved spark arrester meeting the requirements of the California Building Code.



# CITY OF ONTARIO

## MEMORANDUM

**TO:** Alexis Vaughn, Assistant Planner

**FROM:** Officer Emily Hernandez, Police Department

**DATE:** May 28, 2019

**SUBJECT:** PDEV19-028 – A DEVELOPMENT PLAN TO CONSTRUCT ONE MULTI-FAMILY APARTMENT COMPLEX (5 DWELLING UNITS) LOCATED AT 1063 EAST ELMA STREET

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The “Standard Conditions of Approval” contained in Resolution No. 2017-027 apply. The applicant shall read and be thoroughly familiar with these conditions, including but not limited to, the requirements listed below.

- Required lighting for walkways, driveways, doorways, parking lots, hallways, stairwells, and other areas used by the public shall be provided. Lights shall operate via photosensor. Photometrics shall be provided to the Police Department and include the types of fixtures proposed and demonstrate that such fixtures meet the vandal-resistant requirement. Planned landscaping shall not obstruct lighting.
- The Applicant shall comply with construction site security requirements as stated in the Standard Conditions.
- Stairwells shall be constructed so as to either allow for visibility through the stairwell risers or to prohibit public access to the areas behind stairwells.
- The development shall participate in the Crime-Free Multi Housing program offered by the Ontario Police Department COPS Division.

Additionally, the Ontario Police Department places the following conditions on the project.

- Additional windows be placed on the north side of the building, allowing for natural surveillance.
- Bollards shall be placed as a barrier between the common active space and the shared driveway.
- Landscaping in the common active space shall adhere to a 2 foot ground and 8 foot canopy height to maintain visibility in all areas of the shared space.

The Applicant is invited to contact Emily Hernandez at (909) 408-1755 with any questions or concerns regarding these conditions.



# CITY OF ONTARIO MEMORANDUM



**DATE:** June 15, 2022  
**TO:** David Zurita, Engineering  
**CC:** Alexis Vaughn, Planning  
**FROM:** Peter Tran, Utilities Engineering  
**SUBJECT:** DPR #6 – Conditions of Approval (COA) - Utilities Comments (#8458)  
PDEV19-028 and PVAR19-004, Related Files: PZC19-001, PGPA19-001 (Construct one multi-family five dwelling units apartment complex)  
**PROJECT NO.:**

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## BRIEF DESCRIPTION

*A Development Plan to construct 5 multiple-family dwellings on 0.28 acres of land located at 1063 East Elma Street, within the MDR-18 (Medium Density Residential – 11.1 to 18.0 DU/Acre) zoning district (APNs: 1048-461-17 and 1048-491-23). Related Files: PVAR19-004, PZC19-001 and PGPA19-001.*

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## THIS SUBMITTAL IS COMPLETE AND RECOMMENDED FOR APPROVAL.

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**CONDITIONS OF APPROVAL:** *The Ontario Municipal Utilities Company (OMUC) recommends this application for approval subject to the conditions outlined below and compliance with the City's Design Development Guidelines, Specifications Design Criteria, and City Standards.*

**General Conditions: (Add following to Section 2.A of Engineering Department COA)**

1. Standard Conditions of Approval: Project shall comply with the requirements as set forth in the Amendment to the Standard Conditions of Approval for New Development Projects adopted by the City Council (Resolution No. 2017-027) on April 18, 2017; as well as project-specific conditions/requirements as outlined below.
2. Final Utilities Systems Map (USM): As part of the precise grading plans submittal, provide a Final Utilities Systems Map that shows all existing and proposed Utilities (Potable Water, Recycled Water, Sewer, Storm Drain, and other utilities) including each of the City's public utilities' points of connection to the existing systems.
3. Existing Utilities Services Abandonment: Abandon any unused services (sewer and water) to the existing public main.

**Potable Water Conditions: (Add following to Section 2.D of Engineering Department COA)**

4. Domestic Service: Construct a master meter within public right-of-way, with backflow device and submetering on private property.
5. Irrigation Service: Construct a separate irrigation service with a backflow on private property.
6. Utilities Separation: Provide a minimum 5' separation between utilities services, specifically, between the gas and water service.

**Sewer Condition: (Add following to Section 2.C of Engineering Department COA)**

7. PUE-Exiting Sewer Main: Grant the city a 20' wide PUE per guideline in the General Conditions, Also, no permanent structure, trees, etc. shall be placed within the PUE hence remove the existing tree **and no proposed wall** within the easement. However, removable sectional wrought iron fence is allowed in this case.



# CITY OF ONTARIO

## MEMORANDUM

TO: Scott Murphy, Development Director  
Cathy Wahlstrom, Planning Director (Copy of memo only)  
Diane Ayala, Advanced Planning Division (Copy of memo only)  
Charity Hernandez, Economic Development  
Kevin Shear, Building Official  
Khoi Do, City Engineer  
Jamie Richardson, Landscape Planning Division  
Ahmed Aly, Municipal Utility Company  
Emily Hernandez, Police Department  
Paul Ehrman, Deputy Fire Chief/Fire Marshal  
Jay Bautista, T. E., Traffic/Transportation Manager  
Lorena Mejia, Airport Planning  
Eric Woosley, Engineering/NPDES  
Joe De Sousa, Code Enforcement (Copy of memo only)  
Jimmy Chang, IT Department

FROM: Alexis Vaughn, Assistant Planner

DATE: January 13, 2020

SUBJECT: FILE #: PDEV19-028 Finance Acct#:

The following project has been resubmitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Monday, January 27, 2020**.

**PROJECT DESCRIPTION:** A Development Plan to construct 5 multiple-family dwellings on 0.28 acres of land located at 1063 East Elma Street, within the MDR-18 (Medium Density Residential – 11.1 to 18.0 DU/Acre) zoning district (APNs: 1048-461-17 and 1048-491-23). Related Files: PVAR19-004, PZC19-001 and PGPA19-001.

- The plan does adequately address the departmental concerns at this time.
- No comments
  - See previous report for Conditions
  - Report attached (1 copy and email 1 copy)
  - Standard Conditions of Approval apply
- The plan does not adequately address the departmental concerns.
- The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

env. eng.  
Department

Signature

eng. asst.  
Title

Date

1/28/2020



# CITY OF ONTARIO MEMORANDUM

TO: Scott Murphy, Development Director  
 Cathy Wahlstrom, Planning Director (Copy of memo only)  
 Diane Ayala, Advanced Planning Division (Copy of memo only)  
 Charity Hernandez, Economic Development  
 Kevin Shear, Building Official  
 Khoi Do, City Engineer  
 Jamie Richardson, Landscape Planning Division  
 Ahmed Aly, Municipal Utility Company  
 Emily Hernandez, Police Department  
 Paul Ehrman, Deputy Fire Chief/Fire Marshal  
 Jay Bautista, T. E., Traffic/Transportation Manager  
 Lorena Mejia, Airport Planning  
 Eric Woosley, Engineering/NPDES  
 Joe De Sousa, Code Enforcement (Copy of memo only)  
 Jimmy Chang, IT Department

FROM: Alexis Vaughn, Assistant Planner

DATE: January 13, 2020

SUBJECT: FILE #: PVAR19-004 Finance Acct#:

The following project has been resubmitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by .

**PROJECT DESCRIPTION:** A Development Plan to Demolish an existing In-N-Out and construct a new 4,071 SF restaurant building with drive thru with 2 lanes and outdoor seating on 1.571 acres, located on the northwest corner of G street and Vineyard Avenue, within the CCS (Convention Center Support Commercial) zoning district. APNs: 0110-241-50, 0110-241-54

The plan does adequately address the departmental concerns at this time.

- No comments
- See previous report for Conditions
- Report attached (1 copy and email 1 copy)
- Standard Conditions of Approval apply

The plan does not adequately address the departmental concerns.

- The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

env.eng  
Department

Oliver Coul  
Signature

eng.asst.  
Title

1/28/2020  
Date



# CITY OF ONTARIO

## MEMORANDUM

TO: Scott Murphy, Development Director  
Cathy Wahlstrom, Planning Director (Copy of memo only)  
Diane Ayala, Advanced Planning Division (Copy of memo only)  
Charity Hernandez, Economic Development  
Kevin Shear, Building Official  
Khoi Do, City Engineer  
Carolyn Bell, Landscape Planning Division  
Ahmed Aly, Municipal Utility Company  
Doug Sorel, Police Department  
Paul Ehrman, Deputy Fire Chief/Fire Marshal  
Jay Bautista, T. E., Traffic/Transportation Manager  
Lorena Mejia, Airport Planning  
Eric Woosley, Engineering/NPDES  
Joe De Sousa, Code Enforcement (Copy of memo only)  
Jimmy Chang, IT Department

FROM: Alexis Vaughn, Assistant Planner

DATE: May 14, 2019

SUBJECT: FILE #: PDEV19-028

Finance Acct#:

The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Tuesday, May 28, 2019**.

- Note:
- Only DAB action is required
  - Both DAB and Planning Commission actions are required
  - Only Planning Commission action is required
  - DAB, Planning Commission and City Council actions are required
  - Only Zoning Administrator action is required

**PROJECT DESCRIPTION:** A Development Plan to construct one multi-family apartment complex (5 dwelling units) on approximately 0.281 acres of land located at 1063 E. Elma Street, within the MDR-11 and MDR-18 zoning districts. (APNs: 1048-461-17 and 1048-491-23). Related Files: PVAR19-004, PZC19-001, PGPA19-001.

- The plan does adequately address the departmental concerns at this time.
  - No comments
  - Report attached (1 copy and email 1 copy)
  - Standard Conditions of Approval apply
- The plan does not adequately address the departmental concerns.
  - The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

Department

Signature

Title

Date

1. The City of Ontario is developing a fiber-optic telecommunications system throughout the city commonly known as OntarioNet. The fiber-optic telecommunications system is capable of providing advanced Internet/data services to homes and businesses in feasible areas within the city. OntarioNet will provide community related services including: traffic management; online civic services; meter reading; educational services; and a variety of other community services. OntarioNet and the high-speed data services it provides will keep the city on par with the modern workforce and ever changing lifestyles of the people and the community.
2. Communication systems proposed on-site facilities will be placed underground within a duct and structure system to be installed by the developer, as illustrated in Exhibit A, "Fiber Optics Plan". Maintenance of the installed system will be the responsibility of the City and/or Special District fiber optic entity and not that of the developer, private homeowners association or private homeowners. Development of the project requires the installation by the developer of all fiber optic infrastructure necessary to service the project as a standalone development.
3. The City requires public utility easement for fiber optics on all private aisles/alley ways.
4. Trenching, joint trenching, and boring shall be used to install the fiber-optic conduits. Fiber-optic conduit placement will generally be in a joint trench with Street Light conduits or in a separate trench/bore and in the Right-of-Way (ROW) generally placed behind the sidewalk. Resulting conduit placement will be on the north side of street and the east side of street based on the direction of the street. Properly sized handholes shall be placed along the conduit path no greater than 500-feet apart in major streets and no greater than 300-feet apart within in-tract community streets. Handholes shall be strategically placed to allow for efficient entrance into commercial buildings, and residential properties and multi-dwelling units.
5. Structured Wiring – An integrated structured wiring system (low-voltage wiring) provides infrastructure for today's technology applications and the framework for the future technology advances. Requirements and benefits of a structured wiring system include:
  - Residential (single-family and multi-family), commercial and industrial developments shall adhere to the City's Structured Wiring ordinance
  - Allows for uniform receipt & distribution of technology services
  - Ensures scalability of wiring for future technology advances
  - Provides consistent & identical wiring protocols throughout developments
  - Enables the property infrastructure to interface efficiently with broadband networks for highest bandwidth capacity
  - Adoption of these standards will minimize retrofitting required to ensure new property owners are capable of the latest technologies and services
6. Building Entrance (Multi-family) - Design and install fiber optic conduit at a minimum depth of 36 inches. Trenching shall be per City Standard for Commercial Buildings. (1) 2-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct. Install locate/tracer wires minimum 12AWG within conduit bank and fiber warning tape 18-inch above the uppermost duct.
7. Multi-family and commercial properties shall terminate conduit in an electrical room adjacent to the wall no less than five inches above the finished floor. A 20" width X length 36" space shall be reserved on the plywood wall for OntarioNet equipment. This space shall be labeled "OntarioNet Only". Ontario Conduit shall be labeled "OntarioNet"
8. A minimum 1.5-inch joint use telecommunications conduit with pull-rope from the multi-family or commercial building communal telecom/electrical room/closet to each multi-family or commercial building unit shall be installed. See Structured Wiring Checklist on City's website for additional details.
9. A Fiber Optics Improvement Design Plan sheet should be part of the Design Plan submission and should be provided in digital format (PDF) as well, on future revisions





# CITY OF ONTARIO

## MEMORANDUM

TO: Scott Murphy, Development Director  
 Cathy Wahlstrom, Planning Director (Copy of memo only)  
 Diane Ayala, Advanced Planning Division (Copy of memo only)  
 Charity Hernandez, Economic Development  
 Kevin Shear, Building Official  
 Khoi Do, City Engineer  
 Carolyn Bell, Landscape Planning Division  
 Ahmed Aly, Municipal Utility Company  
 Doug Sorel, Police Department  
 Paul Ehrman, Deputy Fire Chief/Fire Marshal  
 Jay Bautista, T. E., Traffic/Transportation Manager  
 Lorena Mejia, Airport Planning  
 Eric Woosley, Engineering/NPDES  
 Joe De Sousa, Code Enforcement (Copy of memo only)  
 Jimmy Chang, IT Department

FROM: Alexis Vaughn, Assistant Planner

DATE: May 14, 2019

SUBJECT: FILE #: PVAR19-004 Finance Acct#:

The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Tuesday, May 28, 2019**.

- Note:
- Only DAB action is required
  - Both DAB and Planning Commission actions are required
  - Only Planning Commission action is required
  - DAB, Planning Commission and City Council actions are required
  - Only Zoning Administrator action is required

**PROJECT DESCRIPTION:** A Variance to deviate from the minimum Development Code standard for structure setback, from 10 feet to 5 feet, and to increase the maximum allowable tandem parking space percentage, from 12% to 16.5%, in conjunction with the construction of a 5-dwelling unit apartment complex (File No. PDEV19-028), on 0.281 acres of land, within the MDR-11 and MDR-18 zoning districts. (APNs:1048-461-17, 1048-491-23). Related Files: PDEV19-028, PGPA19-001, PZC19-001.

- The plan does adequately address the departmental concerns at this time.
  - No comments
  - Report attached (1 copy and email 1 copy)
  - Standard Conditions of Approval apply
- The plan does not adequately address the departmental concerns.
  - The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

Department \_\_\_\_\_ Signature \_\_\_\_\_ Title \_\_\_\_\_ Date \_\_\_\_\_



# CITY OF ONTARIO

## MEMORANDUM

TO: Scott Murphy, Development Director  
Cathy Wahlstrom, Planning Director (Copy of memo only)  
Diane Ayala, Advanced Planning Division (Copy of memo only)  
Charity Hernandez, Economic Development  
Kevin Shear, Building Official  
Khoi Do, City Engineer  
Carolyn Bell, Landscape Planning Division  
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Lorena Mejia, Airport Planning  
Eric Woosley, Engineering/NPDES  
Joe De Sousa, Code Enforcement (Copy of memo only)  
Jimmy Chang, IT Department

FROM: Alexis Vaughn, Assistant Planner

DATE: May 15, 2019

SUBJECT: FILE #: PZC-19-001

Finance Acct#:

The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Wednesday, May 29, 2019**.

- Note:**
- Only DAB action is required
  - Both DAB and Planning Commission actions are required
  - Only Planning Commission action is required
  - DAB, Planning Commission and City Council actions are required
  - Only Zoning Administrator action is required

**PROJECT DESCRIPTION:** A Zone Change, amending the zoning designation on approximately 0.07 acres of land, from MDR-11 to MDR-18, located one parcel west of 1063 E. Elma Street. (APN: 1048-491-23). Related Files: PDEV19-028, PVAR19-004, PGPA19-001.

- The plan does adequately address the departmental concerns at this time.
  - No comments
  - Report attached (1 copy and email 1 copy)
  - Standard Conditions of Approval apply
- The plan does not adequately address the departmental concerns.
  - The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

Department

Signature


Title

Date

**CITY OF ONTARIO**  
**LANDSCAPE PLANNING DIVISION**  
 303 East "B" Street, Ontario, CA 91764

**CONDITIONS OF APPROVAL**

Sign Off

  
 Jamie Richardson, Sr. Landscape Planner

12/16/2021  
 Date

Reviewer's Name: **Jamie Richardson, Sr. Landscape Planner** Phone: **(909) 395-2615**

D.A.B. File No.: PDEV19-028 Case Planner: Alexis Vaughn

Project Name and Location:  
 Multi-Family Apartment Complex  
 1063 E Elma Street

Applicant/Representative:  
 Marlene Milian  
 9682 Hemlock Ave.  
 Fontana, CA 92336

- A Preliminary Landscape Plan (dated) meets the Standard Conditions for New Development and has been approved with the consideration that the following conditions below be met upon submittal of the landscape construction documents.
- A Preliminary Landscape Plan (dated 12/01/2021) has not been approved. Corrections noted below are required prior to Preliminary Landscape Plan approval.

**A RESPONSE SHEET IS REQUIRED WITH RESUBMITTAL OR PLANS WILL BE RETURNED AS INCOMPLETE.**  
 Landscape construction plans with plan check number may be emailed to: [landscapeplancheck@ontarioca.gov](mailto:landscapeplancheck@ontarioca.gov)  
**DIGITAL SUBMITTALS MUST BE 10MB OR LESS.**

**Civil/ Site Plans**

1. Stormwater infiltration devices located in landscape areas shall be reviewed and plans approved by the Landscape Planning Division prior to permit issuance. Any stormwater devices in parkway areas shall not displace street trees.
2. Show transformers set back 5' from paving all sides. Coordinate with landscape plans.
3. Show backflow devices set back 4' from paving all sides. Locate on level grade
4. Locate utilities including light standards, fire hydrants, water, drain and sewer lines to not conflict with required tree locations—coordinate civil plans with landscape plans.
5. Provide a utility clear space 8' wide in parkways 30' apart for street trees. Move water meters, drain lines, light standards to the minimum utility spacing and show utility lines at the edges of the parkway, toward the driveway apron, to allow space for street trees.
6. Note for compaction to be no greater than 85% at landscape areas. All finished grades at 1 ½" below finished surfaces. Slopes to be maximum 3:1.
7. Typical lot drainage shall include a catch basin with gravel sump below each before exiting property, if no other water quality infiltration is provided.

**Landscape Plans**

8. Locate light standards, fire hydrants, water and sewer lines to not conflict with required tree locations. Coordinate civil plans with landscape plans
9. Show all utilities on the landscape plans. Coordinate so utilities are clear of tree locations.
10. Note on landscape plans: for compaction to be no greater than 85% at landscape areas. All finished grades at 1 ½" below finished surfaces. Slopes to be maximum 3:1.
11. Provide a tree in the island planter adjacent to the trash enclosure; Pistachia or Tristania.
12. Consider relocating the existing Citrus onsite.
13. Show 8' diameter of mulch only at new trees, 12' min. at existing trees. Detail irrigation dripline outside of mulched root zone.
14. Landscape construction plans shall meet the requirements of the Landscape Development Guidelines. See <http://www.ontarioca.gov/landscape-planning/standards>
15. After a project's entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council.

# CITY OF ONTARIO

## MEMORANDUM

**TO:** PLANNING DEPARTMENT, Alexis Vaughn  
**FROM:** BUILDING DEPARTMENT, Kevin Shear  
**DATE:** May 16, 2019  
**SUBJECT:** PDEV19-028

- 
- The plan **does** adequately address the departmental concerns at this time.
- No comments
- Report below.

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### Conditions of Approval

1. The Site address for this project will be 1071 W Elma St
2. Building to be Fire sprinklered.
3. Standard conditions of approval apply.

KS:lr

## ADVANCE PLANNING COMMENTS



File No: PGPA19-001, PZC19-001, PDEV19-028 & PVAR19-004

Location: 1063 E. Elma St.

Project Description:

Prepared by: Clarice Burden

Date: June 25, 2019

Signature: Clarice Burden

---

Proposed General Plan Amendment coordinates with the surrounding area and is acceptable. Zone Change will bring consistency with the proposed General Plan land use designation and is acceptable. The proposed Development Plan including the proposed Variance is in conformance with the proposed General Plan land use designation and is acceptable.

# AIRPORT LAND USE COMPATIBILITY PLANNING

## CONSISTENCY DETERMINATION REPORT



Project File No.: PGPA19-001, PZC19-001, PDEV19-028 & PVAR19-004

Address: 1063 East Elma Street

APN: 1048-491-23

Existing Land Use: Residential

Proposed Land Use: GPA from LMDR to MDR; Zone Change from MDR-11 to MDR-18; Variance side yard from 10 feet to 5 ft; Development Plan to construct 5 multi-family units

Site Acreage: 0.28 acres Proposed Structure Height: 24 FT

ONT-IAC Project Review: n/a

Airport Influence Area: ONT

Reviewed By: Lorena Mejia

Contact Info: 909-395-2276

Project Planner: Alexis Vaughn

Date: 7/25/19

CD No.: 2019-038

PALU No.:

### The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input type="radio"/> High Terrain Zone	<input type="radio"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input checked="" type="checkbox"/> FAA Notification Surfaces	<input checked="" type="checkbox"/> Recorded Overflight Notification
<input type="radio"/> Zone 2	<input checked="" type="checkbox"/> 65 - 70 dB CNEL	<input checked="" type="checkbox"/> Airspace Obstruction Surfaces	<input type="radio"/> Real Estate Transaction Disclosure
<input type="radio"/> Zone 3	<input type="radio"/> 60 - 65 dB CNEL	<input type="radio"/> Airspace Avigation Easement Area	
<input type="radio"/> Zone 4		Allowable Height: 90 ft	
<input type="radio"/> Zone 5			

### The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1   
  Zone 2   
  Zone 3   
  Zone 4   
  Zone 5   
  Zone 6

Allowable Height: \_\_\_\_\_

## CONSISTENCY DETERMINATION

This proposed Project is:  Exempt from the ALUCP     Consistent     Consistent with Conditions     Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

Airport Planner Signature: \_\_\_\_\_

# AIRPORT LAND USE COMPATIBILITY PLANNING

## CONSISTENCY DETERMINATION REPORT

CD No.: 2019-038

PALU No.: \_\_\_\_\_

### PROJECT CONDITIONS

New Residential land uses are required to have a Recorded Overflight Notification appearing on the Property Deed and Title incorporating the following language:

**NOTICE OF AIRPORT IN VICINITY:** This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you.



# Development Advisory Board Decision

August 15, 2022

**DECISION NO.:** DAB22-[insert #]

**DECISION NO.:** DAB22-[insert #]

**FILE NOS.:** PVAR21-005 and PDEV21-028

**DESCRIPTION:** A Variance (File No. PVAR21-005) to reduce the building setback along an arterial street, from 20 feet to 2.67 feet, in conjunction with a Development Plan (File No. PDEV21-028) to construct one industrial building totaling 32,165 square feet on 1.3 acres of land located at 1108 and 1120 East California Street, within the IL (Light Industrial) zoning district; (APNs: 1049-382-01 and 1049-382-02); submitted by Phelan Development Company. Planning Commission action is required.

## Part I—BACKGROUND & ANALYSIS

PHELAN DEVELOPMENT COMPANY, (herein after referred to as "Applicant") has filed an application requesting Variance approval, File No. PVAR21-005, and Development Plan approval, File No. PDEV21-028, as described in the subject of this Decision (herein after referred to as "Application" or "Project").

(1) **Project Setting:** The Project site is comprised of 1.3 acres of land located at 1108 and 1120 East California Street and is depicted in Exhibit A—Project Location Map, attached. Existing land uses, Policy Plan (general plan) and zoning designations, and specific plan land uses on and surrounding the Project site are as follows:

	<i>Existing Land Use</i>	<i>Policy Plan Designation</i>	<i>Zoning Designation</i>	<i>Specific Plan Land Use</i>
Site:	Vacant	Business Park (0.6 FAR)	IL (Light Industrial)	N/A
North:	Industrial – Auto Repair and salvage	Industrial (0.55 FAR)	IG (General Industrial)	N/A
South:	Industrial – Warehousing and industrial retail	Business Park (0.6 FAR)	BP (Business Park)	N/A
East:	Industrial - general storage	Business Park (0.6 FAR)	IL (Light Industrial)	N/A
West:	Industrial - manufacturing	Business Park (0.6 FAR)	IL (Light Industrial)	N/A

(2) **Project Description:**

(a) **Background** — On January 27, 2010, the Ontario City Council certified The Ontario Plan Environmental Impact Report in conjunction with File No. PGPA06-001 (City Council Resolution No. 2010-006). The Ontario Plan and associated Environmental Impact Report analyzed the Project site and established guidelines for development, including but not limited to, general land use (light industrial),



maximum FAR (0.6), and assumed building area (approximately 33,977 square feet). The Project's Business Park land use district remained unchanged within the forthcoming The Ontario Plan 2050 General Plan Update (File No. PGPA20-002), which was recommended to City Council for approval by the Planning Commission on July 26, 2022 and is scheduled for review by the City Council on August 16, 2022.

The Project site has been zoned for industrial development (previously "M2") since at least 1959; however, the two site parcels (1108 and 1120 East California Street) were previously developed with residential dwelling units. The two parcels are currently City-owned and were acquired as part of the Ontario International Airport (ONT) Part 150 Noise Compatibility Program (Quiet Home Program). In 1991 the Federal Aviation Administration (FAA), the City of Los Angeles and the City of Ontario approved the Part 150 Quiet Home Program. The primary goal of the program was to reduce the noise exposure to existing residential homes and increase land use compatibility within noise impacted neighborhoods of Ontario. The combined funds were utilized for the insulation of residential homes and to acquire properties that have incompatible land uses. Both parcels were located within the acquisition area of the Quiet Home Program, where incompatible land uses such as residential homes were acquired and then demolished.

The property at 1108 East California Street, was constructed as early as 1938 (confirmed through historic aerial photographs since City permit records do not exist) prior to the construction of ONT. The property was acquired by the Quiet Home Program on September 2, 2011 and a demolition permit was issued for the property on November 22, 2011 and deemed final on December 5, 2011. The property at 1120 East California Street was constructed in the 1950's (confirmed by City construction permits). The property was acquired by the Quiet Home Program on March 22, 2004 and a demolition permit was issued on December 16, 2004 and were deemed final December 23, 2004. The Project site has been vacant since demolition of the residential structures.

On July 21, 2021 and on November 5, 2021 the Applicant submitted a Development Plan and a Variance application, respectively, to facilitate development of a 32,165 square-foot industrial building shell on the site. The Applicant has also submitted Lot Line Adjustment, Right-of-Way Dedication, and Summary Vacation applications through the Engineering Department to reclaim approximately 7,380 square feet of unused public right-of-way near the southwest corner of the site (originally relinquished in 1948 for purposes of public road, street, highway, or freeway adjacent to the land).

(b) Development Plan

(i) Site Design/Building Layout — The Project site is bounded on three sides by public streets – Mission Boulevard, Cucamonga Avenue, and California Street. The proposed 32,165-square-foot industrial warehouse building will be sited in a "U" shape, against Mission Boulevard to the south, Cucamonga Avenue to the west, and the interior lot line to the east, with enhanced rear and side exterior building elevations facing the street frontages (see Exhibit B—Site Plan). The entrance to the proposed 1,000-square-foot office and 3,190-square-foot covered truck loading dock will face the parking lot situated along the northern property line, along California Street. Two dock-high loading doors will be recessed into the building in order to help screen the dock doors from public view, and one at grade loading door will also be available for use by the future tenant. The remainder of the building will allow for light industrial uses, such as general warehousing and storage, and the building may be split for use by multiple tenants in the future.

The Applicant requested a Variance to reduce the minimum required building setback along an arterial street (Mission Boulevard), from 20 feet to 2.67 feet. All other building setbacks will meet Development Code standards, providing a varying building setback of 10 feet to approximately 69 feet from local and collector streets, where 10 feet are required, and a 1.75-foot interior side setback, where no setback is required. The building will ultimately maintain a setback of 19.75 feet, measured to the Mission Boulevard curb face, when taking the neighborhood edge into account.

The Project site is located entirely within Safety Zone 2 of the Ontario International Airport Land Use Compatibility Plan (“ONT ALUCP”), which is the second-most restrictive zone. Safety Zone 2 places land use restrictions, intensity limits (sitewide average of 60 people per acre) and height restrictions (see Exhibit F—Allowable Building Heights) on the Project site. The northeast section of the Project site is limited to less than 40 feet in height. As such, the Applicant was required to position the building largely on the southwest portion of the site, with parking primarily on the north and northeast portions of the site. The Applicant has proposed an approximate 37-foot-tall building, and the Federal Aviation Administration (FAA) has approved permanent structures up to 40 feet in height at the site.

(ii) Site Access/Circulation — One vehicular access point to the site is provided along the northern property line, from California Street. Vehicular ingress/egress is generally not supported along Mission Boulevard and is infeasible along Cucamonga Avenue due to lack of distance between the intersections at the northwest and southwest corners of the Project site. Internal vehicular circulation is oriented in an east-west direction through the parking lot located on the northern end of the Project site. Pedestrian access will be provided from a new sidewalk to be constructed along Cucamonga Avenue, which will lead to a walkway that extends across most of the building’s north exterior elevation.

(iii) Parking — The Project has provided off-street parking pursuant to the “Warehouse and Distribution” parking standards specified in the Development Code. The off-street parking calculations are as follows:

Type of Use	Building Area	Parking Ratio	Spaces Required	Spaces Provided
Warehouse / Distribution	28,975 SF (enclosed area)	One space per 1,000 SF (0.001/SF) for portion of GFA <20,000 SF, plus 0.5 space per 1,000 SF (0.0005/SF) for GFA > 20,000 SF.	25	28
Office	1,000 SF	4 spaces per 1,000 SF (0.004/SF) of GFA. Parking is required when “general business offices” and other associated uses exceed 10 percent of the building GFA.	0	0
<b>TOTAL</b>	<b>28,975 SF (enclosed)</b>		<b>25</b>	<b>28</b>
Trailer Parking		1 space per 4 dock-high loading doors	1	4

The Project is required to provide a minimum of 25 off-street passenger vehicle parking spaces and 1 trailer parking space pursuant to the parking standards specified in the Development Code and has provided 28 passenger vehicle parking spaces and 4 trailer parking spaces.

(iv) Architecture — The Applicant has proposed a concrete tilt-up industrial building incorporating a contemporary industrial architectural style that will complement the existing industrial buildings surrounding the Project site, including one previously developed by the Applicant at the northwest corner of Grove Avenue and Mission Boulevard. Various architectural treatments have been proposed that will help to breakdown the building’s massing and provide visual interest from public rights-of-way (see Exhibit C—Exterior Elevations and Exhibit D—Conceptual Rendering), as follows:

- Recessed and formliner textured panels;
- Horizontal and vertical reveal lines to break down the massing;
- Color blocking to provide visual interest;
- Glazing at the main entry and spaced throughout the elevations;
- Decorative metal window brows; and,
- Unique vertical metal fins at the southwest oblique corner, facing Mission Boulevard and Cucamonga Avenue.

(v) Landscaping — The Project proposes landscaping along the entire perimeter of the site and adjacent to exterior building walls (see Exhibit F—Landscape Plan). A substantial landscape area has been provided along the California Street frontage, which will help to soften the appearance of the architecture, parking lot, and truck loading dock doors. A minimum of 15 percent landscape coverage is required per the Ontario Development Code, and 15.6 percent landscape coverage will be provided on-site. In addition to on-site landscaping improvements, the Applicant is also responsible for installing the +/-17-foot-wide neighborhood edge along Mission Boulevard, which includes a 6.42-foot-wide parkway, 5-foot-wide sidewalk, and 5.58-foot-wide landscaped buffer. The required neighborhood edge will serve to further soften the appearance of the building from the street and provide a safe pedestrian path for this section of Mission Boulevard.

A variety of plantings are proposed, including trees, shrubs, grasses, and groundcovers, as follows:

- Trees: Western Redbud, White Ironbark Eucalyptus, Crape Myrtle, and Coast Live Oak in 36” boxes and Chinese Elm in 15-gallon containers
- Shrubs: Kangaroo Paw, Dwarf Bottle Brush, Fortnight Lily, Skyrocket Juniper, Lantana, Little Ollie Olive, and Morning Light Coast Rosemary
- Grasses: Pine Muhly
- Ground Covers: Trailing Lantana, Japanese Honeysuckle, and Putah Creek Myoporum

(vi) Signage — All Project signage must comply with Ontario Development Code standards and shall be reviewed and approved through the Sign Permit Application process.

(vii) Utilities (drainage, sewer) — Public utilities (water and sewer) are available to serve the Project. Furthermore, the Applicant has submitted a Preliminary Water Quality Management Plan (“PWQMP”), which establishes the Project’s compliance with storm water discharge/water quality requirements. The PWQMP includes site design measures that capture runoff and pollutant transport by minimizing impervious surfaces and maximizes low impact development (“LID”) best management practices (“BMPs”), such as retention and infiltration, biotreatment, and evapotranspiration. The PWQMP proposes the use of an underground stormwater catch system with inlets located on either side of the passenger vehicle parking areas, with proposed overflow into a vegetated swale. Any additional overflow drainage will be conveyed to the proposed remodeled parkway drain located within Cucamonga Avenue, which the Engineering Department has conditioned to be redesigned and modernized to a more appropriate below-street design capable of efficiently carrying stormwater flow.

(c) Variance — The Applicant has requested a Variance to reduce the minimum building setback along an arterial street from 20 feet to 2.67 feet. The Project site has a variety of constraints that significantly hamper the orderly development of the site, as follows.

(i) Street Frontages — Site planning and buildable areas are limited due to the site fronting three public streets, which require setbacks of 10 to 20 feet for both buildings and off-street parking areas. Typical developments in the same zoning district, which do not front onto three streets, can utilize zero interior side and rear yard building setbacks, which greatly increases the amount of usable space on-site. Additionally, two of the three street frontages cannot feasibly support drive approaches. Mission Boulevard is a high-speed truck route and does not support drive approaches unless no other options exist for the site. The Cucamonga Avenue frontage is burdened by proximity of two intersections. Further, Mission Boulevard runs at a northwest-southeast angle, rather than a typical 90-degree north-south or east-west alignment, which in turn affects the orientation of adjacent property lines and impedes orderly development. Buildings are often sited such that exterior building walls run parallel to their respective property lines where feasible, rather than at an angle. When building on a project site that is affected by angled parcel lines, one portion of an elevation will be closer to the property line than the other, which generates additional hardships in terms of unusable space and/or odd site planning. Thus, the angle of Mission Boulevard and its effect on the southerly property line results in a 2.67-foot setback at the

southwest corner of the building and a 7.08-foot setback at the southeast corner of the building, which averages out to an approximate 5-foot setback (see Exhibit B—Site Plan).

(ii) ONT ALUCP — The site is entirely located within Safety Zone 2 of the ONT ALUCP, which restricts the building height from 35 to 40 feet on the northeast portion of the site. Due to the height restrictions, the building was shifted southwest in order to place most of the building outside of the most restrictive area (see Exhibit F – Allowable Building Heights).

(iii) Consistency with Adjacent Development — The Variance request will enable the Applicant to construct the Project with a street property line along Mission Boulevard that is more consistent with their previous larger industrial development, located east of the Project site at the northwest corner of Grove Avenue and Mission Boulevard (see Exhibit G—Site Planning Consistency). Due to similar site constraints as those listed above, a Variance for that building was approved, which allowed for an approximate 6-foot building setback from the Mission Boulevard property line. Due to the angle of Mission Boulevard, as described in section (i) above, a pinch point was created at the southwest corner of the Project site, which resulted in a 2.67-foot setback from the Mission Avenue property line. However, when taking the average property line setback of the overall south exterior building elevation into consideration (approximately 5 feet), the building setback to the street property line will be compatible to that approved for the development to the east (6 feet). Further, when considering the Project site's public right-of-way improvements along Mission Boulevard (including a new 6.42-foot-wide parkway, a 5-foot-wide sidewalk, and a 5.67-foot-wide neighborhood edge to be constructed as a result of this Project), the proposed building will still be 19.75 feet from the street (measured to curb face) at the southwest corner and 24.16 feet at the southeast corner.

Therefore, as the Project site is limited in terms of setbacks and ingress/egress options as it fronts onto three public streets, and development intensity, due to its proximity to Ontario International Airport and the associated impacts, staff believes that the requested Variance is appropriate. Granting of the Variance will allow the developer to maximize the development and intensification of the southerly portion of the Project site, while orienting less-intensive uses, like the parking lot located along the northerly portion of the site. Further, the Variance will facilitate the attractive and orderly and economically feasible development of the site, which has been vacant and vulnerable to rubbish dumping and other nuisance activities for over ten years.

In acting on a Variance request, the Development Advisory Board must consider and clearly establish certain findings of fact, which are prescribed by State law and the City's Development Code, which are then included in a recommendation to the Planning Commission. The facts and findings have been provided in *Part III – The Decision*, below, as basis for approval of the requested Variance.

### ***Part II—RECITALS***

WHEREAS, the Application is a Project pursuant to the California Environmental Quality Act, commencing with Public Resources Code Section 21000 (hereinafter referred to as "CEQA"); and

WHEREAS, the Project is exempt from CEQA pursuant to a categorical exemption (listed in CEQA Guidelines Article 19, commencing with Section 15300) and the application of that categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board ("DAB") the responsibility and authority to review and make recommendation to the Planning Commission on the subject Application; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan (hereinafter referred to as "ALUCP"), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, on August 15, 2022, the DAB of the City of Ontario conducted a hearing on the Application and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.

### ***Part III—THE DECISION***

NOW, THEREFORE, IT IS HEREBY FOUND AND DETERMINED by the Development Advisory Board of the City of Ontario, as follows:

**SECTION 1: *Environmental Determination and Findings.*** As the recommending body for the Project, the DAB has reviewed and considered the information contained in the administrative record for the Project. Based upon the facts and information contained in the administrative record, including all written and oral evidence presented to the DAB, the DAB finds as follows:

(1) The proposed Development Plan is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, In-Fill Development Projects) of the CEQA Guidelines and meets all of the following conditions:

(a) The Project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. The proposed Project is located within the Business Park land use district of the Policy Plan Land Use Map, and the IL (Light Industrial) zoning district. The proposed Project is consistent with all applicable general plan policies, as well as with the IL (Light Industrial) zoning designation and applicable Development Code regulations.

(b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses. The Project is proposed within the established boundaries of the City of Ontario, on a project site totaling 1.3 acres of land, which is surrounded by established industrial land uses.

(c) The Project site has no value as habitat for endangered, rare, or threatened species. The site was previously graded and developed with residential dwelling units, which have since been demolished, and is located within an existing industrial corridor along a busy trucking route (Mission Boulevard).

(d) Approval of the Project would not result in any significant effects relating to traffic, noise, air quality, or water quality. The proposed light industrial warehouse building is similar to, and of no greater impact than other allowed uses and development projects within the IL (Light Industrial) zoning district.

(e) The site can be adequately served by all required utilities and public services. All necessary wet and dry utilities are available to the Project site.

Furthermore, the proposed Variance is categorically exempt pursuant to Section 15305 (Class 5, Minor Alterations in Land Use Limitations) of the CEQA Guidelines, consisting of minor alterations in land use limitations in areas with an average slope of less than 20 percent, which do not result in any changes in land use or density.

(2) The application of the categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

(3) The determination of CEQA exemption reflects the independent judgment of the DAB.

**SECTION 2: Housing Element Compliance.** Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the recommending body for the Project, the DAB finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the Project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan, as the Project site is not one of the properties in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix.

**SECTION 3: ALUCP Compliance.** The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land Use Compatibility Plan, establishing the Airport Influence Area for Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the recommending body for the Project, the DAB has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the DAB, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP based on the following analyses:

The proposed Project is located within the Safety, Noise, Airspace Protection and Overflight Zones of the Ontario International Airport Land Use Compatibility Plan ("ONT ALUCP"). A consistency determination was completed, and the proposed Project is consistent with the policies and criteria of the ONT ALUCP, subject to conditions. The analysis for each compatibility factor is provided below:

(1) Safety Zone Analysis — The Project site is located within Safety Zone 2 and is bisected by the 40-foot height limit zone (see Exhibit F— Airport Land Use Compatibility Height Zones). Table 2-2: Safety Criteria of the ONT ALUCP was utilized to calculate Intensity limits for the Project site. The intensity calculations for the Project site are included in the Conditions of Approval. Any future changes to the proposed uses within the building shall be required to be consistent with the ONT ALUCP. Additional conditions have been placed on the Project to minimize the risks associated with an off-airport aircraft accident or emergency landing that include limiting the storage of hazardous material and Deed Notification.

(2) Noise Impact Zones — The Project site is located entirely within the 65-70 dB CNEL Noise Impact Zone of the ONT ALUCP. The proposed uses include warehouse, light manufacturing and ancillary office uses. These uses are consistent with Table 2-3: Noise Criteria of the ONT ALUCP provided that the light manufacturing and office uses are able to meet noise attenuating criteria of 50 dB interior noise levels. Acoustical data documenting that the structure will be designed to comply with the criteria should be provided. However, if evidence is provided that the indoor noise generated by the use itself exceeds the required 50 dB interior noise levels criteria then an exception can be made consistent with Policy N4c of the ONT ALUCP to not require interior noise attenuation.

(3) Airspace Protection Zones Analysis — The Project site is located within an area where 35- to 45-foot building heights are allowed. Allowable building heights gradually increase from the northeast to the southwest corner of the Project site. The proposed building is located on the southern portion of the site and the proposed building height for this Project is approximately 37 feet high, which meets the allowable building height for that portion of the site and is consistent with the ONT ALUCP. However, given its proximity to ONT, the Applicant has been required to file for an Obstruction Evaluation with the FAA and receive a Determination of No Hazard prior building permit issuance. The application has already been filed (Aeronautical Study No. 2022-AWP-5353-OE) and preliminary review has assessed that lighting and marking of the building are not necessary for aviation safety at this time. The determination does not, however, include temporary construction equipment such as cranes, derricks, etc. and any equipment which has a greater height of 40 feet (the allowable height per the Aeronautical Study) shall require separate notice to the FAA.

(4) Overflight Notification Zones Analysis — The Project site is located within the Avigation Easement Area of the Overflight Notification Zone of the ONT ALUCP. The Project was evaluated and found to be consistent with the policies and criteria of the Overflight Policies of the ONT ALUCP.

**SECTION 4: Concluding Facts and Reasons.** Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the facts and information set forth in Parts I (Background and Analysis) and II (Recitals), above, and the specific findings set forth in Sections 1 through 3, above, the DAB hereby concludes as follows:

(1) Development Plan (File No. PDEV21-028)

(a) ***The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.*** The proposed Project is located within the Business Park (0.6 FAR) land use district of the Policy Plan Land Use Map, and the IL (Light Industrial) zoning district. With the Project's conditions of approval and the related Variance file, the development standards and conditions under which the proposed Project will be constructed and maintained is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan. With approval of Lot Line Adjustment, Right of Way Dedication, and Summary Vacation applications to dedicate the southwest corner of the site back to the applicant and relocate the second property line to create one contiguous Project site, the proposed light industrial warehouse building will be developed on the vacant parcel and contribute a well-designed building to the existing industrial neighborhood, as well as provide landscape, drainage, parking, sidewalks, and other visual and safety improvements; and

(b) ***The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located.*** With implementation of the Project's conditions of approval and approval of the related Variance application, the Project has been designed consistent with the requirements of the City of Ontario Development Code and the IL (Light Industrial) zoning district, including standards relative to the particular land use proposed (light industrial warehouse), as-well-as building intensity, building and parking setbacks, building height, number of off-street parking and loading spaces, on-site and off-site landscaping, and fences, walls and obstructions. The Project will be located within an existing industrial corridor and adjacent to other industrial land uses; as such, the Project will not impose any impacts to privacy or views; and

(c) ***The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the Project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed Project.*** The Development Advisory Board has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the Development Code are maintained; [ii] the Project will not endanger the public health, safety or general welfare; [iii] the Project will not result in any significant environmental impacts; [iv] the Project will be in harmony with the area in which it is located; and [v] the Project will be in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan, and the Development Code. With implementation of the Project's conditions of approval and approval of the related Variance application, the Project will improve the vacant site with a well-designed new building, paving, infrastructure, and landscaping; and

(d) ***The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.*** The proposed Project has been reviewed for consistency with the general development standards and guidelines of the Development Code that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of off-street parking and loading spaces, parking lot dimensions, design and landscaping, bicycle parking, on-site landscaping, and fences and walls, as-well-as those development standards and guidelines specifically related to the particular land use being proposed (light industrial warehouse). As a result of this review, the Development Advisory Board has determined that the Project, when implemented in conjunction with the conditions of approval and related Variance application, will be consistent with the development standards and guidelines described in the Development Code.

(2) Variance (File No. PVAR21-005)

(a) ***The strict or literal interpretation and enforcement of the specified regulation would result in practical difficulty or unnecessary physical hardship inconsistent with the objectives of the development regulations contained in this Development Code.*** Due to a variety of impacts as outlined in Variance finding "b." below, the strict or literal interpretation and enforcement of the specified front building setback along an arterial street would result in practical difficulty or unnecessary physical hardship inconsistent with the objectives of the development regulations contained in the Development Code. Reducing the minimum building setback along an arterial street from 20 feet to 2.67 feet will allow the Applicant to produce an orderly and economically feasible development that is otherwise consistent with all other Development Code regulations and satisfies the ONT ALUCP.

(b) ***There are exceptional or extraordinary circumstances or conditions applicable to the property involved, or to the intended use of the property, that do not apply generally to other properties in the vicinity and in the same zoning district.*** The Project site is subject to extraordinary circumstances and conditions that other typical sites in the same zoning district are not subject to. As such, the Applicant has requested a Variance to reduce the minimum building setback along an arterial street from 20 feet to 2.67 feet in order to receive relief from the following constraints and facilitate the orderly and economically-feasible development of a light industrial warehouse:



- Street frontages.
  - Site planning is limited due to the site fronting onto three streets.
  - Whereas ordinary developments in the same zoning district may enjoy a zero-foot setback at the interior lot lines, the Project site must provide 10- to 20-foot setbacks along three property lines, which greatly impacts building and parking placement.
  - Ingress/egress activities are relegated to one of the three street frontages (California Street), as the other two streets cannot safely support ingress/egress. Mission Boulevard is a high-speed truck route, and drive approaches are discouraged unless no other option exists. The frontage at Cucamonga Avenue does not have enough space to safely accommodate a drive approach, due to proximity of street intersections at both the northwest and southwest corners of the Project site.
  
- Airport impacts.
  - The Project site is located within Safety Zone 2 of the Ontario International Airport, which restricts building height and number of people per acre.
  - The northeast portion of the Project site is located within the 35- to 40-foot maximum height zone.
  - Due to these restrictions, the building was shifted southwest in order to place the majority of the building outside of the more restrictive area along the northeast portion of the Project site.
  
- Consistency with neighboring development.
  - Allowance of the Variance request would enable the Applicant to build this Project similarly to the neighboring larger industrial development, located east of the Project site, by continuing a similar building setback to property line along Mission Boulevard. Due to similar site constraints as those listed above, a Variance application for this neighboring industrial building was approved, which allowed for an approximately 6-foot property line setback along Mission Boulevard. When taking the angle of Mission Boulevard, which traverses northwest-southeast, into consideration, the Proposed project's average building setback to property line will be similar (approximately 5 feet). Furthermore, the Project will be required to construct public right-of-way improvements, which will site the building 19.75 feet away from the public street (curb face) at the southwest corner of the Project site, and 24.16 feet away from the southeast corner of the Project site, so as to provide additional separation between the building and the street; and

(c) ***The strict or literal interpretation and enforcement of the specified regulation would deprive the Applicant of privileges enjoyed by the owners of other properties in the same zoning district.*** The requested relief from the minimum building setback to an arterial street, from 20 feet to 2.67 feet will allow for greater design flexibility and will serve to equalize development rights between the Applicant and owners of property in the same zoning district, located within the area of the Project site, as the adjacent industrial development located to the east of the Project site with similar impacts was granted a Variance for setbacks along the same street (Mission Boulevard). Further, while the majority of the immediate developments in proximity of the Project site are also impacted by some or all of the same issues, typical developments in the same zoning district throughout the City and located outside of the ONT ALUCP Safety Zones enjoy greater available buildable areas, building heights and land use intensities. Approval of the Variance request would help equalize development opportunities available to the Project site; and

(d) ***The granting of the Variance will not be detrimental to the public health, safety, or welfare, or be materially injurious to properties or improvements in the vicinity.*** A thorough review and analysis of the proposed Variance and its potential to adversely impact properties surrounding the subject site was completed by the Planning Department. As a result of this review, certain design considerations will be incorporated into the Project as conditions of approval, to mitigate identified impacts to an acceptable level, including the use of upgraded materials, the inclusion of certain architectural design elements on building exteriors, intensified landscape elements, and decorative paving; and

(e) **The proposed Variance is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan, and the purposes of any applicable specific plan or planned unit development, and the purposes of this Development Code.** The proposed Project is located within the Business Park (0.6 FAR) land use district of the Policy Plan Land Use Map, and the IL (Light Industrial) zoning district. The development standards and conditions of approval under which the proposed Project will be constructed and maintained are consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.

**SECTION 5: Development Advisory Board Action.** Based on the findings and conclusions set forth in Sections 1 through 4, above, the DAB hereby recommends the Planning Commission APPROVES the Application subject to each and every condition set forth in the Department reports included as Attachment A of this Decision and incorporated herein by this reference.

**SECTION 6: Indemnification.** The Applicant shall agree to defend, indemnify, and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Ontario shall promptly notify the Applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**SECTION 7: Custodian of Records.** The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

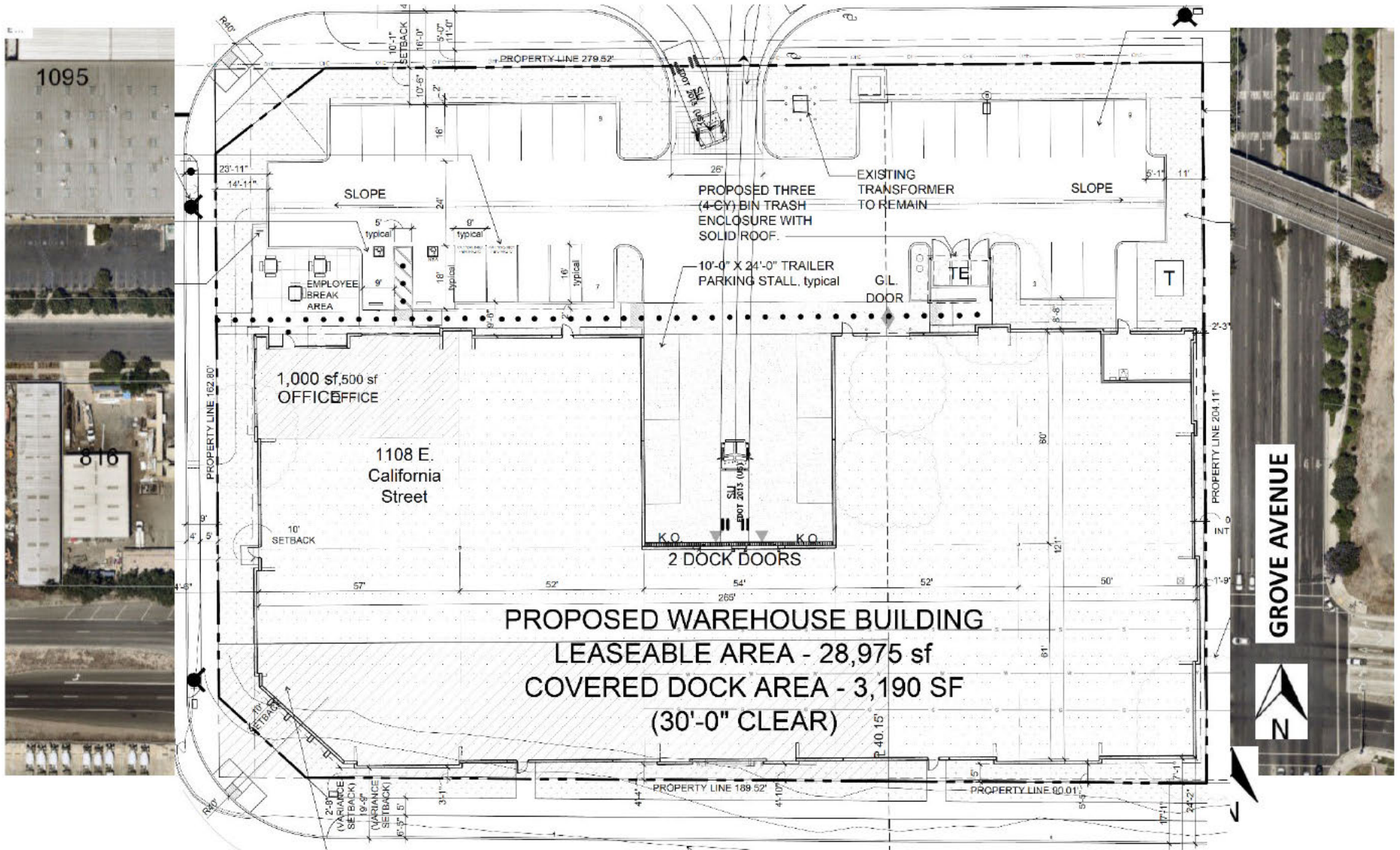
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APPROVED AND ADOPTED this 15th day of August 2022.

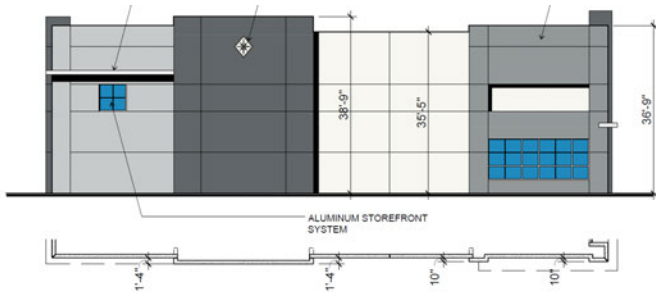
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Development Advisory Board Chairman

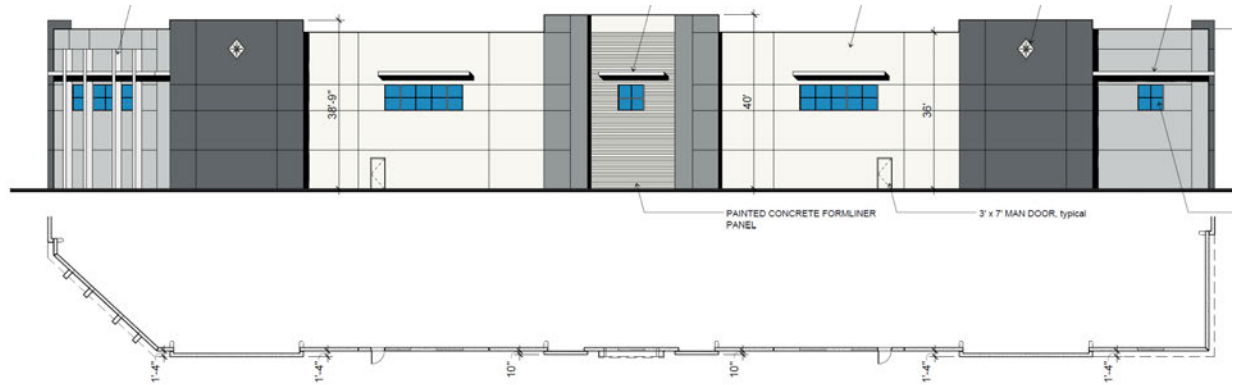
**Exhibit A—PROJECT LOCATION MAP**  
**Exhibit B—SITE PLAN**



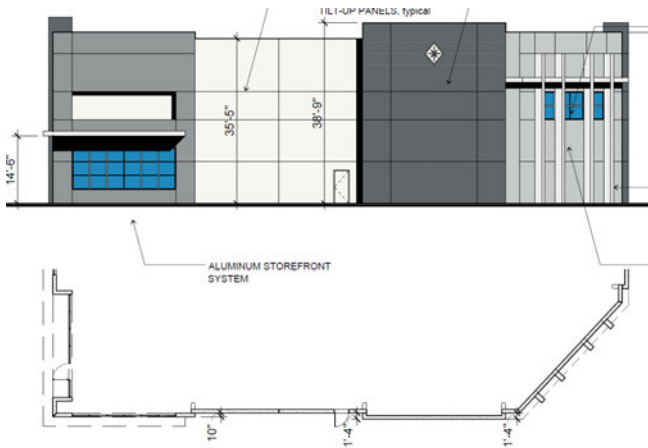
**Exhibit C— EXTERIOR ELEVATIONS**



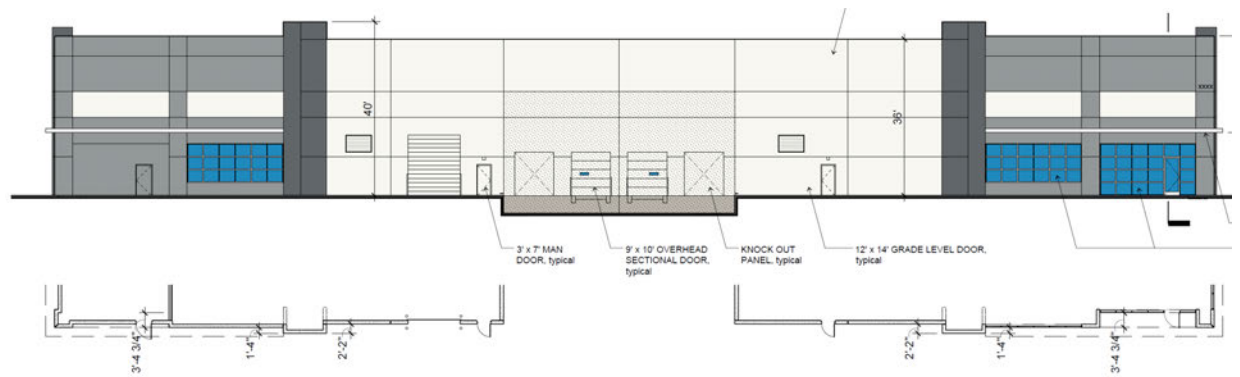
**1. EAST ELEVATION**



**2. SOUTH ELEVATION**



**3. WEST ELEVATION**



**4. NORTH ELEVATION**

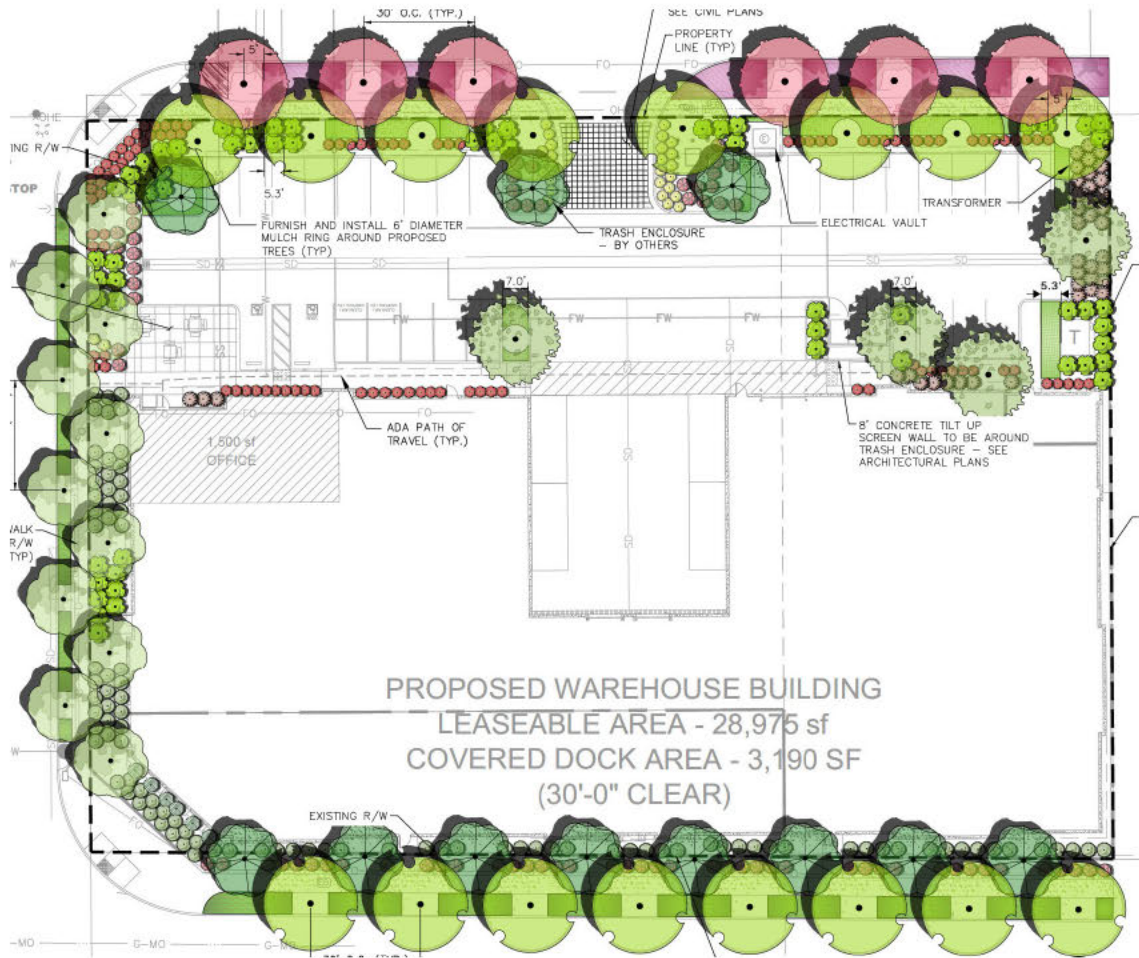
**BUILDING ELEVATIONS**

***Exhibit D—CONCEPTUAL RENDERING***



**View Looking Northeast**

**Exhibit E—LANDSCAPE PLAN**



**TREES**



QTY	BOTANICAL / COMMON NAME
6	CERCIS CANADENSIS 'FOREST PANSY' / FOREST PANSY EASTERN REDBUD HYDROZONE B
11	EUCALYPTUS LEUCOXYLON / WHITE IRONBARK HYDROZONE B
11	LAGERSTROEMIA INDICA / CRAPE MYRTLE HYDROZONE B
16	QUERCUS AGRIFOLIA / COAST LIVE OAK STANDARD TRUNK, HYDROZONE B
4	ULMUS PARVIFOLIA / CHINESE ELM HYDROZONE B

**SHRUBS**



QTY	BOTANICAL / COMMON NAME
26	ANIGOZANTHOS FLAVIDUS 'BUSH GOLD' / KANGAROO PAW HYDROZONE A
104	CALLISTEMON CITRINUS 'LITTLE JOHN' / DWARF BOTTLE BRUSH HYDROZONE A
62	DIETES BICOLOR / FORTNIGHT LILY HYDROZONE A
6	JUNIPERUS SCOPULORUM 'SKYROCKET' / SKYROCKET JUNIPER
2	LANTANA CAMARA / LANTANA HYDROZONE A
98	OLEA EUROPAEA 'LITTLE OLLIE'™ / LITTLE OLLIE OLIVE HYDROZONE A
40	WESTRINGIA FRUTICOSA 'MORNING LIGHT' / MORNING LIGHT COAST ROSEMARY HYDROZONE A

**GRASSES**



QTY	BOTANICAL / COMMON NAME
72	MUHLENBERGIA DUBIA / PINE MUHLY HYDROZONE A

**GROUND COVERS**



QTY	BOTANICAL / COMMON NAME
95	LANTANA MONTEVIDENSIS / TRAILING LANTANA HYDROZONE A
98	LONICERA JAPONICA 'CHINENSIS' / JAPANESE HONEYSUCKLE HYDROZONE A
107	MYOPORUM PARVIFOLIUM 'PUTAH CREEK' / PUTAH CREEK MYOPORUM HYDROZONE A

**Exhibit F: ALLOWABLE BUILDING HEIGHTS**

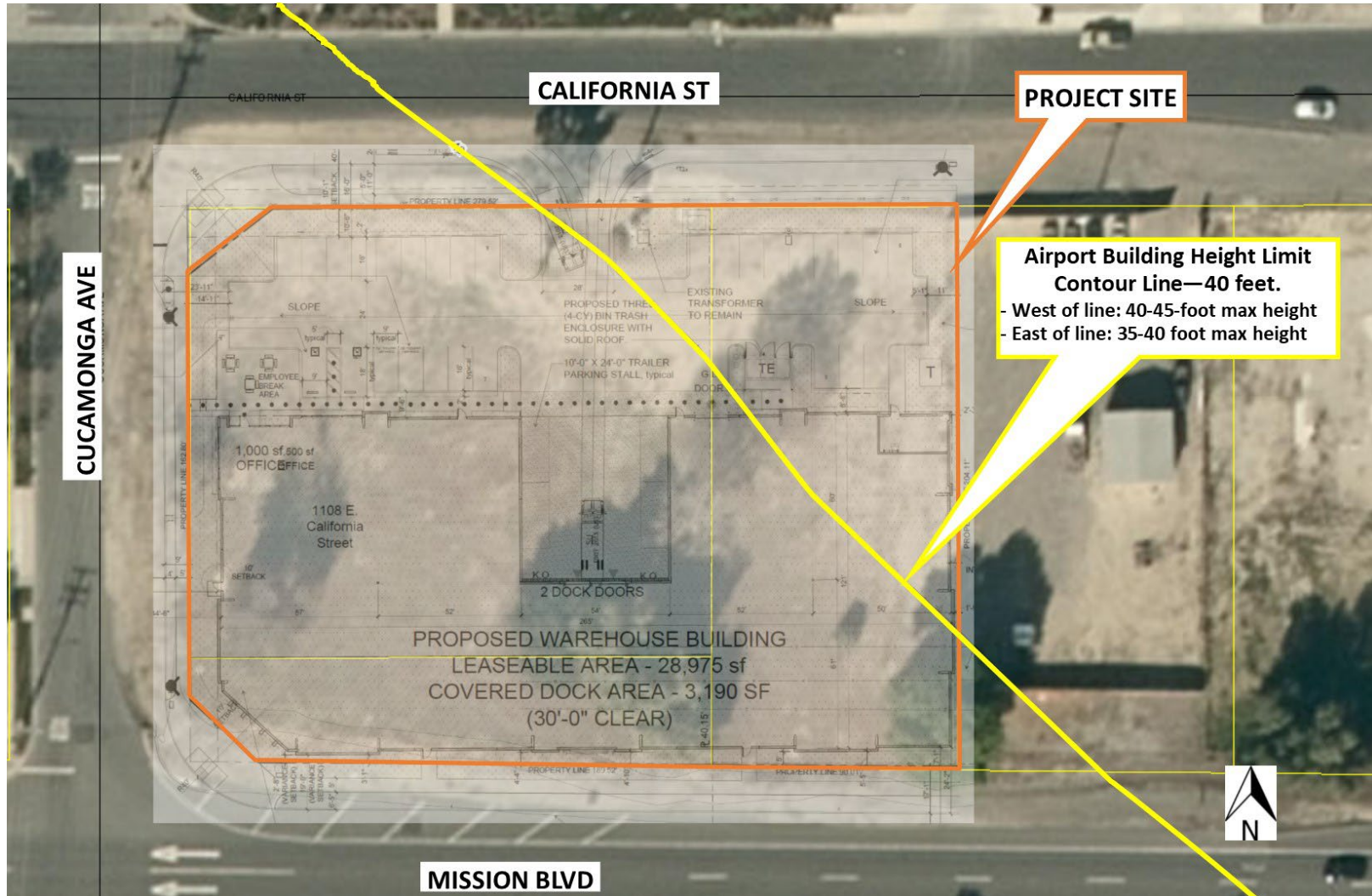
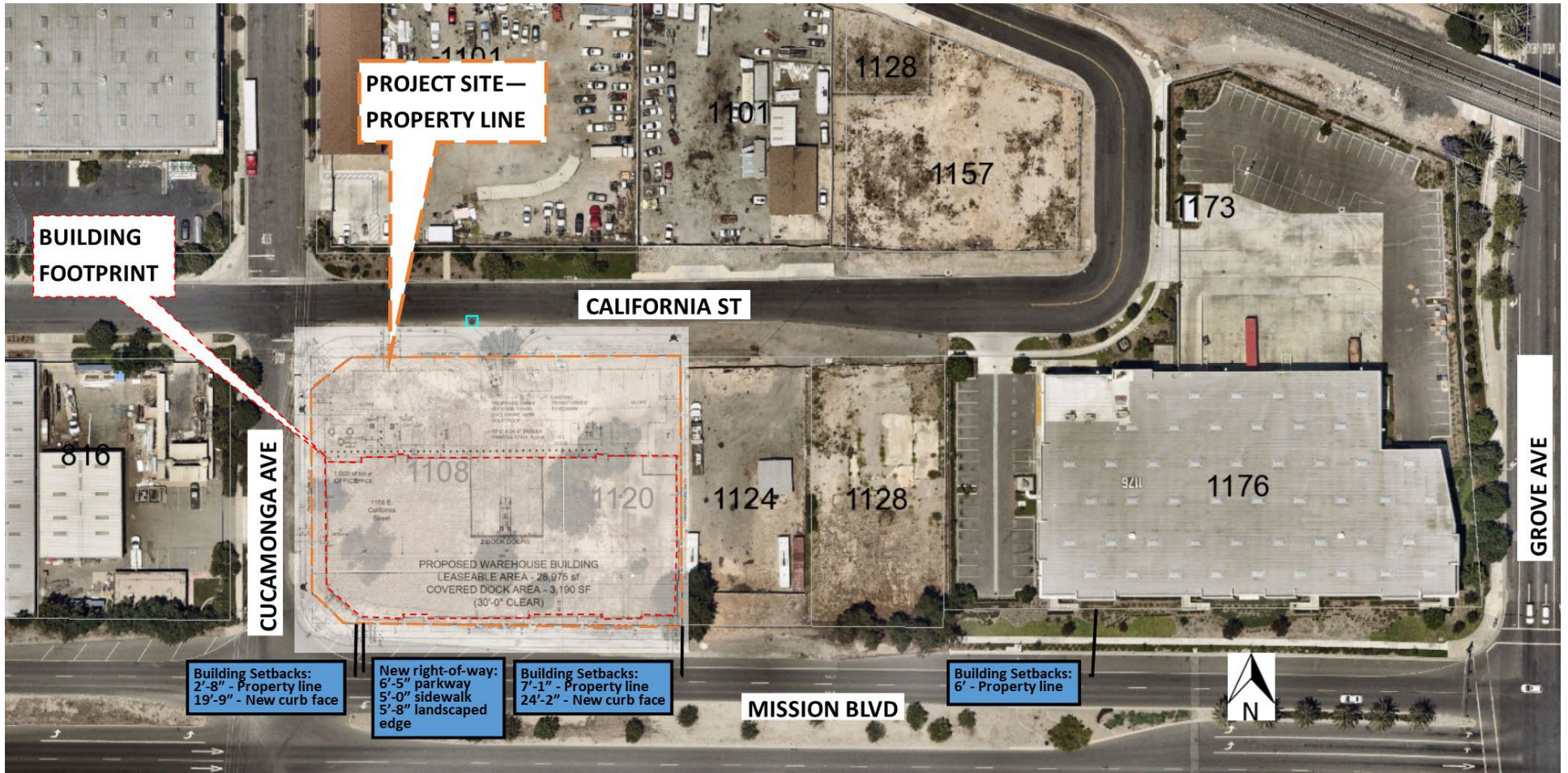


Exhibit G – SITE PLANNING CONSISTENCY





## **Attachment A—Departmental Conditions of Approval**

*(Departmental conditions of approval follow this page)*

**Date Prepared:** 7/21/2022

**File No:** PVAR21-005

**Related Files:** PDEV21-028

**Project Description:** A Variance to reduce the building setback along an arterial street, from 20 feet to 2.67 feet, in conjunction with a Development Plan (File No. PDEV21-028) to construct one industrial building totaling 32,165 square feet on 1.3 acres of land located at 1108 and 1120 East California Street, within the IL (Light Industrial) zoning district; (APNs: 1049-382-01 and 1049-382-02); **submitted by Phelan Development Company.**

**Prepared By:** Alexis Vaughn, Associate Planner  
Phone: 909.395.2416 (direct)  
Email: [avaughn@ontarioca.gov](mailto:avaughn@ontarioca.gov)

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

**1.0 Standard Conditions of Approval.** The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

**2.0 Special Conditions of Approval.** In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

**2.1 Time Limits.** Variance approval shall become null and void one year following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director, except that a Variance approved in conjunction with a Development Plan shall have the same time limits as said Development Plan. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

**2.2 Environmental Review.**

**(a)** The proposed project is categorically exempt from the requirements of the California Environmental Quality Act of 1970 (CEQA), as amended, and the Guidelines promulgated thereunder, pursuant to Section 15305 (Class 5, Minor Alteration in Land Use Limitations) of the CEQA Guidelines.

**(b)** The proposed project is also categorically exempt from the requirements of the California Environmental Quality Act of 1970 (CEQA), as amended, and the Guidelines promulgated thereunder, pursuant to **Section 15332 (Class 32, In-Fill Development Projects)** of the CEQA Guidelines, and meets all of the following conditions:

**(i)** The Project is consistent with the applicable general plan designation and all applicable general plan policies, as well as the applicable zoning designation and regulations;

**(ii)** The proposed development occurs within city limits, on a project site of no more than five acres, and is substantially surrounded by urban uses;

**(iii)** The project site has no value as habitat for endangered, rare, or threatened species;

**(iv)** Approval of the Project will not result in any significant effects relating to traffic, noise, air quality, or water quality; and

**(v)** The Project site can be adequately served by all required utilities and public services.

**(c)** If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

**(d)** If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

**2.3** Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**2.4** Additional Fees.

**(a)** Within 5 days following final application approval, the Notice of Exemption ("NOE") filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act ("CEQA"). The filing of an NOE is voluntary; however, failure to provide said fee within the time specified will result in the extension of the statute of limitations for the filing of a CEQA lawsuit from 30 days to 180 days.

**(b)** After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

**2.5** Additional Requirements.

**(a)** Approval of File No. PVAR21-005 is contingent on Planning Commission approval of related File No. PDEV21-028.



## LAND DEVELOPMENT DIVISION CONDITIONS OF APPROVAL

303 East B Street, Ontario, California 91764 Phone: 909.395.2036 / Fax: 909.395.2420

**Date Prepared:** 7/21/2022

**File No:** PDEV21-028

**Related Files:** PVAR21-005

**Project Description:** A Development Plan (File No. PDEV21-028 to construct one industrial building totaling 32,165 square feet, in conjunction with a Variance (File No. PVAR21-005) to reduce the building setback along an arterial street, from 20 feet to 2.67 feet, on 1.3 acres of land located at 1108 and 1120 East California Street, within the IL (Light Industrial) zoning district; (APNs: 1049-382-01 and 1049-382-02); **submitted by Phelan Development Company.**

**Prepared By:** Alexis Vaughn, Associate Planner  
Phone: 909.395.2416 (direct)  
Email: [avaughn@ontarioca.gov](mailto:avaughn@ontarioca.gov)

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

**1.0 Standard Conditions of Approval.** The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

**2.0 Special Conditions of Approval.** In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

**2.1** Time Limits.

**(a)** Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

**2.2** General Requirements. The Project shall comply with the following general requirements:

**(a)** All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape

and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

**(b)** The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

**(c)** The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

### **2.3** Landscaping.

**(a)** The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

**(b)** Comply with the conditions of approval of the Planning Department; Landscape Planning Division.

**(c)** Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

**(d)** Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

**2.4** Walls and Fences. All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

### **2.5** Parking, Circulation and Access.

**(a)** The Project shall comply with the applicable off-street parking, loading and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

**(b)** All drive approaches shall be provided with an enhanced pavement treatment. The enhanced paving shall extend from the back of the approach apron, into the site, to the first intersecting drive aisle or parking space.

**(c)** Areas provided to meet the City's parking requirements, including off-street parking and loading spaces, access drives, and maneuvering areas, shall not be used for the outdoor storage of materials and equipment, nor shall it be used for any other purpose than parking.

**(d)** The required number of off-street parking spaces and/or loading spaces shall be provided at the time of site and/or building occupancy. All parking and loading spaces shall be maintained in good condition for the duration of the building or use.

(e) Parking spaces specifically designated and conveniently located for use by the physically disabled shall be provided pursuant to current accessibility regulations contained in State law (CCR Title 24, Part 2, Chapters 2B71, and CVC Section 22507.8).

(f) Bicycle parking facilities, including bicycle racks, lockers, and other secure facilities, shall be provided in conjunction with development projects pursuant to current regulations contained in CALGreen (CAC Title 24, Part 11).

## **2.6** Outdoor Loading and Storage Areas.

(a) Loading facilities shall be designed and constructed pursuant to Development Code Division 6.03 (Off-Street Parking and Loading).

(b) Areas designated for off-street parking, loading, and vehicular circulation and maneuvering, shall not be used for the outdoor storage of materials or equipment.

(c) Outdoor loading and storage areas, and loading doors, shall be screened from public view pursuant to the requirements of Development Code Paragraph 6.02.025.A.2 (Screening of Outdoor Loading and Storage Areas, and Loading Doors) Et Seq.

## **2.7** Site Lighting.

(a) All off-street parking facilities shall be provided with nighttime security lighting pursuant to Ontario Municipal Code Section 4-11.08 (Special Residential Building Provisions) and Section 4-11.09 (Special Commercial/Industrial Building Provisions), designed to confine emitted light to the parking areas. Parking facilities shall be lighted from sunset until sunrise, daily, and shall be operated by a photocell switch.

(b) Unless intended as part of a master lighting program, no operation, activity, or lighting fixture shall create illumination on any adjacent property.

## **2.8** Mechanical and Rooftop Equipment.

(a) All exterior roof-mounted mechanical, heating and air conditioning equipment, and all appurtenances thereto, shall be completely screened from public view by parapet walls or roof screens that are architecturally treated so as to be consistent with the building architecture.

(b) All ground-mounted utility equipment and structures, such as tanks, transformers, HVAC equipment, and backflow prevention devices, shall be located out of view from a public street, or adequately screened through the use of landscaping and/or decorative low garden walls.

**2.9** Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

**2.10** Signs. All Project signage shall comply with the requirements of Ontario Development Code Division 8.1 (Sign Regulations) and is subject to review and approval of a sign plan application.

**2.11** Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noised levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

**2.12** Environmental Review.

**(a)** The proposed project is categorically exempt from the requirements of the California Environmental Quality Act of 1970 (CEQA), as amended, and the Guidelines promulgated thereunder, pursuant to Section 15305 (Class 5, Minor Alteration in Land Use Limitations) of the CEQA Guidelines.

**(b)** The proposed project is also categorically exempt from the requirements of the California Environmental Quality Act of 1970 (CEQA), as amended, and the Guidelines promulgated thereunder, pursuant to **Section 15332 (Class 32, In-Fill Development Projects)** of the CEQA Guidelines, and meets all of the following conditions:

**(i)** The Project is consistent with the applicable general plan designation and all applicable general plan policies, as well as the applicable zoning designation and regulations;

**(ii)** The proposed development occurs within city limits, on a project site of no more than five acres, and is substantially surrounded by urban uses;

**(iii)** The project site has no value as habitat for endangered, rare, or threatened species;

**(iv)** Approval of the Project will not result in any significant effects relating to traffic, noise, air quality, or water quality; and

**(v)** The Project site can be adequately served by all required utilities and public services.

**(c)** If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

**(d)** If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

**2.13** Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.



**2.14** Additional Fees.

**(a)** Within 5 days following final application approval, the Notice of Exemption ("NOE") filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act ("CEQA"). The filing of an NOE is voluntary; however, failure to provide said fee within the time specified will result in the extension of the statute of limitations for the filing of a CEQA lawsuit from 30 days to 180 days.

**(b)** After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

**2.15** Additional Requirements.

**(a)** The applicant shall work with Planning and Landscaping during the Plan Check process to address all final design details, including landscape planters, outdoor break area, architectural enhancements, etc.

**(b)** Approval of File No. PDEV21-028 is contingent on Planning Commission approval of related File No. PVAR21-005.



**ENGINEERING DEPARTMENT  
CONDITIONS OF APPROVAL**

(Engineering Services Division [Land Development Section and Environmental Section], Traffic & Transportation Division, Ontario Municipal Utilities Company and Broadband Operations & Investment and Revenue Resources Department Conditions incorporated)

<input checked="" type="checkbox"/> <b>DEVELOPMENT PLAN</b> <input type="checkbox"/> OTHER	<input type="checkbox"/> PARCEL MAP <input type="checkbox"/> TRACT MAP <input type="checkbox"/> FOR CONDOMINIUM PURPOSES
<b>PROJECT FILE NO. <u>PDEV21-028</u></b>  RELATED FILE NO(S). _____	
<input checked="" type="checkbox"/> ORIGINAL <input type="checkbox"/> REVISED: __/__/__	

CITY PROJECT ENGINEER & PHONE NO: Antonio Alejos *A.A.* (909) 395-2384

CITY PROJECT PLANNER & PHONE NO: Alexis Vaughn (909) 395-2416

DAB MEETING DATE: August 15<sup>th</sup>, 2022

PROJECT NAME / DESCRIPTION: PDEV21-028, a Development Plan to construct one (1) industrial building totaling 32,425 square feet on 1.3 acres of land

LOCATION: 1108 & 1120 East California Street

APPLICANT: Phelan Development Company

REVIEWED BY: *[Signature]* 8/5/22  
 FOR Raymond Lee, P.E. Date  
 Assistant City Engineer

APPROVED BY: *[Signature]* 8/5/22  
 FOR Khoi Do, P.E. Date  
 City Engineer



**THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE GENERAL STANDARD CONDITIONS OF APPROVAL ADOPTED BY THE CITY COUNCIL (RESOLUTION NO. 2017-027) AND THE PROJECT SPECIFIC CONDITIONS OF APPROVAL SPECIFIED HEREIN. ONLY APPLICABLE CONDITIONS OF APPROVAL ARE CHECKED. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL APPLICABLE CONDITIONS OF APPROVAL PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, ISSUANCE OF PERMITS AND/OR OCCUPANCY CLEARANCE, AS SPECIFIED IN THIS REPORT.**

**1. PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, APPLICANT SHALL:** Check When Complete

- 1.01 Dedicate to the City of Ontario, the right-of-way, described below:   
 \_\_\_\_\_ feet on \_\_\_\_\_  
 Property line corner 'cut-back' required at the intersection of \_\_\_\_\_  
 and \_\_\_\_\_.
- 1.02 Dedicate to the City of Ontario, the following easement(s): \_\_\_\_\_   
 \_\_\_\_\_
- 1.03 Restrict vehicular access to the site as follows: \_\_\_\_\_
- 1.04 Vacate the following street(s) and/or easement(s):   
 A. All interfering on-site easements shall be quitclaimed, vacated, and/or submit non-interference letter from affected owner/utility company.
- 1.05 Submit a copy of a recorded private reciprocal use agreement or easement. The agreement or easement shall ensure, at a minimum, common ingress and egress and joint maintenance of all common access areas and drive aisles.
- 1.06 Provide (original document) Covenants, Conditions and Restrictions (CC&Rs) as applicable to the project and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&Rs shall provide for, but not be limited to, common ingress and egress, joint maintenance responsibility for all common access improvements, common facilities, parking areas, utilities, median and landscaping improvements and drive approaches, in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project. The CC&Rs shall also address the maintenance and repair responsibility for public improvements/utilities (sewer, water, storm drain, recycled water, etc.) located within open space/easements. In the event of any maintenance or repair of these facilities, the City shall only restore disturbed areas to current City Standards.
- 1.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at [http://geotracker.waterboards.ca.gov/profile\\_report?global\\_id=T10000004658](http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658).
- 1.08 File an application for Reapportionment of Assessment, together with payment of a reapportionment processing fee, for each existing assessment district listed below. Contact the Financial Services Department at (909) 395-2124 regarding this requirement.   
 (1) \_\_\_\_\_  
 (2) \_\_\_\_\_
- 1.09 Prepare a fully executed Subdivision Agreement (on City approved format and forms) with



accompanying security as required, or complete all public improvements.

- 1.10 Provide a monument bond (i.e. cash deposit) in an amount calculated by the City's approved cost estimate spreadsheet (available for download on the City's website: [www.ontarioca.gov](http://www.ontarioca.gov)) or as specified in writing by the applicant's Registered Engineer or Licensed Land Surveyor of Record and approved by the City Engineer, whichever is greater.
- 1.11 Provide a preliminary title report current to within 30 days.
- 1.12 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Investment and Revenue Resources at (909) 395-2341 to initiate the CFD application process.
- 1.13 Ontario Ranch Developments: 
  - 1) Provide evidence of final cancellation of Williamson Act contracts associated with this tract, prior to approval of any final subdivision map. Cancellation of contracts shall have been approved by the City Council.
  - 2) Provide evidence of sufficient storm water capacity availability equivalents (Certificate of Storm Water Treatment Equivalents).
  - 3) Provide evidence of sufficient water availability equivalents (Certificate of Net MDD Availability).
- 1.14 Other conditions: \_\_\_\_\_

## 2. PRIOR TO ISSUANCE OF ANY PERMITS, APPLICANT SHALL:

### A. GENERAL (Permits includes Grading, Building, Demolition and Encroachment )

- 2.01 Record Parcel Map/Tract Map No. \_\_\_\_\_ pursuant to the Subdivision Map Act and in accordance with the City of Ontario Municipal Code.
- 2.02 Submit a PDF of the recorded map to the City Engineer's office.
- 2.03 Note that the subject parcel is a recognized parcel in the City of Ontario per \_\_\_\_\_
- 2.04 Note that the subject parcel is an 'unrecognized' parcel in the City of Ontario and shall require a Certificate of Compliance to be processed unless a deed is provided confirming the existence of the parcel prior to the date of March 4, 1972.
- 2.05 Apply for a: 
  - Certificate of Compliance with a Record of Survey;
  - Lot Line Adjustment (Record a Conforming Deed with the County of San Bernardino within six months of the recordation of the Lot Line Adjustment to conform the new LLA legal description. Submit a copy of the recorded Conforming Deed to the Engineering Department.);
  - Make a Dedication of Easement.



- 2.06 Provide (original document) Covenants, Conditions and Restrictions (CC&R's), as applicable to the project, and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&R's shall provide for, but not be limited to, common ingress and egress, joint maintenance of all common access improvements, common facilities, parking areas, utilities and drive approaches in addition to maintenance requirements established in the Water Quality Management Plan ( WQMP), as applicable to the project.
- 2.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at [http://geotracker.waterboards.ca.gov/profile\\_report?global\\_id=T10000004658](http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658).
- 2.08 **Submit a soils/geology report.**
- 2.09 **Other Agency Permit/Approval: Submit a copy of the approved permit and/or other form of approval of the project from the following agency or agencies:** 
  - State of California Department of Transportation (Caltrans)
  - San Bernardino County Road Department (SBCRD)
  - San Bernardino County Flood Control District (SBCFCD)
  - Federal Emergency Management Agency (FEMA)
  - Cucamonga Valley Water District (CVWD) for sewer/water service
  - United States Army Corps of Engineers (USACE)
  - California Department of Fish & Game
  - Inland Empire Utilities Agency (IEUA)
  - Other: Non-interference Letter required from each easement holder listed in the title report**
- 2.10 **Dedicate to the City of Ontario the right-of-way described below:** 

**Property line corner 'cut-back' required at the intersection of California Street & Cucamonga Avenue and Cucamonga Avenue & Mission Boulevard.**
- 2.11 Dedicate to the City of Ontario the following easement(s): \_\_\_\_\_
- 2.12 **Vacate the following street(s) and/or easement(s):** 
  - a. **All interfering on-site easements shall be quitclaimed, vacated, and/or submit non-interference letter from affected owner/utility company.**
  - b. **A portion of public right-of-way along Mission Boulevard property frontage.**
- 2.13 Ontario Ranch Developments: 
  - 1) Submit a copy of the permit from the San Bernardino County Health Department to the Engineering Department and the Ontario Municipal Utilities Company (OMUC) for the destruction/abandonment of the on-site water well. The well shall be destroyed/abandoned in accordance with the San Bernardino County Health Department guidelines.
  - 2) Make a formal request to the City of Ontario Engineering Department for the proposed temporary use of an existing agricultural water well for purposes other than agriculture, such as grading, dust control, etc. Upon approval, the Applicant shall enter into an agreement with the City of Ontario and pay any applicable fees as set forth by said agreement.
  - 3) Design proposed retaining walls to retain up to a maximum of three (3) feet of earth. In no case shall a wall exceed an overall height of nine (9) feet (i.e. maximum 6-foot high wall on top of a maximum 3-foot high retaining wall).
- 2.14 **Submit a security deposit to the Engineering Department to guarantee construction of the**



public improvements required herein valued at 100% of the approved construction cost estimate. Security deposit shall be in accordance with the City of Ontario Municipal Code. Security deposit will be eligible for release, in accordance with City procedure, upon completion and acceptance of said public improvements.

- 2.15 The applicant/developer shall submit all necessary survey documents prepared by a Licensed Surveyor registered in the State of California detailing all existing survey monuments in and around the project site. These documents are to be reviewed and approved by the City Survey Office.
- 2.16 Pay all Development Impact Fees (DIF) to the Building Department. Storm Drain Development Impact Fee, approximately \$33,000, shall be paid to the Building Department. Final fee shall be determined based on the approved site plan.
- 2.17 Other conditions: 
  - a. The applicant/developer shall provide a final Utilities System Map (USM) as part of the precise grading plans submittal, provide a Final Utilities Systems Map that shows all existing and proposed Utilities (Potable Water, Recycled Water, Sewer, Storm Drain, and other utilities) including each of the City's public utilities' points of connection to the existing systems.



**B. PUBLIC IMPROVEMENTS**  
 (See attached Exhibit 'A' for plan check submittal requirements.)

2.18 Design and construct full public improvements in accordance with the City of Ontario Municipal Code, current City standards and specifications, master plans and the adopted specific plan for the area, if any. These public improvements shall include, but not be limited to, the following (checked boxes):

Improvement	Mission Bl	Cucamonga Av	California St	Street 4
<b>Curb and Gutter</b>	<input checked="" type="checkbox"/> New; 58-ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New; 24-ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New; 24-ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace
<b>AC Pavement</b>	<input type="checkbox"/> Replacement <input checked="" type="checkbox"/> Widen 5 (+/-) additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input checked="" type="checkbox"/> Widen 19-ft (+/-) additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input checked="" type="checkbox"/> Widen 11 (+/-) additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions
<b>PCC Pavement (Truck Route Only)</b>	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
<b>Drive Approach</b>	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
<b>Sidewalk</b>	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
<b>ADA Access Ramp</b>	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
<b>Parkway</b>	<input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation)	<input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation)	<input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)
<b>Raised Landscaped Median</b>	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
<b>Fire Hydrant</b>	<input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> New <input checked="" type="checkbox"/> Relocation	<input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation



<b>Sewer</b> (see Sec. 2.C)	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input checked="" type="checkbox"/> <b>Main</b> <input checked="" type="checkbox"/> <b>Laterals</b>	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
<b>Water</b> (see Sec. 2.D)	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input checked="" type="checkbox"/> <b>Services</b>	<input type="checkbox"/> Main <input type="checkbox"/> Service
Recycled Water (see Sec. 2.E)	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Traffic Signal System (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
<b>Traffic Signing and Striping</b> (see Sec. 2.F)	<input checked="" type="checkbox"/> <b>New</b> <input checked="" type="checkbox"/> <b>Modify existing</b>	<input checked="" type="checkbox"/> <b>New</b> <input type="checkbox"/> Modify existing	<input checked="" type="checkbox"/> <b>New</b> <input checked="" type="checkbox"/> <b>Modify existing</b>	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
<b>Street Light</b> (see Sec. 2.F)	<input checked="" type="checkbox"/> <b>New</b> <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> <b>New</b> <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> <b>New</b> <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation
Bus Stop Pad or Turn-out (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
<b>Storm Drain</b> (see Sec. 2G)	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input checked="" type="checkbox"/> <b>Catch Basin</b> <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
<b>Fiber Optics</b> (see Sec. 2K)	<input checked="" type="checkbox"/> <b>Conduit / Appurtenances</b>	<input checked="" type="checkbox"/> <b>Conduit / Appurtenances</b>	<input checked="" type="checkbox"/> <b>Conduit / Appurtenances</b>	<input type="checkbox"/> Conduit / Appurtenances
Overhead Utilities	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate
Removal of Improvements	_____	_____	_____	_____
Other Improvements	_____	_____	_____	_____

Specific notes for improvements listed in item no. 2.17, above:

- 2.19 Construct a 2" asphalt concrete (AC) grind and overlay on the following street(s): 
  - a. Mission Boulevard - Minimum limits of construction shall be along the entire property frontage, a minimum of 12-feet adjacent to lip of the new curb/gutter. Additional width may be required per accepted public improvement plans.
  
- 2.20 Reconstruction of the full pavement structural section, per City of Ontario Standard Drawing number 1011, may be required based on the existing pavement condition and final street design. Minimum limits of reconstruction shall be along property frontage, from street centerline to curb/gutter.





- 2.21 Make arrangements with the Cucamonga Valley Water District (CVWD) to provide  water service  sewer service to the site. This property is within the area served by the CVWD and Applicant shall provide documentation to the City verifying that all required CVWD fees have been paid.
- 2.22 Overhead utilities shall be under-grounded, in accordance with Title 7 of the City's Municipal Code (Ordinance No. 2804 and 2892). Developer may pay in-lieu fee, approximately \_\_\_\_\_, for undergrounding of utilities in accordance with Section 7-7.302.e of the City's Municipal Code.
- 2.23 Other conditions: \_\_\_\_\_

**C. SEWER**

- 2.24 A \_\_\_\_\_ inch sewer main is available for connection by this project in \_\_\_\_\_ (Ref: Sewer Drawing Number: \_\_\_\_\_)
- 2.25 **Design and construct a sewer main extension along California Street up to the easterly property line. A sewer main is not available for direct connection. The closest main is approximately 250-foot away.**
- 2.26 Submit documentation that shows expected peak loading values for modeling the impact of the subject project to the existing sewer system. The project site is within a deficient public sewer system area. Applicant shall be responsible for all costs associated with the preparation of the model. Based on the results of the analysis, Applicant may be required to mitigate the project impact to the deficient public sewer system, including, but not limited to, upgrading of existing sewer main(s), construction of new sewer main(s) or diversion of sewer discharge to another sewer.
- 2.27 **Other conditions:**
  - a. **California Sewer Main Extension:** The applicant/developer shall construct a public sewer main connecting from the existing Inland Empire Utilities Agency (IEUA) manhole number 149, at the northeast corner of the project site and on Cucamonga, to the project easterly property line in California Street. Also, install a terminus manhole in California, at the proposed sewer main upstream end (northeast corner of the project).
  - b. **Regional Sewer Connection:** Work with the City to obtain the regional sewer connection into IEUA existing sewer main at the intersection of California Street and Cucamonga Avenue. Please contact Christy Stevens at 909-395-2641 or Jeff Krizek at 909-395-2697 for more details.
  - c. The applicant/developer shall install a monitoring manhole for the proposed sewer lateral (onsite).
  - d. The applicant/developer or occupant shall apply for a Wastewater Discharge Permit for their establishment and shall comply will all the requirements of the Wastewater Discharge Permit. The application can be downloaded from the City's Utilities website in the drop-down of the "Pretreatment" section ([www.ontarioca.gov/OMUC/Utilities](http://www.ontarioca.gov/OMUC/Utilities)). Please select the appropriate application that applies to your type of business. Requirements of the Wastewater Discharge Permit may include, but not limited to: Installation of wastewater pretreatment equipment, such as grease interceptors or clarifiers. For wastewater permit application questions, please contact:

Michael Birmelin  
 Environmental Programs Manger  
 Email: [omucenvironmental@ontarioca.gov](mailto:omucenvironmental@ontarioca.gov)  
 Phone: (909) 395-2661

**D. WATER**

- 2.28 **An 8-inch water main is available for connection by this project in California Street. (Ref: Domestic Water Drawing Number: Unknown)**
- 2.29 Design and construct a water main extension. A water main is not available for direct connection. The closest main is approximately \_\_\_\_\_ feet away.
- 2.30 **Other conditions:**
  - a. The applicant/developer shall provide a double check detector assembly (DCDA) for the proposed fire service and on private property.
  - b. The applicant/developer shall provide backflow devices for all domestic water services, installed on private property, and maintain a 5-ft separation from the proposed water meters.



- c. **The applicant/developer shall abandon the existing unused water service west of drive approach on California Street and the abandonment is to be as follows: "EXISTING WATER SERVICE TO BE ABANDONED BACK TO THE EXISTING PUBLIC MAIN BY SHUTTING OFF THE CORP STOP AND REMOVING A SECTION OF THE WATER SERVICE ADJACENT TO THE EXISTING MAIN.**

**E. RECYCLED WATER**

- 2.31 A \_\_\_\_\_ inch recycled water main is available for connection by this project in \_\_\_\_\_.   
(Ref: Recycled Water plan bar code:\_\_\_\_\_)
  - 2.32 Design and construct an on-site recycled water system for this project. A recycled water main does exist in the vicinity of this project.
  - 2.33 Design and construct an on-site recycled water ready system for this project. A recycled water main does not currently exist in the vicinity of this project, but is planned for the near future. If Applicant would like to connect to this recycled water main when it becomes available, the cost for the connection shall be borne solely by the Applicant.
  - 2.34 Submit two (2) hard copies and one (1) electronic copy, in PDF format, of the Engineering Report (ER), for the use of recycled water, to the OMUC for review and subsequent submittal to the California Department of Public Health (CDPH) for final approval.
- Note: The OMUC and the CDPH review and approval process will be approximately three (3) months. Contact the Ontario Municipal Utilities Company at (909) 395-2647 regarding this requirement.
- 2.35 Other conditions: \_\_\_\_\_

**F. TRAFFIC / TRANSPORTATION**

- 2.36 Submit a focused traffic impact study, prepared and signed by a Traffic/Civil Engineer registered in the State of California. The study shall address, but not be limited to, the following issues as required by the City Engineer: 
  - 1. On-site and off-site circulation
  - 2. Traffic level of service (LOS) at 'build-out' and future years
  - 3. Impact at specific intersections as selected by the City Engineer
- 2.37 New traffic signal installations shall be added to Southern California Edison (SCE) customer account number # 2-20-044-3877.
- 2.38 Other conditions: 
  - a. **The applicant/developer shall be responsible to design and construct the curb returns along the Cucamonga Avenue property frontage and southwest corner of Cucamonga Avenue & California Street per City of Ontario Standard Drawing Number 1106.**
    - i. **Cucamonga Avenue is being built as a local industrial street section therefore all intersection curb return radii on Cucamonga Avenue shall be 40-feet.**
  - b. **The applicant/developer shall be responsible to modify existing signing/stripping and street improvements on Mission Boulevard and California Street beyond project limits as necessary to accommodate project frontage widening improvements.**
  - c. **The applicant/developer shall be responsible to design and construct in-fill public street lights and potential new service along its project frontage streets of Mission Boulevard, Cucamonga Avenue and California Street. Street lighting shall be LED-type and in accordance with City's Traffic & Transportation Design Guidelines.**
  - d. **The applicant/developer's engineer-of-record shall meet with City Engineering staff prior to designing and submitting for plan check the signing & stripping and street lighting design plans to define limits of improvements.**
  - e. **Mission Boulevard, Cucamonga Avenue and California Street shall be signed "No Parking Anytime" along the property frontage.**
  - f. **All landscaping, block walls, and other obstructions shall be compatible with the stopping sight distance requirements per City of Ontario Standard Drawing Number 1309.**



**G. DRAINAGE / HYDROLOGY**

- 2.39 **A 24-inch storm drain main is available to accept flows from this project in Cucamonga Avenue. (Ref: Storm Drain Drawing Number: R12623)**
- 2.40 Submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California. The study shall be prepared in accordance with the San Bernardino County Hydrology Manual and City of Ontario standards and guidelines. Additional drainage facilities, including, but not limited to, improvements beyond the project frontage, may be required to be designed and constructed, by Applicant, as a result of the findings of this study.
- 2.41 **An adequate drainage facility to accept additional runoff from the site does not currently exist downstream of the project. Design and construct a storm water detention facility on the project site. 100-year post-development peak flow shall be attenuated such that it does not exceed 80% of pre-development peak flows, in accordance with the approved hydrology study and improvement plans.**
- 2.42 Submit a copy of a recorded private drainage easement or drainage acceptance agreement to the Engineering Department for the acceptance of any increase to volume and/or concentration of historical drainage flows onto adjacent property, prior to approval of the grading plan for the project.
- 2.43 Comply with the City of Ontario Flood Damage Prevention Ordinance (Ordinance No. 2409). The project site or a portion of the project site is within the Special Flood Hazard Area (SFHA) as indicated on the Flood Insurance Rate Map (FIRM) and is subject to flooding during a 100-year frequency storm. The site plan shall be subject to the provisions of the National Flood Insurance Program.
- 2.44 **Other conditions:** 
  - a. **The applicant/developer shall construct a catch basin near the northwest corner of Cucamonga Avenue & Mission Boulevard and connect to the existing 24-inch CMP storm drain pipe.**

**H. STORM WATER QUALITY / NATIONAL POLLUTANT DISCHARGE AND ELIMINATION SYSTEM (NPDES)**

- 2.45 401 Water Quality Certification/404 Permit – Submit a copy of any applicable 401 Certification or 404 Permit for the subject project to the City project engineer. Development that will affect any body of surface water (i.e. lake, creek, open drainage channel, etc.) may require a 401 Water Quality Certification from the California Regional Water Quality Control Board, Santa Ana Region (RWQCB) and a 404 Permit from the United States Army Corps of Engineers (USACE). The groups of water bodies classified in these requirements are perennial (flow year round) and ephemeral (flow during rain conditions, only) and include, but are not limited to, direct connections into San Bernardino County Flood Control District (SBCFCD) channels. If a 401 Certification and/or a 404 Permit are not required, a letter confirming this from Applicant's engineer shall be submitted. Contact information: USACE (Los Angeles District) (213) 452-3414; RWQCB (951) 782-4130.
- 2.46 **Submit a Water Quality Management Plan (WQMP). This plan shall be approved by the Engineering Department prior to approval of any grading plan. The WQMP shall be submitted, utilizing the current San Bernardino County Stormwater Program template, available at: <http://www.sbcounty.gov/dpw/land/npdes.asp>.**
- 2.47 Design and construct a Connector Pipe Trash Screen or equivalent Trash Treatment Control Device, per catch basin located within or accepting flows tributary of a Priority Land Use (PLU) area that meets the Full Capture System definition and specifications, and is on the Certified List of the State Water Resources Control Board. The device shall be adequately sized per catch basin and include a deflector screen with vector control access for abatement application, vertical support bars, and removable component to facilitate maintenance and cleaning.
- 2.48 Other conditions: \_\_\_\_\_



**J. SPECIAL DISTRICTS**

- 2.49 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Investment and Revenue Resources at (909) 395-2341 to initiate the CFD application process.
- 2.50 Other conditions: \_\_\_\_\_

**K. FIBER OPTIC**

- 2.51 A fiber optic line is available for connection by this project in Mission Boulevard. (Ref: Fiber Optic Drawing Number: Unknown)
- 2.52 Design and construct fiber optic system along the entire property frontage to provide access to the City's conduit and fiber optic system per the City's Fiber Optic Master Plan. The applicant/developer shall connect to the existing OntarioNet handhole in Mission Boulevard approximately 200-feet east, construct at minimum two (2) OntarioNet handholes with two (2) conduits in between each hand-hole along each project frontage in the ROW and one (1) conduit from the nearest hand-hole in the ROW to the main telecommunications room in the building.
- 2.53 Refer to the City's Fiber Optic Master Plan for design and layout guidelines. Contact the Broadband Operations Department at (909) 395-2000, regarding this requirement.



**3. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, APPLICANT SHALL:**

- 3.01 **Set new monuments in place of any monuments that have been damaged or destroyed as a result of construction of the subject project. Monuments shall be set in accordance with City of Ontario standards and to the satisfaction of the City Engineer.**
- 3.02 Complete all requirements for recycled water usage. 
  - 1) Procure from the OMUC a copy of the letter of confirmation from the California Department of Public Health (CDPH) that the Engineering Report (ER) has been reviewed and the subject site is approved for the use of recycled water.
  - 2) Obtain clearance from the OMUC confirming completion of recycled water improvements and passing of shutdown tests and cross connection inspection, upon availability/usage of recycled water.
  - 3) Complete education training of on-site personnel in the use of recycled water, in accordance with the ER, upon availability/usage of recycled water.
- 3.03 **The applicant/developer shall submit all final survey documents prepared by a Licensed Surveyor registered in the State of California detailing all survey monuments that have been preserved, revised, adjusted or set along with any maps, corner records or Records of Survey needed to comply with these Conditions of Approvals and the latest edition of the California Professional Land Survey Act. These documents are to be reviewed and approved by the City Survey Office.**
- 3.04 Ontario Ranch Projects: For developments located at an intersection of any two collector or arterial streets, the applicant/developer shall set a monument if one does not already exist at that intersection. Contact the City Survey office for information on reference benchmarks, acceptable methodology and required submittals.
- 3.05 **Confirm payment of all Development Impact Fees (DIF) to the Building Department.**
- 3.06 **Submit electronic copies (PDF and Auto CAD format) of all approved improvement plans, studies and reports (i.e. hydrology, traffic, WQMP, etc.).**

**4. PRIOR TO FINAL ACCEPTANCE, APPLICANT SHALL:**

- 4.01 **Complete all Conditions of Approval listed under Sections 1-3 above.**
- 4.02 **Pay all outstanding fees pursuant to the City of Ontario Municipal Code, including but not limited to, plan check fees, inspection fees and Development Impact Fees.**
- 4.03 **The applicant/developer shall submit a written request for the City's final acceptance of the project addressed to the City Project Engineer. The request shall include a completed Acceptance and Bond Release Checklist, state that all Conditions of Approval have been completed and shall be signed by the applicant/developer. Upon receipt of the request, review of the request shall be a minimum of 10 business days. Conditions of Approval that are deemed incomplete by the City will cause delays in the acceptance process.**
- 4.04 **Submit record drawings (PDF) for all public improvements identified within Section 2 of these Conditions of Approval.**



**EXHIBIT 'A'**

**ENGINEERING DEPARTMENT  
First Plan Check Submittal Checklist**

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**Project Number: PDEV21-028**

**The following items are required to be included with the first plan check submittal:**

1.  **A copy of this check list**
2.  **Payment of fee for Plan Checking**
3.  **One (1) copy of Engineering Cost Estimate (on City form) with engineer's wet signature and stamp.**
4.  **One (1) copy of project Conditions of Approval**
5.  **Include a PDF (electronic submittal) of each required improvement plan at every submittal.**
6.  **Two (2) sets of Potable and Recycled Water demand calculations (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size).**
7.  **Three (3) sets of Public Street improvement plan with street cross-sections**
8.  **Four (4) sets of Public Water improvement plan (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)**
9.  **Four (4) sets of Recycled Water improvement plan (include recycled water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size and an exhibit showing the limits of areas being irrigated by each recycled water meter)**
10.  **Four (4) sets of Public Sewer improvement plan**
11.  **Five (5) sets of Public Storm Drain improvement plan**
12.  **Three (3) sets of Public Street Light improvement plan**
13.  **Three (3) sets of Signing and Striping improvement plan**
14.  **Three (3) sets of Fiber Optic plan (include Auto CAD electronic submittal)**
15.  **Three (3) sets of Dry Utility plans within public right-of-way (at a minimum the plans must show existing and ultimate right-of-way, curb and gutter, proposed utility location including centerline dimensions, wall to wall clearances between proposed utility and adjacent public line, street work repaired per Standard Drawing No. 1306. Include Auto CAD electronic submittal)**
16.  **Three (3) sets of Traffic Signal improvement plan and One (1) copy of Traffic Signal Specifications with modified Special Provisions. Please contact the Traffic Division at (909) 395-2154 to obtain Traffic Signal Specifications.**
17.  **Two (2) copies of Water Quality Management Plan (WQMP), including one (1) copy of the approved Preliminary WQMP (PWQMP).**
18.  **One (1) copy of Hydrology/Drainage study**
19.  **One (1) copy of Soils/Geology report**
20.  **Payment for Final Map/Parcel Map processing fee**



21.  Three (3) copies of Final Map/Parcel Map
22.  One (1) copy of approved Tentative Map
23.  One (1) copy of Preliminary Title Report (current within 30 days)
24.  One (1) copy of Traverse Closure Calculations
25.  **One (1) set of supporting documents and maps (legible copies): referenced improvement plans (full size), referenced record final maps/parcel maps (full size, 18"x26"), Assessor's Parcel map (full size, 11"x17"), recorded documents such as deeds, lot line adjustments, easements, etc.**
26.  Two (2) copies of Engineering Report and an electronic file (include PDF format electronic submittal) for recycled water use
27.  **Other:**
  - a. **Three (3) copies of the Right-of-Way Dedication Form (include all items in the Right-of-Way Dedication Application Checklist)**
  - b. **Three (3) copies of the Lot Line Adjustment Form (include all items in the Lot Line Adjustment Application Checklist)**
  - c. **Three (3) copies of the Vacation Legal & Plat (include all items in the Vacation Application Checklist)**



# CITY OF ONTARIO

## MEMORANDUM

**TO:** Alexis Vaughn, Assistant Planner  
Planning Department

**FROM:** Mike Gerken, Deputy Fire Chief/Fire Marshal  
Fire Department

**DATE:** August 2, 2021

**SUBJECT:** PDEV21-028 - A Development Plan to construct one (1) industrial buildings totaling 32,425 square feet on 1.3 acres of land located at 1108 and 1120 East California Street, within the IL (Light Industrial) zoning district (APN(s): 1049-382-01 and 1049-382-02).

- 
- The plan **does** adequately address Fire Department requirements at this time.
- Standard Conditions of Approval apply, as stated below.

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### **SITE AND BUILDING FEATURES:**

- A. 2019 CBC Type of Construction: IIIB
- B. Type of Roof Materials: Panelized
- C. Ground Floor Area(s): 29,235 Sq. Ft.
- D. Number of Stories: 1
- E. Total Square Footage: 32,425 Sq. Ft.  
29,235 Sq. Ft. – Leasable Area  
3,190 Sq. Ft. – Covered Dock
- F. 2019 CBC Occupancy Classification(s): S



## **CONDITIONS OF APPROVAL:**

### **1.0 GENERAL**

- ☒ 1.1 The following are the Ontario Fire Department (“Fire Department”) requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards (“Standards.”) It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at [www.ontarioca.gov/Fire/Prevention](http://www.ontarioca.gov/Fire/Prevention).
- ☒ 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

### **2.0 FIRE DEPARTMENT ACCESS**

- ☒ 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See Standard #B-004.
- ☒ 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25’) inside and forty-five feet (45’) outside turning radius per Standard #B-005.
- ☒ 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150’) in length shall have an approved turn-around per Standard #B-002.
- ☒ 2.4 Access drive aisles which cross property lines shall be provided with CC&Rs, access easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of building plan check.
- ☒ 2.5 "No Parking-Fire Lane" signs and /or red painted curbs with lettering are required to be installed in interior access roadways, in locations where vehicle parking would obstruct the minimum clear width requirement. Installation shall be per Standard #B-001.
- ☒ 2.6 Security gates or other barriers on fire access roadways shall be provided with a Knox brand key switch or padlock to allow Fire Department access. See Standards #B-003, B-004 and H-001.
- ☒ 2.7 Any time PRIOR to on-site combustible construction and/or storage, a minimum twenty-four (24) ft. wide circulating all weather access roads shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved by fire department and other emergency services.

### 3.0 WATER SUPPLY

- ☒ 3.1 The required fire flow per Fire Department standards, based on the 2019 California Fire Code, Appendix B, is 2000 gallons per minute (g.p.m.) for 3 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.
- ☒ 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300') apart, per Engineering Department specifications.
- ☒ 3.4 The water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

### 4.0 FIRE PROTECTION SYSTEMS

- ☒ 4.1 On-site private fire hydrants are required per Standard #D-005, and identified in accordance with Standard #D-002. Installation and location(s) are subject to the approval of the Fire Department. An application with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- ☒ 4.2 Underground fire mains which cross property lines shall be provided with CC & R, easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of fire department plan check. The shared use of private fire mains or fire pumps is allowable only between immediately adjacent properties and shall not cross any public street.
- ☒ 4.3 An automatic fire sprinkler system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 13. All new fire sprinkler systems, except those in single family dwellings, which contain twenty (20) sprinkler heads or more shall be monitored by an approved listed supervising station. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- ☒ 4.5 Fire Department Connections (FDC) shall be located on the address side of the building within one hundred fifty feet (150') of a public fire hydrant on the same side of the street. Provide identification for all fire sprinkler control valves and fire department connections per Standard #D-007. Raised curbs adjacent to Fire Department connection(s) shall be painted red, five feet either side, per City standards.
- ☒ 4.6 A fire alarm system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 72. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- ☒ 4.7 Portable fire extinguishers are required to be installed prior to occupancy per Standard #C-001. Please contact the Fire Prevention Bureau to determine the exact number, type and placement required.

## 5.0 BUILDING CONSTRUCTION FEATURES

- ☒ 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- ☒ 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.
- ☒ 5.6 Knox ® brand key-box(es) shall be installed in location(s) acceptable to the Fire Department. All Knox boxes shall be monitored for tamper by the building fire alarm system. See Standard #H-001 for specific requirements.
- ☒ 5.7 Placards shall be installed in acceptable locations on buildings that store, use or handle hazardous materials in excess of the quantities specified in the CFC. Placards shall meet the requirements of National Fire Protection Association (NFPA) Standard 704.

## 6.0 OTHER SPECIAL USES

- ☒ 6.1 The storage, use, dispensing, or handling of any hazardous materials shall be approved by the Fire Department, and adequate fire protection features shall be required. If hazardous materials are proposed, a Fire Department Hazardous Materials Information Packet, including Disclosure Form and Information Worksheet, shall be completed and submitted with Material Safety Data Sheets to the Fire Department along with building construction plans.
- ☒ 6.2 Any High Piled Storage, or storage of combustible materials greater than twelve (12') feet in height for ordinary (Class I-IV) commodities or storage greater than six feet (6') in height of high hazard (Group A plastics, rubber tires, flammable liquids, etc.) shall be approved by the Fire Department, and adequate fire protection features shall be required. If High Piled Storage is proposed, a Fire Department High Piled Storage Worksheet shall be completed and detailed racking plans or floor plans submitted prior to occupancy of the building.
- ☒ 6.3 Underground fuel tanks, their associated piping and dispensers shall be reviewed, approved, and permitted by Ontario Building Department, Ontario Fire Department, and San Bernardino County Fire Department Hazardous Materials Division. In fueling facilities, an exterior emergency pump shut-off switch shall be provided.



# CITY OF ONTARIO

## MEMORANDUM

**TO:** Alexis Vaughn, Assistant Planner

**FROM:** Officer Bill Lee, Police Department

**DATE:** August 24, 2021

**SUBJECT:** PDEV21-028- A DEVELOPMENT PLAN TO CONSTRUCT ONE INDUSTRIAL BUILDING TOTALING 32,425 SQUARE FEET, LOCATED AT 1108 AND 1120 EAST CALIFORNIA STREET.

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The “Standard Conditions of Approval” contained in Resolution No. 2017-027 apply. The applicant shall read and be thoroughly familiar with these conditions, including, but not limited to, the requirements below.

- Required lighting for all walkways, driveways, doorways, parking lots, hallways and other areas used by the public shall be provided. Lights shall operate via photosensor. Photometrics shall be provided to the Police Department and include the types of fixtures proposed and demonstrate that such fixtures meet the vandal-resistant requirement. Planned landscaping shall not obstruct lighting.
- Rooftop addresses shall be installed on the buildings as stated in the Standard Conditions. The numbers shall be at a minimum 6 feet tall and 2 foot wide, in reflective white paint on a flat black background, and oriented with the bottom of the numbers towards the addressed street. Associated letters shall also be included.
- The Applicant shall comply with construction site security requirements as stated in the Standard Conditions.
- Trash enclosure shall be fully secured by locks and screens/grates in order to reduce crime and encampment opportunities for homeless persons.

The Applicant is invited to contact Officer Bill Lee at (909) 408-1672 with any questions or concerns regarding these conditions.



# CITY OF ONTARIO MEMORANDUM



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**DATE:** June 22, 2022  
**TO:** Antonio Alejos, Engineering  
**CC:** Alexis Vaughn, Planning  
**FROM:** Peter Tran, Utilities Engineering  
**SUBJECT:** DPR #4 - Utilities Comments – Conditions of Approval (COA) (#8491)  
**PROJECT NO.:** PDEV21-028 (A Development Plan to construct one industrial building 32,425 SF)

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## BRIEF DESCRIPTION

*A Development Plan to construct one (1) industrial building totaling 32,425 square feet on 1.3 acres of land located at 1108 and 1120 East California Street, within the IL (Light Industrial) zoning district (APN(s): 1049-382-01 and 1049-382-02).*

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## THIS SUBMITTAL IS COMPLETE AND RECOMMENDED FOR APPROVAL.

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**CONDITIONS OF APPROVAL:** *The Ontario Municipal Utilities Company (OMUC) recommends this application for approval subject to the conditions outlined below and compliance with the City's Design Development Guidelines, Specifications Design Criteria, and City Standards.*

### **General Conditions: (Add following to Section 2.A of Engineering Department COA)**

1. **Standard Conditions of Approval:** Project shall comply with the requirements as set forth in the Amendment to the Standard Conditions of Approval for New Development Projects adopted by the City Council (Resolution No. 2017-027) on April 18, 2017; as well as project-specific conditions/requirements as outlined below:
2. **Final Utilities Systems Map (USM):** As part of the precise grading plans submittal, provide a Final Utilities Systems Map that shows all existing and proposed Utilities (Potable Water, Recycled Water, Sewer, Storm Drain, and other utilities) including each of the City's public utilities' points of connection to the existing systems

### **Potable Water Conditions: (Add following to Section 2.D of Engineering Department COA)**

3. **Fire Service:** Provide double check detector assembly (DCDA) for the proposed fire service and on private property.
4. **Backflow Device:** Provide backflow devices to all domestic water services and to be installed on private property and five feet back of the proposed meters. Revise to reflect this.
5. **Existing Unused Water Service Abandonment:** Abandon the existing unused water service west of drive approach on California Street and the abandonment is to be as follows: "EXISTING WATER SERVICE TO BE ABANDONED BACK TO THE EXISTING PUBLIC MAIN BY SHUTTING OFF THE CORP STOP AND REMOVING A SECTION OF THE WATER SERVICE ADJACENT TO THE EXISTING MAIN."

### **Sewer Conditions: (Add following to Section 2.C of Engineering Department COA)**

6. **California Sewer Main Extension:** Construct a public sewer main connecting from the existing Inland Empire Utilities Agency (IEUA) manhole number 149, at the northeast corner of the project site and on Cucamonga, to the project easterly property line in California Street. Also, install a terminus manhole in California, at the proposed sewer main upstream end (northeast corner of the project).
  - a. **Regional Sewer Connection:** Work with the city to obtain the regional sewer connection into IEUA existing sewer main at the intersection of California Street and Cucamonga Avenue. Please contact Christy Stevens at 909-395-2641 or Jeff Krizek at 909-395-2697 for more details.
7. **Monitoring Manholes:** Install a monitoring manhole for the proposed sewer lateral, onsite.
8. **Note the following:**

The Occupant/Applicant shall apply for a Wastewater Discharge Permit for their establishment and shall comply with all the requirements of the Wastewater Discharge Permit. The application can be downloaded from the City's Utilities website in the drop-down of the "Pretreatment" section ([www.ontarioca.gov/OMUC/Utilities](http://www.ontarioca.gov/OMUC/Utilities)). Please select the appropriate application that applies to your type of business. Requirements of the Wastewater Discharge Permit may include, but not limited to: Installation of wastewater pretreatment equipment, such as grease interceptors or clarifiers. For wastewater permit application questions, please contact:

**Michael Birmelin, Environmental Programs Manager**

[omucenvironmental@ontarioca.gov](mailto:omucenvironmental@ontarioca.gov)

**Phone: (909) 395-2661.**



# CITY OF ONTARIO

## MEMORANDUM

### Development Plan Review

Engineering Department:  
Transportation Section

Project: PDEV21-028

Date: January 3, 2022

Location: Northeast corner of Mission Blvd at Cucamonga Ave

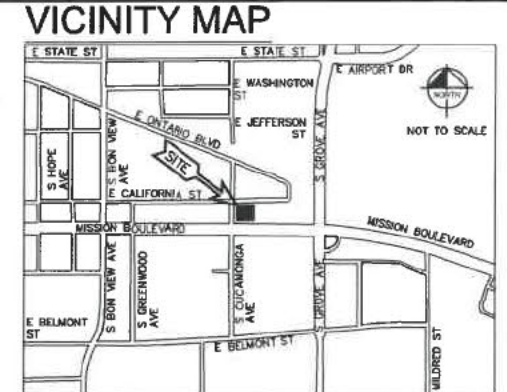
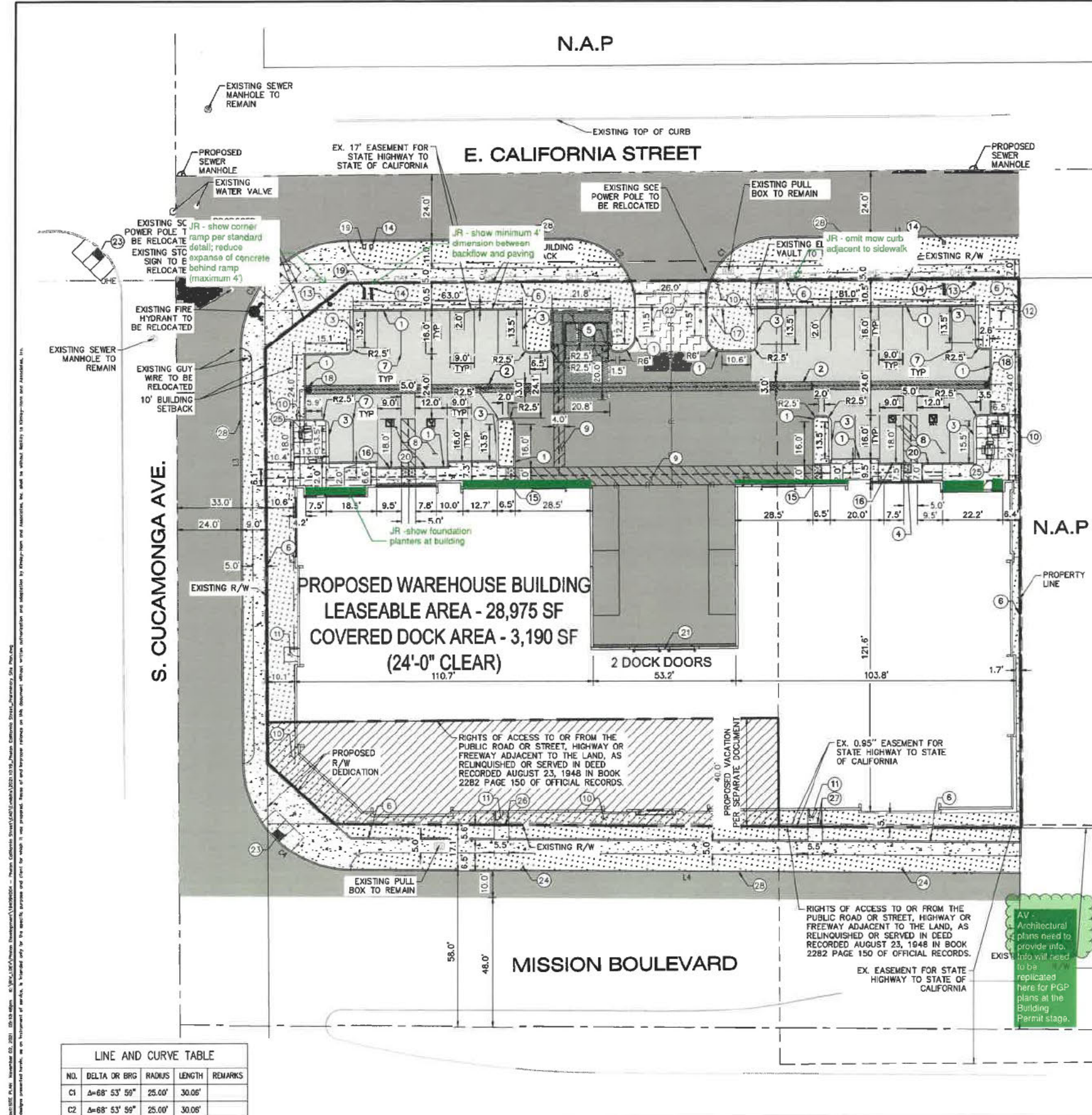
By: Jaime Maciel-Carrera

***The Transportation Section recommends the following to be incorporated into the Project's Conditions-of-Approval:***

Conditions:

1. The Applicant/Developer shall be responsible to design and reconstruct the curb returns along the Cucamonga Ave project frontage per City of Ontario Standard Drawing No. 1106.
  - A. Cucamonga Ave is being built as a local industrial street section therefore all intersection curb return radii on Cucamonga Ave shall be 40 feet.
2. The Applicant/Developer shall be responsible to modify existing signing/striping and street improvements on Mission Blvd and California St beyond project limits as necessary to accommodate project frontage widening improvements.
3. The Applicant/Developer shall be responsible to design and construct in-fill public street lights and potential new service along its project frontage streets of Mission Blvd, Cucamonga Ave and California St. Street lighting shall be LED-type and in accordance with City's Traffic and Transportation Design Guidelines.
4. Mission Blvd, Cucamonga Ave and California St shall be signed "No Parking Anytime" along the property frontage.
5. All landscaping, block walls, and other obstructions shall be compatible with the stopping sight distance requirements per City of Ontario Standard Drawing No. 1309.
6. The Applicant/Developer's engineer-of-record shall meet with City Engineering staff prior to designing and submitting for plan check the signing/striping and street lighting design plans to define limits of improvements.

jmc;



### SITE DATA

ZONING DISTRICT:	IL, LIGHT INDUSTRIAL
TOP LAND USE:	BP, BUSINESS PARK
PARCEL SIZE:	56,550 ± S.F. (1.30± AC)
PROPOSED PARCEL SIZE:	55,838 ± S.F. (1.29± AC)
PROPOSED IMPERVIOUS AREA:	48,654 ± S.F. (INCLUDING BLDG)
PROPOSED PERVIOUS AREA:	7,184 ± S.F.
PROPOSED BLDG WAREHOUSE FLOOR AREA:	26,975 ± S.F.
OFFICE FLOOR AREA:	2,000 ± S.F.
COVERED DOCK AREA:	3,190 ± S.F.
TOTAL FLOOR AREA:	32,165 ± S.F.
FLOOR AREA RATIO:	±57.6%
LOT COVERAGE RATIO:	±86.1%
LANDSCAPE COVERAGE RATIO:	±12.9%
BUILDING SETBACK:	FRONT YARD: 20' (MISSION BOULEVARD) 10' (S. CUCAMONGA AVENUE AND CALIFORNIA STREET) REAR YARD: 0'
APN:	1049-382-01 AND 1049-382-02
ADDRESS:	1108 E. CALIFORNIA ST. & 1120 E. CALIFORNIA ST. ONTARIO, CA

- ### SITE PLAN NOTES
- PROPOSED 6" CONCRETE CURB
  - PROPOSED 3" RIBBON GUTTER
  - PROPOSED 12" STEP-OUT CURB
  - PROPOSED CURB RAMP WITH DETECTABLE WARNINGS
  - PROPOSED TRASH ENCLOSURE SEE ARCHITECTURAL PLANS FOR MORE INFORMATION
  - PROPOSED MOW CURB
  - PROPOSED 4" 90° PARKING STRIPE
  - PROPOSED ACCESSIBLE PARKING STRIPING
  - INSTALL ACCESSIBLE PATH-OF-TRAVEL STRIPING
  - PROPOSED LANDSCAPE AREA
  - PROPOSED LEVEL LANDING
  - PROPOSED TRANSFORMER
  - PROPOSED SEWER CLEANOUT (REFER TO SHEET C3.0 FOR MORE INFORMATION)
  - PROPOSED DOMESTIC WATER METER AND BACK FLOW (REFER TO SHEET C3.0 FOR MORE INFORMATION)
  - PROPOSED DETECTABLE WARNINGS
  - PROPOSED STANDARD ACCESSIBLE PARKING SIGN
  - EXISTING TRANSFORMER AND BOLLARDS TO BE RELOCATED TO ADJACENT LANDSCAPE AREA
  - PROPOSED CATCH BASIN (REFER TO SHEET C3.0 FOR MORE INFORMATION)
  - PROPOSED IRRIGATION WATER METER AND BACK FLOW (REFER TO SHEET C3.0 FOR MORE INFORMATION)
  - PROPOSED VAN ACCESSIBLE PARKING SIGN
  - PROPOSED TRENCH DRAIN (REFER TO SHEET C3.0 FOR MORE INFORMATION)
  - PROPOSED DECORATIVE PAVING SEE ARCHITECTURAL PLANS FOR MORE INFORMATION
  - PROPOSED CURB RAMP PER CITY OF ONTARIO STANDARD DRAWING NUMBER 1213
  - PROPOSED "NO PARKING ANYTIME" SIGN PER CITY OF ONTARIO STANDARDS AND SPECIFICATIONS
  - PROPOSED PICNIC AREA
  - PROPOSED 6" STEP
  - PROPOSED 5" STEP
  - PROPOSED 8" CONCRETE CURB

### PARKING REQUIREMENTS

TOTAL PARKING STALL COUNT	24 (WAREHOUSE: 1000 GFA 1ST 20K SF / 1000 GFA >20K SF / 0 OFFICE SPACE DOES NOT EXCEED 10% GFA)	27 (23 STANDARD SPACES)
ACCESSIBLE STALL COUNT	4	4 (9' X 18')
STANDARD PARKING STALL SIZE:	9' X 18'	9' X 16' (WITH 2' OVERHANG)

### PROJECT TEAM

**DEVELOPER/APPLICANT/OWNER**  
 PHELAN DEVELOPMENT COMPANY  
 450 NEWPORT CENTER DR. SUITE 405  
 NEWPORT BEACH, CA 92660  
 (949) 531-6559

**CIVIL ENGINEER**  
 SHEA-MICHAEL ANTL PE, LSIT, QSP/QSU  
 KIMLEY-HORN AND ASSOCIATES, INC.  
 3880 LEMON STREET, SUITE 420  
 RIVERSIDE, CA 92501  
 (951) 335-8272  
 SHEA.ANTL@KIMLEY-HORN.COM

**SURVEYOR**  
 LG LAND SURVEYING, INC.  
 30355 CALLEJO FELZ TER  
 WALLEY CENTER, CA 92082  
 (619) 535-1172  
 PROJECT NO.: 20-227  
 SURVEY DATE: 05/03/2021

### BASIS OF BEARINGS

THE BASIS OF BEARINGS IS THE CENTERLINE OF CALIFORNIA STREET PER PM 219/69-70, I.E. 89°37'50"E.

### BASIS OF ELEVATION

THE BASIS OF ELEVATIONS IS THE CITY OF ONTARIO BENCHMARK:  
 2.5 IN. BRASS DISK STAMPED "CITY OF ONTARIO M-23-1" SET ON TOP OF CURB, APPROX. 25 FT. +/- EAST OF COR @ SOUTHEAST RETURN OF MISSION BLVD. AND GROVE AVE. IN FRONT OF ARCO GAS STATION.  
 EL=935.843, NAVD 88.

- ### GENERAL NOTES
- GRADING PLAN SHALL MEET ALL ENGINEERING AND NPDES REQUIREMENTS.
  - COMPACTION SHALL BE NO GREATER THAN 85% IN LANDSCAPE AREAS. ALL FINISH GRADES AT 1" BELOW FINISH SURFACES UNLESS NOTED OTHERWISE. SLOPES TO BE MAXIMUM 3:1.
  - AREAS IN WHICH TREES OR STORM WATER INFILTRATION AREAS ARE LOCATED SHALL BE LOOSENEED BY SOIL FRACTURING. THE BACKHOE METHOD OF SOIL FRACTURING SHALL BE USED TO BREAK UP COMPACTION. A LAYER OF 4" LAYER OF COMPOST SHALL BE SPREAD OVER SOIL SURFACE PRIOR TO THE COMMENCEMENT OF FRACTURING. REFER TO LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
  - GENERAL CONTRACTOR TO ADJUST UTILITY COVER WITHIN CIVIL LIMITS OF WORKS AS NECESSARY. GENERAL CONTRACTOR TO REPAIR UTILITY COVERS IF DAMAGED.

### ABBREVIATIONS

EX.	-	EXISTING
N.A.P.	-	NOT A PART
W	-	WATER LINE
SS	-	SEWER LINE
G	-	GAS LINE

### LEGEND

	PROPERTY LINE
	LIMITS OF DISTURBANCE
	ACCESSIBLE ROUTE
	STANDARD DUTY CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	LANDSCAPE/PLANTER AREA
	STANDARD DUTY ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	DETECTABLE WARNING SYSTEMS (TRUNCATED DOMES)
	LEASEABLE AREA
	DECORATIVE PAVERS

### LINE AND CURVE TABLE

NO.	DELTA OR BRG	RADIUS	LENGTH	REMARKS
C1	Δ=68° 53' 59"	25.00'	30.06'	
C2	Δ=68° 53' 59"	25.00'	30.06'	
C3	Δ=89° 58' 22"	40.00'	62.81'	
C4	Δ=89° 17' 17"	40.00'	62.33'	
L1	S 89°37'50" W		91.12'	
L2	S 89°37'50" W		81.42'	
L3	S 0°20'32" E		154.00'	
L4	S 89°37'49" E		248.82'	

PHELAN CALIFORNIA STREET  
 PREPARED FOR  
 PHELAN DEVELOPMENT COMPANY  
 450 NEWPORT CENTER DR. SUITE 405  
 NEWPORT BEACH, CA 92660

CITY OF ONTARIO	CALIFORNIA	No.	REVISIONS	DATE	BY

KHA PROJECT  
 194094004  
 DATE  
 11/2/2021  
 SCALE AS SHOWN  
 DESIGNED BY LA  
 DRAWN BY LS  
 CHECKED BY SMA

LICENSED PROFESSIONAL  
  
**Kimley-Horn**  
 2018 KIMLEY-HORN AND ASSOCIATES, INC.  
 765 THE CITY DRIVE, SUITE 200  
 ORANGE, CA 92668  
 (714) 939-1030

**PRELIMINARY SITE PLAN**

SHEET NUMBER  
**C1.1**

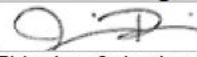


1. The City of Ontario is developing a fiber-optic telecommunications system throughout the city commonly known as OntarioNet. The fiber-optic telecommunications system is capable of providing advanced Internet/data services to homes and businesses in feasible areas within the city. OntarioNet will provide community related services including: traffic management; online civic services; meter reading; educational services; and a variety of other community services. OntarioNet and the high-speed data services it provides will keep the city on par with the modern workforce and ever changing lifestyles of the people and the community.
2. Communication systems proposed for on-site facilities will be placed underground within a duct and structure system to be installed by the developer. Maintenance of the installed system will be the responsibility of the City and/or Special District fiber optic entity and not that of the developer, private homeowners association or private homeowners. Development of the project requires the installation by the developer of all fiber optic infrastructure necessary to service the project as a standalone development.
3. The City requires public utility easement for fiber optics on all private aisles/alley ways.
4. Trenching, joint trenching, and boring shall be used to install the fiber-optic conduits. Fiber-optic conduit placement will generally be in a joint trench with Street Light conduits or in a separate trench/bore and in the Right-of-Way (ROW) generally placed behind the sidewalk. Resulting conduit placement generally, will be on the north side of street and the east side of street based on the direction of the street. Properly sized handholes shall be placed along the conduit path no greater than 500-feet apart in major streets and no greater than 300-feet apart within in-tract community streets. Handholes shall be strategically placed to allow for efficient entrance into commercial buildings, and residential properties and multi-dwelling units.
5. Structured Wiring – An integrated structured wiring system (low-voltage wiring) provides infrastructure for today's technology applications and the framework for the future technology advances. Requirements and benefits of a structured wiring system include:
  - Residential (single-family and multi-family), commercial and industrial developments shall adhere to the City's Structured Wiring ordinance
  - Allows for uniform receipt & distribution of technology services
  - Ensures scalability of wiring for future technology advances
  - Provides consistent & identical wiring protocols throughout developments
  - Enables the property infrastructure to interface efficiently with broadband networks for highest bandwidth capacity
  - Adoption of these standards will minimize retrofitting required to ensure new property owners are capable of the latest technologies and services
6. Building Entrance (Multi-family and Commercial) - From the nearest handhole to the building entrance, design and install fiber optic conduit at a minimum depth of 36-inches. Trenching shall be per City Standard for Commercial Buildings. (1) 2-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct. Install locate/tracer wires minimum 12AWG within conduit bank and fiber warning tape 18-inch above the uppermost duct
7. Multi-family and commercial properties shall terminate conduit in an electrical room adjacent to the wall no less than five inches above the finished floor. A 20" width X length 36" space shall be reserved on the plywood wall for OntarioNet equipment. This space shall be labeled "OntarioNet Only". Ontario Conduit shall be labeled "OntarioNet"
8. A minimum 13/16 millimeter microduct joint use telecommunications conduit with pull-rope from the multi-family or commercial building communal telecom/electrical room/closet to each multi-family or commercial building unit shall be installed. See Structured Wiring Checklist on City's website for additional details.
9. A Fiber Optics Improvement Design Plan sheet should be part of the Design Plan submission and should be provided in digital format (PDF) as well, on future revisions

**CITY OF ONTARIO**  
**LANDSCAPE PLANNING DIVISION**  
 303 East "B" Street, Ontario, CA 91764

**CONDITIONS OF APPROVAL**

Sign Off



Jamie Richardson, Sr. Landscape Planner

06/20/2022

Date

Reviewer's Name:  
**Jamie Richardson, Sr. Landscape Planner** Phone:  
**(909) 395-2615**

D.A.B. File No.:  
 PDEV21-028 Case Planner:  
 Alexis Vaughn

Project Name and Location:  
 Phelan Industrial  
 1108 and 1120 East California Street

Applicant/Representative:  
 Phelan Development – Ashley McKinley (949) 531-6634  
 450 Newport Center Drive Suite 405  
 New Port Beach, CA 92260

- Preliminary Plans (dated 6/14/2022) meet the Standard Conditions for New Development and have been approved considering that the following conditions below are met upon the landscape construction documents submittal.**
- Preliminary Plans (dated) have not been approved. Corrections noted below are required before Preliminary Landscape Plan approval.**

**A RESPONSE SHEET IS REQUIRED WITH RESUBMITTAL OR PLANS WILL BE RETURNED AS INCOMPLETE.**  
 Landscape construction plans with plan check number may be emailed to:  
[landscapeplancheck@ontarioca.gov](mailto:landscapeplancheck@ontarioca.gov)  
**DIGITAL SUBMITTALS MUST BE 10MB OR LESS.**

Civil/ Site Plans

1. 84" of trunk diameter has been identified in the arborist report to be mitigated based on the Development Code Tree Preservation Policy and Protection Measures, section 6.05.020. Increasing the size of trees provides 49" of mitigation; however, the decrease of the 48" box trees reduces that to a total of 47", leaving a remainder of 37" to mitigate with monetary value (\$3,700) to the City of Ontario Historic Preservation Fund for city tree planting or city approved combination of the above items. Show on demo plans and landscape construction plans trees to be preserved, removed or mitigation measures for trees removed, such as:
  2. Before permit issuance, stormwater infiltration devices located in landscape areas shall be reviewed and plans approved by the Landscape Planning Division. Any stormwater devices in parkway areas shall not displace street trees.
  3. Show backflow devices set back 4' from paving on all sides. Locate on level grade—dimension on the plan. Show the setback from the edge of the paving to the concrete pad.
  4. Remove bollards from the existing transformer (if 5' from curb bollards are not required).
  5. Adjust fire connection lines (Sheet C1.1 Site Plan Notes #36 & #37 and Sheet C3.0 Utility Notes #47) out of the landscape planter to allow for required tree and landscape (5' setback from trees to fire line).
- Landscape Plans
6. Show backflow devices with 36" high strappy leaf shrub screening, trash enclosures and transformers, and a 4'-5' high evergreen hedge screening. Do not encircle utility; show as masses and duplicate masses in other locations at regular intervals—screen with strappy leaf shrubs such as Dietes. Dimension on plans; see #3 above.
  7. Landscape construction plans shall meet the requirements of the Landscape Development Guidelines. See <http://www.ontarioca.gov/landscape-planning/standards>
  8. After a project's entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council.

# AIRPORT LAND USE COMPATIBILITY PLANNING

## CONSISTENCY DETERMINATION REPORT



Project File No.: PDEV21-028 and PVAR21-005

Address: 1108 and 1120 East California Street

APN: 1049-382-01 and 1049-382-02

Existing Land Use: Vacant

Proposed Land Use: Variance to reduce the building setback and a Development Plan to construct one industrial building totaling 32,165 square feet

Site Acreage: 1.3 Proposed Structure Height: 37 FT

ONT-IAC Project Review: n/a

Airport Influence Area: ONT

Reviewed By: Lorena Mejia

Contact Info: 909-395-2276

Project Planner: Alexis Vaughn

Date: 8/8/2022

CD No.: 2022-031

PALU No.: n/a

### The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input type="checkbox"/> High Terrain Zone	<input checked="" type="checkbox"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input checked="" type="checkbox"/> 70 - 75 dB CNEL	<input checked="" type="checkbox"/> FAA Notification Surfaces	<input type="checkbox"/> Recorded Overflight Notification
<input checked="" type="checkbox"/> Zone 2	<input type="checkbox"/> 65 - 70 dB CNEL	<input checked="" type="checkbox"/> Airspace Obstruction Surfaces	<input type="checkbox"/> Real Estate Transaction Disclosure
<input type="checkbox"/> Zone 3	<input type="checkbox"/> 60 - 65 dB CNEL	<input checked="" type="checkbox"/> Airspace Avigation Easement Area	
<input type="checkbox"/> Zone 4		Allowable Height: <u>35 - 40 FT</u>	
<input type="checkbox"/> Zone 5			

### The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1   
  Zone 2   
  Zone 3   
  Zone 4   
  Zone 5   
  Zone 6

Allowable Height: \_\_\_\_\_

## CONSISTENCY DETERMINATION

This proposed Project is:  Exempt from the ALUCP   
 Consistent   
 Consistent with Conditions   
 Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

See attached conditions.

Airport Planner Signature: \_\_\_\_\_

# AIRPORT LAND USE COMPATIBILITY PLANNING

## CONSISTENCY DETERMINATION REPORT

CD No.: 2022-031

PALU No.:

### PROJECT CONDITIONS

1. Project is located within Safety Zone 2 and above ground storage of hazardous materials greater than 6,000 gallons is not allowed consistent with ALUCP Policy S4b (Hazardous Material Storage).
2. The Land Use Intensity calculations proposed for this building have been met and are attached to this report.
3. New development located within any of the Ontario International Airport Safety Zones are required to have a "Property Located within Ontario International Airport Safety Zone Notification appearing on the Property Deed and Title incorporating the following language:

(NOTICE OF AIRPORT IN VICINITY: This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you.) The property is presently located in a Safety Zone which limits land uses and the number of people on site. Land uses are required to meet the policies and criteria of the LA/Ontario International Airport Land Use Compatibility Plan.

4. The maximum height limit for the project site is 35 feet and as such, any construction equipment such as cranes or any other equipment exceeding 35 feet in height will need a determination of "No Hazard" from the FAA. An FAA Form 7460-1 for any temporary objects will need be filed and approved by the FAA prior to operating such equipment on the project site during construction.
5. The applicant shall adhere to the conditions set forth in FAA Aeronautical Study No. 2022-AWP-5353-OE.

## Intensity Calculations for PDEV21-028 and PVAR21-005

CD No. 2022-031

				Load Factors	Sitewide Average Calculations (Zone 2 = 60 P/AC max)	Single Acre SF	Single Acre Intensity Calculations (Zone 2 = 120 P/AC max)
Proposed Land Use	Land Use SF	Acreage	Safety Zone	ALUCP Load Factor	ALUCP Load Factor	Land Use SF	ALUCP Load Factor
Warehouse	32,165		2	1,000	32	32,165	32
Office	1,000		2	215	5	1,000	5
<b>Totals</b>	<b>33,165</b>	<b>1.3</b>			<b>28</b>		<b>37</b>
	<b>Sitewide Average Calculation</b>			<b>Single Acre Intensity Calculation</b>			
	<b>28</b>			<b>37</b>			
<p><b>Site Wide Average Calculation</b> is for Zone 2. ONT criteria for Zone 2 allows a maximum of 60 people. The proposed project would generate a site wide average of 28 people as indicated in the calculations above.</p>							
<p><b>Single Acre Intensity Calculation</b> is for Zone 2. ONT single acre criteria for Zone 2 allows a maximum of 120 people. The proposed project would generate a single acre intensity of 37 people as indicated in the above calculations.</p>							



Mail Processing Center  
 Federal Aviation Administration  
 Southwest Regional Office  
 Obstruction Evaluation Group  
 10101 Hillwood Parkway  
 Fort Worth, TX 76177

Aeronautical Study No.  
 2022-AWP-5353-OE

Issued Date: 04/29/2022

Daniel Lee  
 Phelan Development Company  
 450 Newport Center Drive  
 Suite 405  
 Newport Beach, CA 92660

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Commercial Use Building California & Cucamonga  
 Location: Ontario, CA  
 Latitude: 34-03-19.60N NAD 83  
 Longitude: 117-37-51.50W  
 Heights: 936 feet site elevation (SE)  
 40 feet above ground level (AGL)  
 976 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

This determination expires on 10/29/2023 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

If we can be of further assistance, please contact our office at (206) 231-2877, or [Nicholas.Sanders@faa.gov](mailto:Nicholas.Sanders@faa.gov). On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2022-AWP-5353-OE.

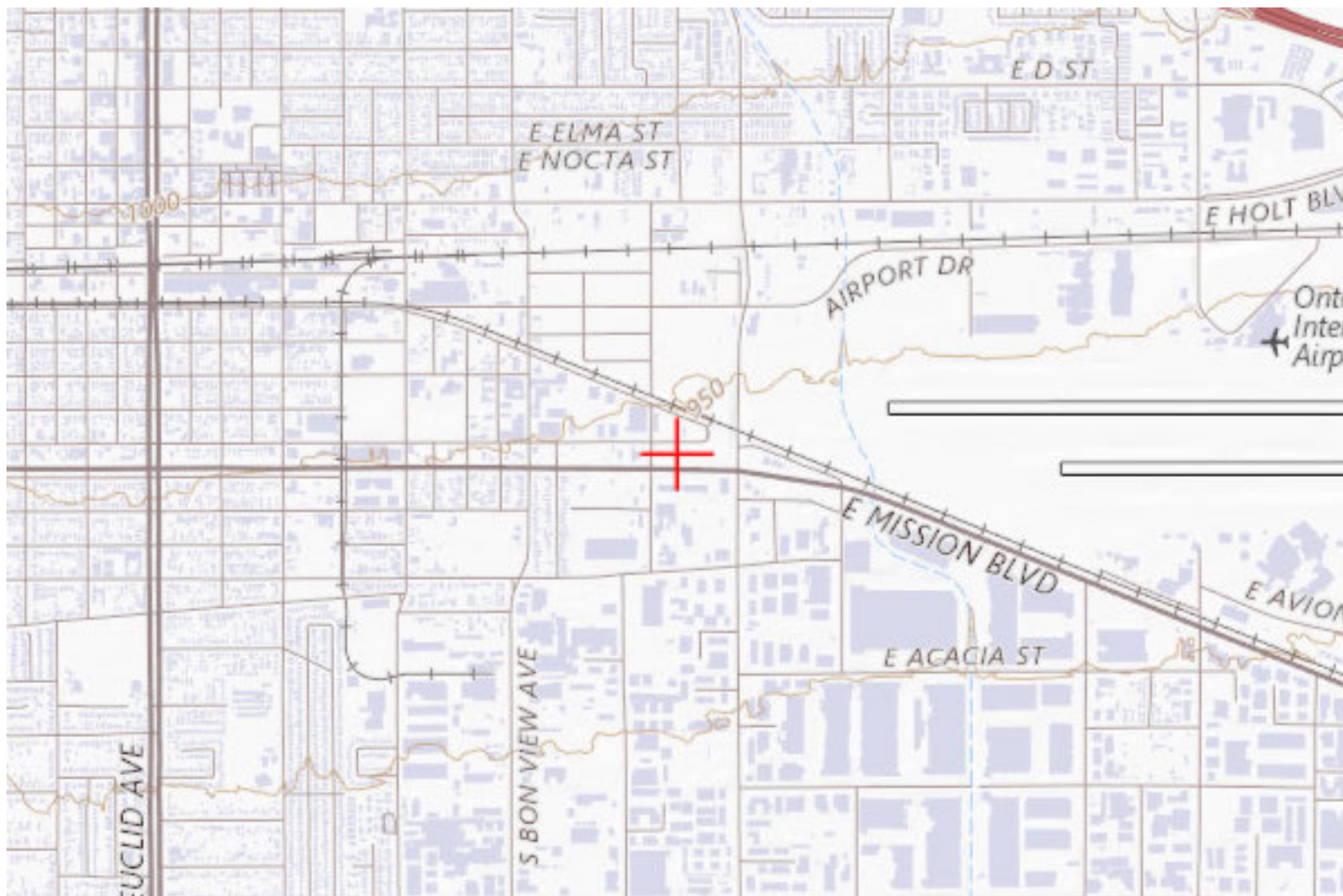
**Signature Control No: 518025007-526968472**

Nicholas Sanders  
Technician

( DNE )

Attachment(s)  
Map(s)

TOPO Map for ASN 2022-AWP-5353-OE







# Development Advisory Board Decision

August 15, 2022

**DECISION NO.:** DAB22-[insert #]

**FILE NO.:** PDEV22-004

**DESCRIPTION:** A request to approve a Development Plan to construct a stealth wireless telecommunications facility with a 65-foot-tall co-locatable (“monopine”) antenna and ancillary ground-mounted equipment on 1.75 acres of land located at 1259 East D Street (Veteran’s Memorial Park), within the OS-R (Open Space – Recreation) zoning district; (APN: 0110-013-04) **submitted by Coastal Business Group. Planning Commission action is required.**

## Part I—BACKGROUND & ANALYSIS

COASTAL BUSINESS GROUP, (herein after referred to as “Applicant”) has filed an application requesting Development Plan approval, File No. PDEV22-004, as described in the subject of this Decision (herein after referred to as “Application” or “Project”).

(1) **Project Setting:** The Project site is comprised of 1.75 acres of land located at 1259 East D Street, within Veteran’s Memorial Park, and is depicted in Exhibit A—Project Location Map, attached. Existing land uses, Policy Plan (general plan) and zoning designations, and specific plan land uses on and surrounding the Project site are as follows:

	<i>Existing Land Use</i>	<i>Policy Plan Designation</i>	<i>Zoning Designation</i>	<i>Specific Plan Land Use</i>
<i>Site:</i>	Park	OS-R (Open Space – Recreation)	OS-R (Open Space – Recreation)	N/A
<i>North:</i>	Single-Family Homes; Park	LDR (Low-Density Residential); OS-R (Open Space – Recreation)	LDR-5 (Low-Density Residential, 2.1-5 du/ac); OS-R (Open Space – Recreation)	N/A
<i>South:</i>	San Bernardino County Flood Control Channel	OS-NR (Open Space - Non-Recreation)	UC (Utility Corridor)	N/A
<i>East:</i>	Park	OS-R (Open Space – Recreation)	OS-R (Open Space – Recreation)	N/A
<i>West:</i>	Park, San Bernardino County Flood Control Channel	OS-R (Open Space – Recreation), OS-NR (Open Space - Non-Recreation)	OS-R (Open Space – Recreation), UC (Utility Corridor)	N/A

(2) **Project Description:**

(a) **Background** — On January 18, 2022, the Applicant applied for Development Plan approval to construct a stealth wireless telecommunications facility consisting of a 65-foot-tall co-locatable

(“monopine”) antenna and ancillary ground-mounted equipment on the Project site, to improve wireless telecommunications service to the surrounding area (see Exhibit F – Propagation Maps).

(b) Site Design, Site Access, and Building Layout — The proposed monopine antenna equipment and related 509-square-foot equipment enclosure are proposed to be sited along the western edge of Veteran’s Memorial Park, near the San Bernardino County Flood Control District channel, in an open area southwest of the Park’s community center (see Exhibit B—Site Plan). The monopine antenna will be located approximately 80 feet away from the equipment enclosure and cannot be placed inside of the enclosure area due to lease area limitations. Due to the facility being constructed at a City park, the City of Ontario’s Parks, IT (Information Technology) and Broadband Departments worked with the applicant to arrange the facility’s siting.

The monopine antenna equipment and related enclosure can be accessed from the southwestern driveway into the park site, via an existing paved pedestrian and access trail.

The Ontario Development Code established a multi-tier review system for wireless telecommunications facilities. The Project as proposed falls into Tier 3 Review, which consists of Development Plan review and approval by the Development Advisory Board and Planning Commission, as the Project does not meet the provisions of the less-intensive Tier 1 or Tier 2 review. While the Project is of a stealth design and is to be located within a nonresidential zoning district, the facility will be located less than 500 feet from an existing residential zoning district. The LDR-5 (Low-Density Residential – 2.1 to 5.0 du/ac) zoning district to the north of the Project site directly touches the Project parcel and is located approximately 496 feet from the base of the monopine antenna. Multi-density residential zoning districts and land uses also flank the park on the west, south, and east, and the monopine trunk will be located approximately 145 to 340 feet away from the residential land uses (see Exhibit E—Approximate Distances to Residential Zoning Districts, which shows the location of the lease area for the monopine antenna structure).

(c) Parking — As required by the Ontario Development Code, one off-street parking space is provided adjacent to the monopine antenna for wireless carrier personnel to be able to access and maintain the site.

(d) Design — The applicant has proposed a “monopine” design for the wireless telecommunications facility antenna (see Exhibit C—Elevations). A monopine antenna mimics the shape and appearance of pine trees and uses faux branches and foliage to screen the equipment and facility from public view. The wireless telecommunications facility antenna will be 65 feet in height, with branches extending six feet above the radio units and their mounting brackets to provide as natural an appearance as possible. Branches are also required to protrude horizontally beyond the radio units and mounting brackets to screen the equipment. The radio units will be screened with “pine socks”, or pieces of foliage designed to mask the units. The “trunk” will be covered in faux bark to further the appearance of the tree. The monopine antenna will be protected by a six-foot-high wrought-iron fence enclosure with “sheppard’s hook” pickets and will be screened with shrubs and climbing vines.

The facility includes a 29.3-foot by 17.3-foot equipment enclosure, to be constructed of split-face block masonry with a wrought-iron lid. The equipment enclosure serves to protect the monopine’s ground-mounted equipment, such as backup generators and equipment cabinets, from vandalism, vagrancy, or other potential nuisance activities. The facility, which will be set back approximately 90 feet from the street, will be screened from public view by shrubs and vines.

(e) Landscaping — The Development Code requires wireless telecommunications facilities to be landscaped, and to be provided with appropriate screening trees and plantings. The applicant will provide four new live pine trees to help screen the wireless facility, as pines are compatible with the overall visual aesthetic of the surrounding area and existing planting palette of the park (see Exhibit D—Landscape Plan).

**Part II—RECITALS**

WHEREAS, the Application is a Project pursuant to the California Environmental Quality Act, commencing with Public Resources Code Section 21000 (hereinafter referred to as "CEQA"); and

WHEREAS, the Project is exempt from CEQA pursuant to a categorical exemption (listed in CEQA Guidelines Article 19, commencing with Section 15300) and the application of that categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board ("DAB") the responsibility and authority to review and make recommendation to the Planning Commission on the subject Application; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan ("ALUCP"), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, on August 15, 2022, the DAB of the City of Ontario conducted a hearing on the Application and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.

**Part III—THE DECISION**

NOW, THEREFORE, IT IS HEREBY FOUND AND DETERMINED by the Development Advisory Board of the City of Ontario, as follows:

**SECTION 1: *Environmental Determination and Findings.*** As the recommending body for the Project, the DAB has reviewed and considered the information contained in the administrative record for the Project. Based upon the facts and information contained in the administrative record, including all written and oral evidence presented to the DAB, the DAB finds as follows:

(1) The Project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, In-Fill Development Projects) of the CEQA Guidelines, and meets all of the following conditions:

(a) The Project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. The proposed Project is located within the Open Space – Recreation land use district of the Policy Plan Land Use Map, and the OS-R (Open Space – Recreation) zoning district. The proposed project is consistent with all applicable general plan policies, as well as with the OS-R (Open Space – Recreation) zoning designation and applicable Development Code regulations.

(b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses. The Project is proposed within the established boundaries of the City of Ontario, on a Project site totaling 0.01-acre (509 square feet) of land, which is surrounded by an established City park site (Veteran’s Memorial Park).

(c) The Project site has no value as habitat for endangered, rare, or threatened species. The site was previously graded, landscaped, and is located within an existing fully developed City park site (Veteran’s Memorial Park).

(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. The proposed wireless telecommunications facility is similar to, and of no greater impact than other allowed uses and development projects within the OS-R (Open Space – Recreation) zoning district.

(e) The site can be adequately served by all required utilities and public services. All necessary wet and dry utilities are available to the Project site.

(2) The application of the categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

(3) The determination of CEQA exemption reflects the independent judgment of the DAB.

**SECTION 2: Housing Element Compliance.** Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the recommending body for the Project, the DAB finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the Project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan, as the Project site is not one of the properties in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix.

**SECTION 3: ALUCP Compliance.** The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land use Compatibility Plan, establishing the Airport Influence Area for Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the recommending body for the Project, the DAB has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the DAB, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

**SECTION 4: Concluding Facts and Reasons.** Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the facts and information set forth in Parts I (Background and Analysis) and II (Recitals), above, and the specific findings set forth in Sections 1 through 3, above, the DAB hereby concludes as follows:

(1) ***The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.*** The proposed Project is located within the OS-R (Open Space – Recreation) land use district of the Policy Plan Land Use Map, and the OS-R (Open Space – Recreation) zoning district. The development standards and conditions under which the proposed Project will be constructed and maintained are consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan. The proposed stealth “monopine” antenna design will help to reduce visual impact of the facility to the surrounding neighborhood as well as to visitors of the park, and the location within a recreational zoning district is preferential to placement within a residential zoning district. The Project will provide much-needed cell phone service coverage in the area; and

(2) ***The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located.*** The Project has been designed consistent with the requirements of the City of Ontario Development Code and the OS-R (Open Space – Recreation) zoning district, including standards relative to the particular land use proposed (wireless telecommunications facility), as-well-as building intensity, building and parking setbacks, building height, number of off-street parking and loading spaces, on-site and off-site landscaping, and fences, walls and obstructions. The Project as proposed meets all Code standards and will not impact surrounding properties above and beyond what currently exists with other land uses and telecommunications facilities in the vicinity; and

(3) ***The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the Project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed Project.*** The Development Advisory Board has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the Development Code are maintained; [ii] the Project will not endanger the public health, safety or general welfare; [iii] the Project will not result in any significant environmental impacts; [iv] the Project will be in harmony with the area in which it is located; and [v] the Project will be in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan. The Project site is currently developed with a park, and the Project equipment will be located in an unprogrammed area adjacent to a flood control channel. With the Project’s conditions of approval, the Project will provide additional plantings and trees for the park, and will serve the surrounding neighborhood with much-needed cell service coverage; and

(4) ***The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.*** The proposed Project has been reviewed for consistency with the general development standards and guidelines of the Development Code that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of off-street parking and loading spaces, parking lot dimensions, design and landscaping, bicycle parking, on-site landscaping, and fences and walls, as-well-as those development standards and guidelines specifically related to the particular land use being proposed (wireless telecommunications facility). As a result of this review, the Development Advisory Board has determined that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the development standards and guidelines described in the Development Code.

**SECTION 5: Development Advisory Board Action.** Based on the findings and conclusions set forth in Sections 1 through 4, above, the DAB hereby recommends the Planning Commission APPROVES the Application subject to each and every condition set forth in the Department reports included as Attachment A of this Decision, and incorporated herein by this reference.

**SECTION 6: Indemnification.** The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Ontario shall promptly notify the Applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**SECTION 7: Custodian of Records.** The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

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APPROVED AND ADOPTED this 15th day of August 2022.

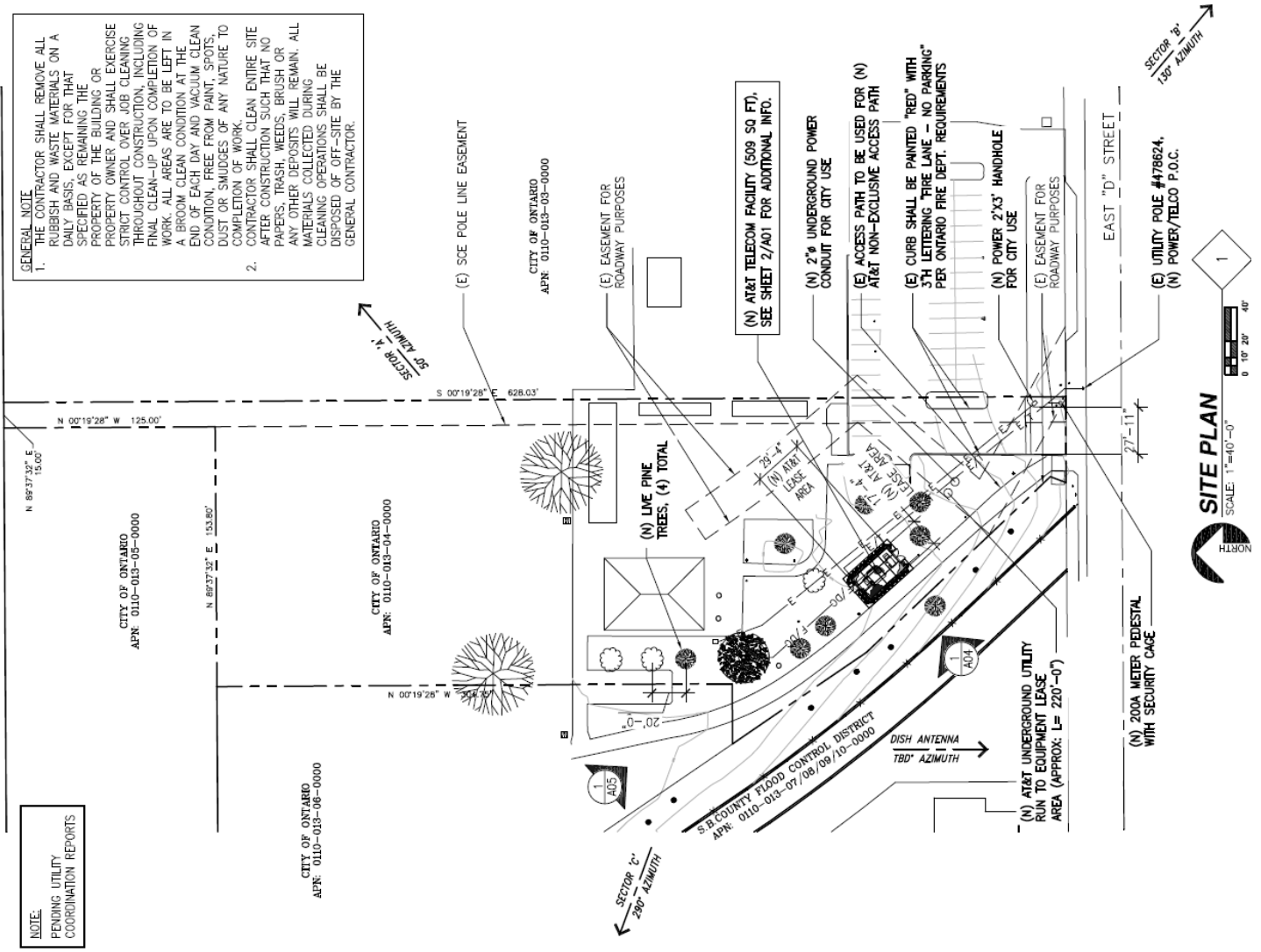
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Development Advisory Board Chairman

**Exhibit A—PROJECT LOCATION MAP**



Exhibit B—SITE PLAN







**Exhibit B—SITE PLAN CONTINUED**

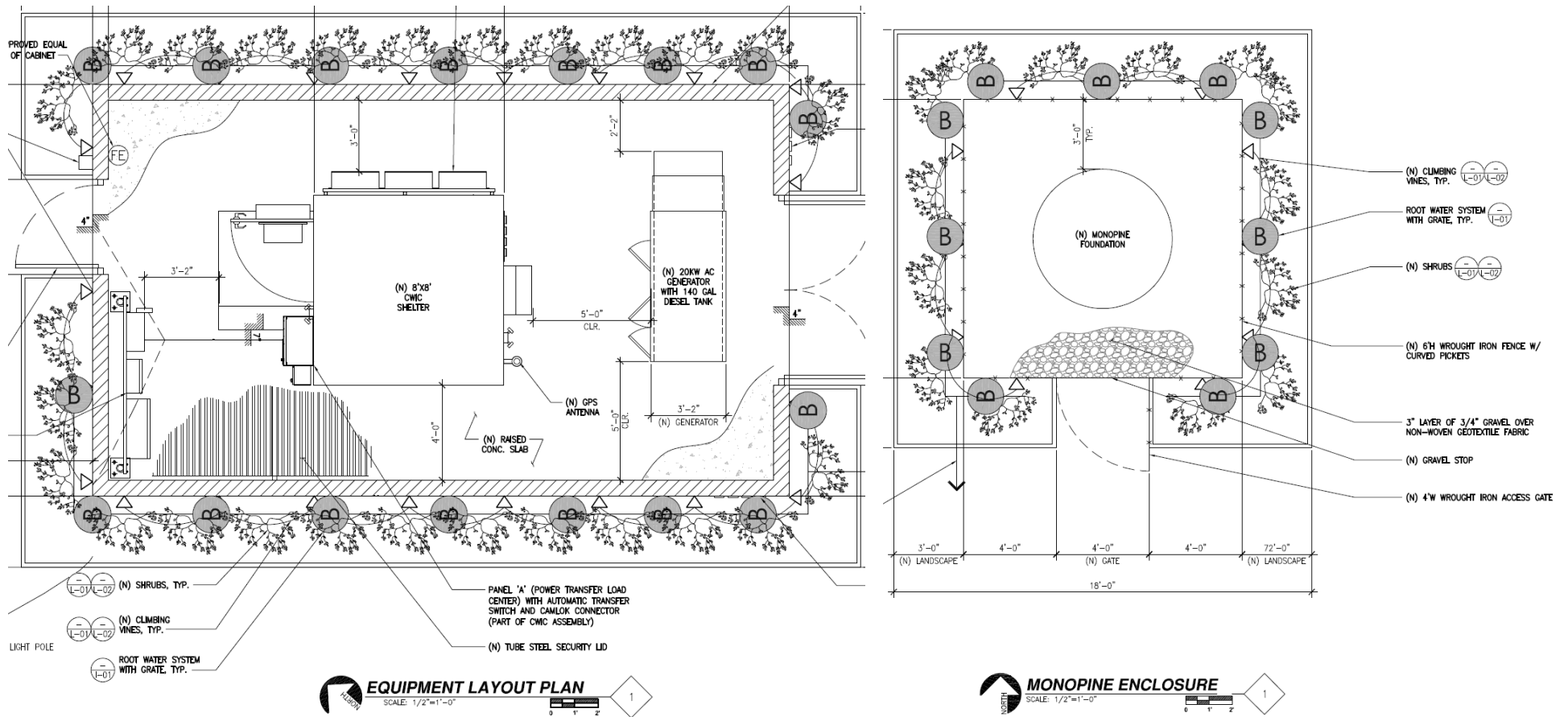
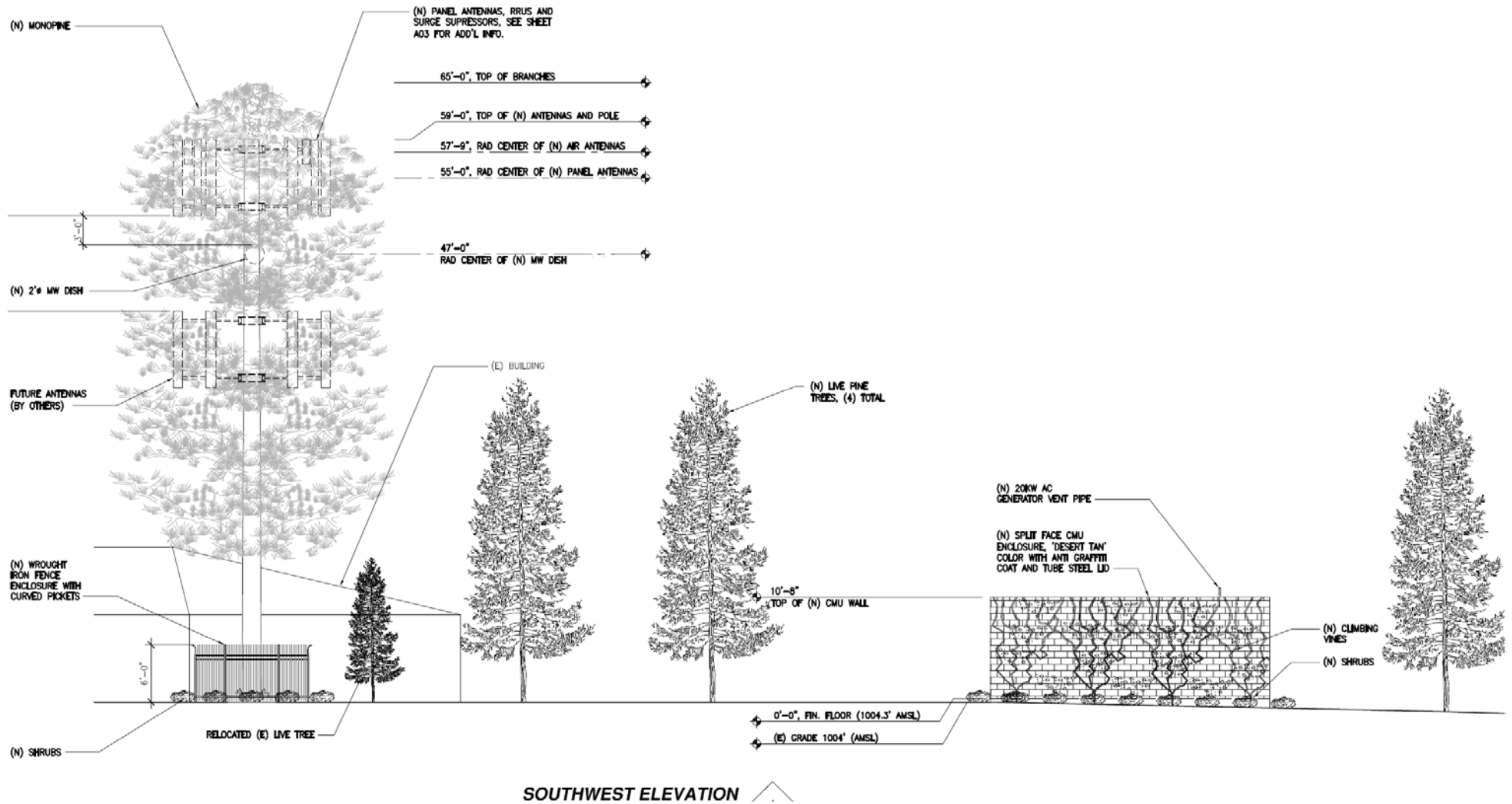
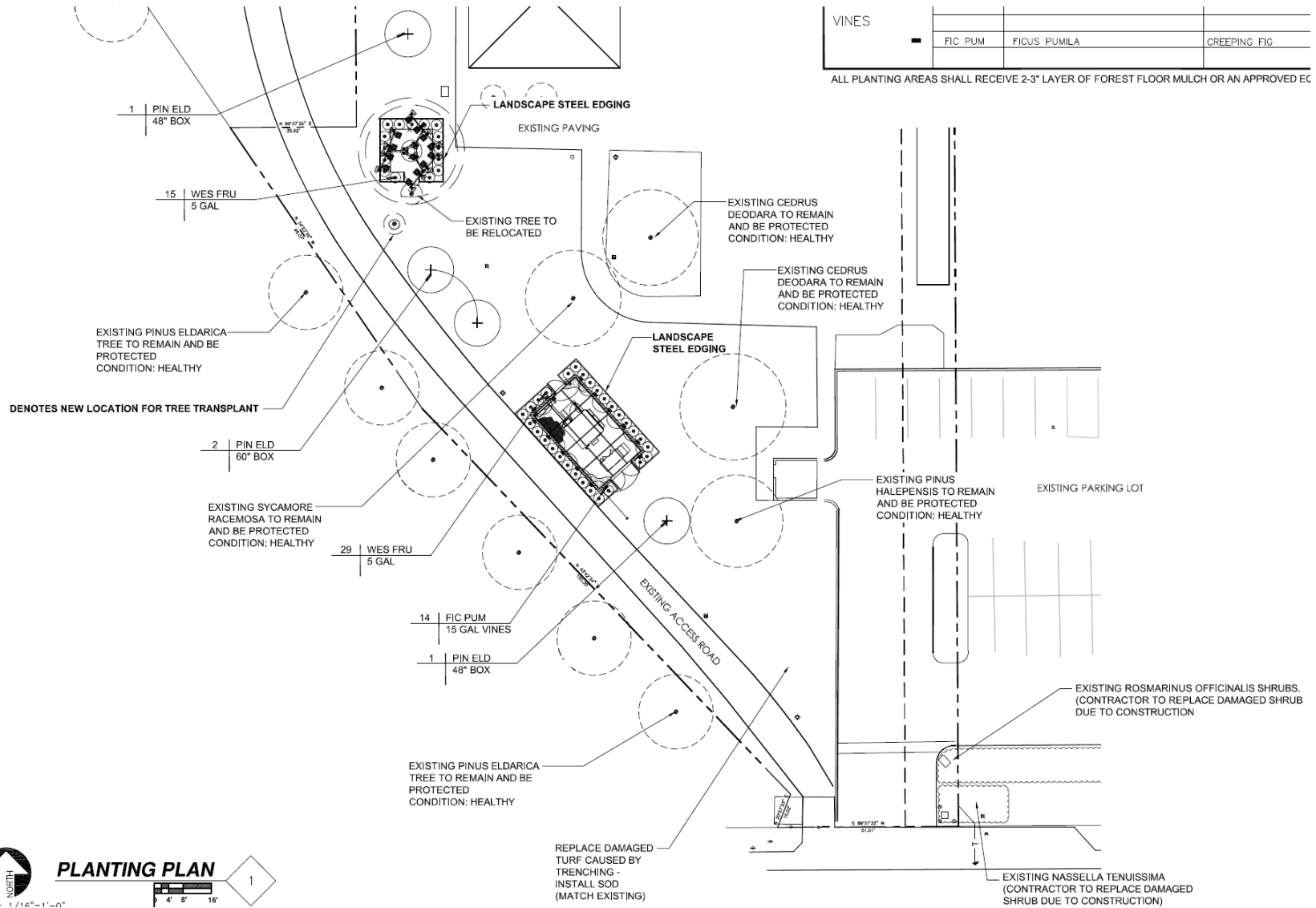


Exhibit C—ELEVATIONS



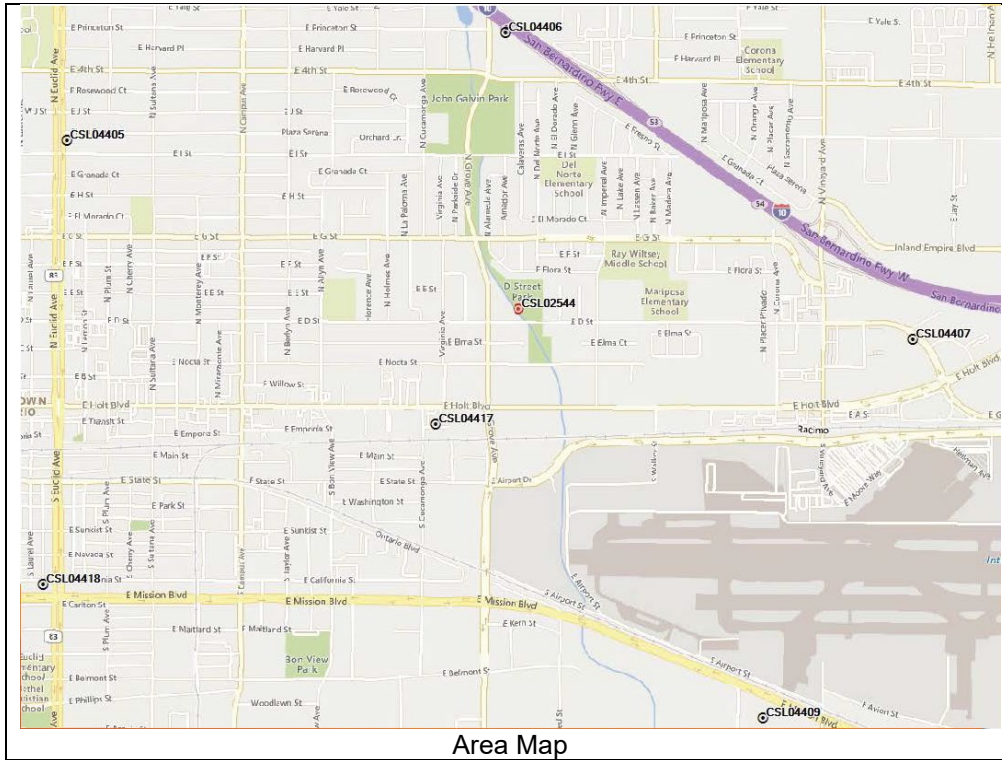
**Exhibit D—LANDSCAPE PLAN**



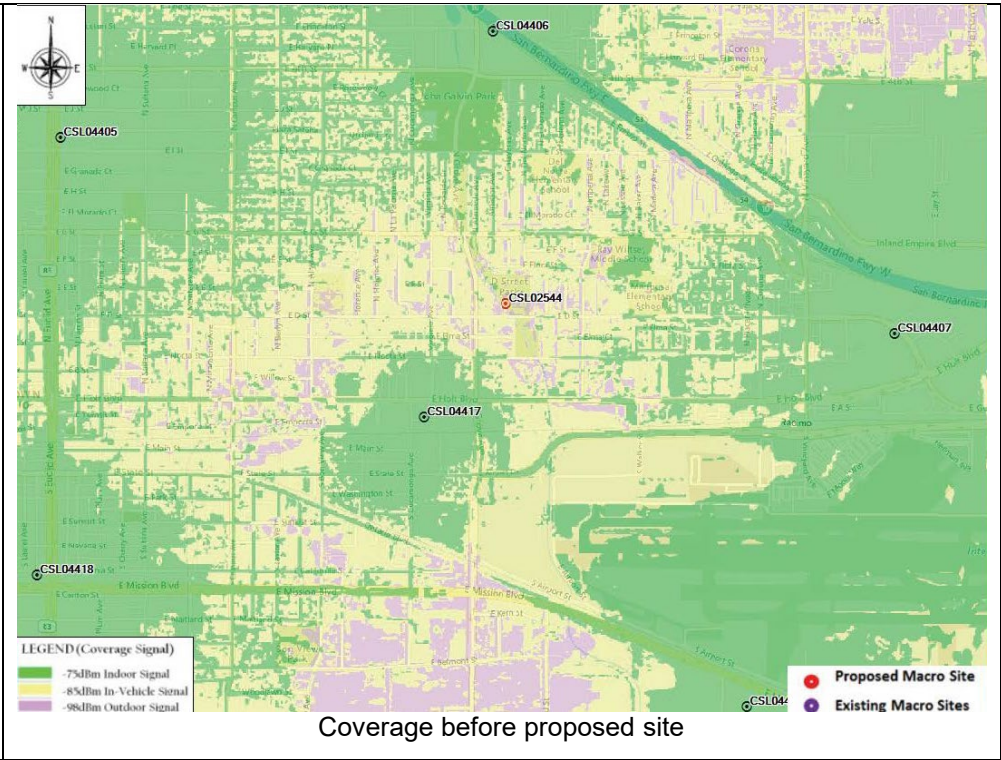
**Exhibit E—APPROXIMATE DISTANCES TO RESIDENTIAL ZONING DISTRICTS**



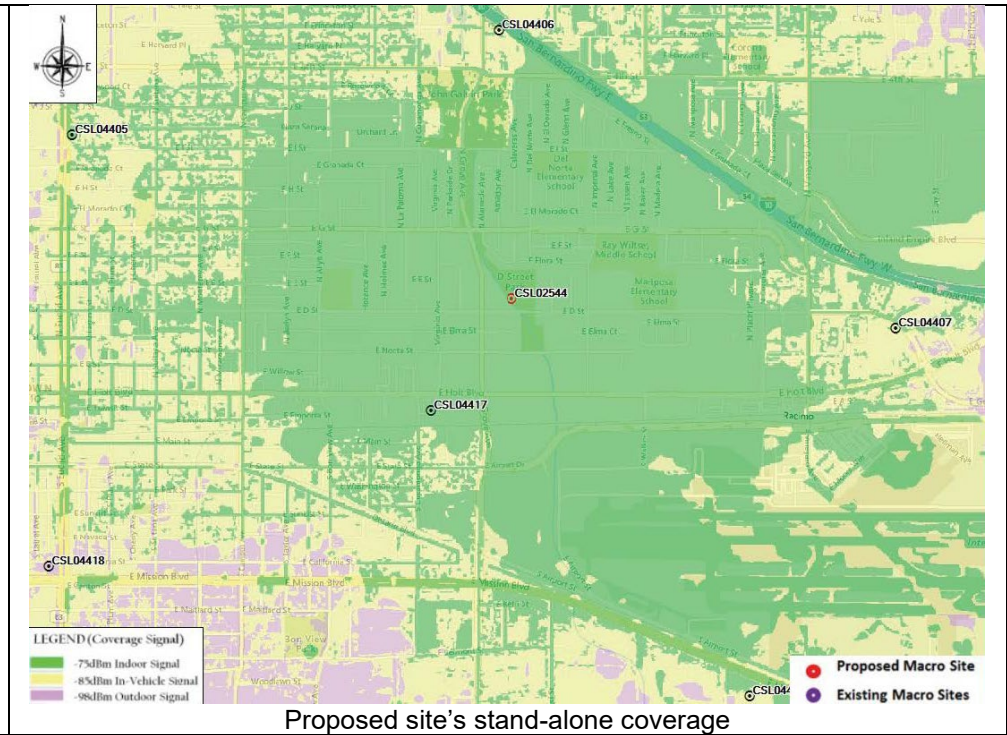
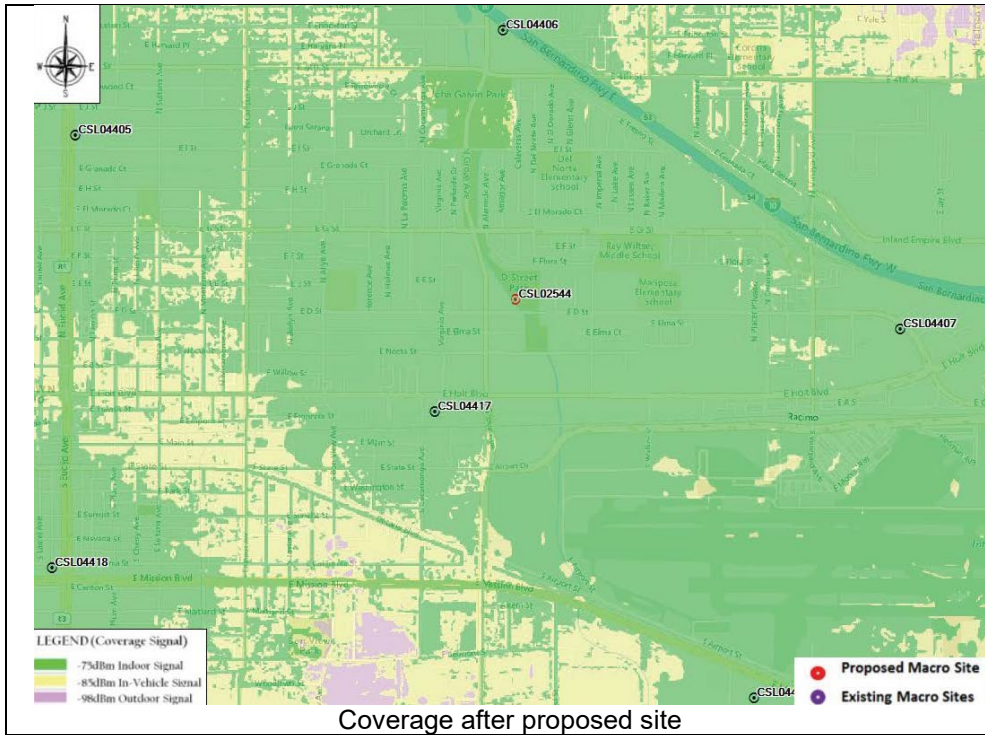
Exhibit F—PROPAGATION MAPS



Area Map



Coverage before proposed site



## **Attachment A—Departmental Conditions of Approval**

*(Departmental conditions of approval follow this page)*





## LAND DEVELOPMENT DIVISION CONDITIONS OF APPROVAL

303 East B Street, Ontario, California 91764 Phone: 909.395.2036 / Fax: 909.395.2420

**Date Prepared:** 7/15/2022

**File No:** PDEV22-004

**Related Files:** N/A

**Project Description:** A Development Plan to construct a stealth wireless telecommunications facility, with a 65-foot-tall monopine and ancillary ground-mounted equipment, on 1.75 acres of land located at 1259 East D Street (Veteran's Memorial Park), within the OS-R (Open Space – Recreation) zoning district; (APN: 0110-013-04) **submitted by Coastal Business Group.**

**Prepared By:** Alexis Vaughn, Associate Planner  
Phone: 909.395.2416 (direct)  
Email: [avaughn@ontarioca.gov](mailto:avaughn@ontarioca.gov)

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

**1.0 Standard Conditions of Approval.** The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

**2.0 Special Conditions of Approval.** In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

**2.1** Time Limits.

**(a)** Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

**2.2** General Requirements. The Project shall comply with the following general requirements:

**(a)** All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

**(b)** The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

**(c)** The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

### **2.3** Landscaping.

**(a)** The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

**(b)** Comply with the conditions of approval of the Planning Department; Landscape Planning Division.

**(c)** Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

**(d)** Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

**(e)** Landscaping shall be provided to screen the equipment and enclosure from public view, and to help discourage nuisance activities such as vandalism or vagrancy.

### **2.4** Walls and Fences.

**(a)** All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

**(b)** Walls and fences shall be provided to protect the equipment and enclosure from any potential nuisance activities, including a durable wrought-iron or similar enclosure lid.

### **2.5** Site Lighting.

**(a)** The design of light fixtures and their structural supports should be architecturally compatible with the main structures on the site. Light fixtures should be architecturally integrated into the design of a structure. Any safety lighting as required by the FAA shall be provided.

**(b)** All lighting fixtures must be shielded to confine light spread on-site.

**2.6** Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

**2.7** Signs.

**(a)** All Project signage shall comply with the requirements of Ontario Development Code Division 8.1 (Sign Regulations).

**2.8** Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noised levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

**2.9** Environmental Review.

**(a)** The proposed project is categorically exempt from the requirements of the California Environmental Quality Act of 1970 (CEQA), as amended, and the Guidelines promulgated thereunder, pursuant to Section 15332 (Class 32, In-Fill Development Projects) of the CEQA Guidelines, and meets all of the following conditions:

**(i)** The Project is consistent with the applicable general plan designation and all applicable general plan policies, as well as the applicable zoning designation and regulations;

**(ii)** The proposed development occurs within city limits, on a project site of no more than five acres, and is substantially surrounded by urban uses;

**(iii)** The project site has no value as habitat for endangered, rare, or threatened species;

**(iv)** Approval of the Project will not result in any significant effects relating to traffic, noise, air quality, or water quality; and

**(v)** The Project site can be adequately served by all required utilities and public services.

**(b)** If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

**(c)** If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

**2.10** Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**2.11** Additional Fees.

**(a)** Within 5 days following final application approval, the Notice of Exemption ("NOE") filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act ("CEQA"). The filing of a NOE is voluntary; however, failure to provide said fee within the time specified will result in the extension of the statute of limitations for the filing of a CEQA lawsuit from 30 days to 180 days.

**(b)** After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

**2.12** Additional Requirements.

**(a)** The facility shall abide by all telecommunication facility standards as listed in Section 5.03.420, including the monopine antenna design standards as listed in Section 5.03.420.E.17 of the Development Code.



# CITY OF ONTARIO

## MEMORANDUM

**TO:** Jeanie Irene Aguilo, Associate Planner  
Planning Department

**FROM:** Paul Ehrman, Sr. Deputy Fire Chief/Fire Marshal  
Fire Department

**DATE:** February 7, 2022

**SUBJECT:** PDEV22-004 - A Development Plan to construct a stealth wireless communications facility, with a 65-foot monopine and ancillary ground-mounted equipment, on 1.75 acres of land located at 1259 East D Street (Veteran's Memorial Park), within the OSR (Open Space Recreational) zoning district (APN: 0110-013-04).

- 
- The plan **does** adequately address the departmental concerns at this time.
- Report below.

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### **CONDITIONS OF APPROVAL:**

8. Hand-portable fire extinguishers are required to be installed PRIOR to occupancy. Contact the Bureau of Fire Prevention Bureau during the latter stages of construction to determine the exact number, type and placement required per Ontario Fire Department Standard #C-001. (Available upon request from the Fire Department or on the internet at <https://www.ontarioca.gov/Fire/Prevention>, under Fire Extinguishing Systems Standards Files.)
9. "No Parking/Fire Lane" signs and /or Red Painted Curbs with lettering are required to be installed in interior access roadways, in locations where vehicle parking would encroach on the 24-foot clear width requirement per Ontario Fire Department. Install per Ontario Fire Department Standards #B-001 and #B-004. (Available upon request from the Fire Department or on the internet at <https://www.ontarioca.gov/Fire/Prevention>, under Fire Department Access Standards Files.)
10. Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property.

Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Said numbers shall contrast with their background. (See Section 9-1 6.06 Street Naming and Street Address Numbering of the Ontario Municipal Code and Ontario Fire Department Standards #H-003 and #H-002, on the internet at <https://www.ontarioca.gov/Fire/Prevention>, under Development Standards Files.)

21. The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
28. The developer shall transmit a copy of these requirements to his on-site contractor to foster a mutual understanding between on-site personnel and the Fire Marshal's office. It is highly recommended that the developer and fire protection designer obtain a copy of the Ontario Fire Department Fire Protection System Information Checklist to aid in system design. Development Advisory Board comments are to be included on the construction drawing.

ADDITIONAL COMMENTS:

If the equipment cabinets are to contain any stationary storage battery systems, said systems shall comply with section 608 of the 2019 California Fire Code

For copies of Ontario Fire Department Standards please access the City of Ontario web site at [www.ontarioca.gov/Fire/Prevention](http://www.ontarioca.gov/Fire/Prevention).



# CITY OF ONTARIO MEMORANDUM

TO: Scott Murphy, Community Development Director (Copy of memo only)  
 Rudy Zeledon, Planning Director (Copy of memo only)  
 Diane Ayala, Advanced Planning Division (Copy of memo only)  
 Charity Hernandez, Economic Development  
 James Caro, Building Department  
 Raymond Lee, Engineering Department  
 Jamie Richardson, Landscape Planning Division  
 Dennis Mejia, Municipal Utility Company  
~~Gabriel Gutierrez, Police Department~~ **Jeremy Phillips**  
 Paul Erhman, Deputy Fire Chief/Fire Marshal  
 Jay Bautista, Traffic/Transportation Manager  
 Lorena Mejia, Airport Planning  
 Eric Woosley, Engineering/NPDES  
 Angela Magana, Community Improvement (Copy of memo only)  
 Jimmy Chang, IPA Department  
 Ben Mayorga, Integrated Waste

FROM: Alexis Vaughn, Assistant Planner

DATE: January 26, 2022

SUBJECT: FILE #: PDEV22-004 Finance Acct#:

The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by .

- Note:
- Only DAB action is required
  - Both DAB and Planning Commission actions are required
  - Only Planning Commission action is required
  - DAB, Planning Commission and City Council actions are required
  - Only Zoning Administrator action is required

**PROJECT DESCRIPTION:** A Development Plan to construct a stealth wireless communications facility, with a 65-foot monopine and ancillary ground-mounted equipment, on 1.75 acres of land located at 1259 East D Street (Veteran's Memorial Park), within the OSR (Open Space Recreational) zoning district (APN: 0110-013-04).

The plan does adequately address the departmental concerns at this time.

- No comments
- Report attached (1 copy and email 1 copy)
- Standard Conditions of Approval apply

The plan does not adequately address the departmental concerns.

- The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

PAVE  
Department

ANTONIO GARCIA  
Signature

PAVE OFFICER  
Title

2/9/22  
Date



# CITY OF ONTARIO

## MEMORANDUM

TO: Scott Murphy, Community Development Director (Copy of memo only)  
Rudy Zeledon, Planning Director (Copy of memo only)  
Diane Ayala, Advanced Planning Division (Copy of memo only)  
Charity Hernandez, Economic Development  
James Caro, Building Department  
**Raymond Lee, Engineering Department**  
Jamie Richardson, Landscape Planning Division  
Dennis Mejia, Municipal Utility Company  
Gabriel Gutierrez, Police Department  
Paul Erhman, Deputy Fire Chief/Fire Marshal  
Jay Bautista, Traffic/Transportation Manager  
Lorena Mejia, Airport Planning  
Eric Woosley, Engineering/NPDES  
Angela Magana, Community Improvement (Copy of memo only)  
Jimmy Chang, IPA Department  
Ben Mayorga, Integrated Waste

David

FROM: Alexis Vaughn, Assistant Planner

DATE: January 26, 2022

SUBJECT: FILE #: PDEV22-004 Finance Acct#:

The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by .

- Note:
- Only DAB action is required
  - Both DAB and Planning Commission actions are required
  - Only Planning Commission action is required
  - DAB, Planning Commission and City Council actions are required
  - Only Zoning Administrator action is required

**PROJECT DESCRIPTION:** A Development Plan to construct a stealth wireless communications facility, with a 65-foot monopine and ancillary ground-mounted equipment, on 1.75 acres of land located at 1259 East D Street (Veteran's Memorial Park), within the OSR (Open Space Recreational) zoning district (APN: 0110-013-04).

- The plan does adequately address the departmental concerns at this time.
  - No comments
  - Report attached (1 copy and email 1 copy)
  - Standard Conditions of Approval apply
- The plan does not adequately address the departmental concerns.
  - The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

ENGINEERING  
LAND

ENGINEERING  
ASSISTANT

2.7.2022

Department

Signature

Title

Date





# CITY OF ONTARIO

## MEMORANDUM

TO: Scott Murphy, Community Development Director (Copy of memo only)  
Rudy Zeledon, Planning Director (Copy of memo only)  
Diane Ayala, Advanced Planning Division (Copy of memo only)  
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Raymond Lee, Engineering Department  
Jamie Richardson, Landscape Planning Division  
Dennis Mejia, Municipal Utility Company  
Gabriel Gutierrez, Police Department  
Paul Erhman, Deputy Fire Chief/Fire Marshal  
Jay Bautista, Traffic/Transportation Manager  
Lorena Mejia, Airport Planning  
~~Eric Woosley~~, Engineering/NPDES **Tricia E.**  
Angela Magana, Community Improvement (Copy of memo only)  
Jimmy Chang, IPA Department  
Ben Mayorga, Integrated Waste

FROM: Alexis Vaughn, Assistant Planner

DATE: January 26, 2022

SUBJECT: FILE #: PDEV22-004

Finance Acct#:

The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by .

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  - Both DAB and Planning Commission actions are required
  - Only Planning Commission action is required
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- The plan does adequately address the departmental concerns at this time.
  - No comments
  - Report attached (1 copy and email 1 copy)
  - Standard Conditions of Approval apply
- The plan does not adequately address the departmental concerns.
  - The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

Engineering - Env  
Department

Signature

Engineering Assistant  
Title

1/31/22  
Date



# CITY OF ONTARIO

## MEMORANDUM

TO: Scott Murphy, Community Development Director (Copy of memo only)  
Rudy Zeledon, Planning Director (Copy of memo only)  
Diane Ayala, Advanced Planning Division (Copy of memo only)  
Charity Hernandez, Economic Development  
James Caro, Building Department  
Raymond Lee, Engineering Department  
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Jay Bautista, Traffic/Transportation Manager  
Lorena Mejia, Airport Planning  
Eric Woosley, Engineering/NPDES  
Angela Magana, Community Improvement (Copy of memo only)  
Jimmy Chang, IPA Department  
Ben Mayorga, Integrated Waste

FROM: Alexis Vaughn, Assistant Planner

DATE: January 26, 2022

SUBJECT: FILE #: PDEV22-004 Finance Acct#:

The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by .

- Note:
- Only DAB action is required
  - Both DAB and Planning Commission actions are required
  - Only Planning Commission action is required
  - DAB, Planning Commission and City Council actions are required
  - Only Zoning Administrator action is required

**PROJECT DESCRIPTION:** A Development Plan to construct a stealth wireless communications facility, with a 65-foot monopine and ancillary ground-mounted equipment, on 1.75 acres of land located at 1259 East D Street (Veteran's Memorial Park), within the OSR (Open Space Recreational) zoning district (APN: 0110-013-04).

The plan does adequately address the departmental concerns at this time.

- No comments
- Report attached (1 copy and email 1 copy)
- Standard Conditions of Approval apply

The plan does not adequately address the departmental concerns.

- The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

ENGINEERING/  
TRANSPORTATION  
SECTION

*Juan M. Carr*

SENIOR  
ASSOCIATE  
ENGINEER

2/4/22

Department

Signature

Title

Date



# CITY OF ONTARIO

## MEMORANDUM

TO: Scott Murphy, Community Development Director (Copy of memo only)  
Rudy Zeledon, Planning Director (Copy of memo only)  
Diane Ayala, Advanced Planning Division (Copy of memo only)  
Charity Hernandez, Economic Development  
James Caro, Building Department  
Raymond Lee, Engineering Department  
Jamie Richardson, Landscape Planning Division  
Dennis Mejia, Municipal Utility Company  
Jeremy Phillips, Police Department  
Paul Erhman, Deputy Fire Chief/Fire Marshal  
Jay Bautista, Traffic/Transportation Manager  
Lorena Mejia, Airport Planning  
Tricia Espinoza, Engineering/NPDES  
Angela Magana, Community Improvement (Copy of memo only)  
Jimmy Chang, IPA Department  
Ben Mayorga, Integrated Waste

**Revision #2**

FROM: Alexis Vaughn, Associate Planner

DATE: June 24, 2022

SUBJECT: FILE #: PDEV22-004

Finance Acct#:

The following project has been resubmitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by .

**PROJECT DESCRIPTION:** A Development Plan to construct a stealth wireless communications facility, with a 65-foot monopine and ancillary ground-mounted equipment, on 1.75 acres of land located at 1259 East D Street (Veteran's Memorial Park), within the OSR (Open Space Recreational) zoning district (APN: 0110-013-04).

The plan does adequately address the departmental concerns at this time.

No comments

See previous report for Conditions

Report attached (1 copy and email 1 copy)

Standard Conditions of Approval apply

The plan does not adequately address the departmental concerns.

The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

Landscape Planning Division  
Signature: [Handwritten Signature] Title: Landscape Planner Date: 7/7/22

**CITY OF ONTARIO**  
**LANDSCAPE PLANNING DIVISION**  
 303 East "B" Street, Ontario, CA 91764

**CONDITIONS OF APPROVAL**

**Sign Off**



7/7/2022

Jamie Richardson, Senior Landscape Planner

Date

Reviewer's Name:

**Jamie Richardson, Sr. Landscape Planner**

Phone:

**(909) 395-2615**

D.A.B. File No.:

PDEV22-004

Case Planner:

Alexis Vaughn

Project Name and Location:

City of Ontario – Veteran's Memorial Park  
 1259 East D Street

Applicant/Representative:

Coastal Business Group AT&T Mobility  
 24310 Moulton Pkwy, Ste O #1009  
 Laguna Hills, Ca 92637



**A Preliminary Plan (dated 6/24/2022) meets the Standard Conditions for New Development and has been approved considering that the following conditions below be met upon submittal of the landscape construction documents.**



**A Preliminary Plan (dated) has not been approved. Corrections noted below are required before Preliminary Landscape Plan approval.**

**A RESPONSE SHEET IS REQUIRED WITH RESUBMITTAL, OR PLANS WILL BE RETURNED AS**

1. After a project's entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council. Landscape construction plans with building permit number for plan check may be emailed to: [landscapeplancheck@ontarioca.gov](mailto:landscapeplancheck@ontarioca.gov)
2. Landscape construction plans shall meet the requirements of the Landscape Development Guidelines. See <http://www.ontarioca.gov/landscape-planning/standards>

# AIRPORT LAND USE COMPATIBILITY PLANNING

## CONSISTENCY DETERMINATION REPORT



Project File No.: PDEV22-004  
 Address: 1259 East D Street  
 APN: 0110-013-04  
 Existing Land Use: City Park (Veteran's Memorial Park)  
 Proposed Land Use: 65 foot tall monopine  
 Site Acreage: 1.75 Proposed Structure Height: 65 FT  
 ONT-IAC Project Review: n/a  
 Airport Influence Area: ONT

Reviewed By: Lorena Mejia  
 Contact Info: 909-395-2276  
 Project Planner: Alexis Vaughn  
 Date: 6/7/2022  
 CD No.: 2022-004  
 PALU No.: n/a

### The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input type="checkbox"/> High Terrain Zone	<input type="checkbox"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input checked="" type="checkbox"/> FAA Notification Surfaces	<input checked="" type="checkbox"/> Recorded Overflight Notification
<input type="radio"/> Zone 2	<input type="checkbox"/> 65 - 70 dB CNEL	<input checked="" type="checkbox"/> Airspace Obstruction Surfaces	<input type="checkbox"/> Real Estate Transaction Disclosure
<input type="checkbox"/> Zone 3	<input checked="" type="checkbox"/> 60 - 65 dB CNEL	<input type="checkbox"/> Airspace Avigation Easement Area	
<input type="radio"/> Zone 4		Allowable Height: <u>90 FT</u>	
<input type="radio"/> Zone 5			

### The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1   
  Zone 2   
  Zone 3   
  Zone 4   
  Zone 5   
  Zone 6

Allowable Height: \_\_\_\_\_

## CONSISTENCY DETERMINATION

This proposed Project is:  
  Exempt from the ALUCP  
  Consistent  
  Consistent with Conditions  
  Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

See attached conditions

Airport Planner Signature: \_\_\_\_\_

# AIRPORT LAND USE COMPATIBILITY PLANNING

## CONSISTENCY DETERMINATION REPORT

CD No.: 2022-004

PALU No.: \_\_\_\_\_

### PROJECT CONDITIONS

The project applicant is required to file a FAA Form 7460-1 due to potential electronic interference to aircraft in flight and receive a determination of "No Hazard" from FAA prior to building permit issuance.



# Development Advisory Board Decision

August 15, 2022

**DECISION NO.:** DAB22-[insert #]

**FILE NO.:** PDEV21-039

**DESCRIPTION:** A Development Plan to construct 113 single-family homes on 22.42 acres of land generally located at the southeast corner of Mill Creek Avenue and Old Edison Road, within PA-2 (RD-4 / SFD Cottages and RD-6 / 6 Pack Courtyard) of the Esperanza Specific Plan (APNs: 0218-252-08 and 0218-252-38); **submitted by KB Home Coastal, Inc. Planning Commission action is required.**

## Part I—BACKGROUND & ANALYSIS

KB HOME COASTAL INC., (herein after referred to as “Applicant”) has filed an application requesting Development Plan approval, File No. PDEV21-039, as described in the subject of this Decision (herein after referred to as “Application” or “Project”).

(1) **Project Setting:** The Project site is comprised of 22.42 acres of land generally located at the southeast corner of Mill Creek Avenue and Old Edison Road, and is depicted in Exhibit A—Project Location Map, attached. Existing land uses, Policy Plan (general plan) and zoning designations, and specific plan land uses on and surrounding the Project site are as follows:

	<i>Existing Land Use</i>	<i>Policy Plan Designation</i>	<i>Zoning Designation</i>	<i>Specific Plan Land Use</i>
<i>Site</i>	Vacant/Mass Graded	(LDR) Low Density Residential (2 – 5 DU/AC) & (OS-R) Open Space – Parkland	Esperanza Specific Plan	PA-2 (RD-4 / SFD Cottages and RD-6 / 6 Pack Courtyard)
<i>North</i>	Vacant/Mass Graded	(MDR) Medium Density Residential (11.1 – 25 DU/AC)	Esperanza Specific Plan	PA-1 (RD-7 Row Townhomes and RD-8 Motorcourt Townhomes)
<i>South</i>	Residential	(LDR) Low Density Residential (2 – 5 DU/AC) & (PS) Public School	Esperanza Specific Plan	PA-10 (RD-3 / SFD 2 Pack) and PA-11 (School)
<i>East</i>	Vacant	(MDR) Medium Density Residential (11.1 – 25 DU/AC)	Esperanza Specific Plan	PA-4 (RD-6 / 6 Pack Courtyard and Row Townhomes)
<i>West</i>	Dairy Farm	(LDR) Low Density Residential (2 – 5 DU/AC)	SP (Specific Plan) / AG (Agricultural Overlay)	N/A

(2) **Project Description:**

(a) **Background** — The Esperanza Specific Plan and related Environmental Impact Report (State Clearinghouse No. 2002061047) were approved by the City Council on February 6, 2007. The Specific Plan established the land use designations, development standards, and design guidelines for the Esperanza Specific Plan, which included the potential development of 1,594 residential dwelling units and a 10.02-acre elementary school (Figure 1: Esperanza Specific Plan Land Use Map).

On August 27, 2019, the Planning Commission approved Tentative Tract Map No. 20157 (File No. PMTT18-002) for Planning Areas PA-1, PA-2, PA-3 and PA-4, which subdivided 81.35 gross acres of land into 6 numbered lots and 5 lettered lots for residential, public streets, landscaped neighborhood edges, and common open space purposes. The Tentative Map served as the “A” Map for all four planning areas. The “A” Map subdivided the parcel to facilitate future land uses, backbone infrastructure improvements (major streets, sewer, water, and storm drain facilities) and subsequent “B” Maps. Three “B” Maps were processed concurrently with the “A” Map for PA-1 and PA-2, which are further described below:

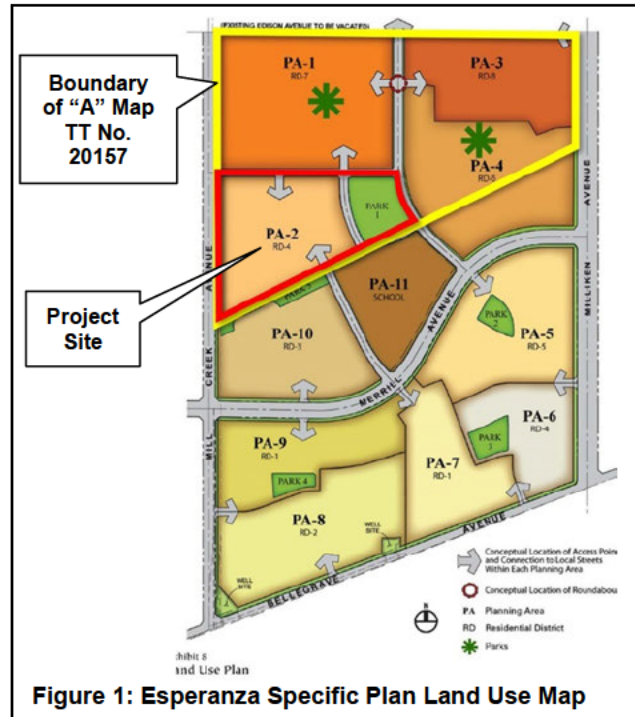


Figure 1: Esperanza Specific Plan Land Use Map

- **Tract Map No. 20158 (File No. PMTT18-003)** – The “B” Map for the northern portion of PA-1 subdivided 15.41 acres of land into 31 numbered lots and 15 lettered lots for residential (row townhomes), public streets, private lanes, landscape neighborhood edges, and common open space purposes.
- **Tract Map No. 20159 (File No. PMTT18-004)** – The “B” Map for the southern portion of PA-1 subdivided 13.94 acres of land into 15 numbered lots and 5 lettered lots for residential (motorcourt townhomes), public streets, private lanes, landscape neighborhood edges, and common open space purposes.
- **Tract Map No. 20160 (File No. PMTT18-005)** – The “B” Map for PA-2 subdivided 22.84 acres of land into 113 numbered lots and 32 lettered lots for residential (6-pack courtyard single family homes), public streets, private lanes, landscape neighborhood edges, and common open space purposes.

On September 17, 2019, the City Council approved a Development Agreement (File No. PDA19-002) to facilitate infrastructure improvements to serve the site, which will be completed in two phases. Phase 1 improvements will develop PA-1 and PA-2, and Phase 2 improvements will develop PA-3 and PA-4.

On October 29, 2021, the Applicant submitted the subject Development Plan (File No. PDEV21-039) to facilitate the development of Tract 20160 with 113 single-family homes on 22.42 acres of land within PA-2 (RD-4 / SFD Cottages and RD-6 / 6 Pack Courtyard) of the Esperanza Specific Plan.

(b) **Site Design/Building Layout** — The proposed 6 Pack Courtyard cluster product is characterized by a private lane constructed with decorative pavers that provides garage access to each unit, with the main entrances of the units fronting the street. Each unit will be provided with a 2-car garage within a typical cluster setting, and a standard two-car driveway (see Exhibit B—Site Plan, attached).

Three, two-story floor plans are proposed, each with three elevations per plan. The Esperanza Specific Plan requires a minimum lot size of 2,200 square feet and a maximum 55 percent lot coverage. The typical lot sizes range from 3,015 and 7,534 square feet, with an average lot size of 3,972 square feet. The proposed lot coverages range from 22 to 47 percent, with an average lot coverage of 46 percent. All plans incorporate various design features, such as a mix of one- and two-story massing, varied entries, second



floor laundry facilities, loft, kitchen, open dining, and great room/living areas. The proposed floor plans consist of the following:

<b>Plan Type (No. of Units)</b>	<b>Gross Floor Area</b>	<b>Key Features</b>
1 (39 DUs)	2,308 SF	4 bedrooms, 3 bathrooms, loft/optional 5th bedroom
2 (37 DUs)	2,501 SF	5 bedrooms, 3 bathrooms, loft
3 (37 DUs)	2,780 SF	5 bedrooms, 3 bathrooms, loft, den

(c) **Site Access/Circulation** — The previously approved Tract Map Nos. 20157 (“A” Map) and 20160 (“B” Map), facilitated the construction of the backbone streets including the primary access points into the northwestern portion of the Esperanza Specific Plan from Mill Creek Avenue and Clifton Avenue, as well as the construction of all the interior neighborhood streets within the subdivision. Primary access into the subdivision will be from Sunset Street, which runs east-west along the Project’s northern boundary. A secondary access point will be from Chatham Street, which runs east-west along the southern boundary. The project developer is responsible for the construction of the project’s interior neighborhood streets, including Malibu Avenue, Amherst Avenue, La Jolla Street, Encinitas Avenue, Catalina Street, Ventura Avenue, Morro Privado, Cambria Privado, and Avila Privado.

(d) **Parking** — The Esperanza Specific Plan and the Ontario Development Code require a two-car garage for single-family residential units. The Project has provided a two-car garage and two-car driveway for each unit. The Project requires a total of 255 parking spaces, and a total of 619 parking spaces will be provided, exceeding the minimum requirements by 364 parking spaces and providing an average of 5.48 spaces per unit, as summarized in Table 2, below. The additional parking spaces are distributed throughout the site as on-street parking, driveway parking, and parking within the private drive aisles.

**Table 2: Summary of Parking Analysis Per Unit**

<b>Product</b>	<b>Required 2-Car Garage Spaces</b>	<b>Required Guest Spaces</b>	<b>Garage Spaces Provided</b>	<b>Driveway Spaces Provided</b>	<b>On-Street Parking</b>	<b>Private Drive Aisle Stalls</b>	<b>Total Required</b>	<b>Total Provided</b>	<b>+/- Parking</b>
6 Pack Courtyard (113 units)	226	29	226	226	144	23	255	619	364
Per Unit Average	<b>5.48 spaces per unit</b>								

(e) **Architecture** — The architectural theme for the Esperanza Specific Plan is based upon historical styles found in Ontario. The proposed architectural styles include Spanish Colonial, Craftsman, and Tuscan styles. These styles were chosen to complement one another through the overall scale, massing, proportions, details, and the ability to establish an attractive backdrop that will age gracefully over time.

The architectural styles proposed will include the following features (see Exhibit C—Front Elevations and Floor Plan, attached):

- **Spanish Colonial:** Varying gable roofs with “S” type roof tiles, stucco exterior, deep recessed openings, arched entryways, decorative gable end details, decorative shutters, ceramic tiles, and decorative corbels.
- **Craftsman:** Varying gable and shed roofs with concrete flat roof tiles; stucco exteriors with horizontal wood siding details, decorative outlookers, board and batten details, decorative corbels, and enhanced window trim details.
- **Tuscany:** Simple hip roofs with “S” type roof tiles, stucco exterior, enhanced arched articulation at entrances, decorative shutters, and decorative window framing.

(f) **Landscaping/Open Space** — Tract Map No. 20157 (“A” Map) will facilitate the construction of neighborhood parks, sidewalks, parkways, and open space areas for Planning Areas PA-1 through PA-4. TOP Policy PR1-1 requires new developments to provide a minimum of two acres of Private Park per 1,000 residents. The overall tract is required to provide 5.53 acres of parkland to meet the minimum TOP private park requirement and a total of 6.46 acres of parkland is being provided. PA-1 will provide a 0.69-acre recreation park and a 0.32-acre trellis park. PA-2 will provide a 3.4-acre central neighborhood park and a 0.27-acre garden park. PA-3 and PA-4 will provide 1.78-acre neighborhood park and 0.1-acre pocket park. The pedestrian circulation system provides connectivity to the parks, residential neighborhoods, and surrounding communities. Future park designs and amenities located within PA-3 and PA-4 will be addressed as part of the Development Plan entitlement process that will require consistency with the Esperanza Specific Plan. This Development Plan includes the development of the parks and amenities within PA-2, which are further described below:

- **Central Neighborhood Park** – The central neighborhood park, totaling 3.4 acres, will be located along the eastern portion of the Project site, within Lot A located at the northwest corner of Clifton Avenue and Chatham Street. The northern half of the central neighborhood park will include an outdoor shaded structure with restrooms and lounge areas, as well as active play areas such as pickleball courts, tot lots, and play equipment. The balance of the park will include shaded picnic structures, picnic tables, barbeque areas, benches, and a meandering sidewalk. A portion of the southern half of the central neighborhood park has been designed for dual-purpose use as an open space amenity that also contributes toward the Project’s storm water discharge/water quality requirements. The intent is to create a safe open space for the community to utilize while at the same time maintaining the required capacity for storm water discharge/water quality purposes. The basin has been designed with trees and landscaping on the outer edges, gentle side slopes, and a centered open space area. The central stairs will enter the open space (basin bottom), incorporate dry/wet stream beds, and provide appropriate plant material to encourage habitat as well as provide signage to educate the community. A decomposed granite walking trail will surround the rock garden and will feature cobble, boulders, turf play areas, a pollinator garden with bench seating, and a dog park with benches (see Exhibit D—Central Neighborhood Park, attached).

The central neighborhood park will be developed for the benefit of all four planning areas. The property owners of PA-1 and PA-2 (KB Home Coastal, Inc.) and PA-3 and PA-4 (Richland Ventures Inc.) have entered into a shared agreement for the shared access and maintenance cost of the central neighborhood park.

- **Garden Park** – The 0.27-acre garden park will be located along the central portion of the site, within Lot B. The garden park will include a decomposed granite path, pollinator gardens, shade trees, benches, seating, and an open turf recreation area (see Exhibit E —Garden Park, attached).

The applicant has proposed a wall and fence plan to match the adjacent neighborhood to the south, which is consistent with the requirements set forth within the Esperanza Specific Plan. Decorative 6-foot high, split-face block walls with decorative split-face pilasters are proposed for all public-facing front, side, and rear walls. The interior property line privacy fencing will consist of a 6-foot high tan precision block with a

split-face decorative cap treatment, matching the perimeter wall color (see Exhibit F—Wall Plan and Typical 6 Pack Courtyard Layout).

The Esperanza Specific Plan requires that all areas not used for buildings or hardscape shall be fully landscaped. The Project provides 30 percent landscape coverage, which is made up of an assortment of decorative and shade trees, shrubs, groundcovers, turf, and other plantings (see Exhibit G—Landscape Plan). Plantings include, but are not limited to, Coast Live Oak, Bay Laurel, Marina Strawberry Tree, Western Redbud, Bubba Desert Willow, Crape Myrtle, Golden Rain Tree, Cork Oak, Bottle Tree, Australian Willow, Holly Oak, Toyon, Drake Lacebark Elm, agave, silver dollar jade, rosemary, sage, and lantana.

(g) Utilities (drainage, sewer) — All major backbone improvements and interior site improvements will be constructed in congruence with the related Tract Map. The Applicant will also obtain an encroachment permit to conduct work within the public rights-of-way. Furthermore, the Applicant has submitted a Preliminary Water Quality Management Plan (“PWQMP”), which establishes the Project’s compliance with storm water discharge/water quality requirements. The PWQMP includes site design measures that capture runoff and pollutant transport by minimizing impervious surfaces and maximizes low impact development (“LID”) best management practices (“BMPs”), such as retention and infiltration, biotreatment, and evapotranspiration. Additionally, the Project is consistent with the previously approved Development Agreement (File No. PDA19-002) that required all major backbone infrastructure improvements within the Esperanza Specific Plan.

(h) Covenants, Conditions and Restrictions (“CC&Rs”) — As a Condition of Approval, CC&Rs were previously required to be prepared and recorded with the Final Tract Map subdividing PA-2 (Tract No. 20160). The CC&Rs will outline the maintenance responsibilities for the open space areas, recreation amenities, drive aisles, utilities, and upkeep of the entire site, to ensure the on-going maintenance of the common areas and facilities.

## **Part II—RECITALS**

WHEREAS, the Application is a project pursuant to the California Environmental Quality Act (Public Resources Code Section 21000 et seq.) (“CEQA”) and an initial study has been prepared to determine possible environmental impacts; and

WHEREAS, the environmental impacts of this project were previously reviewed in conjunction with the Esperanza Specific Plan (File No. PSP05-002) Environmental Impact Report (State Clearinghouse No. 2002061047) certified by the City Council on February 6, 2007, and this Application introduces no new significant environmental impacts; and

WHEREAS, the City’s “Local Guidelines for the Implementation of the California Environmental Quality Act (CEQA)” provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board (hereinafter referred to as “DAB”) the responsibility and authority to review and make recommendation to the Planning Commission on the subject Application; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing

Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan (“ALUCP”), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, on August 15, 2022, the DAB of the City of Ontario conducted a hearing on the Application and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.

### **Part III—THE DECISION**

NOW, THEREFORE, IT IS HEREBY FOUND AND DETERMINED by the Development Advisory Board of the City of Ontario, as follows:

**SECTION 1: *Environmental Determination and Findings.*** As the recommending body for the Project, the DAB has reviewed and considered the information contained in the previous Certified EIR and supporting documentation. Based upon the facts and information contained in the previous Certified EIR and supporting documentation, the DAB finds as follows:

(1) The environmental impacts of this project were previously reviewed in conjunction with the Esperanza Specific Plan (File No. PSP05-002) Environmental Impact Report (State Clearinghouse No. 2002061047), certified by the City Council on February 6, 2007; and

(2) The previous Certified EIR contains a complete and accurate reporting of the environmental impacts associated with the Project; and

(3) The previous Certified EIR was completed in compliance with CEQA and the Guidelines promulgated thereunder, and the City of Ontario Local CEQA Guidelines; and

(4) The previous Certified EIR reflects the independent judgment of the Planning Commission; and

(5) The proposed Project will introduce no new significant environmental impacts beyond those previously analyzed in the previous Certified EIR, and all mitigation measures previously adopted with the Certified EIR, are incorporated herein by this reference.

**SECTION 2: *Subsequent or Supplemental Environmental Review Not Required.*** Based on the information presented to the DAB, and the specific findings set forth in Section 1, above, the DAB finds that the preparation of a subsequent or supplemental Certified EIR is not required for the Project, as the Project:

(1) Does not constitute substantial changes to the Certified EIR that will require major revisions to the Certified EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and

(2) Does not constitute substantial changes with respect to the circumstances under which the Certified EIR was prepared, that will require major revisions to the Certified EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of the previously identified significant effects; and.

(3) Does not contain new information of substantial importance that was not known and could not have been known with the exercise of reasonable diligence at the time the Certified EIR was certified/adopted, that shows any of the following:

(a) The Project will have one or more significant effects not discussed in the Certified EIR; or

(b) Significant effects previously examined will be substantially more severe than shown in the Certified EIR; or

(c) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the Project, but the City declined to adopt such measures; or

(d) Mitigation measures or alternatives considerably different from those analyzed in the Certified EIR would substantially reduce one or more significant effects on the environment, but which the City declined to adopt.

**SECTION 3: Housing Element Compliance.** Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the recommending body for the Project, the DAB finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan. The project site is one of the properties listed in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix, and the proposed project is consistent with the number of dwelling units (113) and density (5.04 DU/AC) specified in the Available Land Inventory. Per the Available Land Inventory, the Esperanza Specific Plan is required to provide 1,594 dwelling units with an overall density of 5-21 DU/AC.

**SECTION 4: ALUCP Compliance.** The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land Use Compatibility Plan, establishing the Airport Influence Area for Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the recommending body for the Project, the DAB has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the DAB, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

**SECTION 5: Concluding Facts and Reasons.** Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the facts and information set forth in Parts I (Background and Analysis) and II (Recitals), above, and the determinations set forth in Sections 1 through 4, above, the DAB hereby concludes as follows:

(1) ***The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.*** The proposed Project is located within the (LDR) Low Density Residential (2 – 5 DU/AC) and (OS-R) Open Space – Parkland land use district of the Policy Plan Land Use Map, and the PA-2 (RD-4 / SFD Cottages and RD-6 / 6 Pack Courtyard) land use district of the Esperanza Specific Plan. The development standards and conditions under which the proposed Project will be constructed and maintained, is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan; and

(2) ***The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located.*** The Project has been designed consistent with the requirements of the City of Ontario Development Code and the PA-2 (RD-4 / SFD Cottages and RD-6 / 6 Pack Courtyard) land use district of the Esperanza Specific Plan, including standards relative to the particular land use proposed (single family homes), as well as building intensity, building and parking setbacks, building height, number of off-street parking and loading spaces, on-site and off-site landscaping, and fences, walls and obstructions; and

(3) ***The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed project.*** The Development Advisory Board has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the Esperanza Specific Plan are maintained; [ii] the Project will not endanger the public health, safety or general welfare; [iii] the project will not result in any significant environmental impacts; [iv] the project will be in harmony with the area in which it is located; and [v] the Project will be in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan, and the Esperanza Specific Plan. Additionally, the environmental impacts of this Project were previously reviewed in conjunction with the Esperanza Specific Plan (File No. PSP05-002) Environmental Impact Report (State Clearinghouse No. 2002061047) certified by the City Council on February 6, 2007. This application is consistent with the previously adopted EIR and introduces no new significant environmental impacts; and

(4) ***The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.*** The proposed Project has been reviewed for consistency with the general development standards and guidelines of the Esperanza Specific Plan that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of off-street parking and loading spaces, parking lot dimensions, design and landscaping, bicycle parking, on-site landscaping, and fences and walls, as-well-as those development standards and guidelines specifically related to the particular land use being proposed (single family homes). As a result of this review, the Development Advisory Board has determined that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the development standards and guidelines described in the Esperanza Specific Plan.

**SECTION 6: Development Advisory Board Action.** Based on the findings and conclusions set forth in Sections 1 through 5, above, the DAB hereby recommends the Planning Commission APPROVES the Application subject to each and every condition set forth in the Department reports included as Attachment A of this Decision and incorporated herein by this reference.

**SECTION 7: Indemnification.** The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Ontario shall promptly notify the Applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**SECTION 8: Custodian of Records.** The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

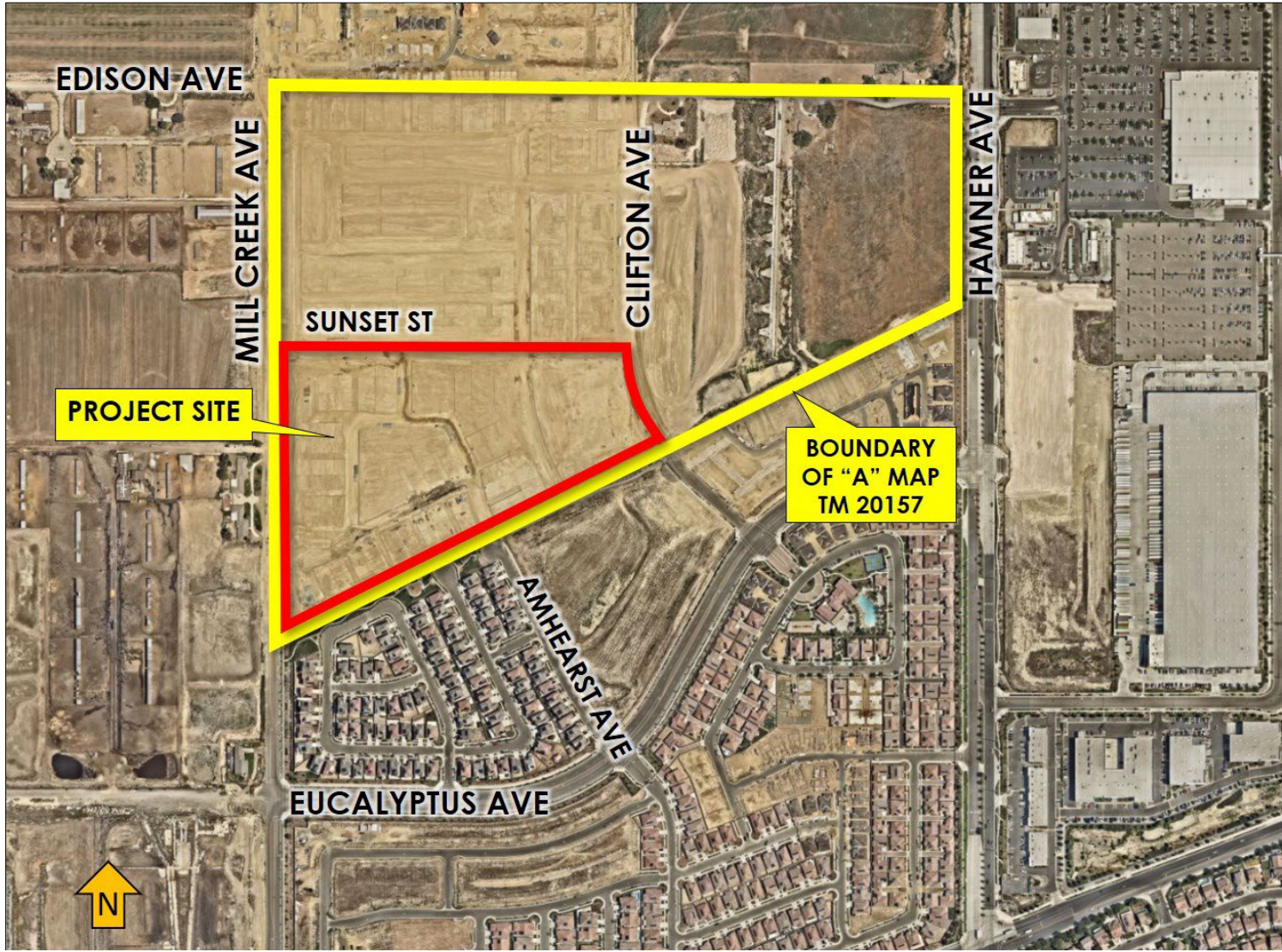
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APPROVED AND ADOPTED this 15th day of August 2022.

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Development Advisory Board Chairman

Exhibit A—PROJECT LOCATION MAP





**Exhibit B—SITE PLAN**



**Exhibit C—PLAN 1: FRONT ELEVATIONS**



Elevation 'A' (Spanish Colonial)

**ELEVATION LEGEND**

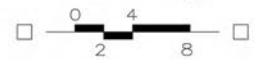
1	CONCRETE 'S' TILE ROOFING	15	DECORATIVE CLAY PIPES
2	CONCRETE FLAT TILE ROOFING	16	ADDRESS PLAQUE
3	WOOD FASCIA BOARD	17	POLYURETHANE SPIRE
4	STUCCO FINISH (16/20 SAND)	18	STUCCO OVER FOAM POTSHELF
5	STUCCO OVER FOAM TRIM	19	BOARD AND BATTEN
6	DECORATIVE STUCCO FINISH OVER FOAM CORBELS/SHAPED FOAM TRIM	20	PRE-FAB OUTLOOKER
7	STUCCO COLUMNS	21	WOOD POST
8	VINYL WINDOW SYSTEM	22	WOOD TRIM
9	COMPOSITE ENTRY DOOR	23	DECORATIVE "TEAR DROP" STUCCO OF FOAM SILL DETAIL
10	METAL SECTIONAL GARAGE DOOR	24	8" LAP SIDING, U.N.O.
11	DECORATIVE SHUTTERS	25	DECORATIVE CERAMIC TILES
12	DECORATIVE GABLE END DETAIL	26	POLYURETHANE CORBELS
13	COACH LIGHTS	27	STUCCO SHELF
14	STONE VENEER	28	STUCCO EXPANSION JOINT



Elevation 'B' (Craftsman)

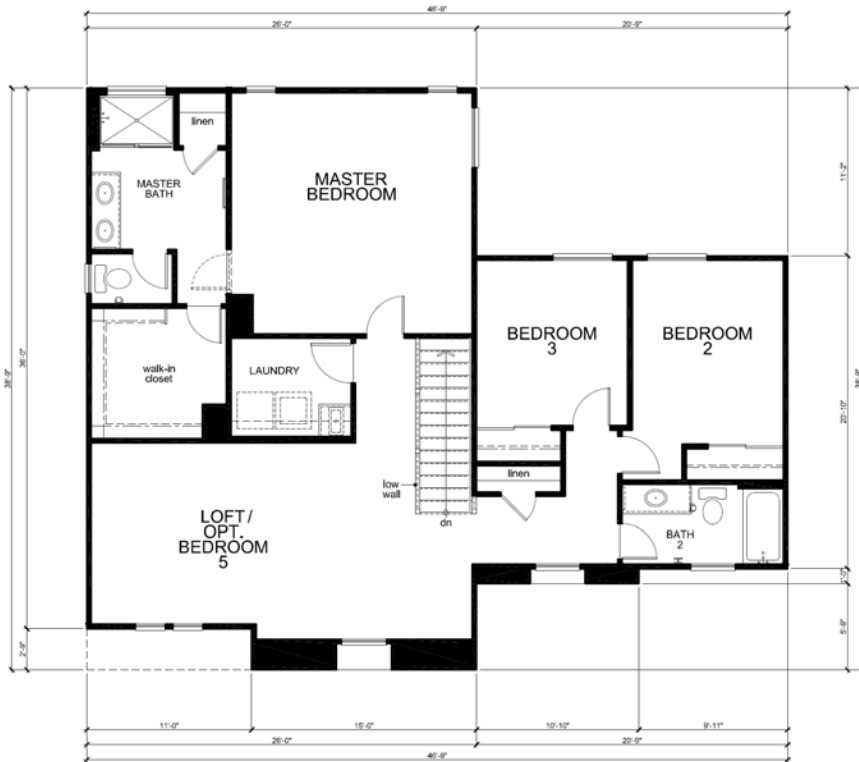


Elevation 'C' (Tuscan)



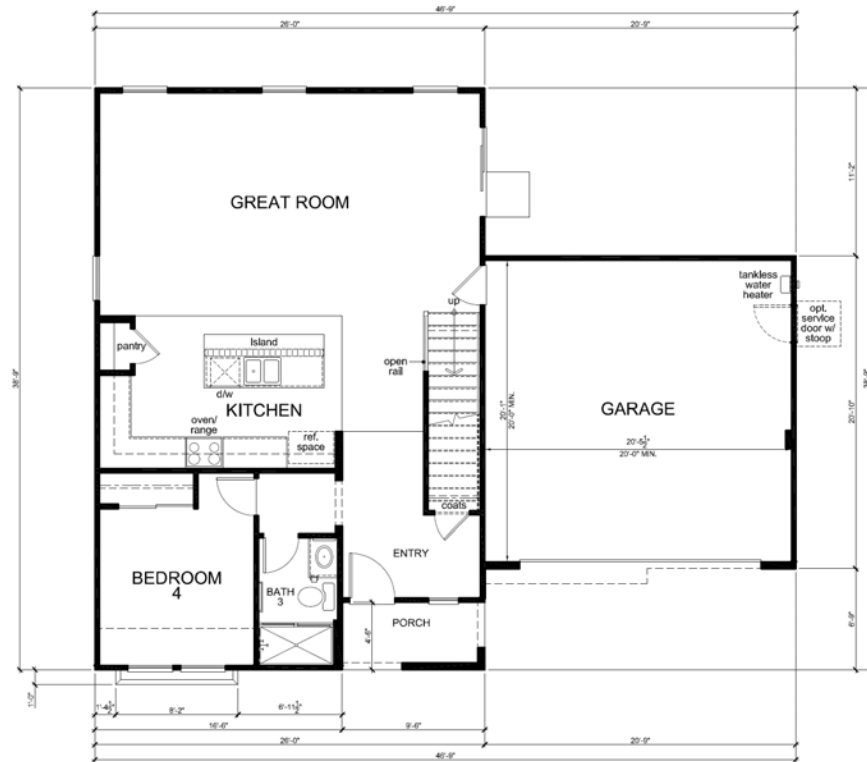
PLAN 1

**Exhibit C—PLAN 1: FLOOR PLANS**

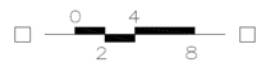


Second Floor Plan 'A'

SQUARE FOOTAGE	
PLAN 247.2308	
FIRST FLOOR AREA	465 SQ. FT.
SECOND FLOOR AREA	1343 SQ. FT.
<b>TOTAL AREA</b>	<b>2308 SQ. FT.</b>
GARAGE AREA	423 SQ. FT.
PORCH AREA(S)	43 SQ. FT.
OPTIONAL: ELEVATION "A"	43 SQ. FT.
ELEVATION "B"	79 SQ. FT.
ELEVATION "C"	48 SQ. FT.
OPTIONAL: GOVERNED PATIO	112 SQ. FT.

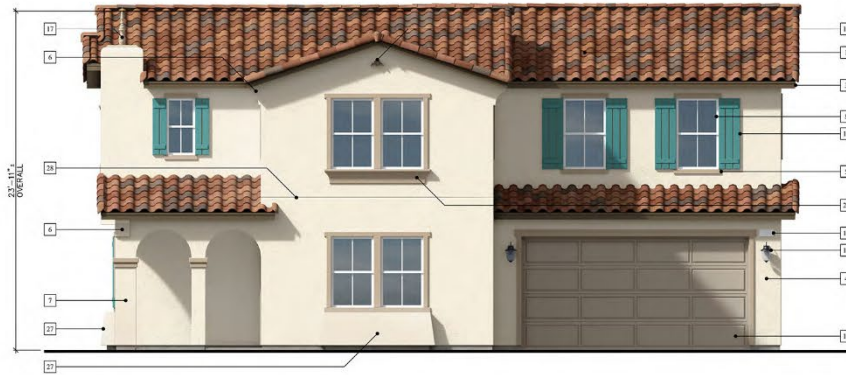


First Floor Plan 'A'



PLAN 1

**Exhibit C—PLAN 2: FRONT ELEVATIONS**



Elevation 'A' (Spanish Colonial)

**ELEVATION LEGEND**

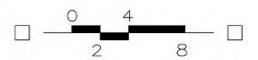
1	CONCRETE S' TILE ROOFING	15	DECORATIVE CLAY PIPES
2	CONCRETE FLAT TILE ROOFING	16	ADDRESS PLAQUE
3	WOOD FASCIA BOARD	17	POLYURETHANE SPIRE
4	STUCCO FINISH (1620 SAND)	18	STUCCO OVER FOAM POTSHELF
5	STUCCO OVER FOAM TRIM	19	BOARD AND BATTEN
6	DECORATIVE STUCCO FINISH OVER FOAM CORBELS/SHAPED FOAM TRIM	20	PRE-FAB OUTLOOKER
7	STUCCO COLUMNS	21	WOOD POST
8	VINYL WINDOW SYSTEM	22	WOOD TRIM
9	COMPOSITE ENTRY DOOR	23	DECORATIVE "TEAR DROP" STUCCO O' FOAM SILL DETAIL
10	METAL SECTIONAL GARAGE DOOR	24	8" LAP SIDING, U.N.O.
11	DECORATIVE SHUTTERS	25	DECORATIVE CERAMIC TILES
12	DECORATIVE GABLE END DETAIL	26	POLYURETHANE CORBELS
13	COACH LIGHTS	27	STUCCO SHELF
14	STONE VENEER	28	STUCCO EXPANSION JOINT



Elevation 'B' (Craftsman)

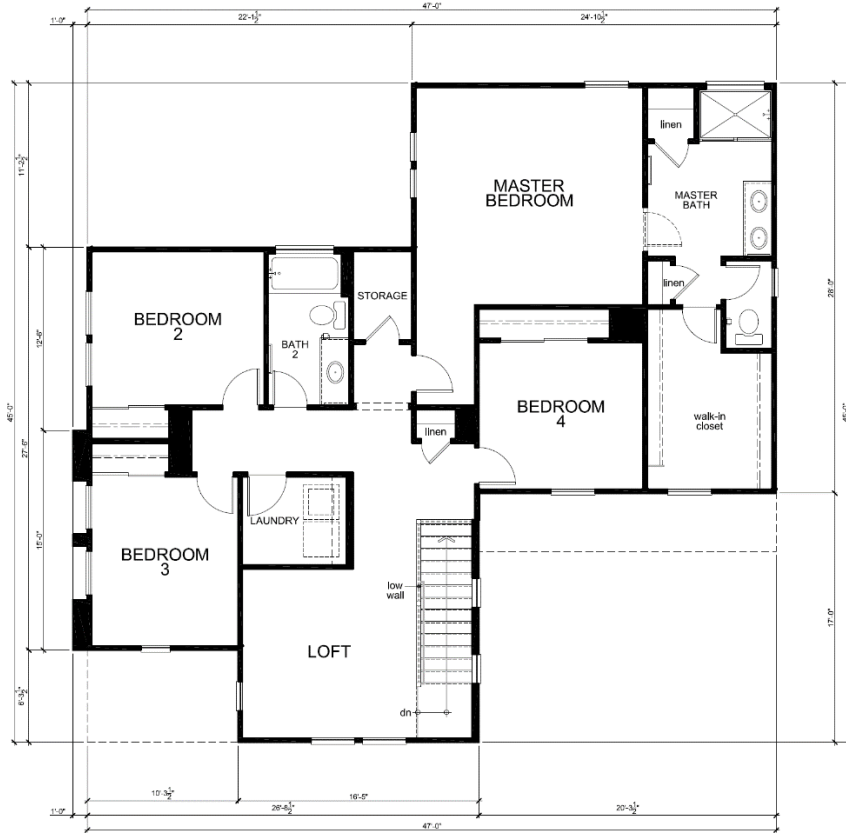


Elevation 'C' (Tuscany)

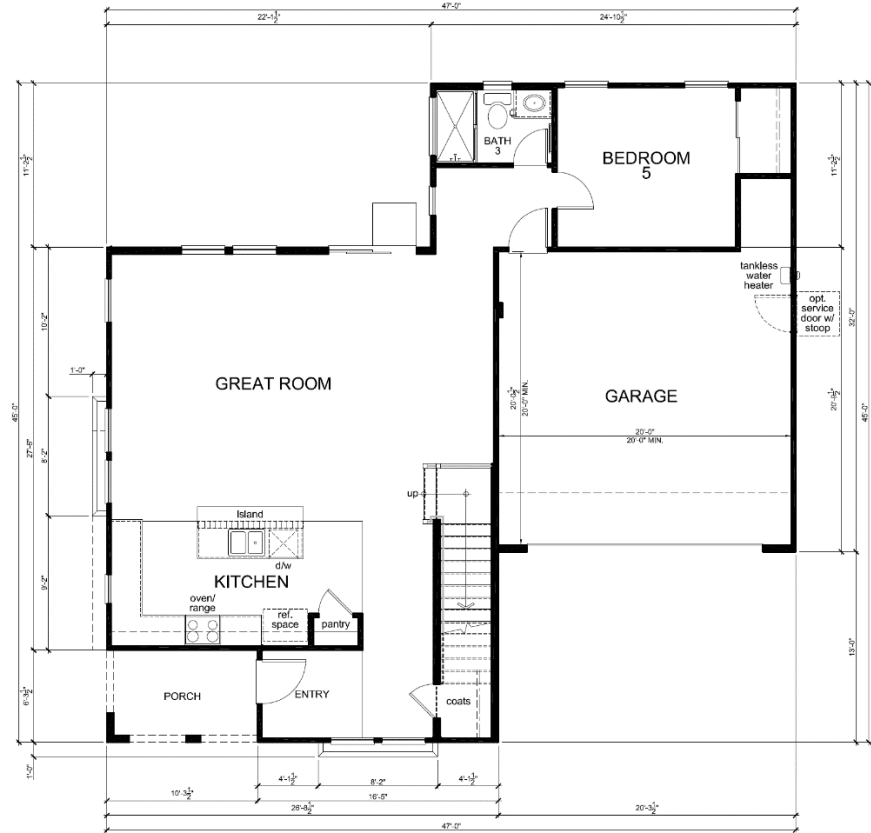


PLAN 2

Exhibit C—PLAN 2: FLOOR PLANS



Second Floor Plan 'A'



First Floor Plan 'A'

SQUARE FOOTAGE		
PLAN 2472501		
FIRST FLOOR AREA	104	SQ. FT.
SECOND FLOOR AREA	141	SQ. FT.
TOTAL AREA	250	SQ. FT.
GARAGE AREA	439	SQ. FT.
PORCH AREA	69	SQ. FT.
	ELEVATION 'A'	94
	ELEVATION 'B'	88
	ELEVATION 'C'	85
OPTIONS:		
COVERED PATIO	112	SQ. FT.



PLAN 2

**Exhibit C—PLAN 3: FRONT ELEVATIONS**



Elevation 'A' (Spanish Colonial)

**ELEVATION LEGEND**

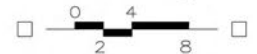
1	CONCRETE 'S' TILE ROOFING	15	DECORATIVE CLAY PIPES
2	CONCRETE FLAT TILE ROOFING	16	ADDRESS PLAQUE
3	WOOD FASCIA BOARD	17	POLYURETHANE SPIRE
4	STUCCO FINISH (16/20 SAND)	18	STUCCO OVER FOAM POTSHELF
5	STUCCO OVER FOAM TRIM	19	BOARD AND BATTEN
6	DECORATIVE STUCCO FINISH OVER FOAM CORBELS/SHAPED FOAM TRIM	20	PRE-FAB OUTLOOKER
7	STUCCO COLUMNS	21	WOOD POST
8	VINYL WINDOW SYSTEM	22	WOOD TRIM
9	COMPOSITE ENTRY DOOR	23	DECORATIVE "TEAR DROP" STUCCO O' FOAM SILL DETAIL
10	METAL SECTIONAL GARAGE DOOR	24	8" LAP SIDING, U.S.O.
11	DECORATIVE SHUTTERS	25	DECORATIVE CERAMIC TILES
12	DECORATIVE GABLE END DETAIL	26	POLYURETHANE CORBELS
13	COACH LIGHTS	27	STUCCO SHELF
14	STONE VENEER	28	STUCCO EXPANSION JOINT



Elevation 'B' (Craftsman)

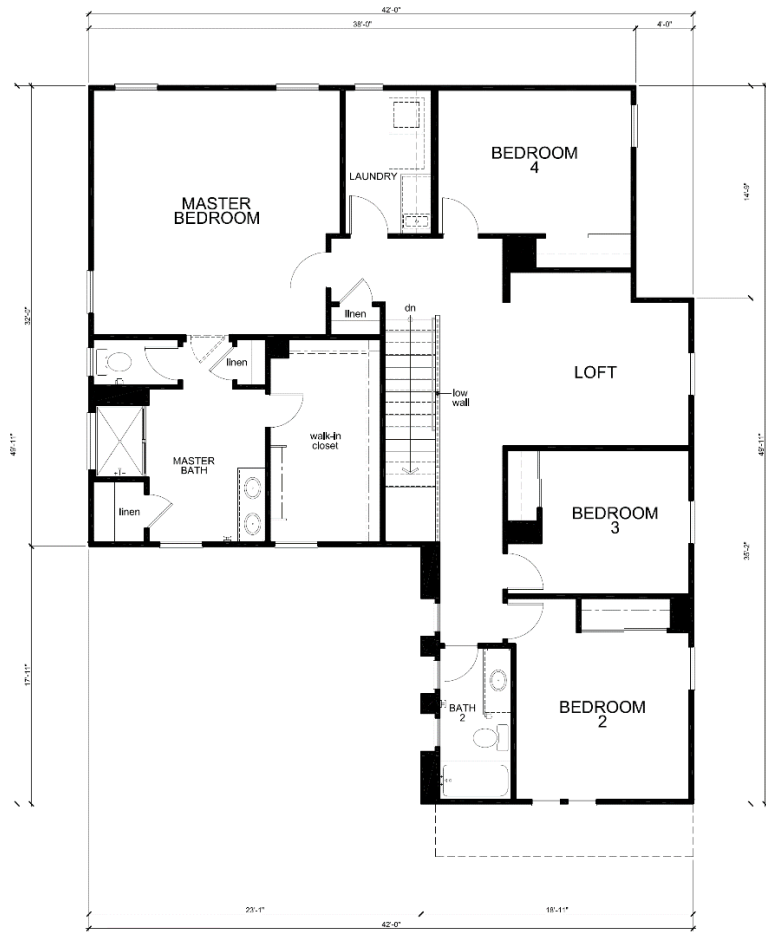


Elevation 'C' (Tuscan)



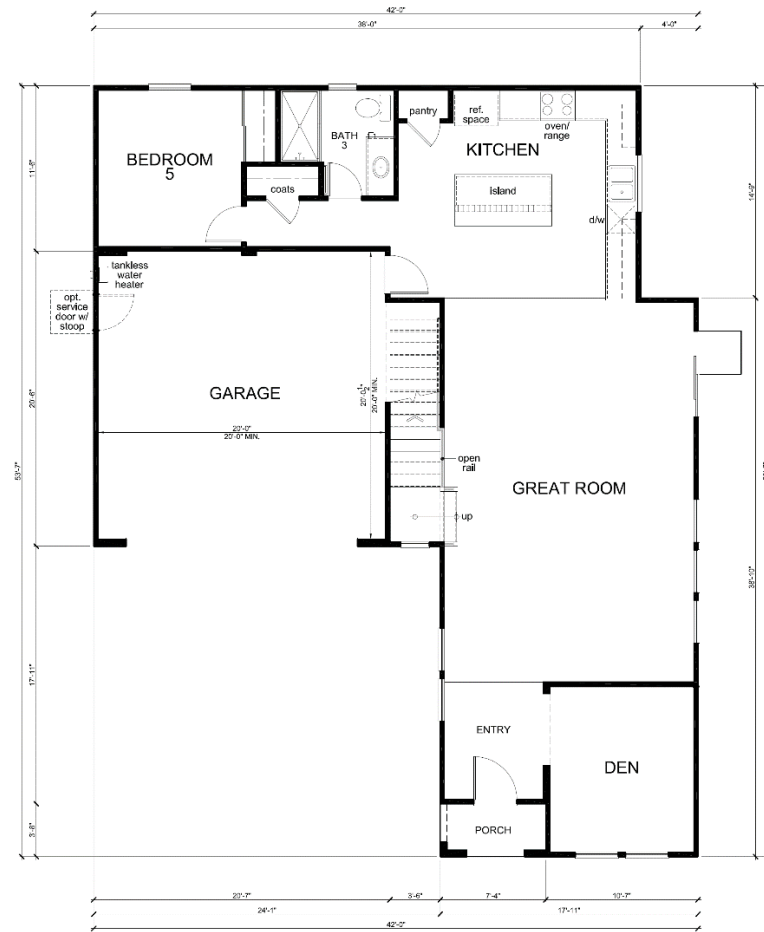
PLAN 3

Exhibit C—PLAN 3: FLOOR PLANS



Second Floor Plan 'A'

SQUARE FOOTAGE		
PLAN 242.2780		
FIRST FLOOR AREA	1224	SQ. FT.
SECOND FLOOR AREA	55	SQ. FT.
TOTAL AREA	2780	SQ. FT.
GARAGE AREA	442	SQ. FT.
PORCH AREA	21	SQ. FT.
	ELEVATION 'A'	45
	ELEVATION 'B'	54
OPTIGRS		184
COVERED PATIO		



First Floor Plan 'A'



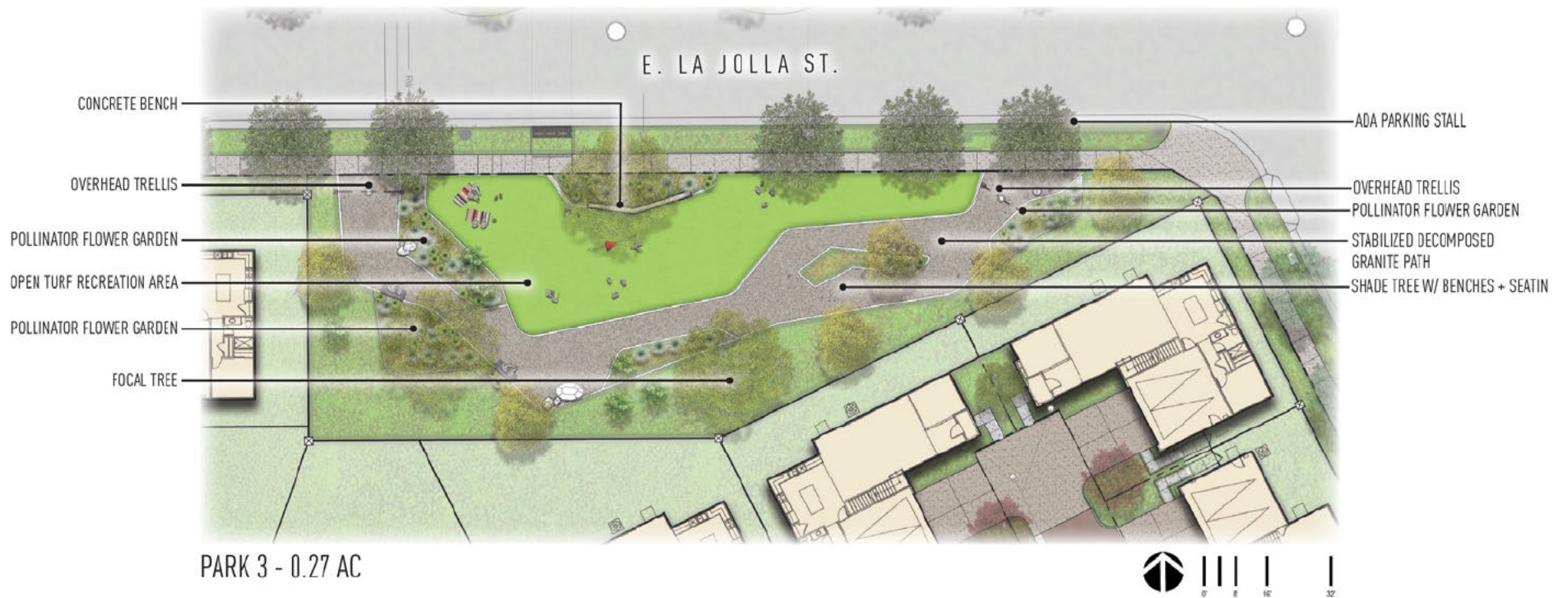
PLAN 3

**Exhibit D—CENTRAL NEIGHBORHOOD PARK**

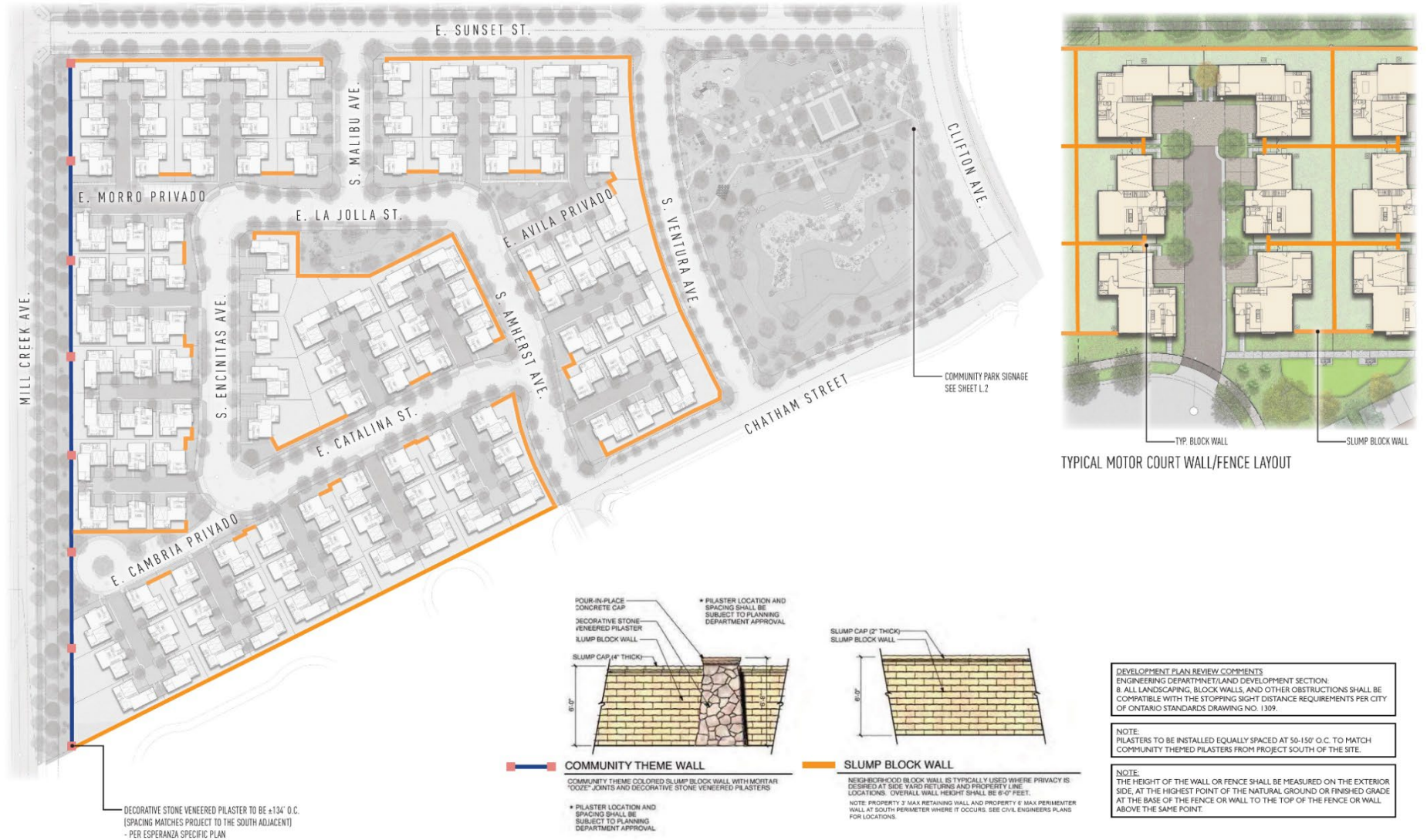




**Exhibit E—GARDEN PARK**



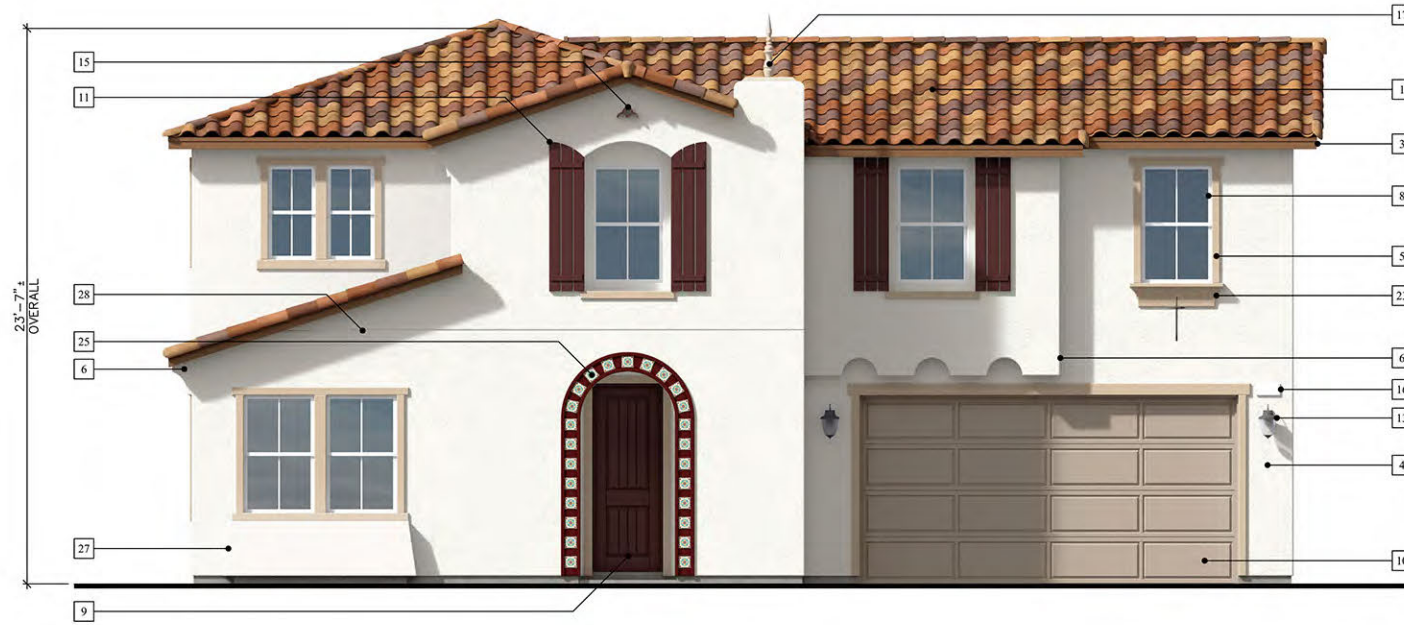
**Exhibit F—WALL PLAN AND TYPICAL 6 PACK COURTYARD LAYOUT**





## **Attachment A—Elevations and Floor Plans**

*(Full set of Elevation and Floor Plans to follow this page)*



**ELEVATION LEGEND**

- |   |  |
|---|--|
| 1 CONCRETE 'S' TILE ROOFING                                   | 15 DECORATIVE CLAY PIPES                             |
| 2 CONCRETE FLAT TILE ROOFING                                  | 16 ADDRESS PLAQUE                                    |
| 3 WOOD FASCIA BOARD   | 17 POLYURETHANE SPIRE                                |
| 4 STUCCO FINISH (16/20 SAND)                                  | 18 STUCCO OVER FOAM POTSHelf                         |
| 5 STUCCO OVER FOAM TRIM                                       | 19 BOARD AND BATTEN                                  |
| 6 DECORATIVE STUCCO FINISH OVER FOAM CORBELS/SHAPED FOAM TRIM | 20 PRE-FAB OUTLOOKER                                 |
| 7 STUCCO COLUMNS  | 21 WOOD POST   |
| 8 VINYL WINDOW SYSTEM   | 22 WOOD TRIM   |
| 9 COMPOSITE ENTRY DOOR  | 23 DECORATIVE "TEAR DROP" STUCCO O/ FOAM SILL DETAIL |
| 10 METAL SECTIONAL GARAGE DOOR                                | 24 8" LAP SIDING, U.N.O.                             |
| 11 DECORATIVE SHUTTERS  | 25 DECORATIVE CERAMIC TILES                          |
| 12 DECORATIVE GABLE END DETAIL                                | 26 POLYURETHANE CORBELS                              |
| 13 COACH LIGHTS   | 27 STUCCO SHELF                                      |
| 14 STONE VENEER   | 28 STUCCO EXPANSION JOINT                            |

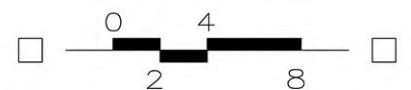
Elevation 'A' (Spanish Colonial)



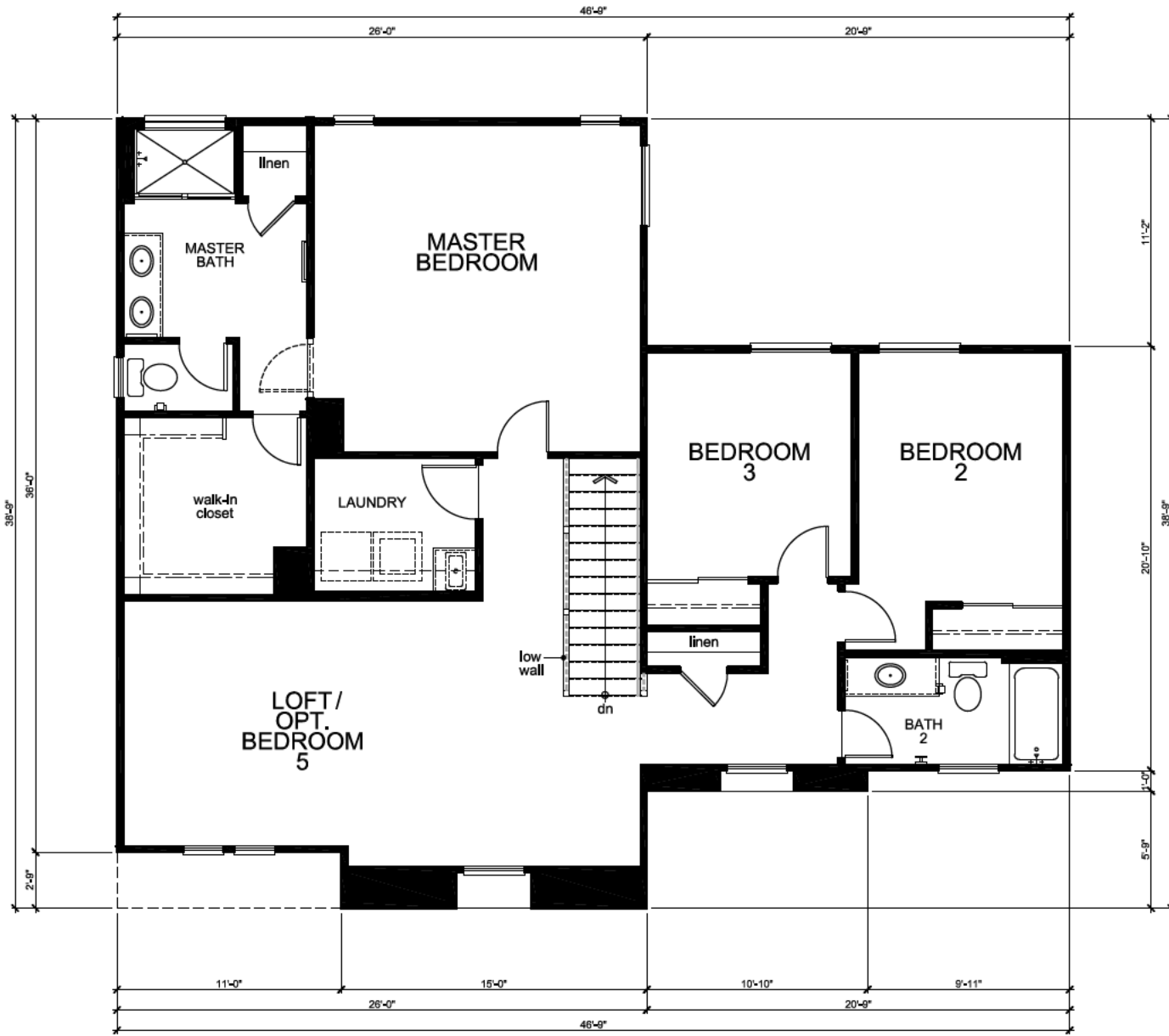
Elevation 'B' (Craftsman)



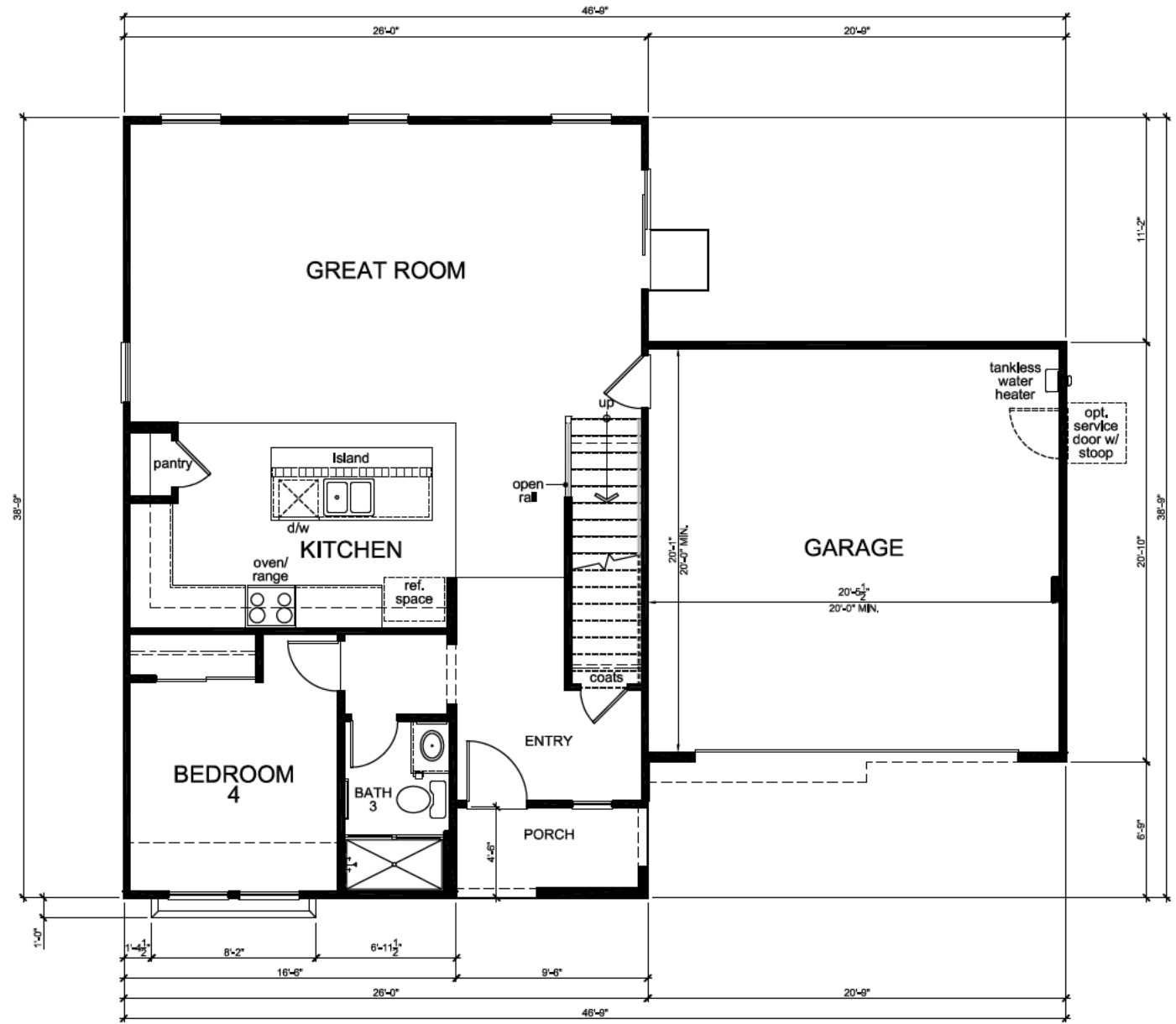
Elevation 'C' (Tuscan)



PLAN 1



Second Floor Plan 'A'



First Floor Plan 'A'

SQUARE FOOTAGE			
PLAN 247.2308			
FIRST FLOOR AREA	465	SQ. FT.	
SECOND FLOOR AREA	1348	SQ. FT.	
TOTAL AREA	2808	SQ. FT.	
GARAGE AREA	482	SQ. FT.	
PORCH AREA(S)	ELEVATION 'A'	48	SQ. FT.
	ELEVATION 'B'	78	SQ. FT.
	ELEVATION 'C'	41	SQ. FT.
OPTIONS:			
COVERED PATIO	112	SQ. FT.	



PLAN 1



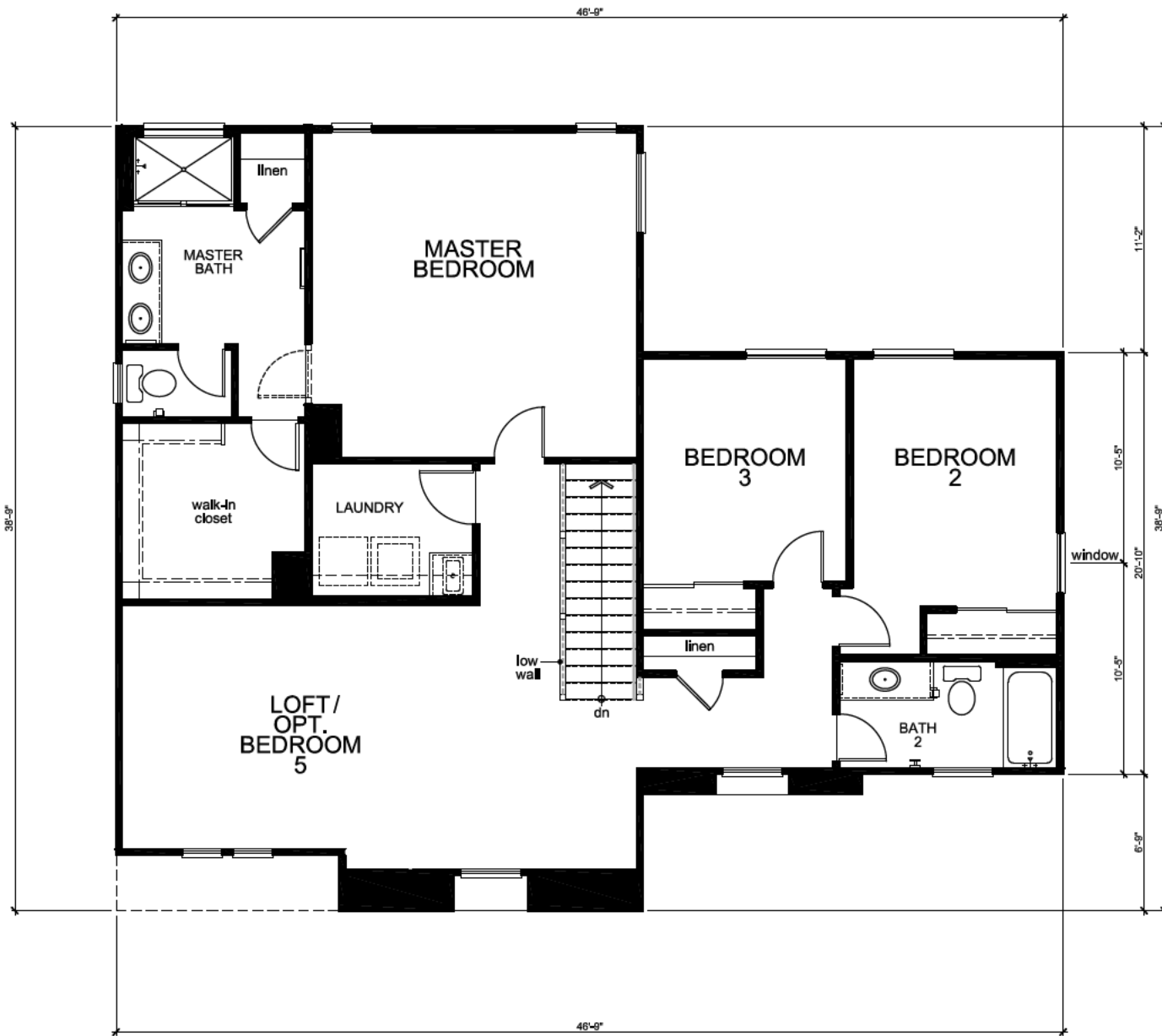
KB Home Southern California/Inland Empire  
36310 Inland Valley Drive  
Wildomar, CA 92595  
(951) 691-5300  
ONTARIO, CA

ESPERANZA MOTORCOURT CLUSTER  
TENTATIVE TRACT MAP 20160

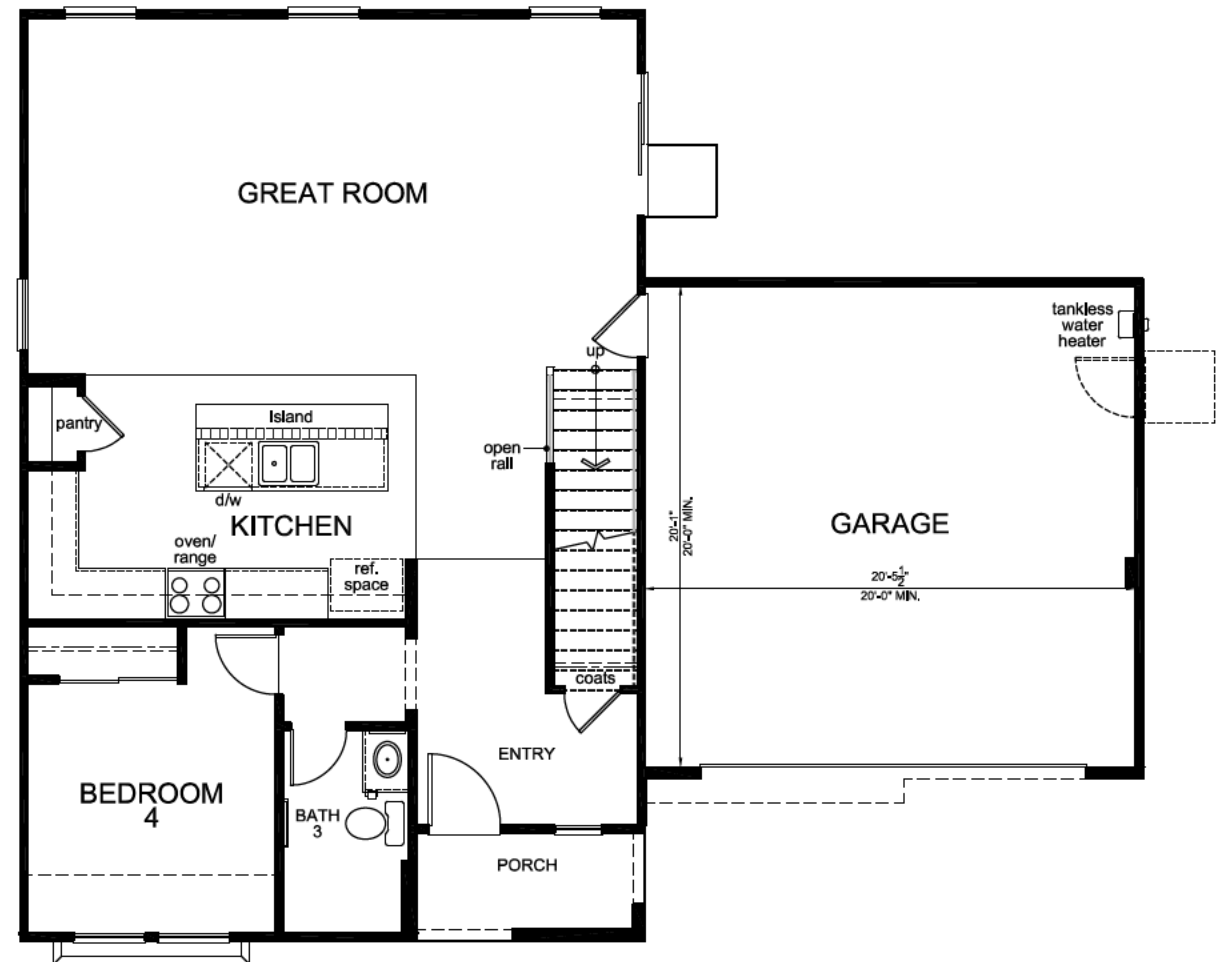
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JOB No. : 350999  
STORY: Two  
Rev. May 16, 2022

Item H - 24 of 97

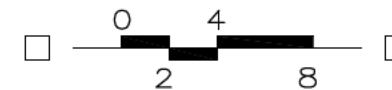


Enhanced Second Floor Plan 'A'



First Floor Plan 'A'

SQUARE FOOTAGE			
PLAN 247.2308			
FIRST FLOOR AREA	465	SQ. FT.	
SECOND FLOOR AREA	1348	SQ. FT.	
TOTAL AREA	2808	SQ. FT.	
GARAGE AREA	482	SQ. FT.	
PORCH AREA(S)	ELEVATION 'A'	48	SQ. FT.
	ELEVATION 'B'	78	SQ. FT.
	ELEVATION 'C'	41	SQ. FT.
OPTIONS:			
COVERED PATIO	112	SQ. FT.	



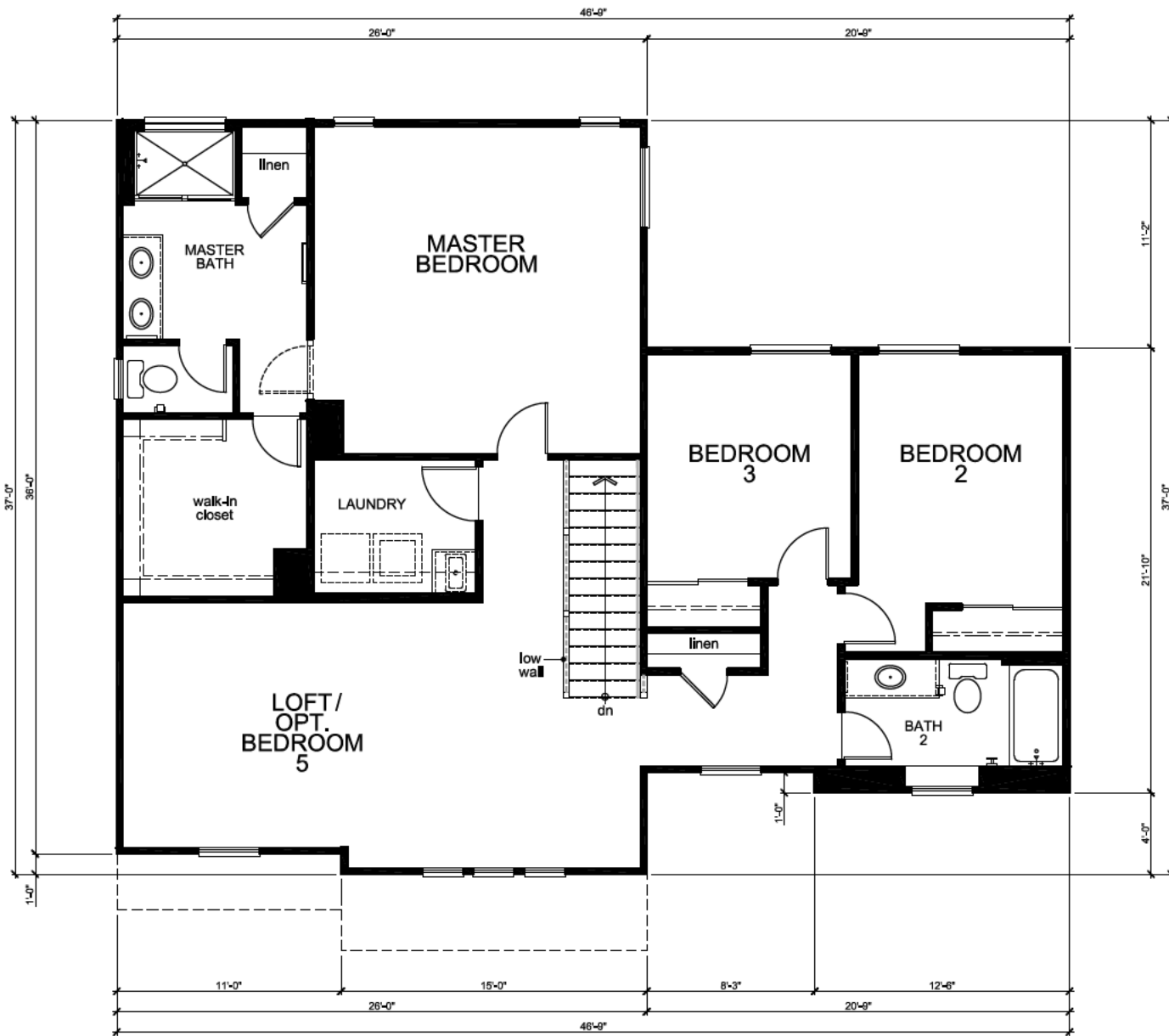
PLAN 1



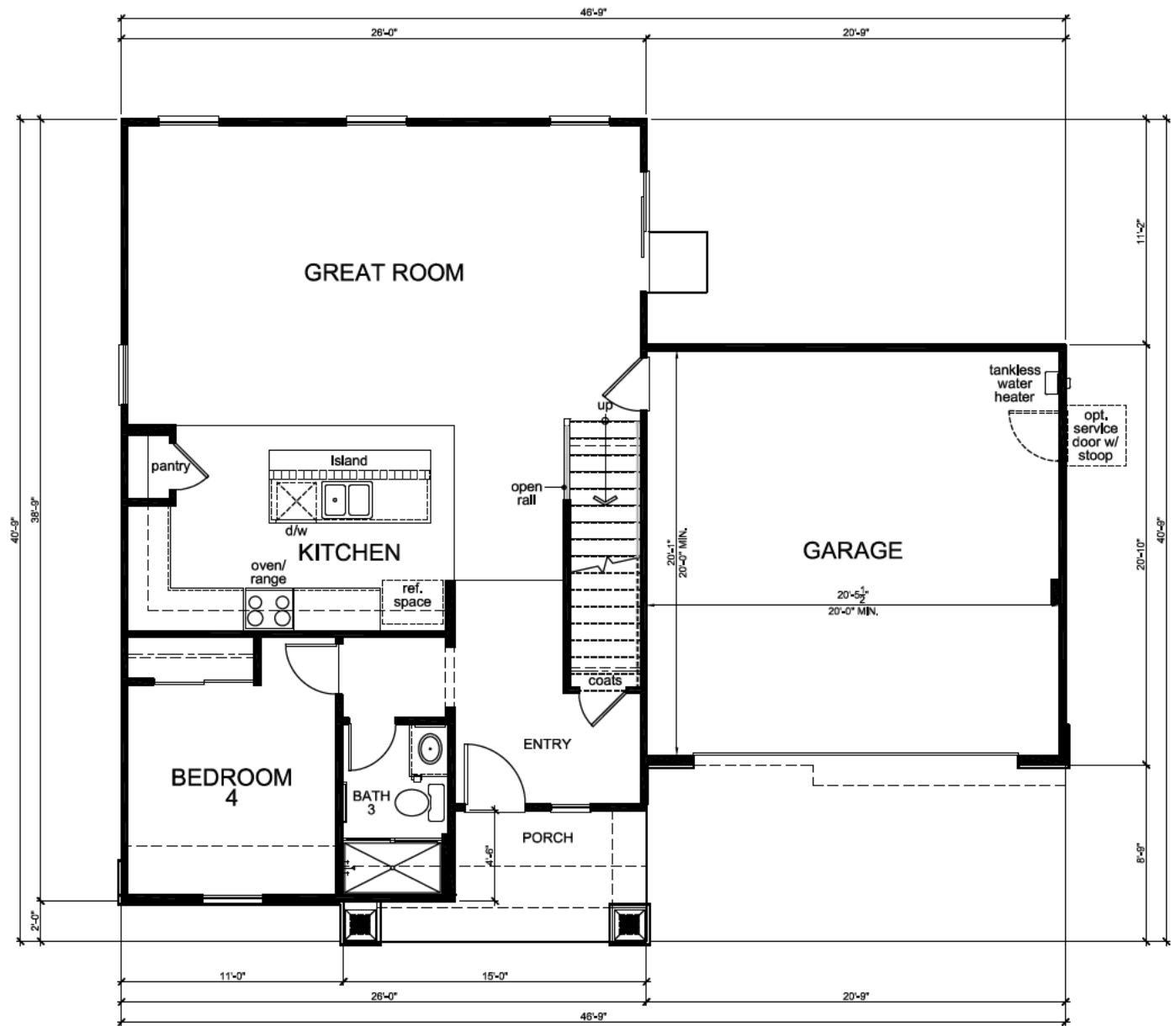
KB Home Southern California/Inland Empire  
 36310 Inland Valley Drive  
 Wildomar, CA 92595  
 (951) 691-5300  
 ONTARIO, CA

ESPERANZA MOTORCOURT CLUSTER  
 TENTATIVE TRACT MAP 20160

247.2308  
 JOB No. : 350999  
 STORY: Two  
 Rev. May 16, 2022  
 Item H - 25 of 97

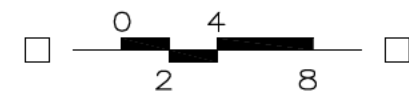


Second Floor Plan 'B'



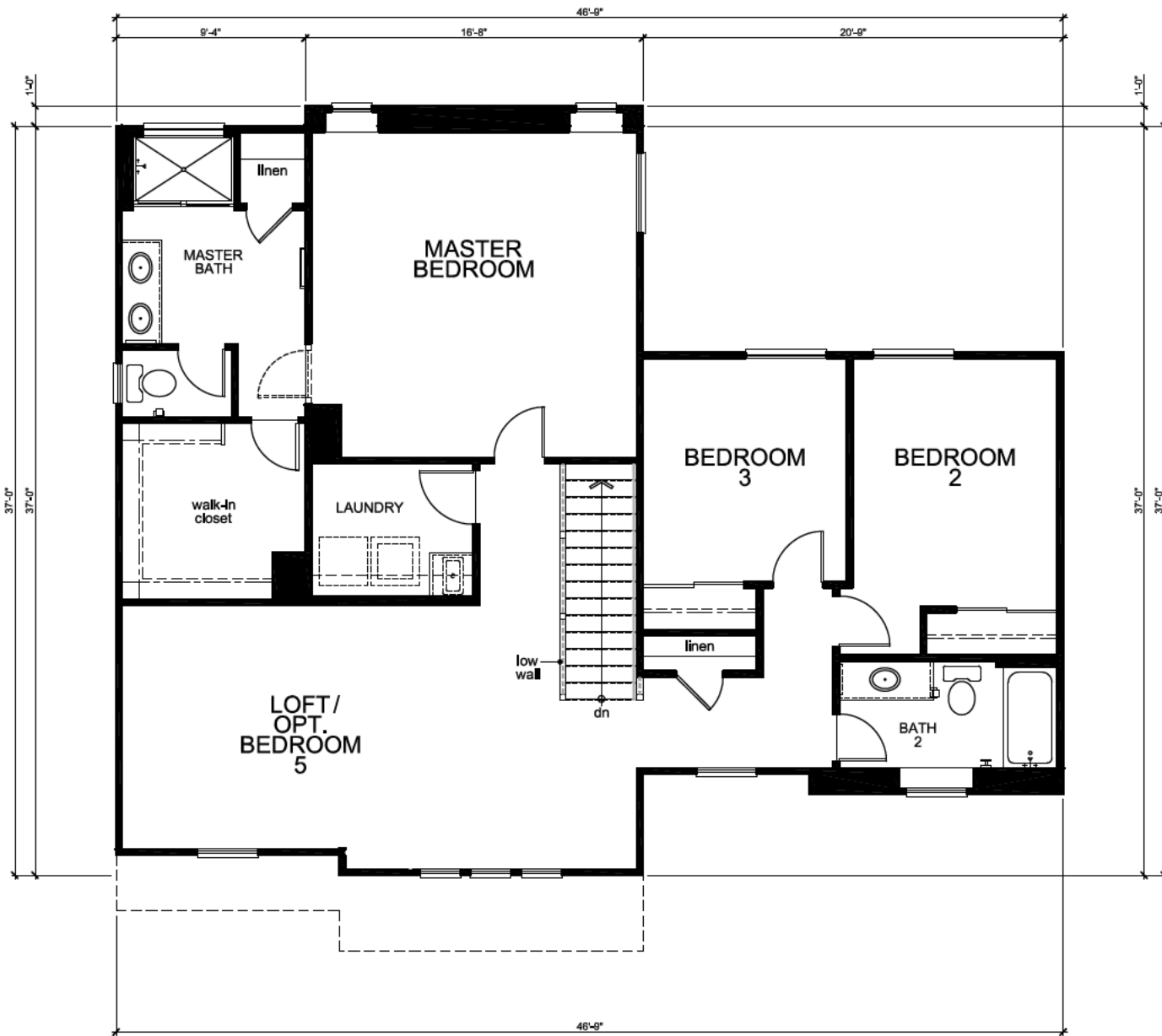
First Floor Plan 'B'

SQUARE FOOTAGE			
PLAN 247.2308			
FIRST FLOOR AREA	465	SQ. FT.	
SECOND FLOOR AREA	1348	SQ. FT.	
TOTAL AREA	2808	SQ. FT.	
GARAGE AREA	482	SQ. FT.	
PORCH AREA(S)	ELEVATION 'A'	48	SQ. FT.
	ELEVATION 'B'	78	SQ. FT.
	ELEVATION 'C'	41	SQ. FT.
OPTIONS:			
COVERED PATIO	112	SQ. FT.	



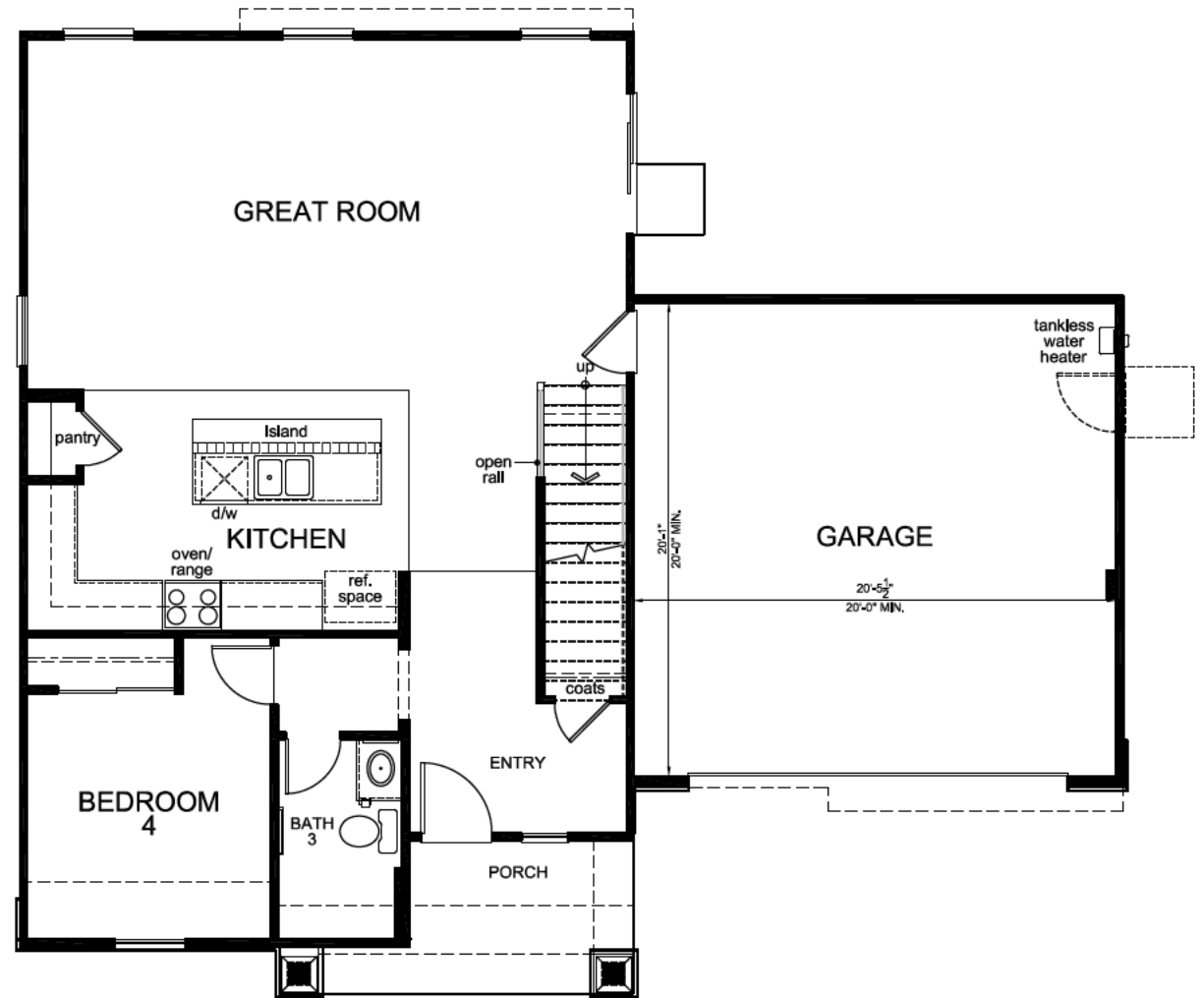
PLAN 1



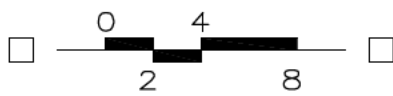


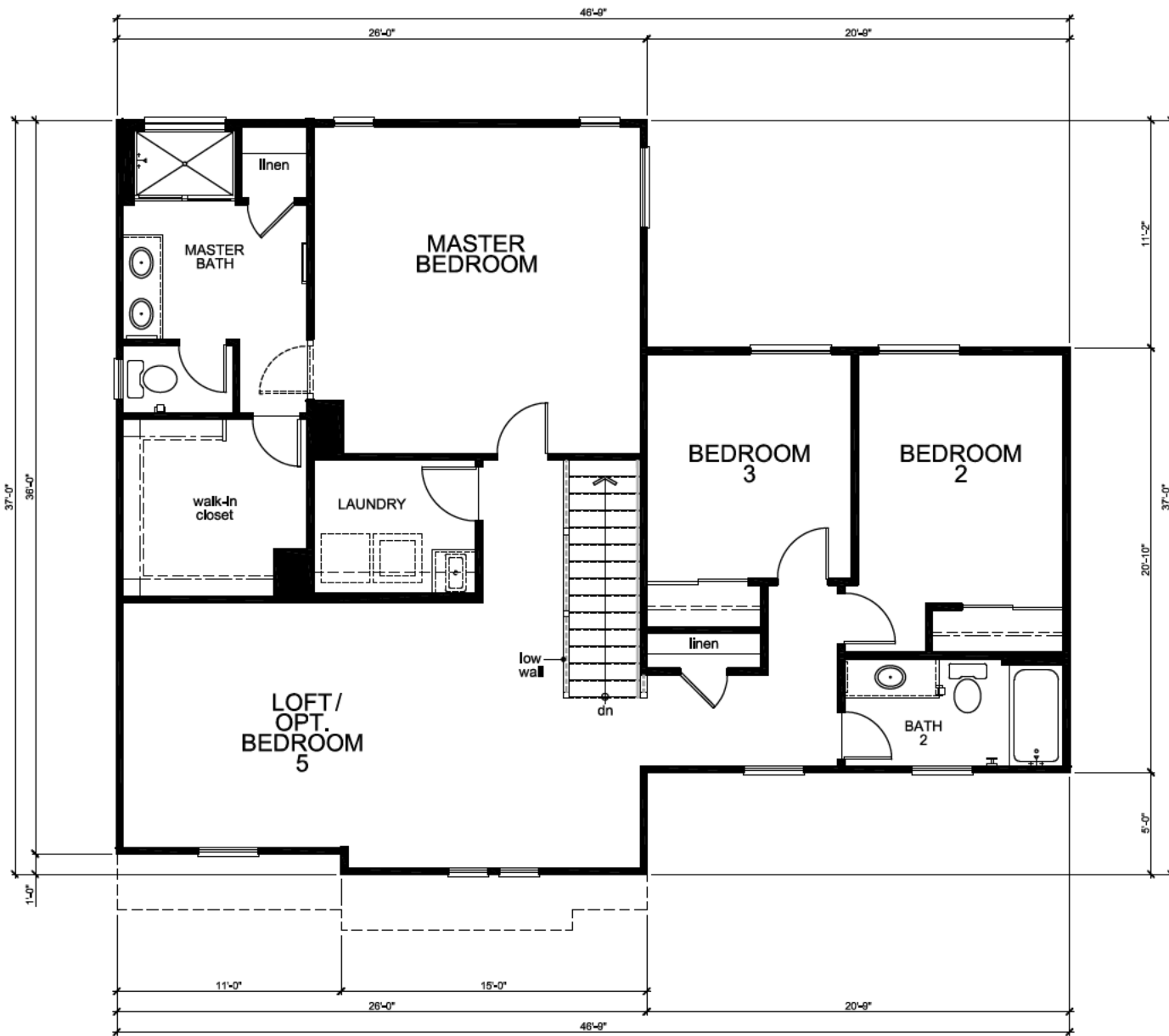
Enhanced Second Floor Plan 'B'

SQUARE FOOTAGE			
PLAN 247.2308			
FIRST FLOOR AREA	465	SQ. FT.	
SECOND FLOOR AREA	1848	SQ. FT.	
TOTAL AREA	2308	SQ. FT.	
GARAGE AREA	482	SQ. FT.	
PORCH AREA(S)	ELEVATION 'A'	48	SQ. FT.
	ELEVATION 'B'	78	SQ. FT.
	ELEVATION 'C'	41	SQ. FT.
OPTIONS:			
COVERED PATIO	112	SQ. FT.	

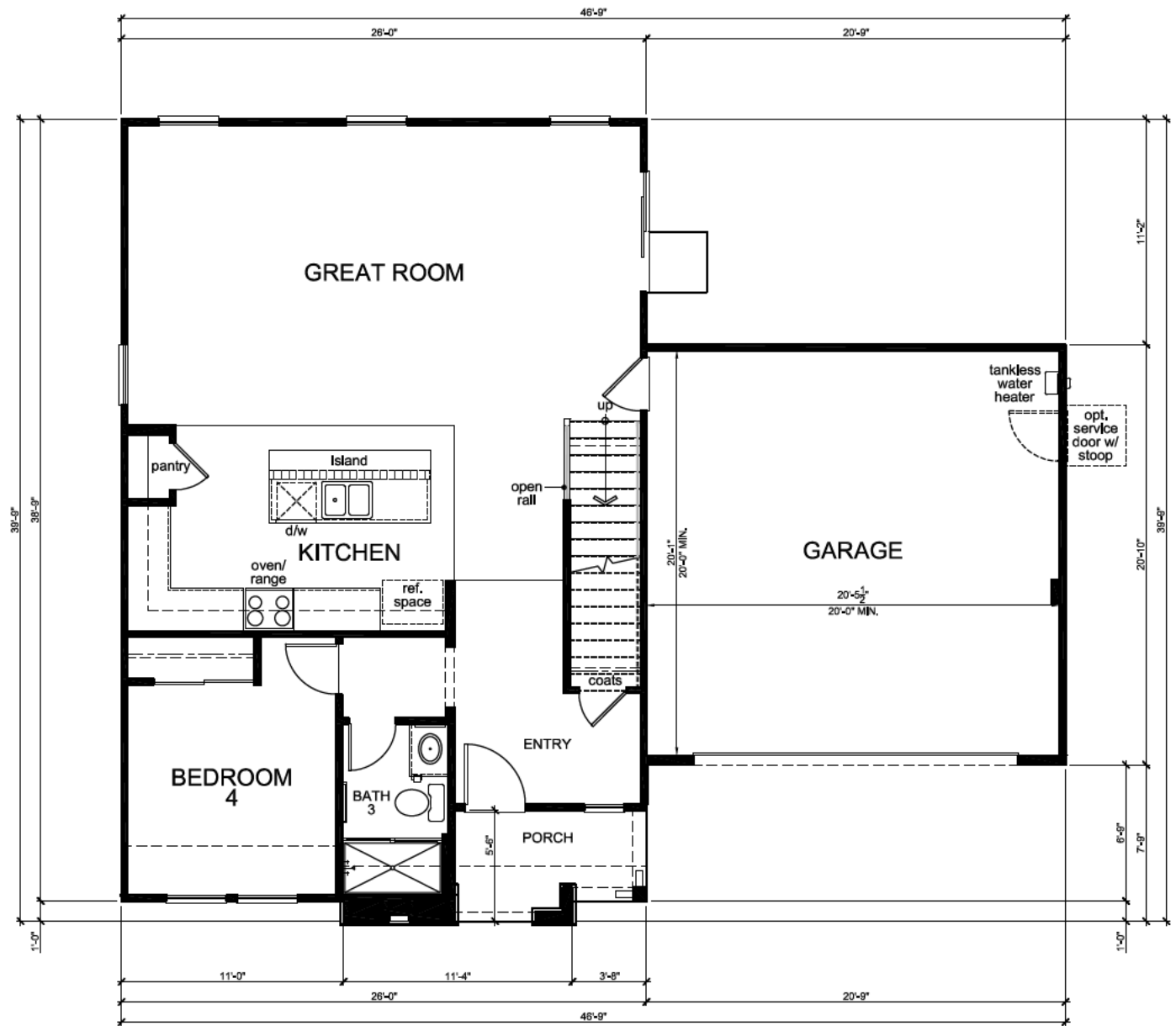


First Floor Plan 'B'



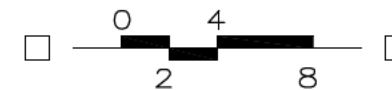


Second Floor Plan 'C'



First Floor Plan 'C'

SQUARE FOOTAGE			
PLAN 247.2308			
FIRST FLOOR AREA	465	SQ. FT.	
SECOND FLOOR AREA	1348	SQ. FT.	
TOTAL AREA	2808	SQ. FT.	
GARAGE AREA	482	SQ. FT.	
PORCH AREA(S)	ELEVATION 'A'	48	SQ. FT.
	ELEVATION 'B'	78	SQ. FT.
	ELEVATION 'C'	41	SQ. FT.
OPTIONS:			
COVERED PATIO	112	SQ. FT.	



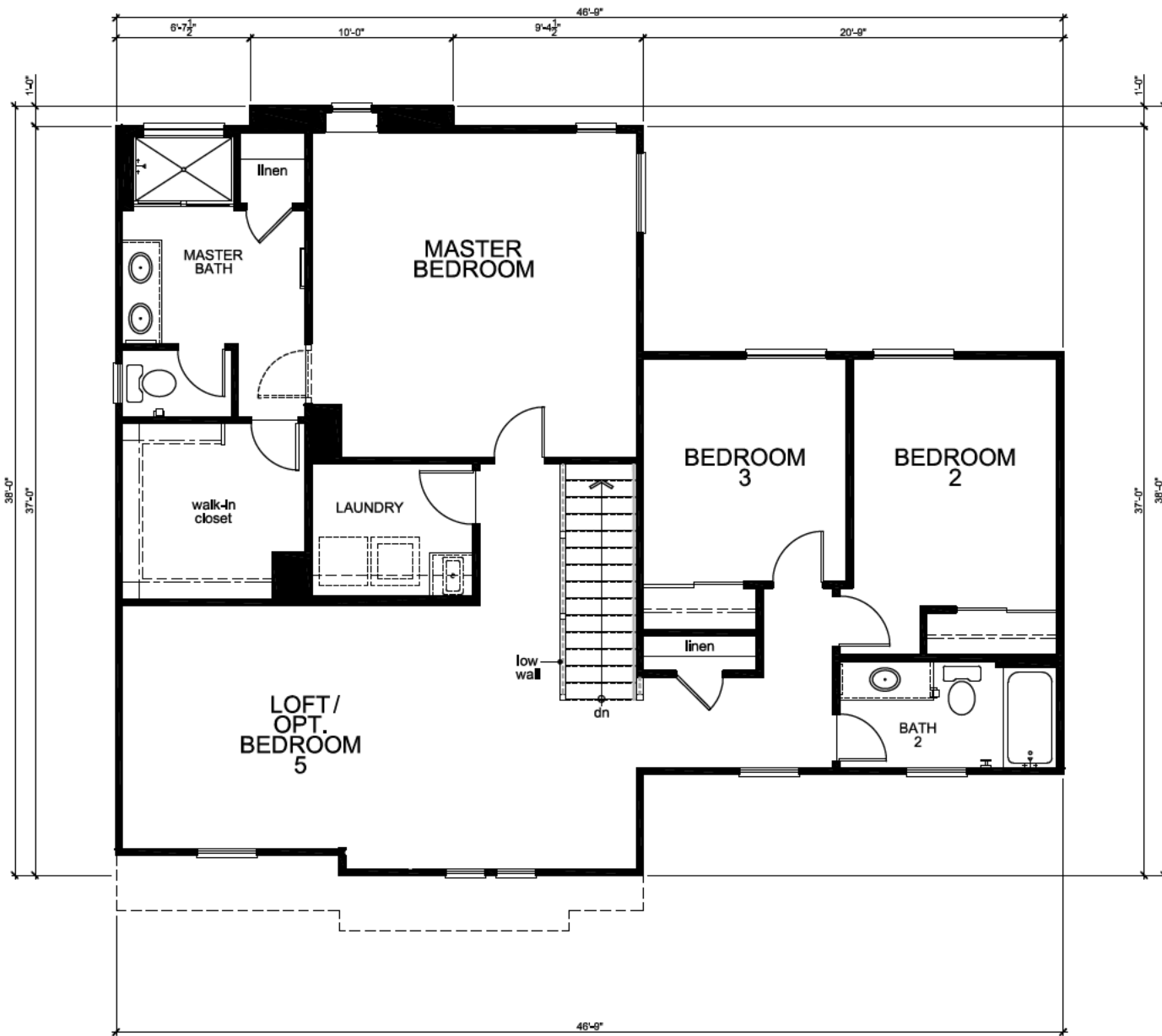
PLAN 1



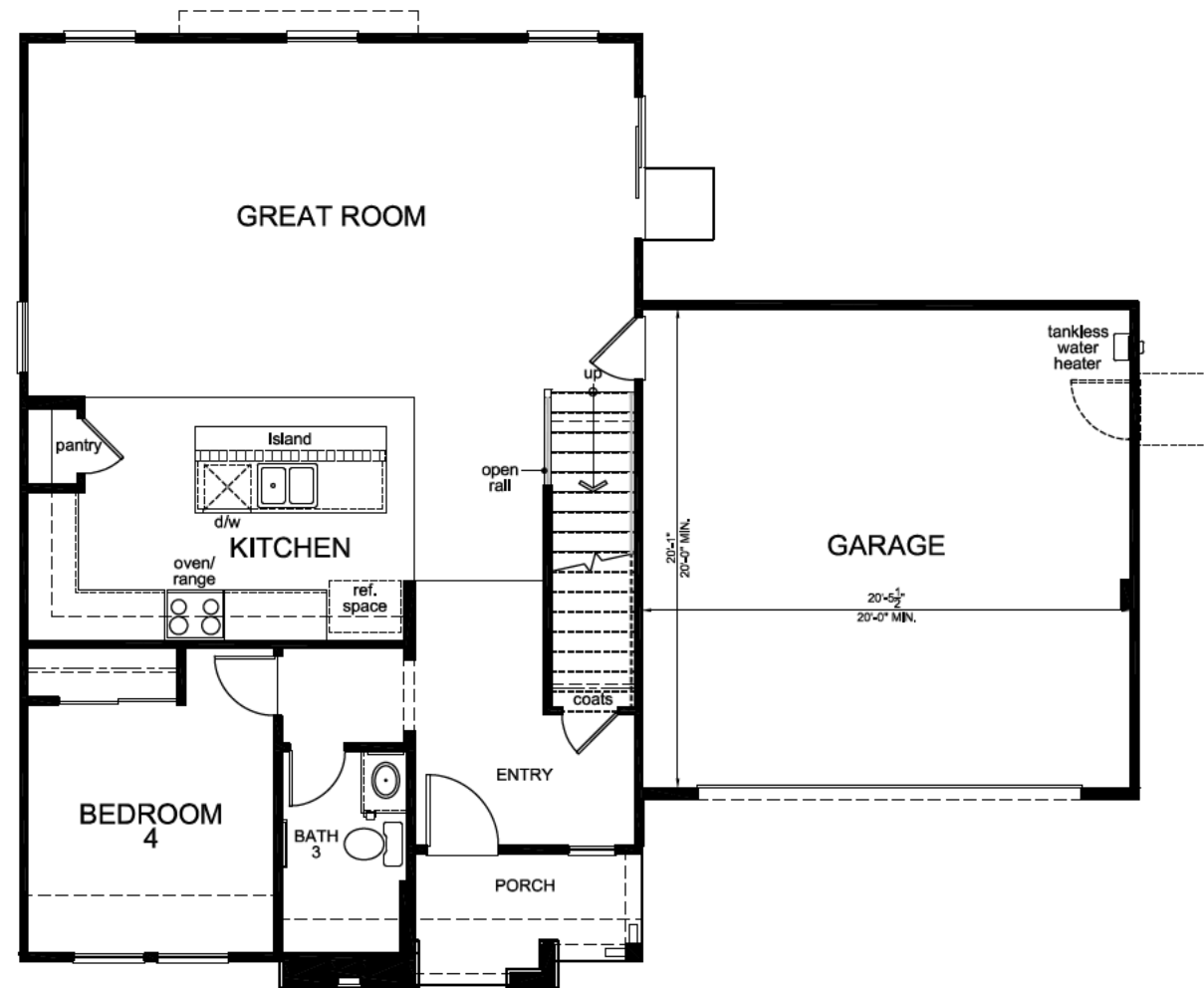
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ESPERANZA MOTORCOURT CLUSTER  
TENTATIVE TRACT MAP 20160

247.2308  
JOB No. : 350999  
STORY: Two  
Rev. May 16, 2022  
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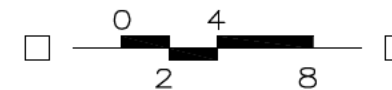


Enhanced Second Floor Plan 'C'



First Floor Plan 'C'

SQUARE FOOTAGE			
PLAN 247.2308			
FIRST FLOOR AREA	465	SQ. FT.	
SECOND FLOOR AREA	1848	SQ. FT.	
TOTAL AREA	2308	SQ. FT.	
GARAGE AREA	482	SQ. FT.	
PORCH AREA(S)	ELEVATION 'A'	48	SQ. FT.
	ELEVATION 'B'	78	SQ. FT.
	ELEVATION 'C'	41	SQ. FT.
OPTIONS:			
COVERED PATIO	112	SQ. FT.	



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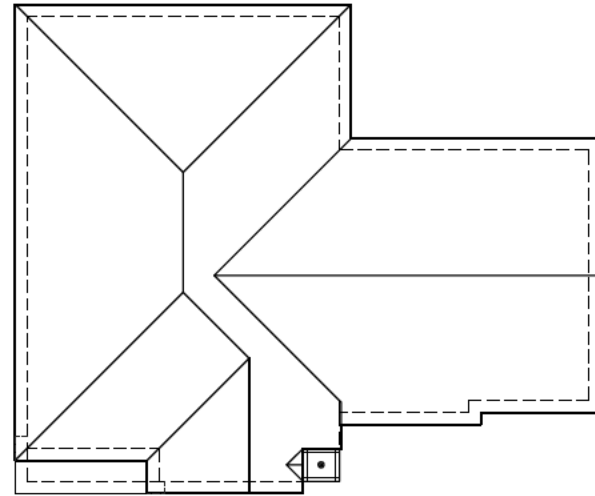
ESPERANZA MOTORCOURT CLUSTER  
TENTATIVE TRACT MAP 20160

PLAN 1

247.2308

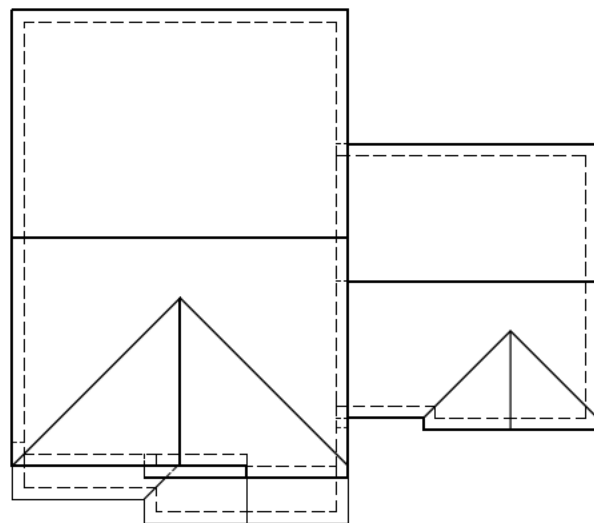
JOB No. : 350999  
STORY: Two  
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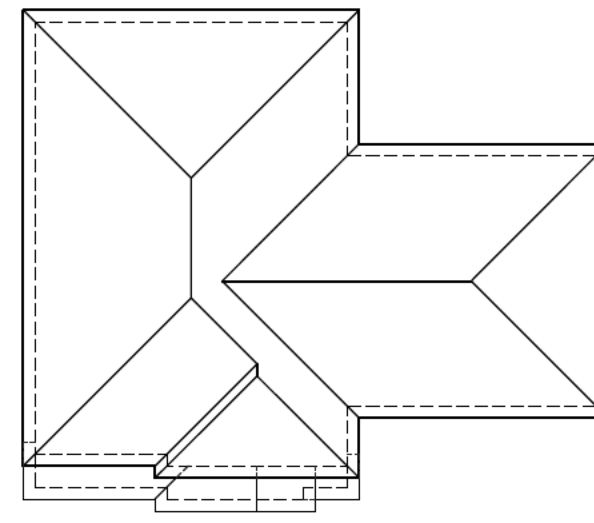
'A' Spanish Colonial

4:12



'B' Craftsman

4:12

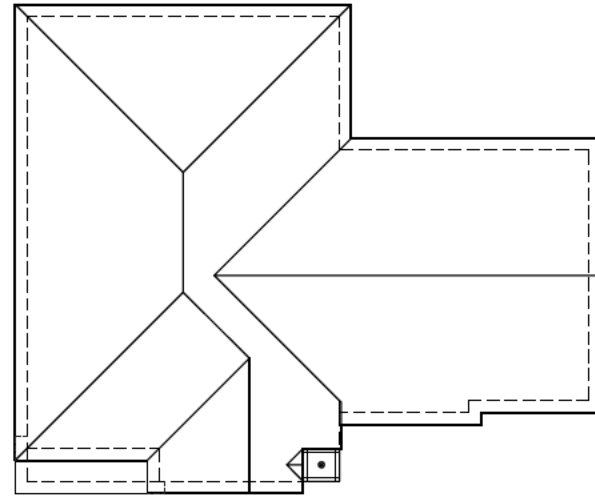


'C' Tuscan

4:12

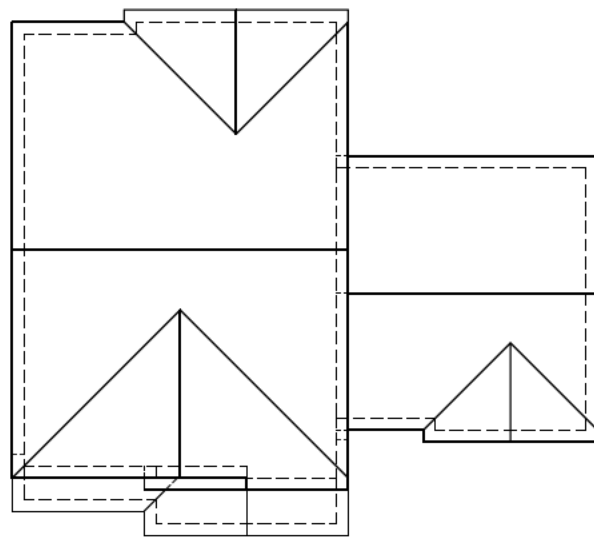


Roof Plans



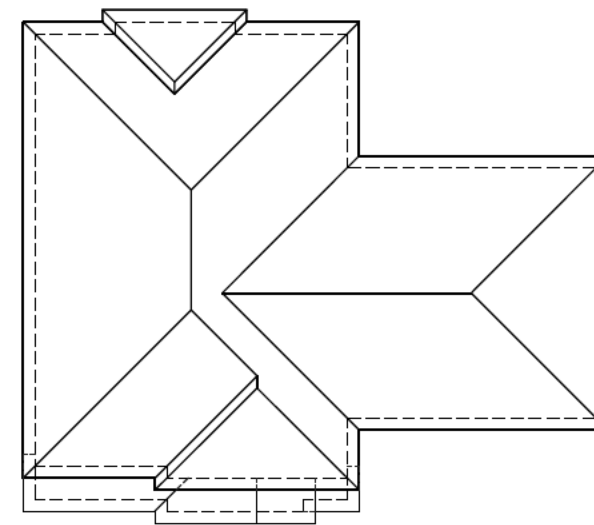
**'A' Spanish Colonial**

4:12



**'B' Craftsman**

4:12



**'C' Tuscan**

4:12



Enhanced Roof Plans



Left Elevation 'A' (Spanish Colonial)



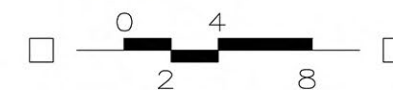
Front Elevation 'A' (Spanish Colonial)



Right Elevation 'A' (Spanish Colonial)



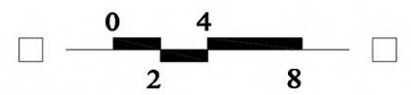
Rear Elevation 'A' (Spanish Colonial)



PLAN 1



Enhanced Right Elevation 'A' (Spanish Colonial)



PLAN 1

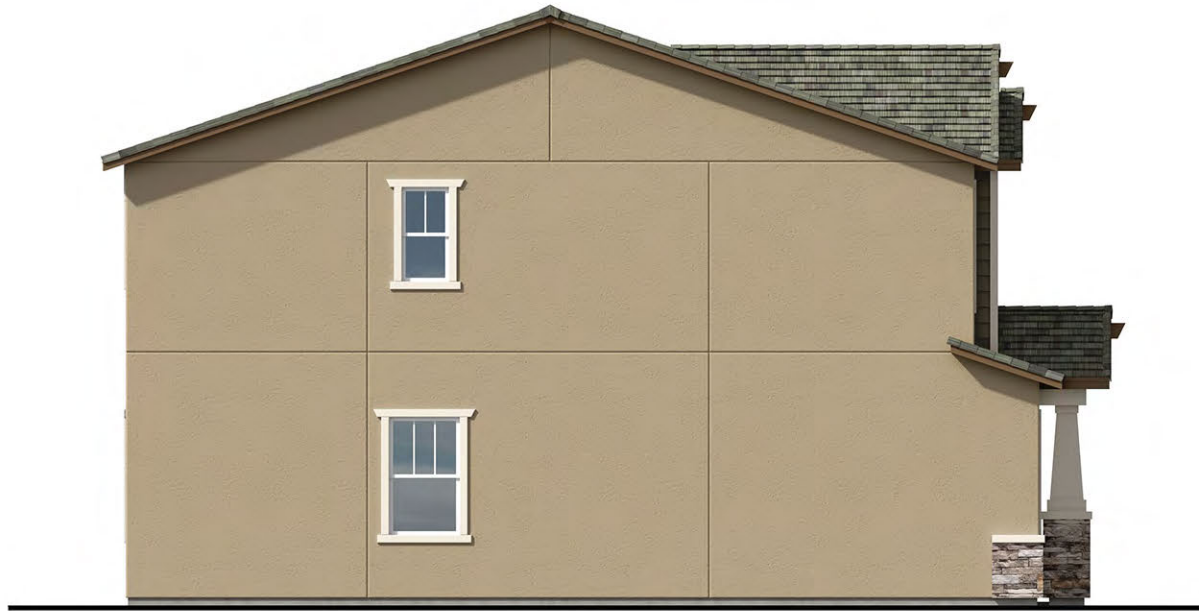


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Left Elevation 'B' (Craftsman)



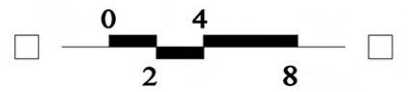
Front Elevation 'B' (Craftsman)



Right Elevation 'B' (Craftsman)



Rear Elevation 'B' (Craftsman)



PLAN 1



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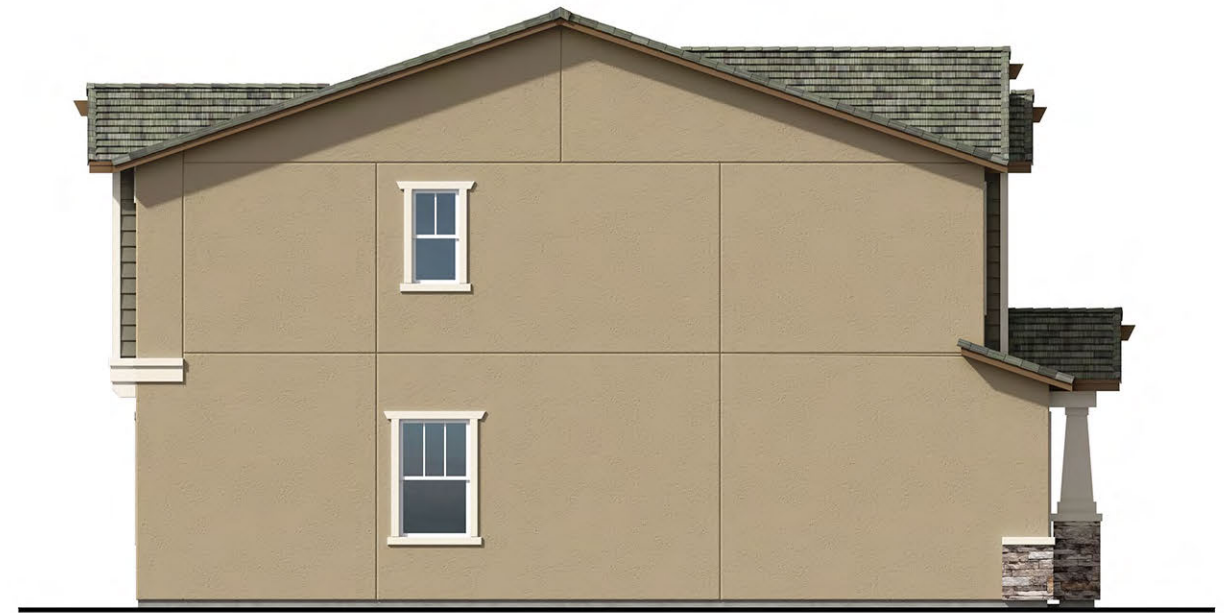
ESPERANZA MOTORCOURT CLUSTER  
TENTATIVE TRACT MAP 20160

247.2308  
JOB No. : 350999  
STORY: Two  
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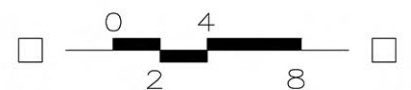
Right Elevation 'B' (Craftsman)



Left Elevation 'B' (Craftsman)



Enhanced Rear Elevation 'B' (Craftsman)





Left Elevation 'C' (Tuscany)



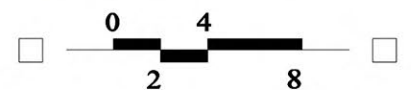
Front Elevation 'C' (Tuscany)



Right Elevation 'C' (Tuscany)



Rear Elevation 'C' (Tuscany)





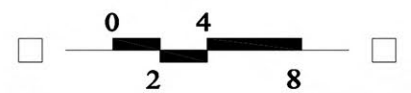
Right Elevation 'C' (Tuscany)

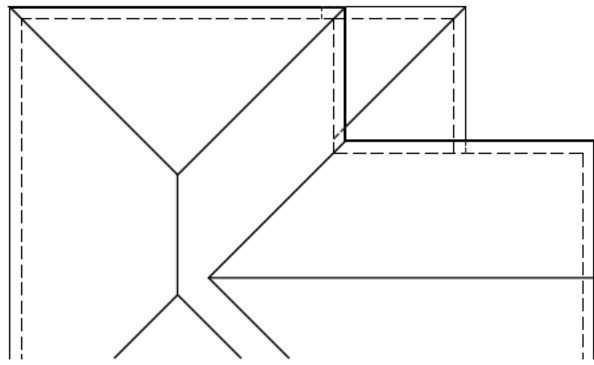


Left Elevation 'C' (Tuscany)

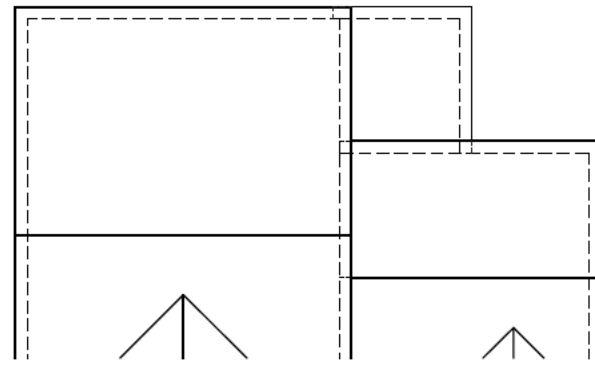


Enhanced Rear Elevation 'C' (Tuscany)

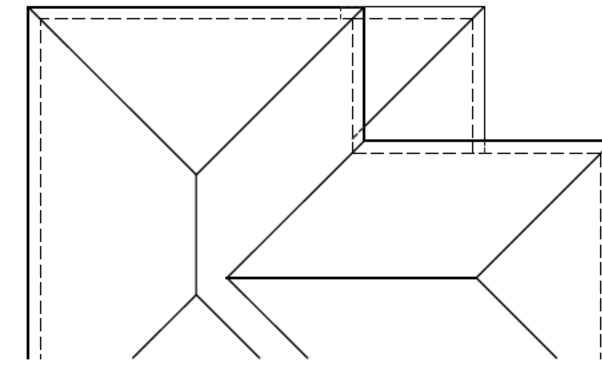




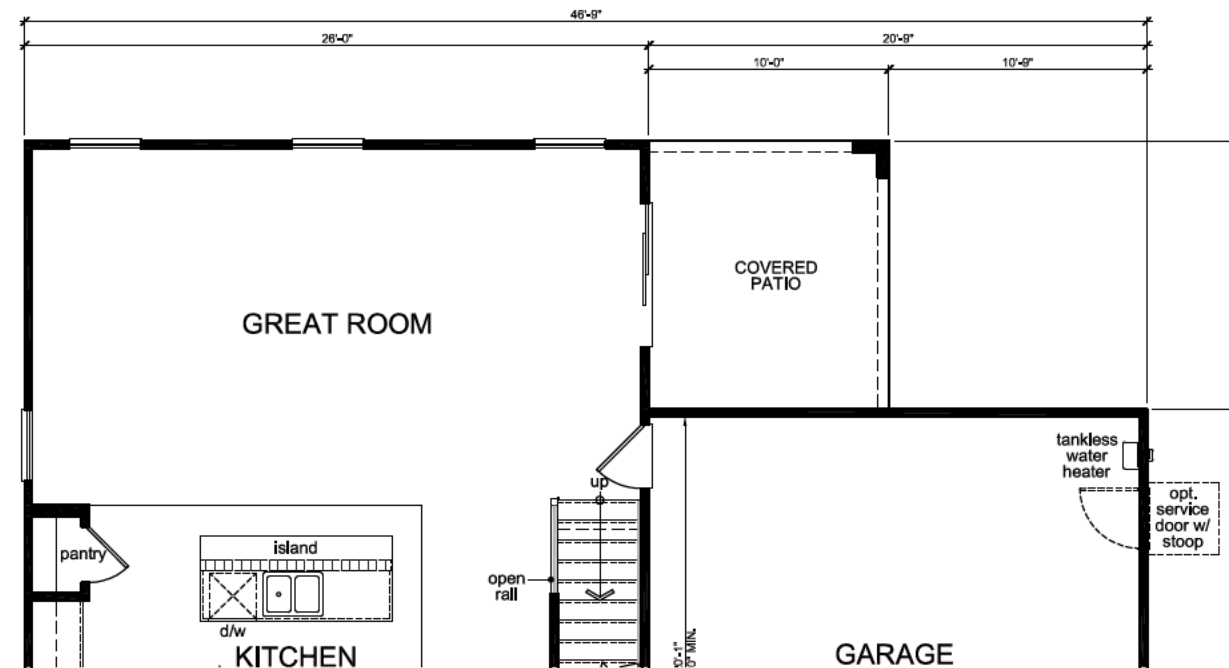
Partial Roof Plan 'A' (Spanish Colonial)  
at Covered Patio



Partial Roof Plan 'B' (Farmhouse)  
at Covered Patio



Partial Roof Plan 'C' (Tuscany)  
at Covered Patio



Partial First Floor Plan  
at Covered Patio



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Partial Right Elevation 'B' (Craftsman)  
at Covered Patio



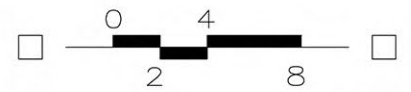
Rear Elevation 'B' (Craftsman)  
at Covered Patio



Partial Right Elevation 'A' (Spanish Colonial)  
at Covered Patio



Rear Elevation 'A' (Spanish Colonial)  
at Covered Patio



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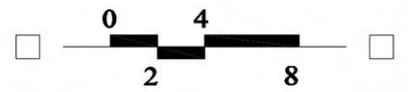
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STORY: Two  
Rev. May 16, 2022



Partial Right Elevation 'C' (Tuscany)  
at Covered Patio



Rear Elevation 'C' (Tuscany)  
at Covered Patio



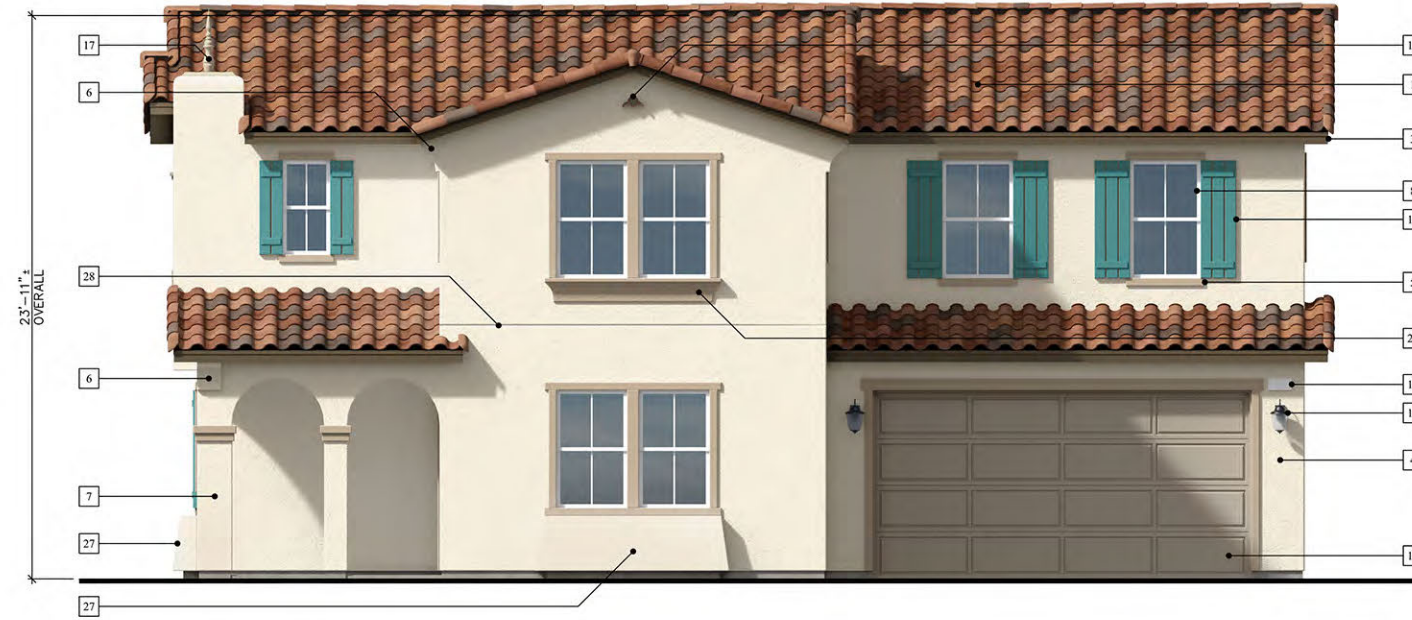
PLAN 1



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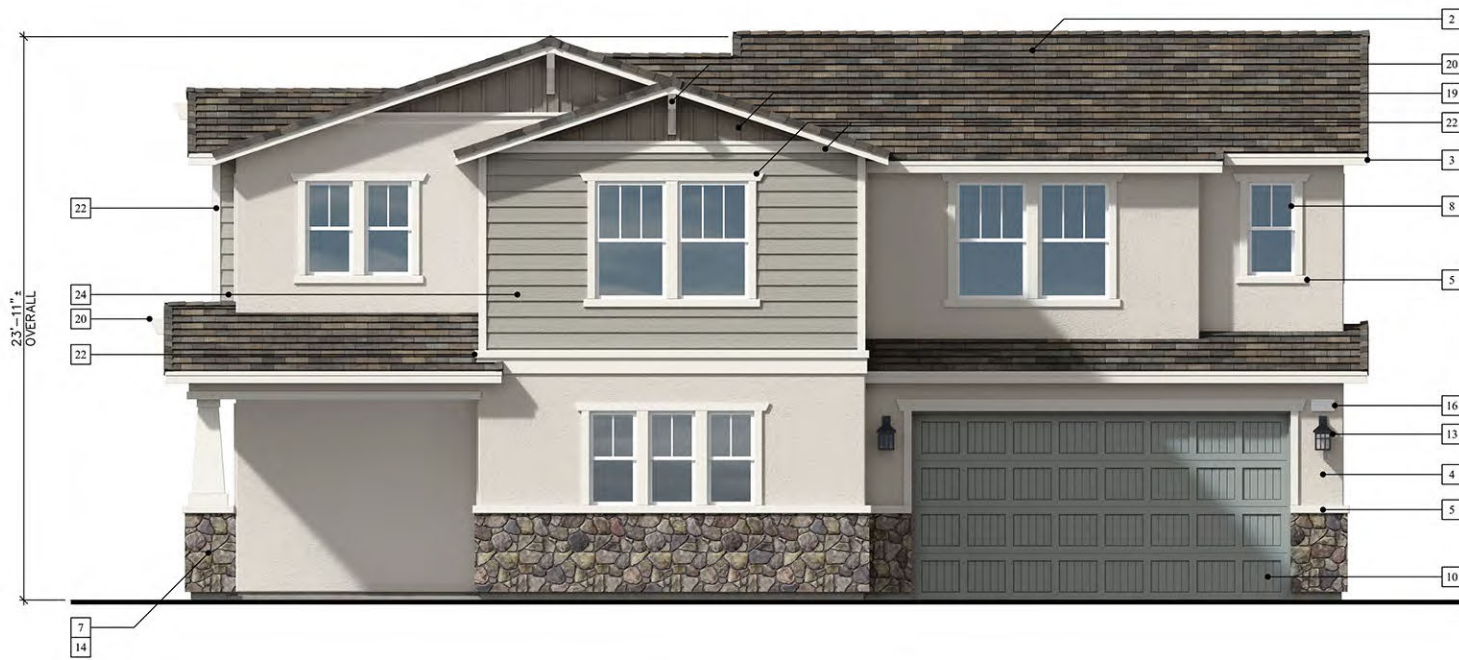
247.2308  
JOB No. : 350999  
STORY: Two  
Rev. May 16, 2022



**ELEVATION LEGEND**

- |   |  |
|---|--|
| 1 CONCRETE 'S' TILE ROOFING                                   | 15 DECORATIVE CLAY PIPES                             |
| 2 CONCRETE FLAT TILE ROOFING                                  | 16 ADDRESS PLAQUE                                    |
| 3 WOOD FASCIA BOARD   | 17 POLYURETHANE SPIRE                                |
| 4 STUCCO FINISH (16/20 SAND)                                  | 18 STUCCO OVER FOAM POTSHelf                         |
| 5 STUCCO OVER FOAM TRIM                                       | 19 BOARD AND BATTEN                                  |
| 6 DECORATIVE STUCCO FINISH OVER FOAM CORBELS/SHAPED FOAM TRIM | 20 PRE-FAB OUTLOOKER                                 |
| 7 STUCCO COLUMNS  | 21 WOOD POST   |
| 8 VINYL WINDOW SYSTEM   | 22 WOOD TRIM   |
| 9 COMPOSITE ENTRY DOOR  | 23 DECORATIVE "TEAR DROP" STUCCO O/ FOAM SILL DETAIL |
| 10 METAL SECTIONAL GARAGE DOOR                                | 24 8" LAP SIDING, U.N.O.                             |
| 11 DECORATIVE SHUTTERS  | 25 DECORATIVE CERAMIC TILES                          |
| 12 DECORATIVE GABLE END DETAIL                                | 26 POLYURETHANE CORBELS                              |
| 13 COACH LIGHTS   | 27 STUCCO SHELF                                      |
| 14 STONE VENEER   | 28 STUCCO EXPANSION JOINT                            |

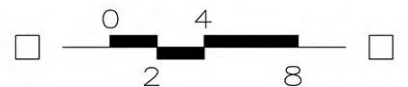
Elevation 'A' (Spanish Colonial)



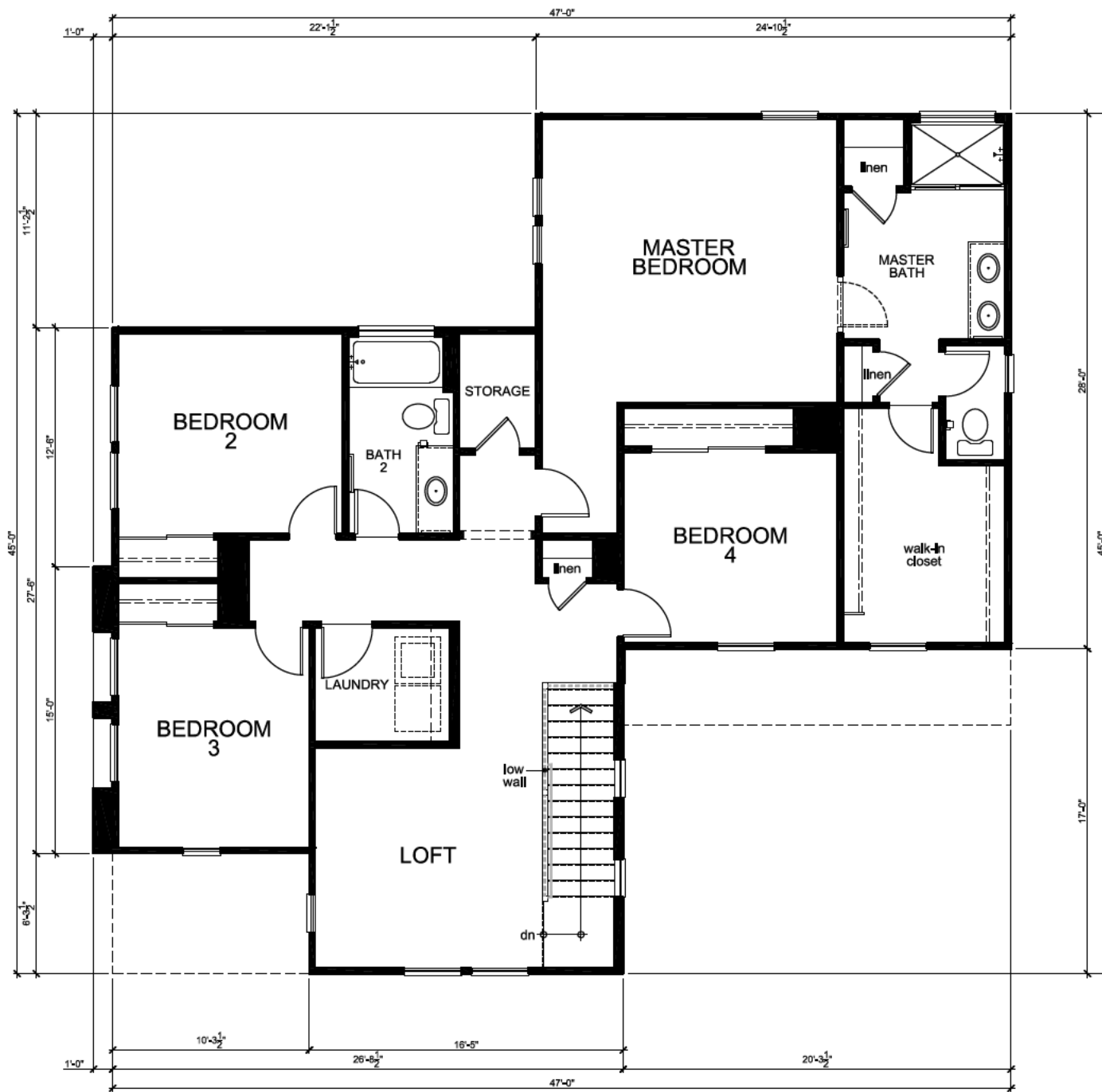
Elevation 'B' (Craftsman)



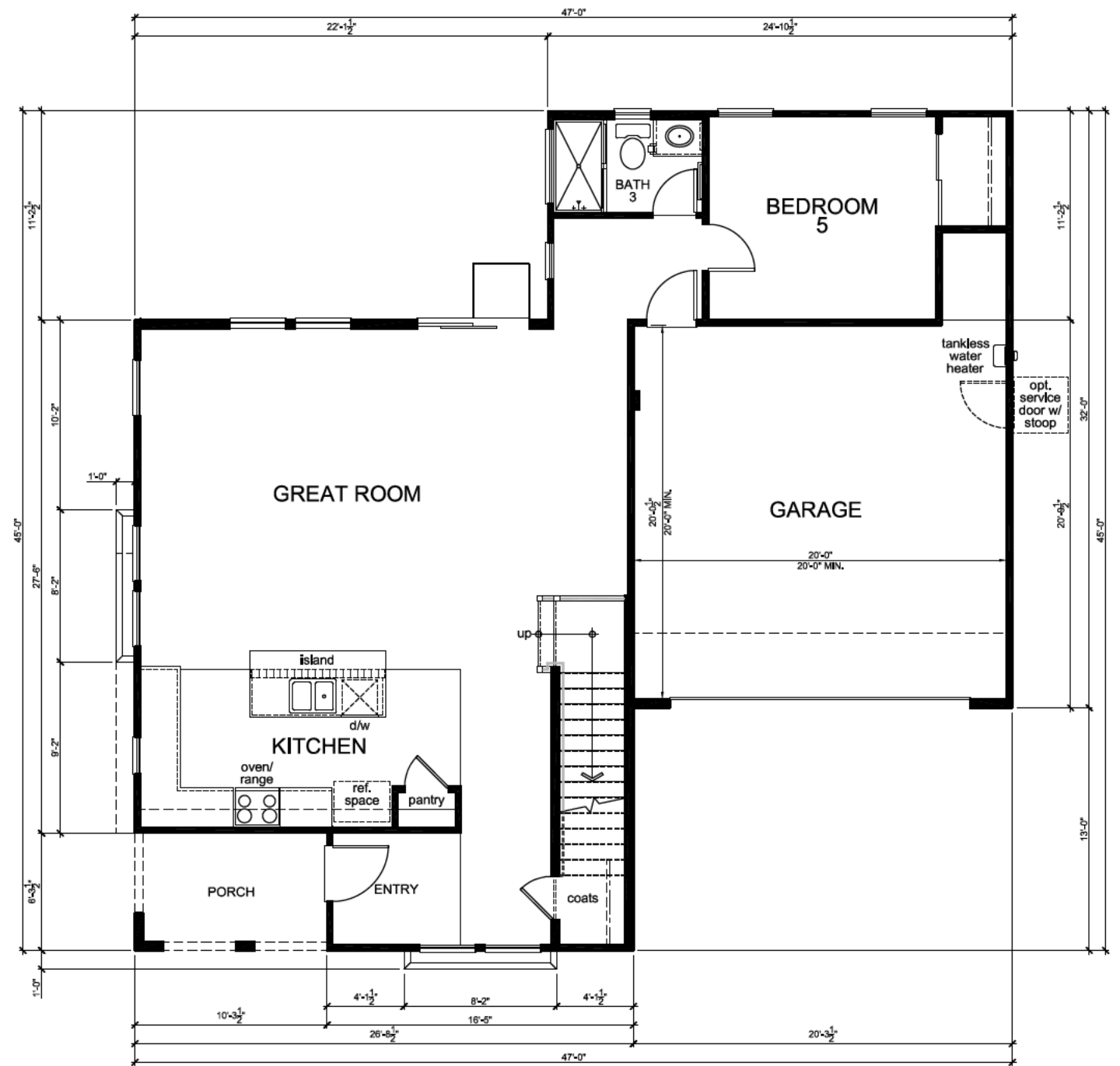
Elevation 'C' (Tuscany)



PLAN 2



Second Floor Plan 'A'

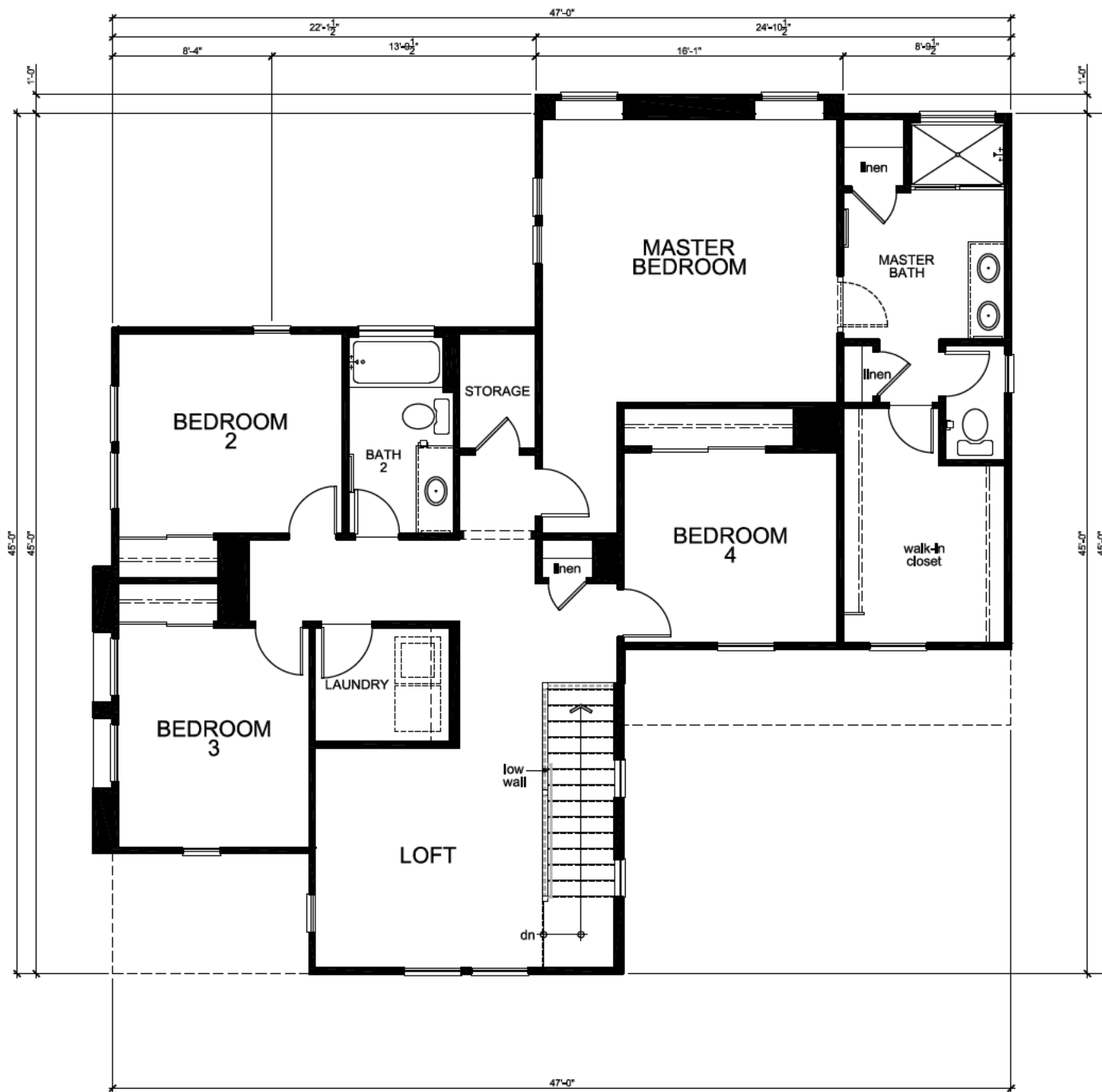


First Floor Plan 'A'

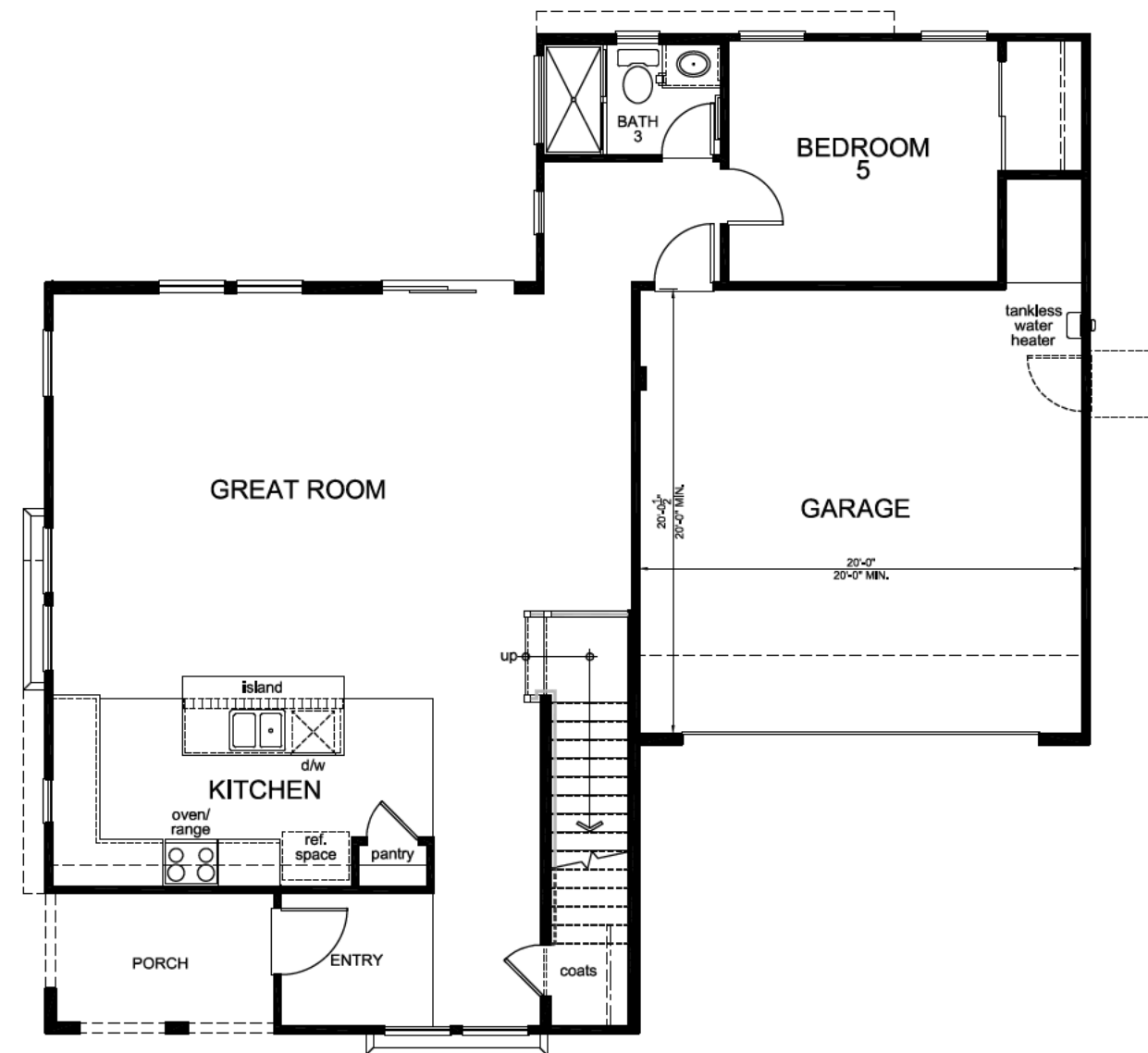
SQUARE FOOTAGE			
PLAN 247.2501			
FIRST FLOOR AREA	1104	SG. FT.	
SECOND FLOOR AREA	1947	SG. FT.	
TOTAL AREA	2501	SG. FT.	
GARAGE AREA	495	SG. FT.	
PORCH AREA	ELEVATION 'A'	65	SG. FT.
	ELEVATION 'B'	94	SG. FT.
	ELEVATION 'C'	65	SG. FT.
OPTIONS:			
COVERED PATIO	112	SG. FT.	





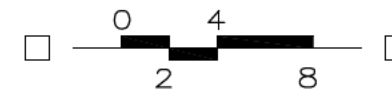


Enhanced Second Floor Plan 'A'



First Floor Plan 'A'

SQUARE FOOTAGE			
PLAN 247.2501			
FIRST FLOOR AREA	1104	SQ. FT.	
SECOND FLOOR AREA	1397	SQ. FT.	
TOTAL AREA	2501	SQ. FT.	
GARAGE AREA	495	SQ. FT.	
PORCH AREA	ELEVATION 'A'	65	SQ. FT.
	ELEVATION 'B'	94	SQ. FT.
	ELEVATION 'C'	65	SQ. FT.
OPTIONS:			
COVERED PATIO	112	SQ. FT.	



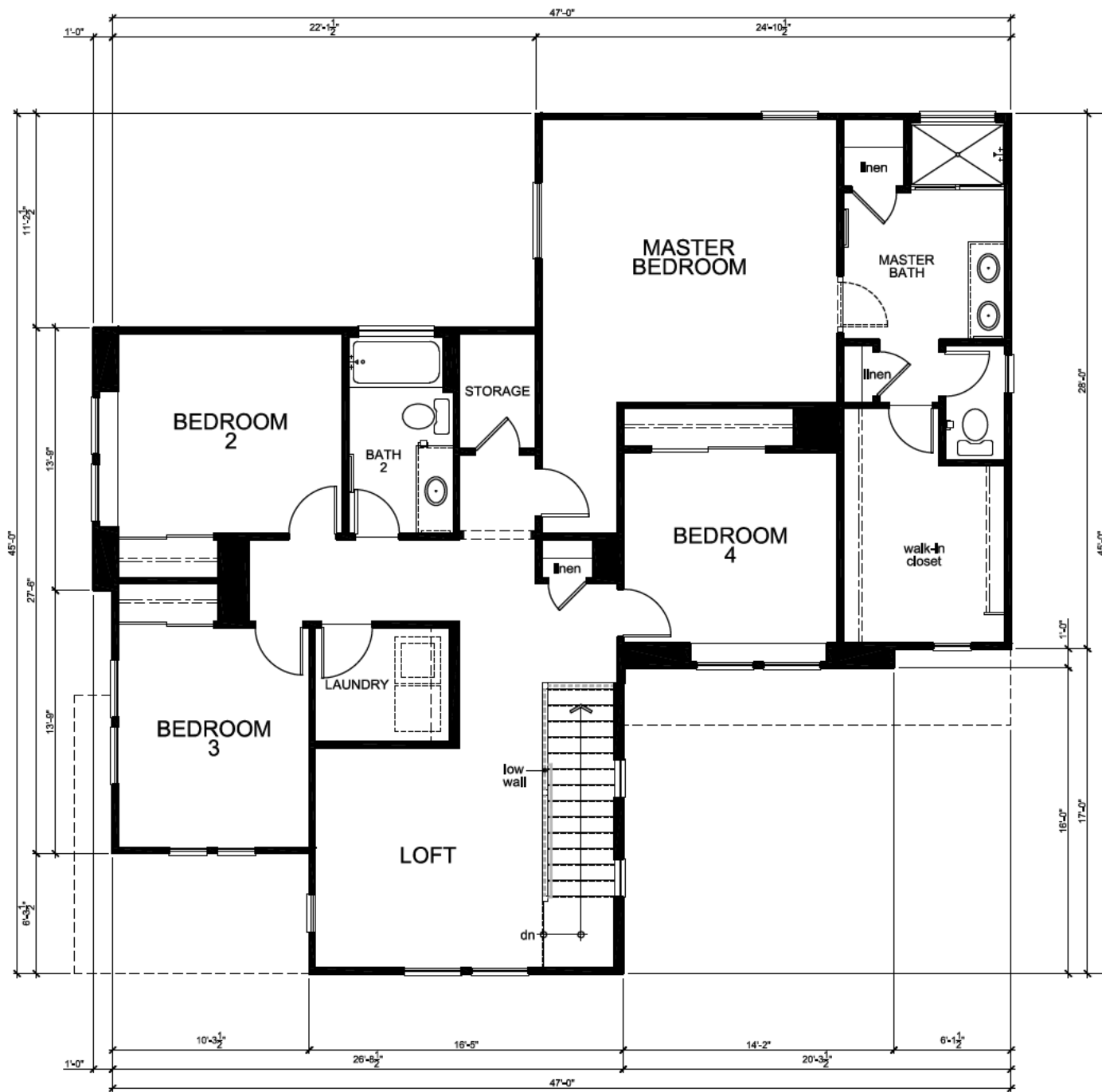
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 TENTATIVE TRACT MAP 20160

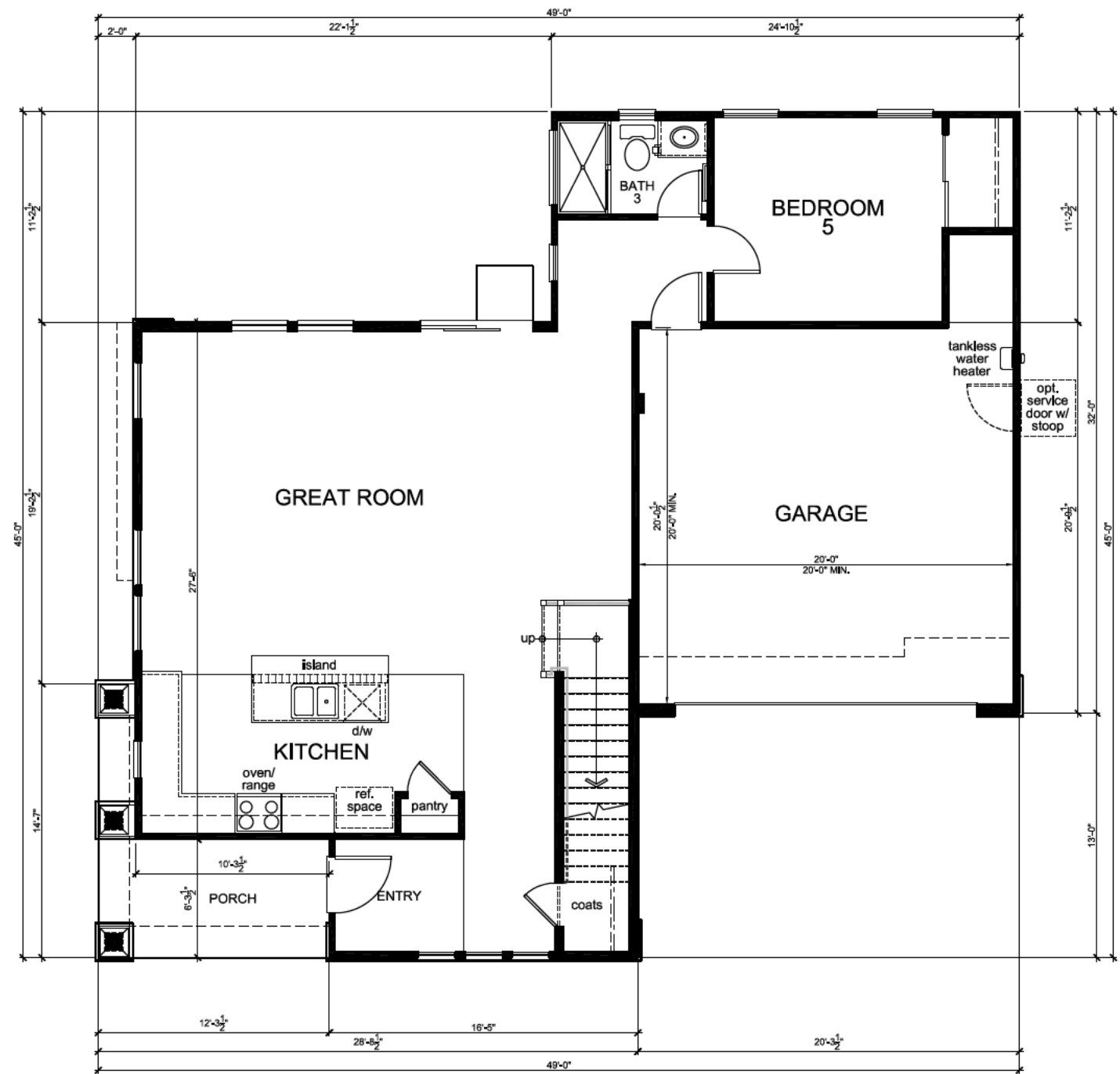
PLAN 2

247.2501

JOB No. : 350999  
 STORY: Two  
 Rev. May 16, 2022



Second Floor Plan 'B'



First Floor Plan 'B'

SQUARE FOOTAGE			
PLAN 247.2501			
FIRST FLOOR AREA	1104	SQ. FT.	
SECOND FLOOR AREA	1397	SQ. FT.	
TOTAL AREA	2501	SQ. FT.	
GARAGE AREA	495	SQ. FT.	
PORCH AREA	65	SQ. FT.	
	ELEVATION 'A'	94	SQ. FT.
	ELEVATION 'B'	65	SQ. FT.
OPTIONS:			
COVERED PATIO	112	SQ. FT.	



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ESPERANZA MOTORCOURT CLUSTER  
 TENTATIVE TRACT MAP 20160

PLAN 2

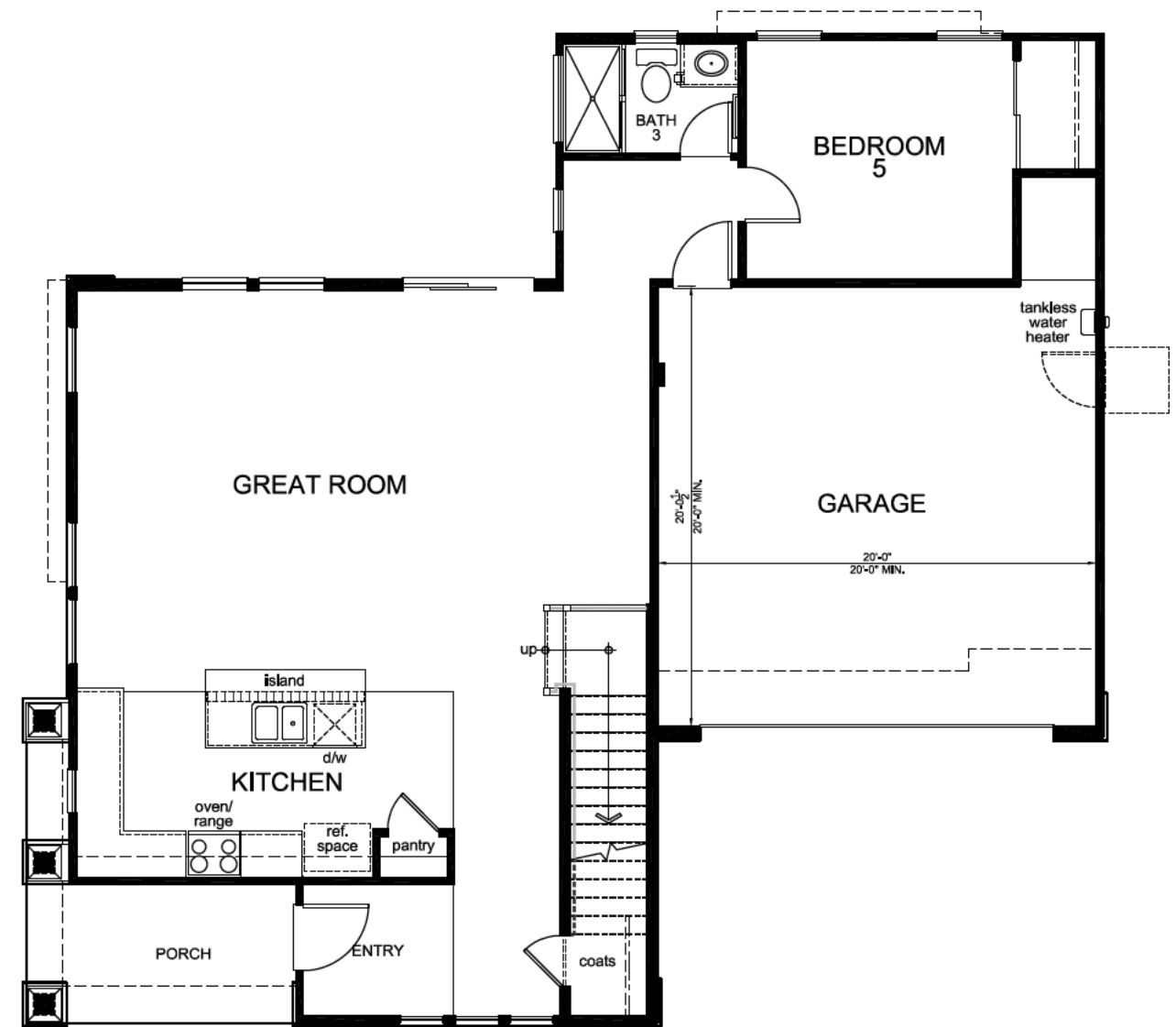
247.2501

JOB No. : 350999  
 STORY: Two  
 Rev. May 16, 2022

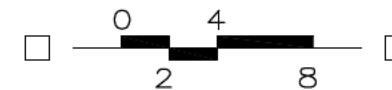


Enhanced Second Floor Plan 'B'

SQUARE FOOTAGE			
PLAN 247.2501			
FIRST FLOOR AREA	1104	SQ. FT.	
SECOND FLOOR AREA	1847	SQ. FT.	
TOTAL AREA	2951	SQ. FT.	
GARAGE AREA	495	SQ. FT.	
PORCH AREA	ELEVATION 'A'	65	SQ. FT.
	ELEVATION 'B'	94	SQ. FT.
	ELEVATION 'C'	65	SQ. FT.
OPTIONS:			
COVERED PATIO	112	SQ. FT.	



First Floor Plan 'B'



PLAN 2



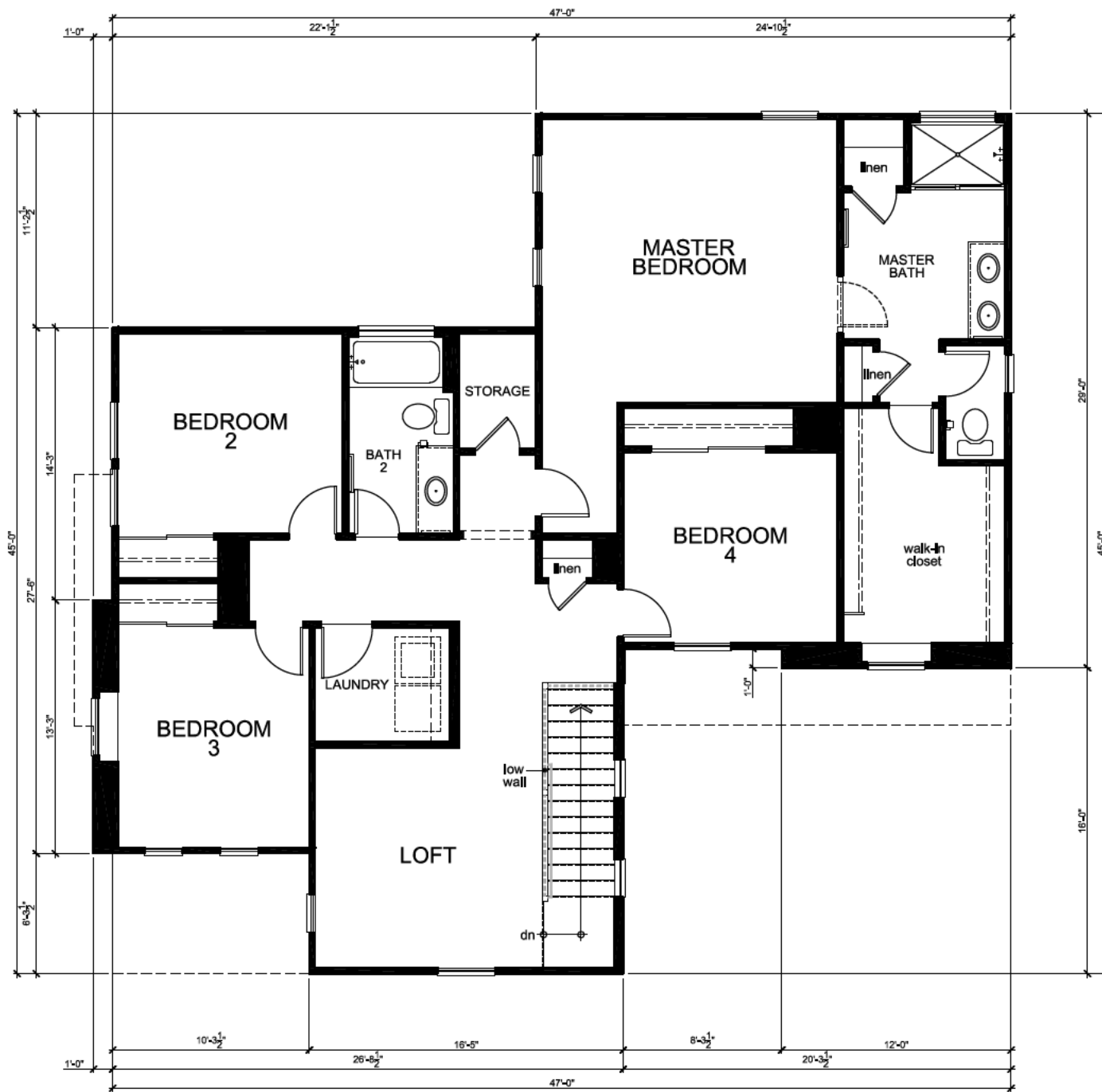
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ESPERANZA MOTORCOURT CLUSTER  
TENTATIVE TRACT MAP 20160

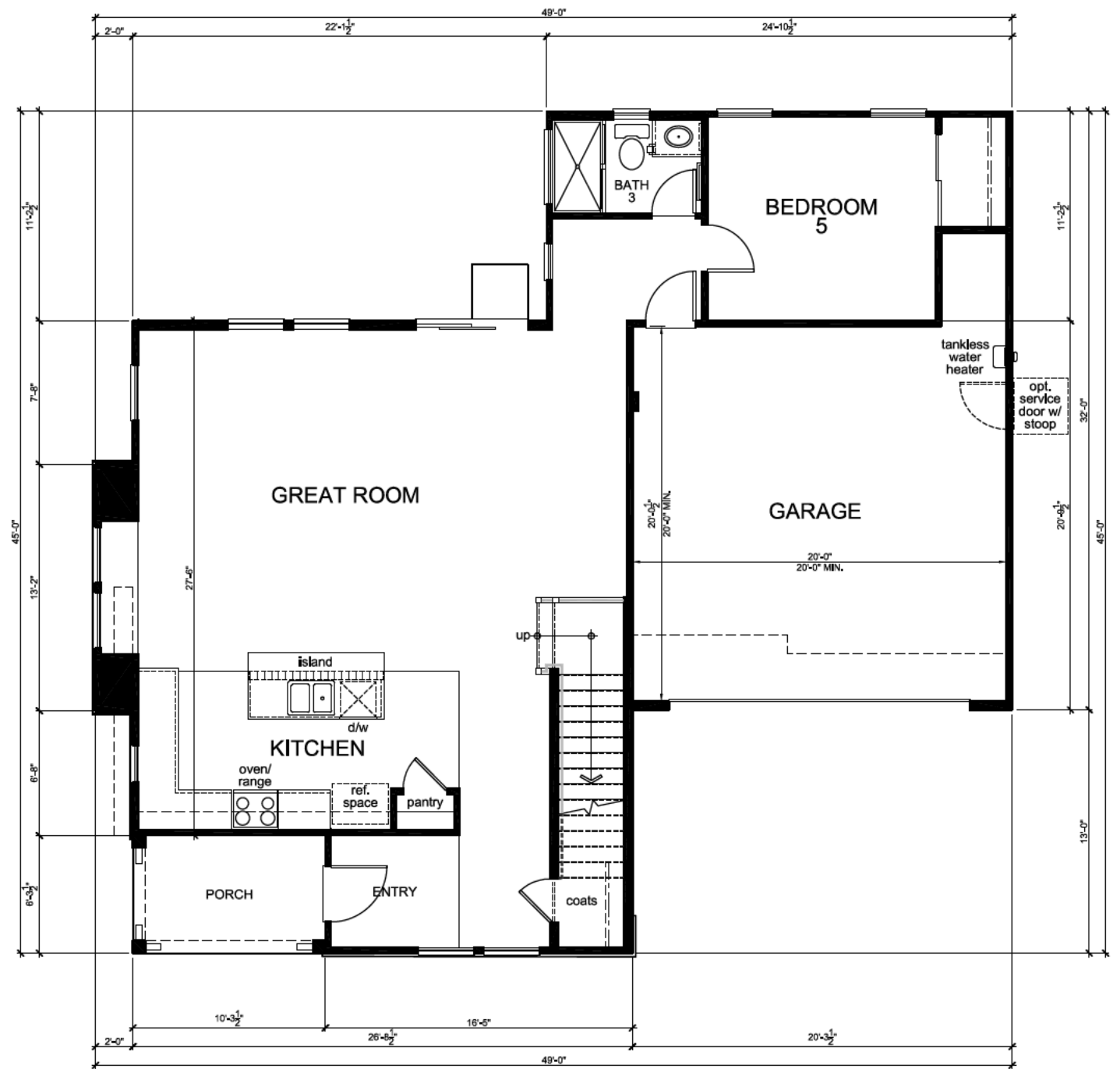
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JOB No. : 350999  
STORY: Two  
Rev. May 16, 2022

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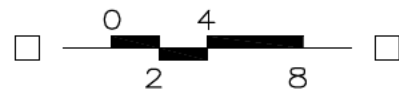


Second Floor Plan 'C'



First Floor Plan 'C'

SQUARE FOOTAGE		
PLAN 247.2501		
FIRST FLOOR AREA	1104	SQ. FT.
SECOND FLOOR AREA	1947	SQ. FT.
TOTAL AREA	2501	SQ. FT.
GARAGE AREA	495	SQ. FT.
PORCH AREA	65	SQ. FT.
	ELEVATION 'A'	94
	ELEVATION 'B'	65
	ELEVATION 'C'	65
OPTIONS:		
COVERED PATIO	112	SQ. FT.



PLAN 2

247.2501

JOB No. : 350999

STORY: Two

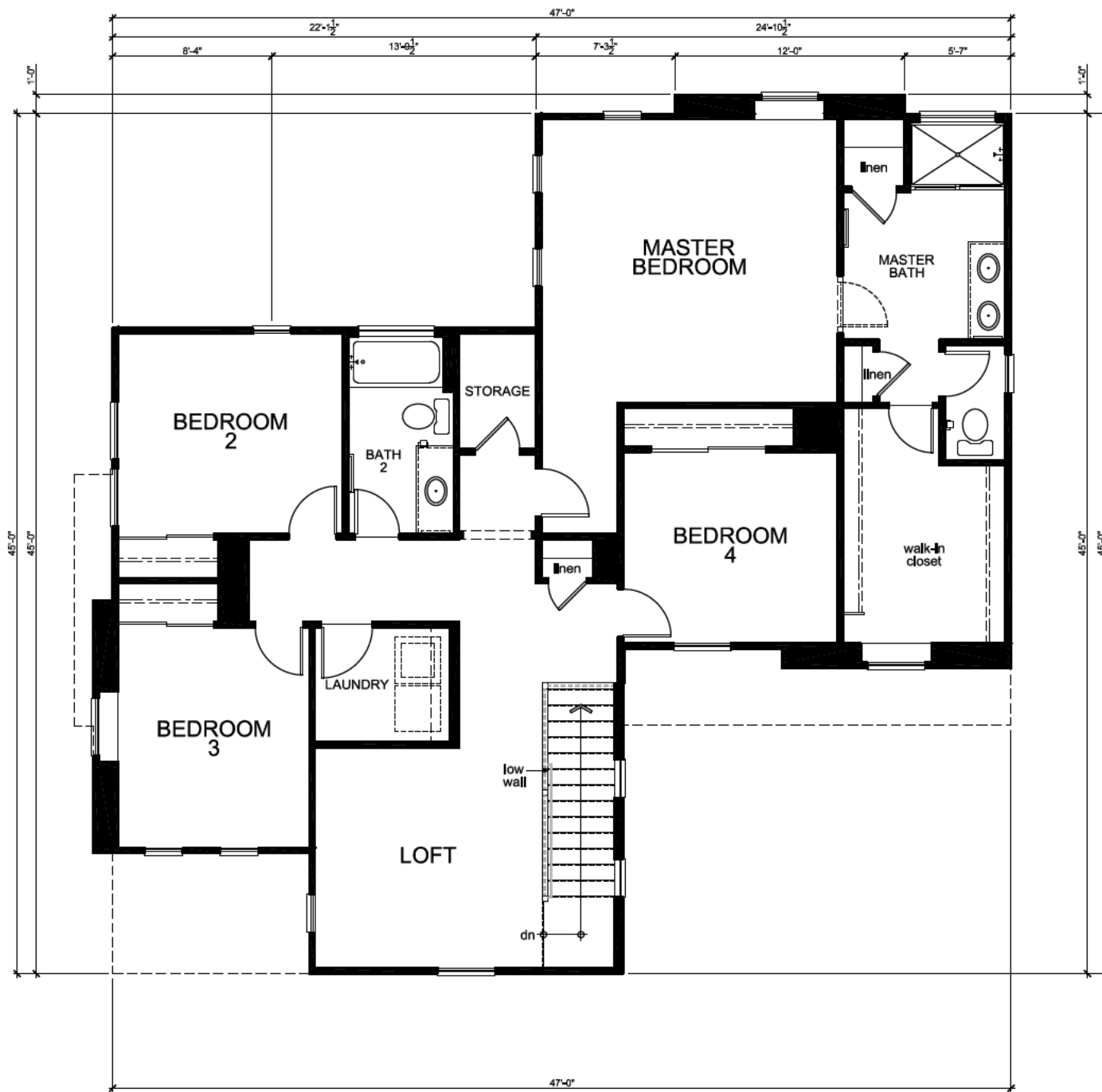
Rev. May 16, 2022

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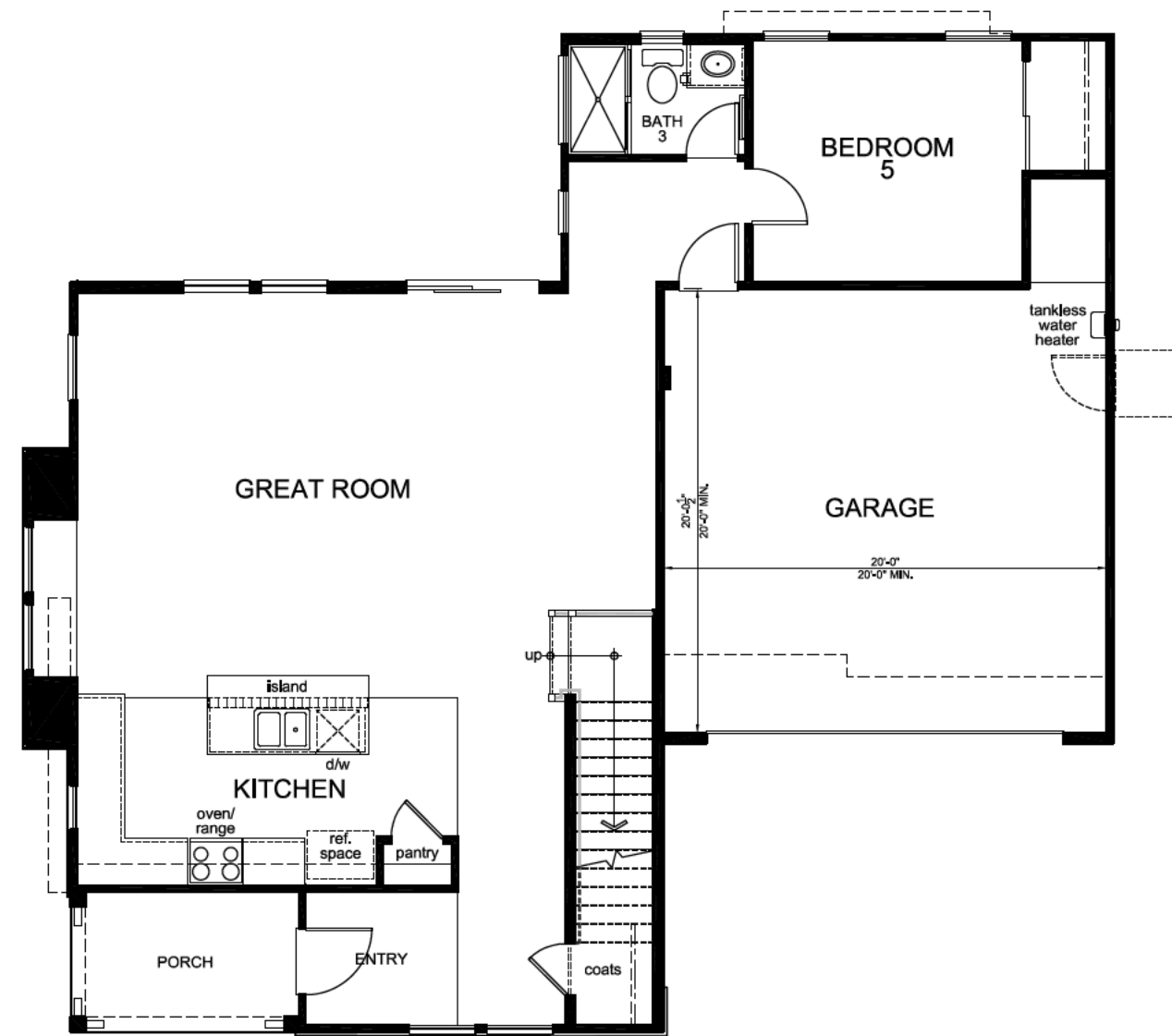


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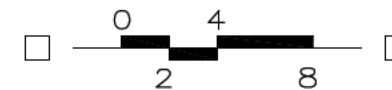


Enhanced Second Floor Plan 'C'



First Floor Plan 'C'

SQUARE FOOTAGE		
PLAN 247.2501		
FIRST FLOOR AREA	1104	SQ. FT.
SECOND FLOOR AREA	1397	SQ. FT.
TOTAL AREA	2501	SQ. FT.
GARAGE AREA	495	SQ. FT.
PORCH AREA	ELEVATION 'A'	65 SQ. FT.
	ELEVATION 'B'	94 SQ. FT.
	ELEVATION 'C'	65 SQ. FT.
OPTIONS:		
COVERED PATIO	112	SQ. FT.



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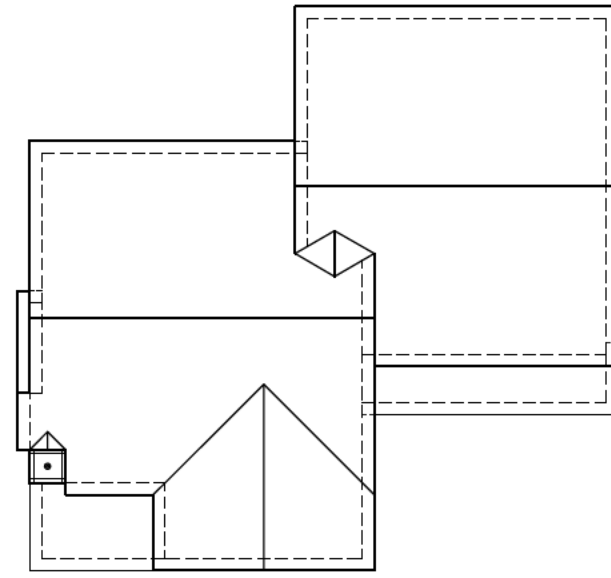
ESPERANZA MOTORCOURT CLUSTER  
TENTATIVE TRACT MAP 20160

PLAN 2

247.2501

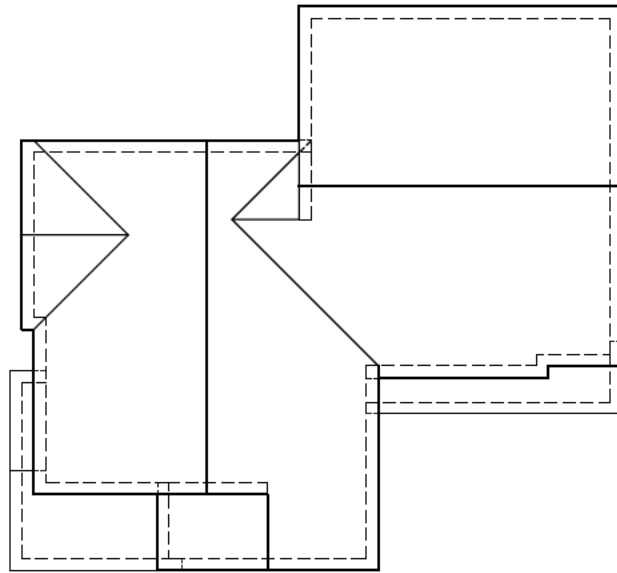
JOB No. : 350999  
STORY: Two  
Rev. May 16, 2022

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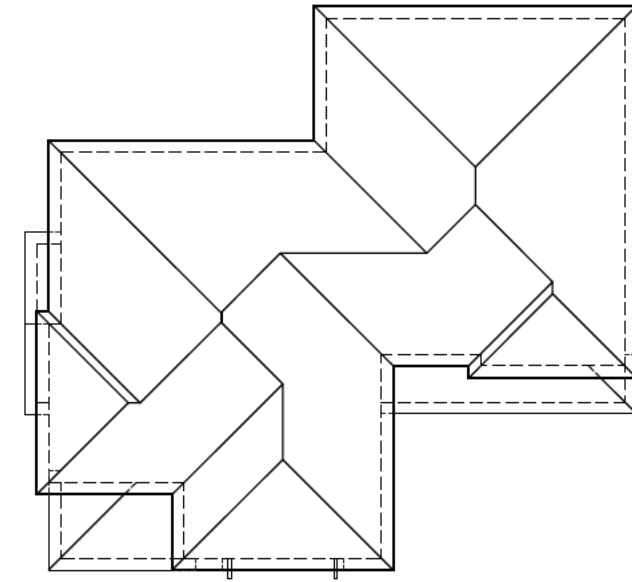
**'A' Spanish Colonial**

4:12



**'B' Craftsman**

4:12

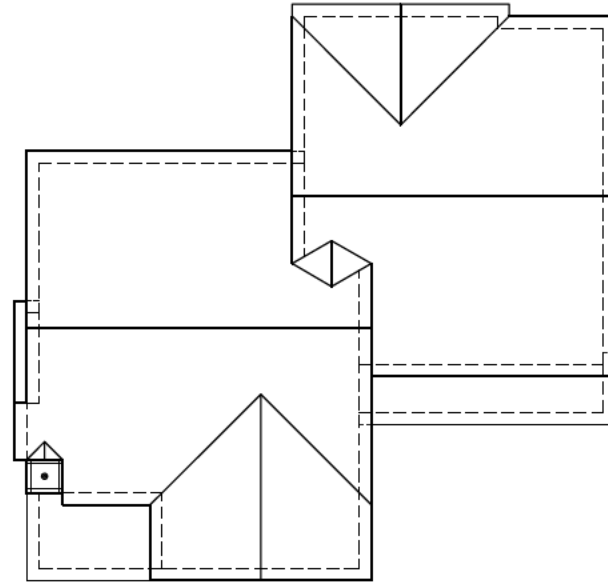


**'C' Tuscan**

4:12

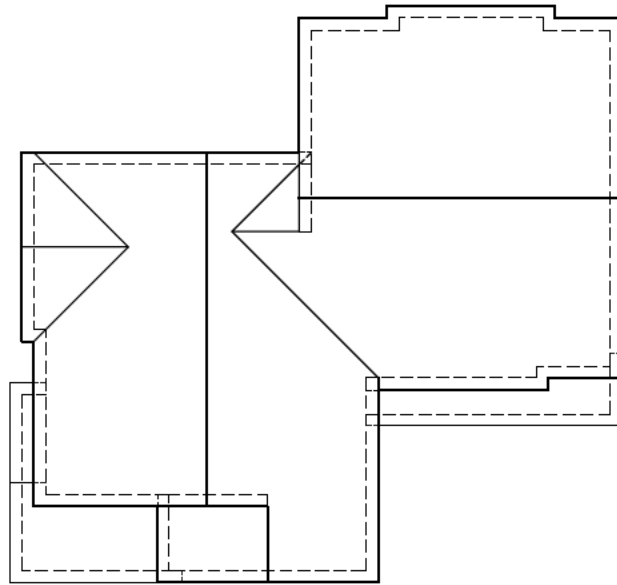


Roof Plans



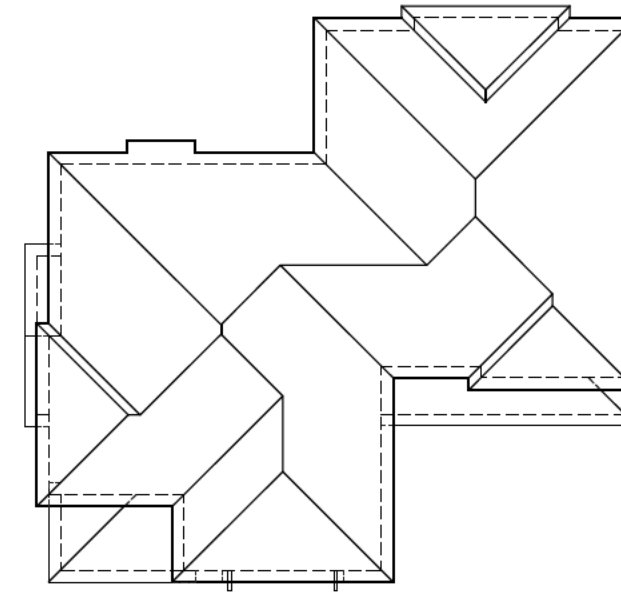
**'A' Spanish Colonial**

4:12



**'B' Craftsman**

4:12



**'C' Tuscan**

4:12



Enhanced Roof Plans



Left Elevation 'A' (Spanish Colonial)



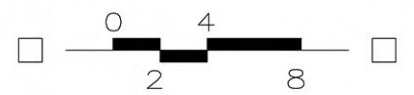
Front Elevation 'A' (Spanish Colonial)



Right Elevation 'A' (Spanish Colonial)



Rear Elevation 'A' (Spanish Colonial)







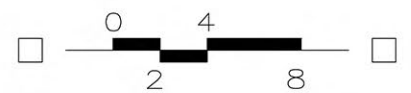
Right Elevation 'A' (Spanish Colonial)



Left Elevation 'A' (Spanish Colonial)



Enhanced Rear Elevation 'A' (Spanish Colonial)





Left Elevation 'B' (Craftsman)



Front Elevation 'B' (Craftsman)



Right Elevation 'B' (Craftsman)



Rear Elevation 'B' (Craftsman)





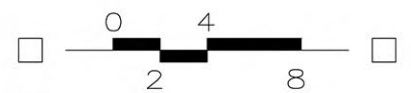
Right Elevation 'B' (Craftsman)



Left Elevation 'B' (Craftsman)



Rear Elevation 'B' (Craftsman)





Left Elevation 'C' (Tuscany)



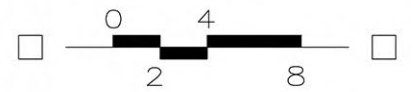
Front Elevation 'C' (Tuscany)



Right Elevation 'C' (Tuscany)



Rear Elevation 'C' (Tuscany)





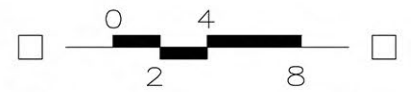
Right Elevation 'C' (Tuscany)

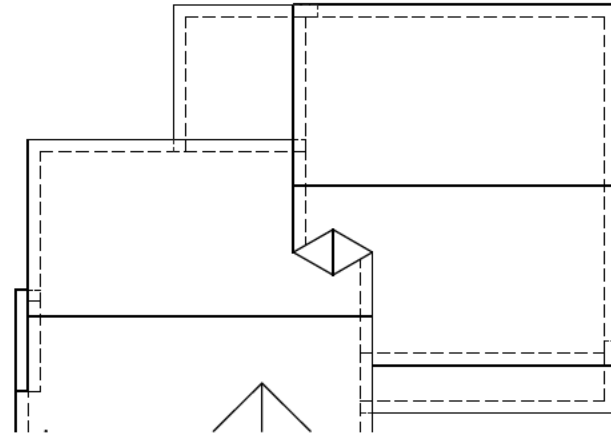


Left Elevation 'C' (Tuscany)

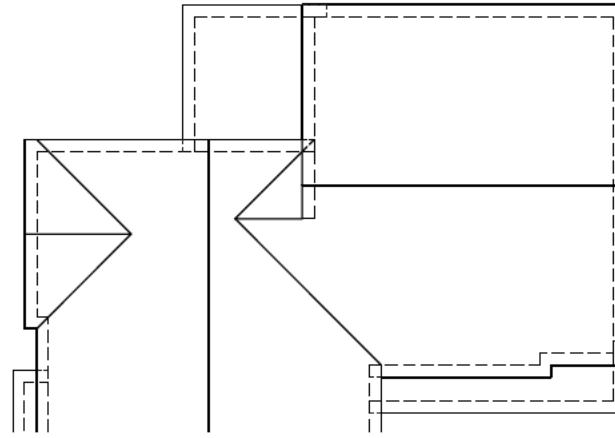


Enhanced Rear Elevation 'C' (Tuscany)

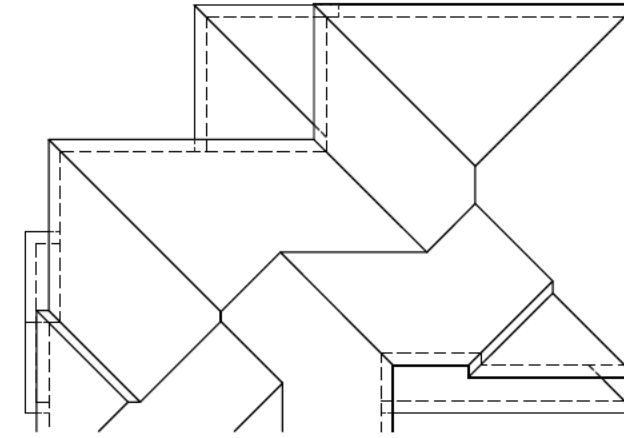




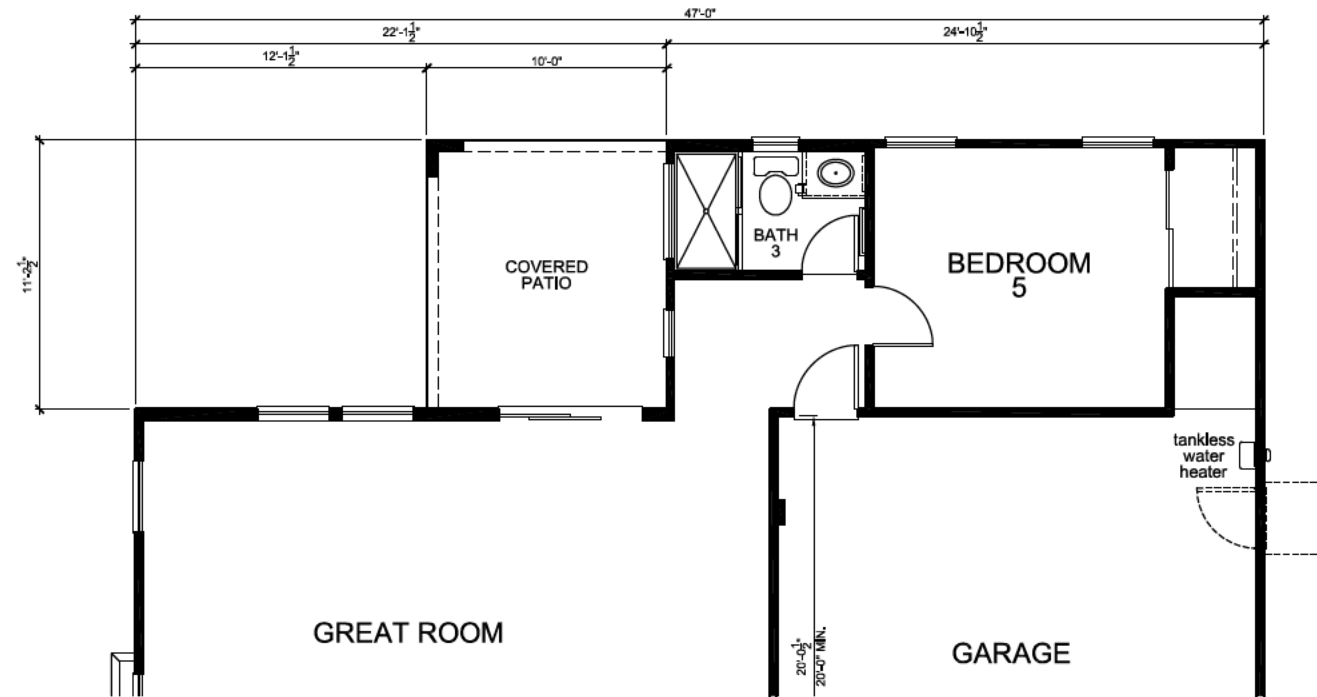
Partial Roof Plan 'A' (Spanish Colonial)  
at Covered Patio



Partial Roof Plan 'B' (Farmhouse)  
at Covered Patio



Partial Roof Plan 'C' (Tuscany)  
at Covered Patio



Partial First Floor Plan  
at Covered Patio



PLAN 2



KB Home Southern California/Inland Empire  
36310 Inland Valley Drive  
Wildomar, CA 92595  
(951) 691-5300  
ONTARIO, CA

ESPERANZA MOTORCOURT CLUSTER  
TENTATIVE TRACT MAP 20160

247.2501

JOB No. : 350999  
STORY: Two  
Rev. May 16, 2022

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Rear Elevation 'B' (Craftsman)  
at Covered Patio



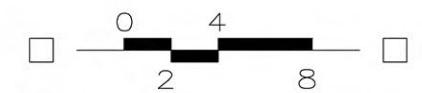
Partial Left Elevation 'B' (Craftsman)  
at Covered Patio



Rear Elevation 'A' (Spanish Colonial)  
at Covered Patio



Partial Left Elevation 'A' (Spanish Colonial)  
at Covered Patio



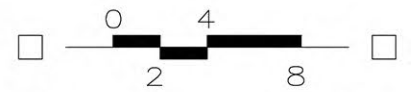
PLAN 2



Rear Elevation 'C' (Tuscany)  
at Covered Patio



Partial Left Elevation 'C' (Tuscany)  
at Covered Patio



PLAN 2





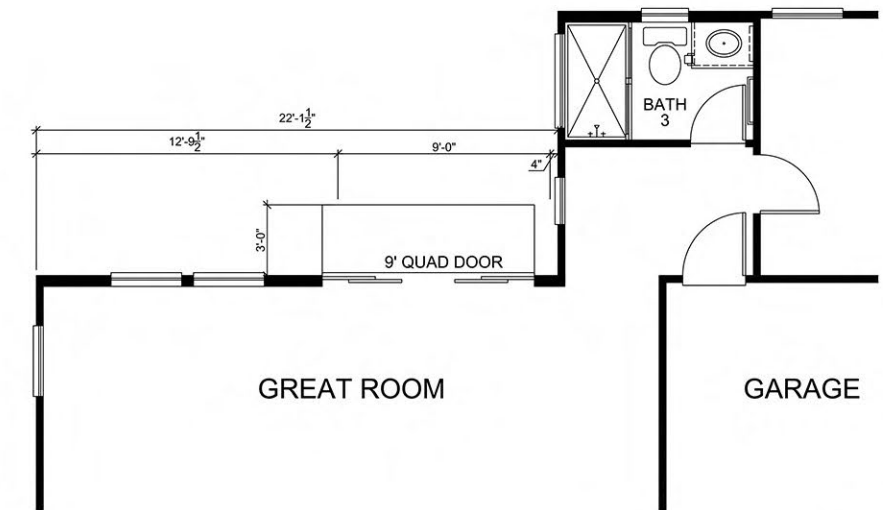
Rear Elevation 'A' at Quad Door Option



Rear Elevation 'B' at Quad Door Option



Rear Elevation 'C' at Quad Door Option

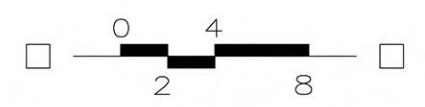


GREAT ROOM

GARAGE

BATH 3

9' QUAD DOOR



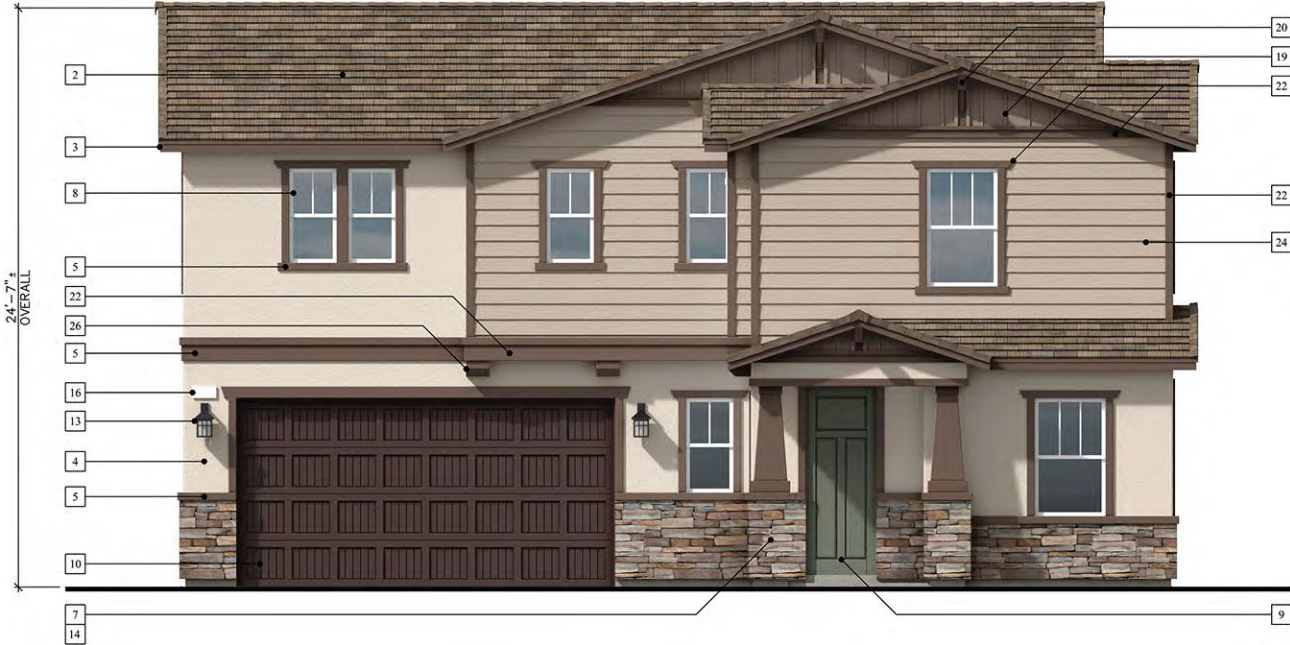
Quad Door Option

**ELEVATION LEGEND**

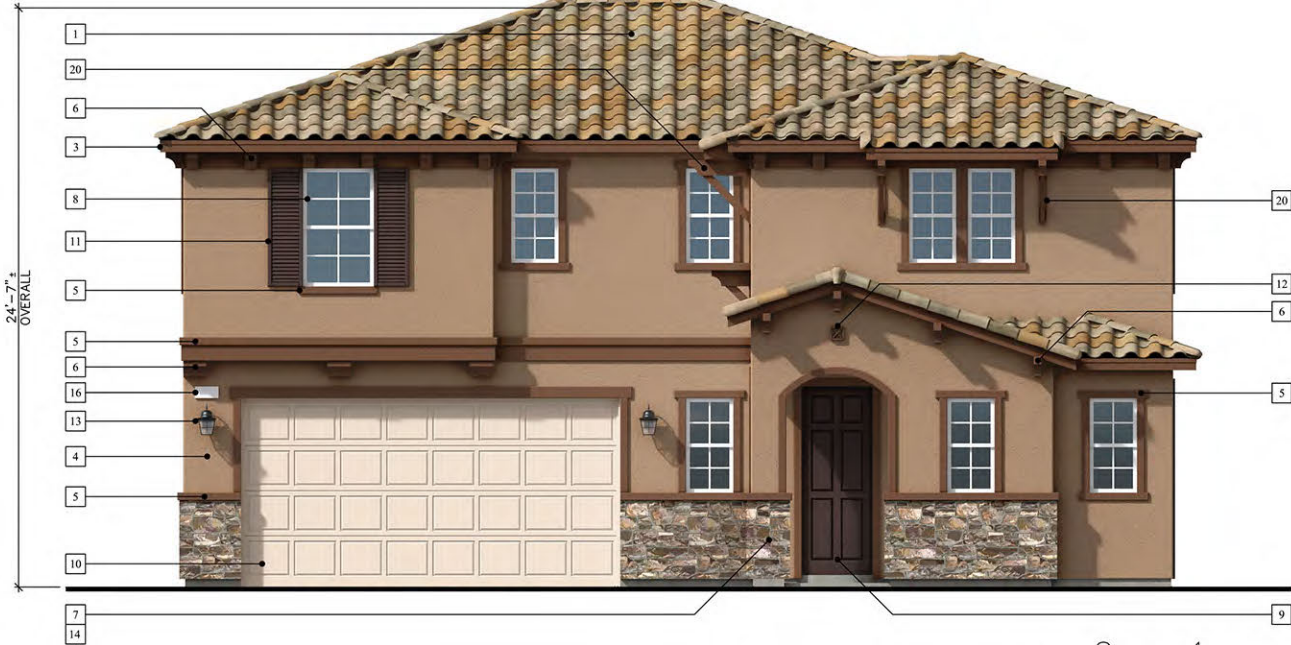
- |   |  |
|---|--|
| 1 CONCRETE 'S' TILE ROOFING                                   | 15 DECORATIVE CLAY PIPES                             |
| 2 CONCRETE FLAT TILE ROOFING                                  | 16 ADDRESS PLAQUE                                    |
| 3 WOOD FASCIA BOARD   | 17 POLYURETHANE SPIRE                                |
| 4 STUCCO FINISH (16/20 SAND)                                  | 18 STUCCO OVER FOAM POTSHelf                         |
| 5 STUCCO OVER FOAM TRIM                                       | 19 BOARD AND BATTEN                                  |
| 6 DECORATIVE STUCCO FINISH OVER FOAM CORBELS/SHAPED FOAM TRIM | 20 PRE-FAB OUTLOOKER                                 |
| 7 STUCCO COLUMNS  | 21 WOOD POST   |
| 8 VINYL WINDOW SYSTEM   | 22 WOOD TRIM   |
| 9 COMPOSITE ENTRY DOOR  | 23 DECORATIVE "TEAR DROP" STUCCO O/ FOAM SILL DETAIL |
| 10 METAL SECTIONAL GARAGE DOOR                                | 24 8" LAP SIDING, U.N.O.                             |
| 11 DECORATIVE SHUTTERS  | 25 DECORATIVE CERAMIC TILES                          |
| 12 DECORATIVE GABLE END DETAIL                                | 26 POLYURETHANE CORBELS                              |
| 13 COACH LIGHTS   | 27 STUCCO SHELF                                      |
| 14 STONE VENEER   | 28 STUCCO EXPANSION JOINT                            |



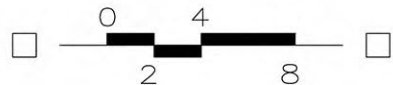
Elevation 'A' (Spanish Colonial)

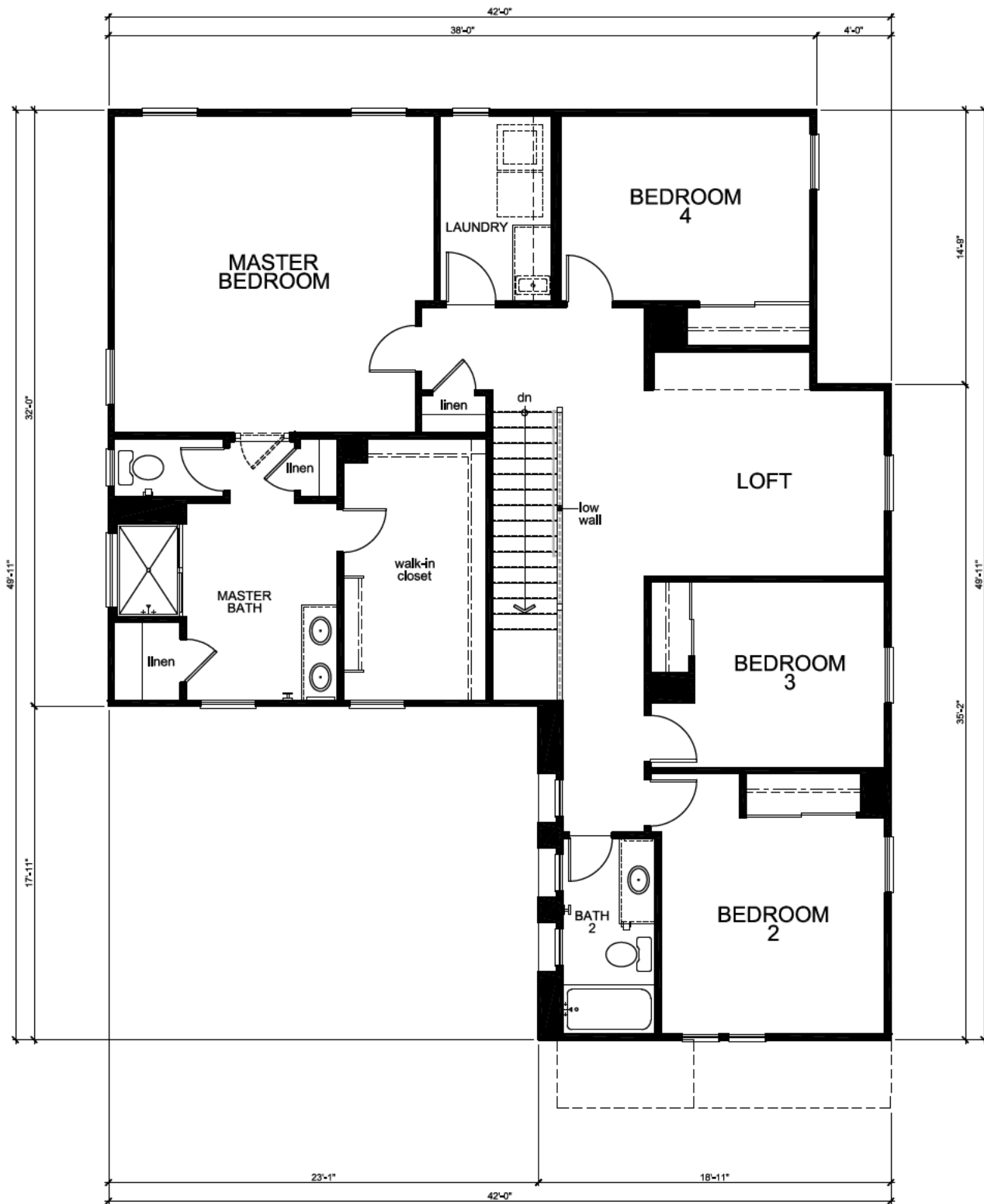


Elevation 'B' (Craftsman)

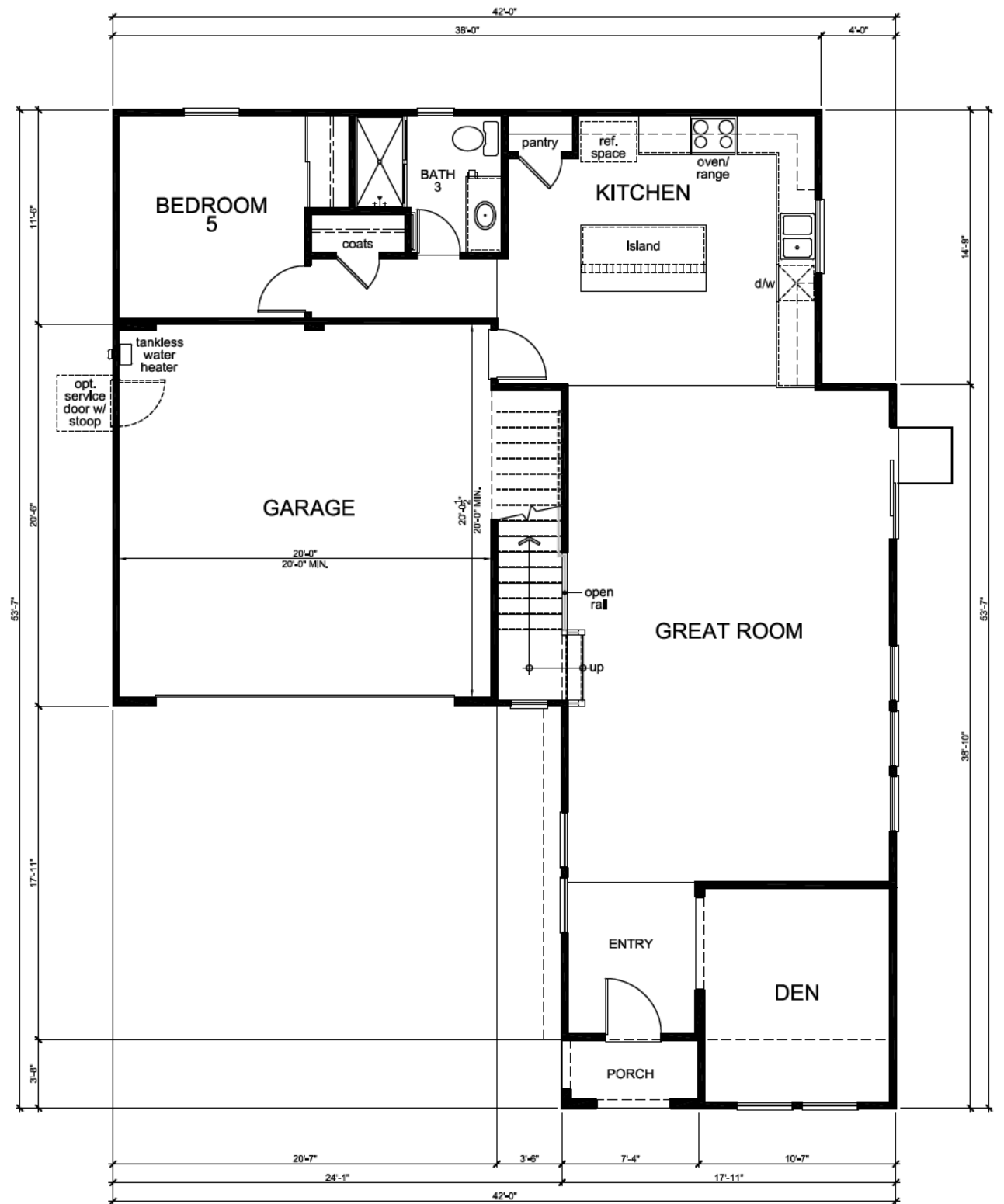


Elevation 'C' (Tuscany)



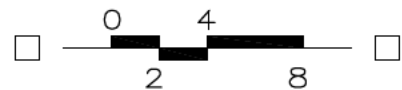


Second Floor Plan 'A'



First Floor Plan 'A'

SQUARE FOOTAGE			
PLAN 242.2780			
FIRST FLOOR AREA	1224	SQ. FT.	
SECOND FLOOR AREA	1991	SQ. FT.	
TOTAL AREA	2780	SQ. FT.	
GARAGE AREA	442	SQ. FT.	
PORCH AREA	27	SQ. FT.	
OPTIONS:	ELEVATION 'A'	45	SQ. FT.
	ELEVATION 'B'	54	SQ. FT.
	ELEVATION 'C'		
COVERED PATIO	184	SQ. FT.	



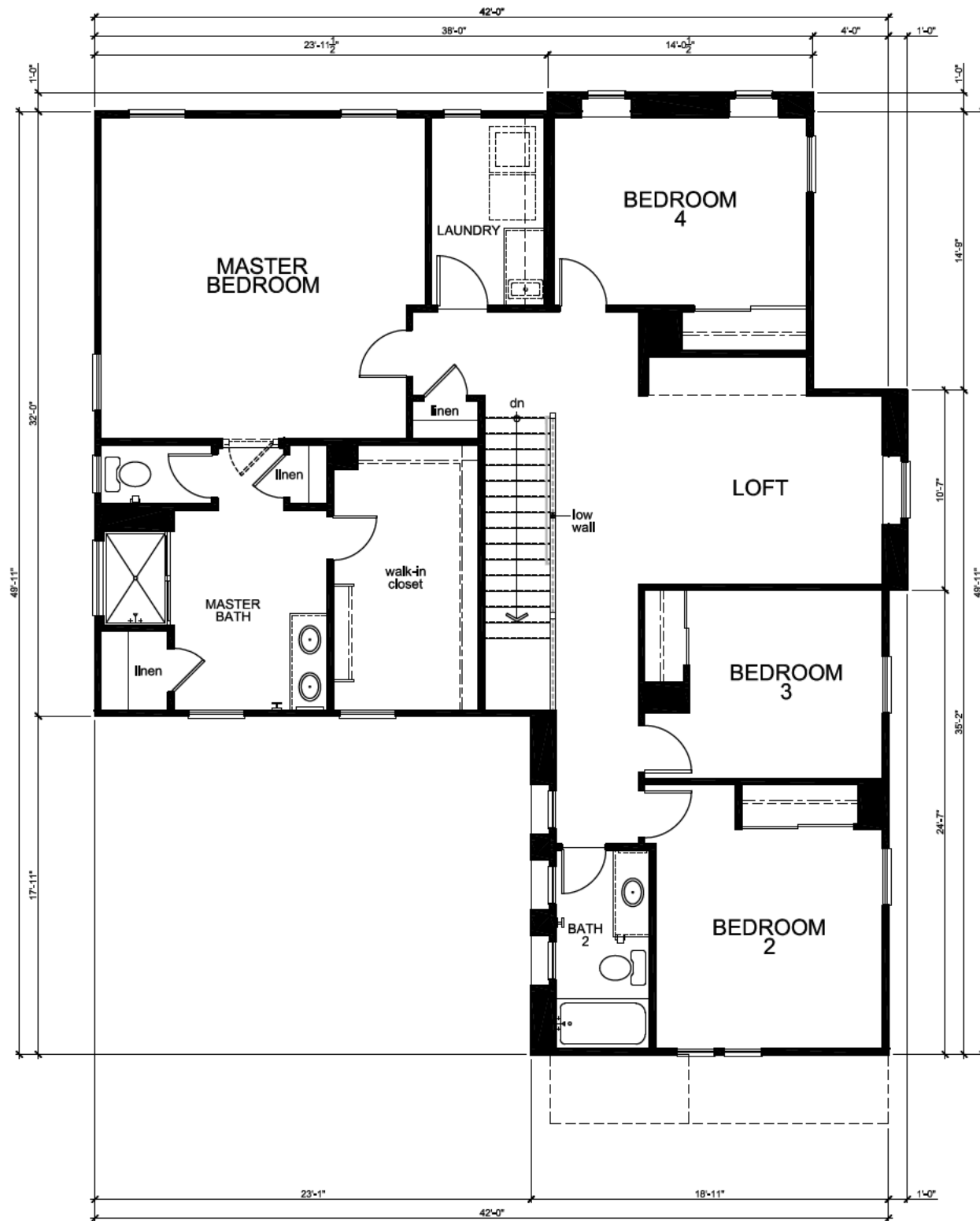
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 36310 Inland Valley Drive  
 Wildomar, CA 92595  
 (951) 691-5300  
 ONTARIO, CA

ESPERANZA MOTORCOURT CLUSTER  
 TENTATIVE TRACT MAP 20160

PLAN 3

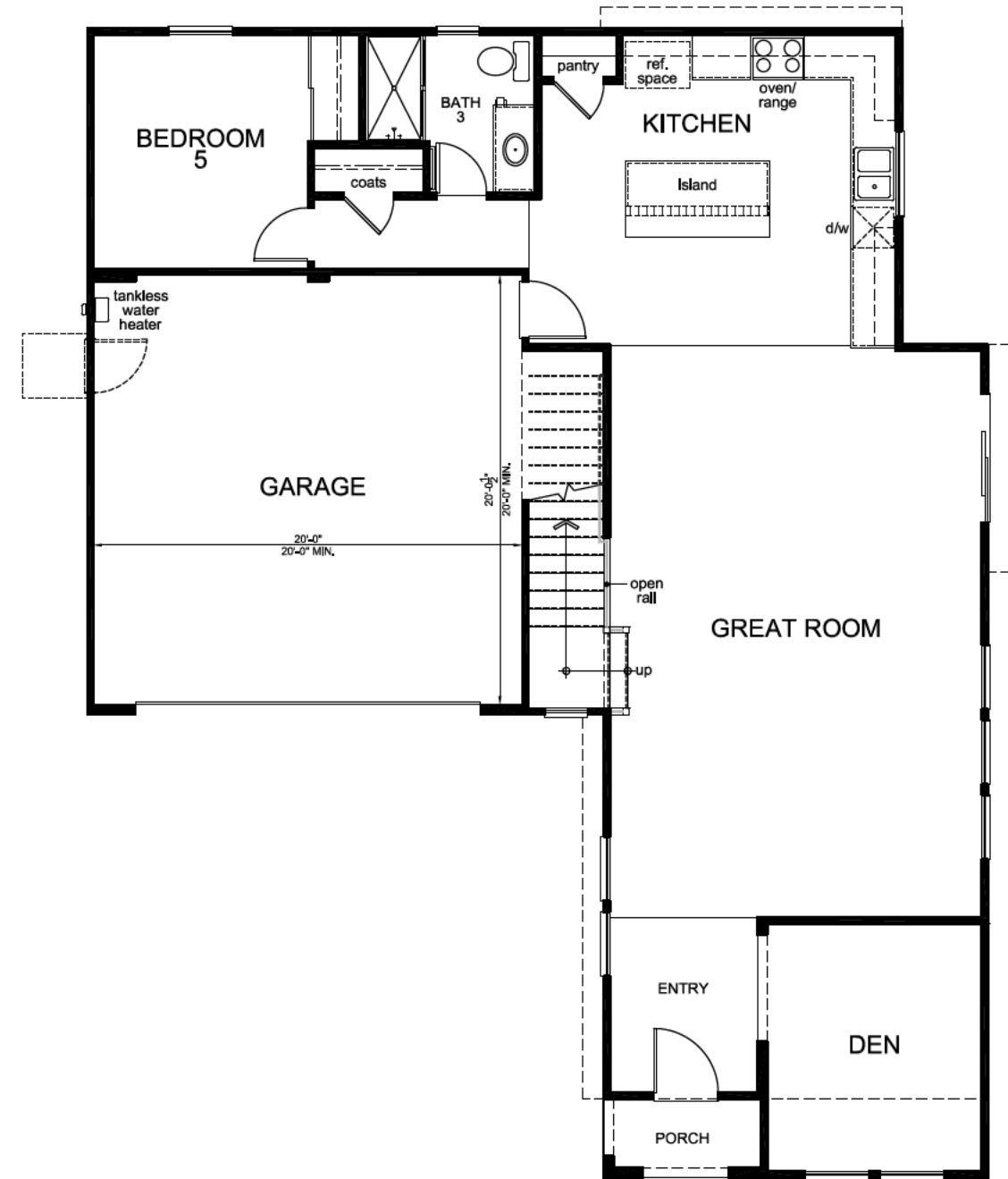
242.2780

JOB No. : 350999  
 STORY: Two  
 Rev. May 16, 2022

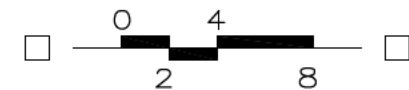


Enhanced Second Floor Plan 'A'

SQUARE FOOTAGE		
PLAN 242.2780		
FIRST FLOOR AREA	1224	SQ. FT.
SECOND FLOOR AREA	199	SQ. FT.
TOTAL AREA	2780	SQ. FT.
GARAGE AREA	442	SQ. FT.
PORCH AREA	27	SQ. FT.
	45	SQ. FT.
	84	SQ. FT.
OPTIONS:		
COVERED PATIO	184	SQ. FT.



First Floor Plan 'A'



PLAN 3



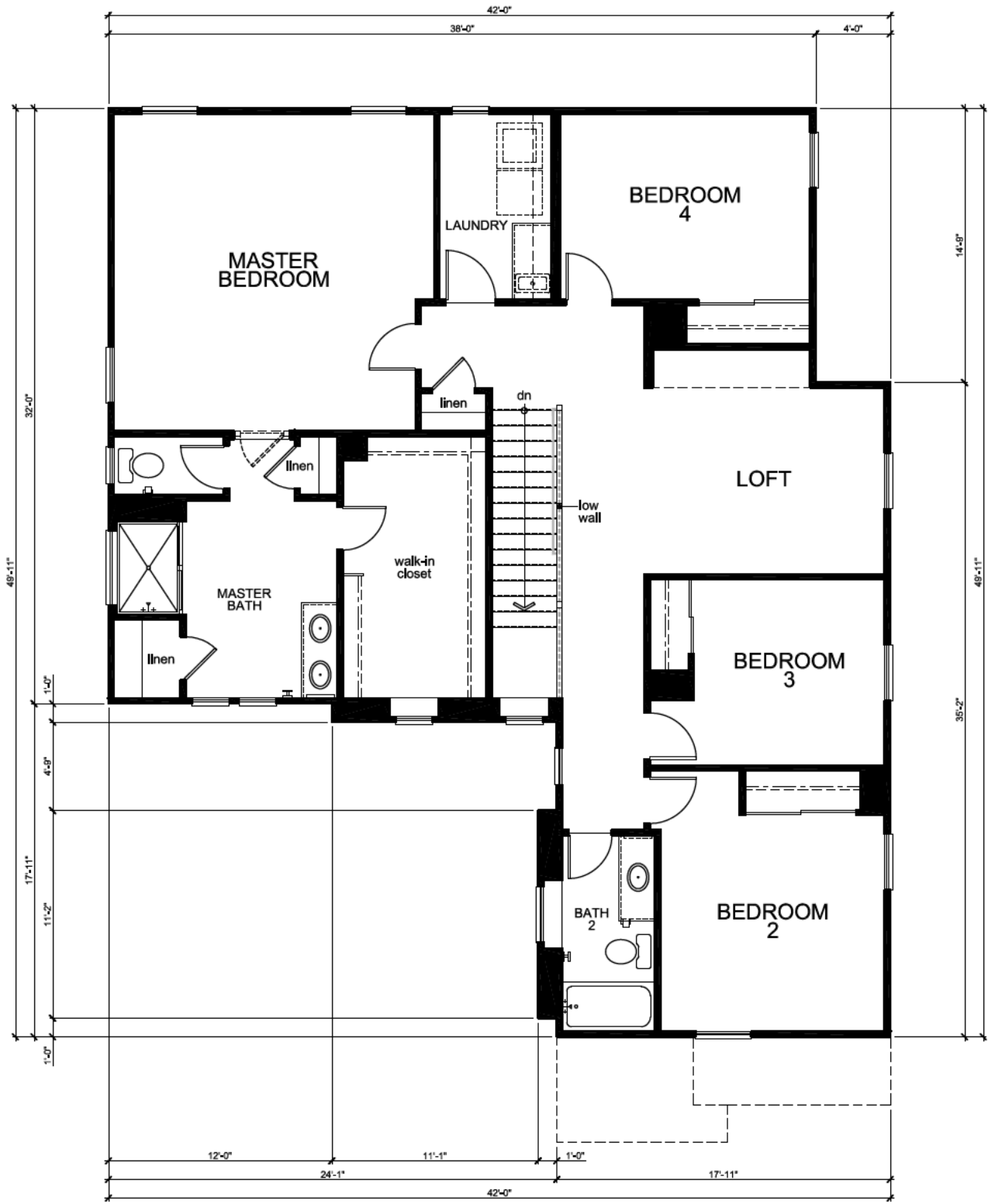
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ONTARIO, CA

ESPERANZA MOTORCOURT CLUSTER  
TENTATIVE TRACT MAP 20160

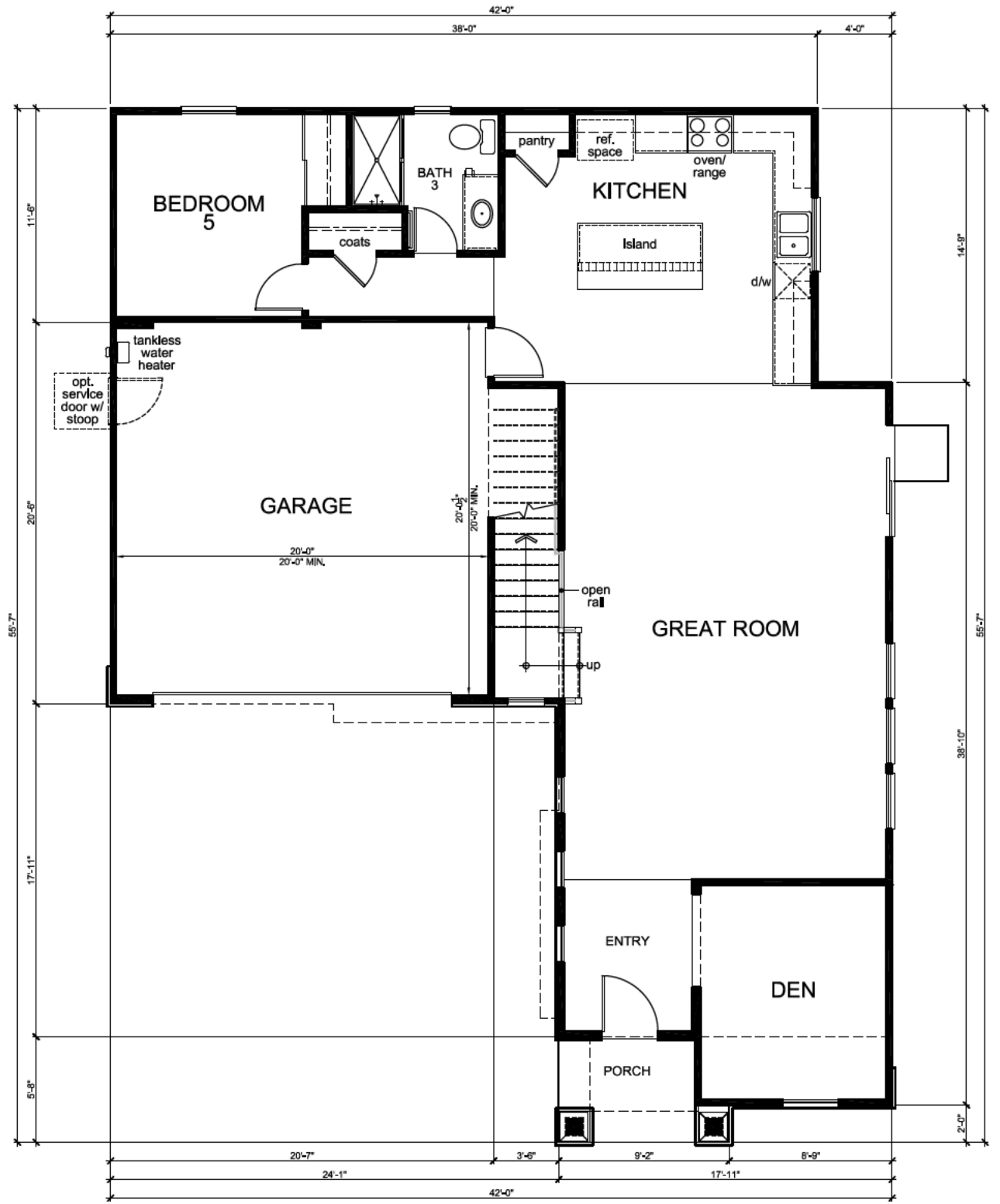
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JOB No. : 350999  
STORY: Two  
Rev. May 16, 2022

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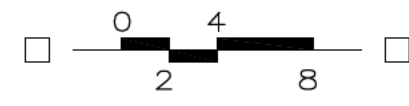


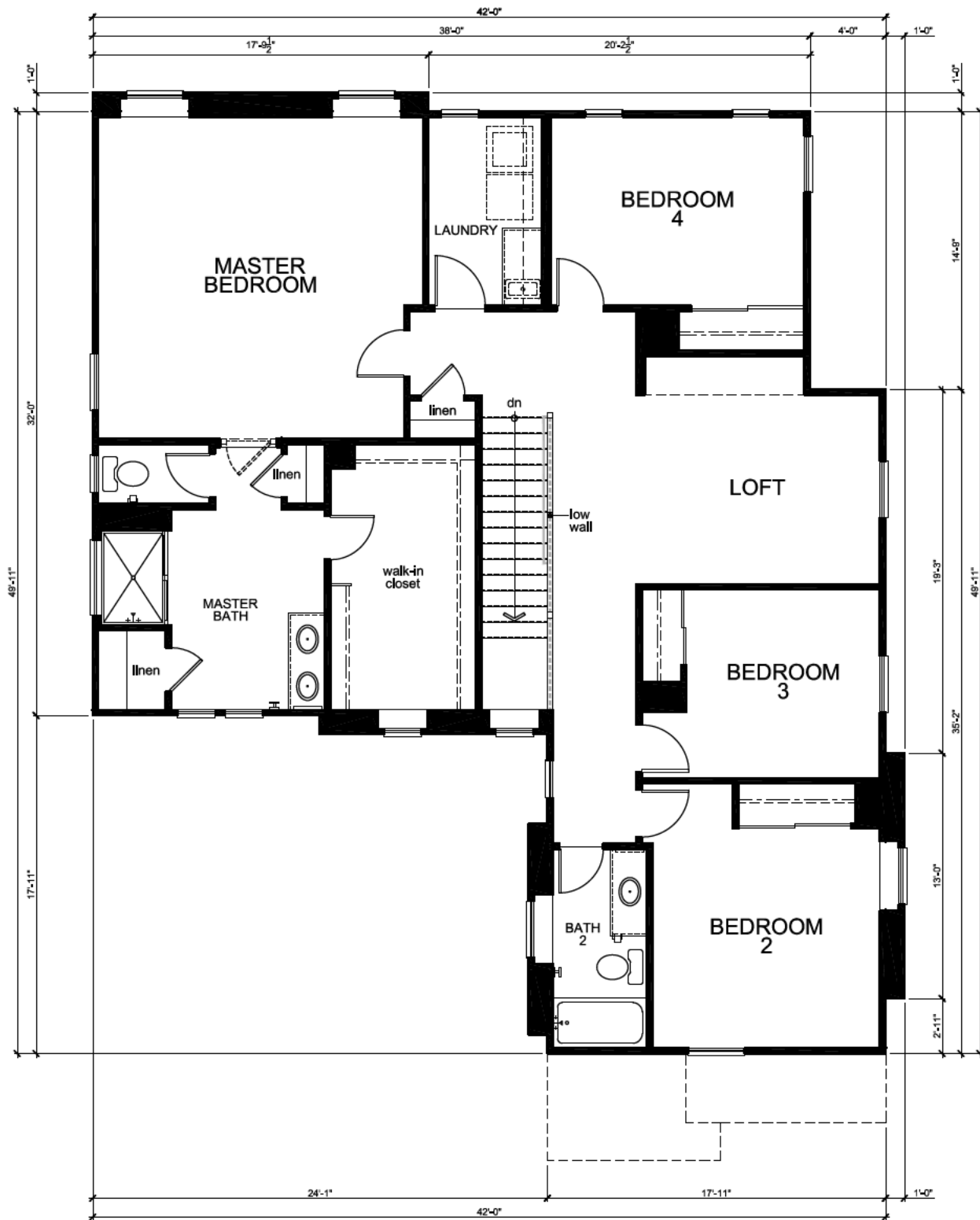
Second Floor Plan 'B'



First Floor Plan 'B'

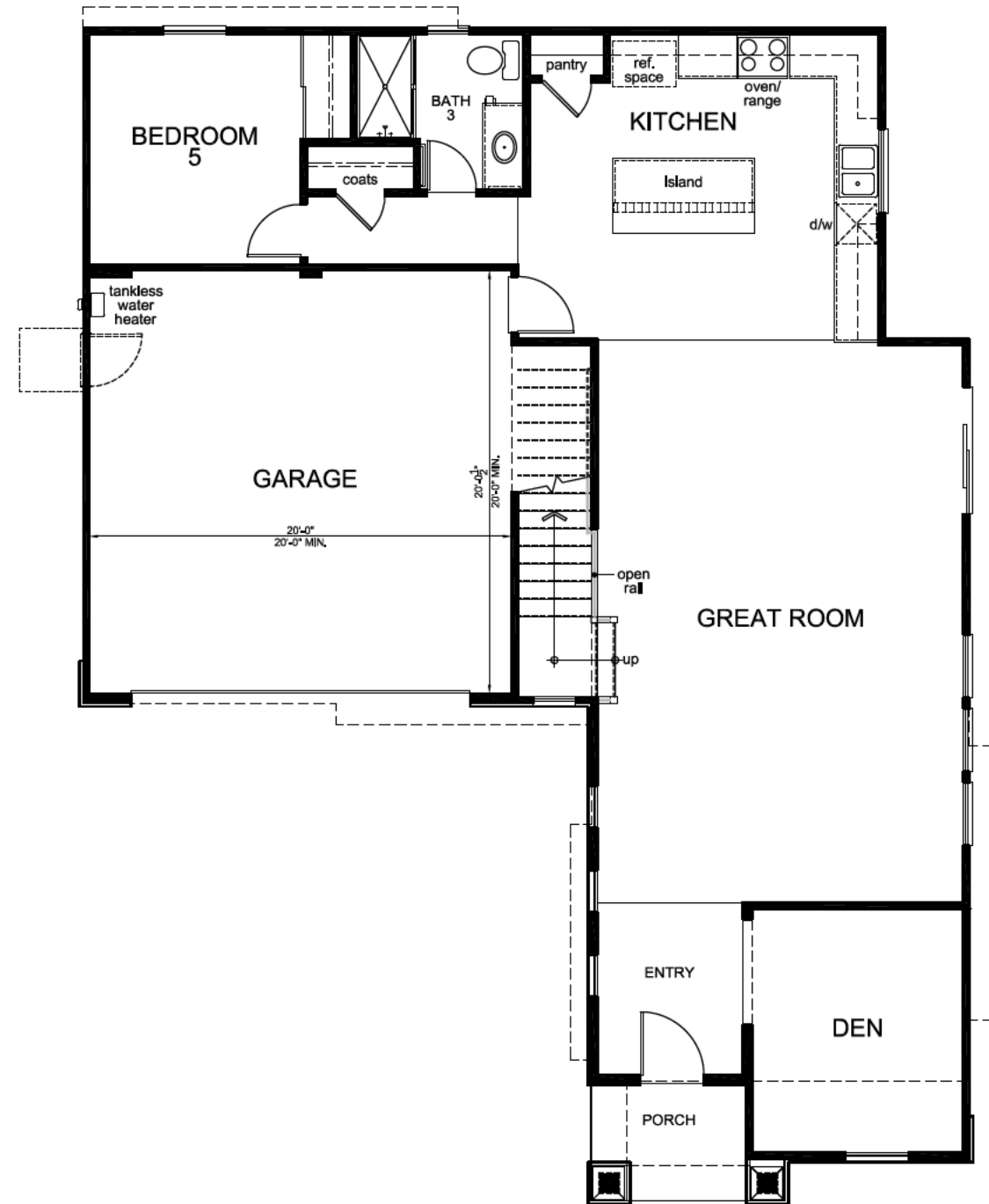
SQUARE FOOTAGE			
PLAN 242.2780			
FIRST FLOOR AREA	1224	SQ. FT.	
SECOND FLOOR AREA	1391	SQ. FT.	
TOTAL AREA	2780	SQ. FT.	
GARAGE AREA	442	SQ. FT.	
PORCH AREA	27	SQ. FT.	
	ELEVATION 'A'	45	SQ. FT.
	ELEVATION 'B'	84	SQ. FT.
OPTIONS:			
COVERED PATIO	184	SQ. FT.	



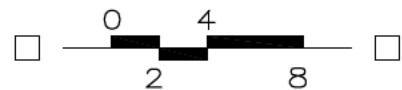


Enhanced Second Floor Plan 'B'

SQUARE FOOTAGE		
PLAN 242.2780		
FIRST FLOOR AREA	1224	SQ. FT.
SECOND FLOOR AREA	1991	SQ. FT.
TOTAL AREA	2780	SQ. FT.
GARAGE AREA	442	SQ. FT.
PORCH AREA	27	SQ. FT.
	45	SQ. FT.
	94	SQ. FT.
OPTIONS:		
COVERED PATIO	184	SQ. FT.



First Floor Plan 'B'



PLAN 3



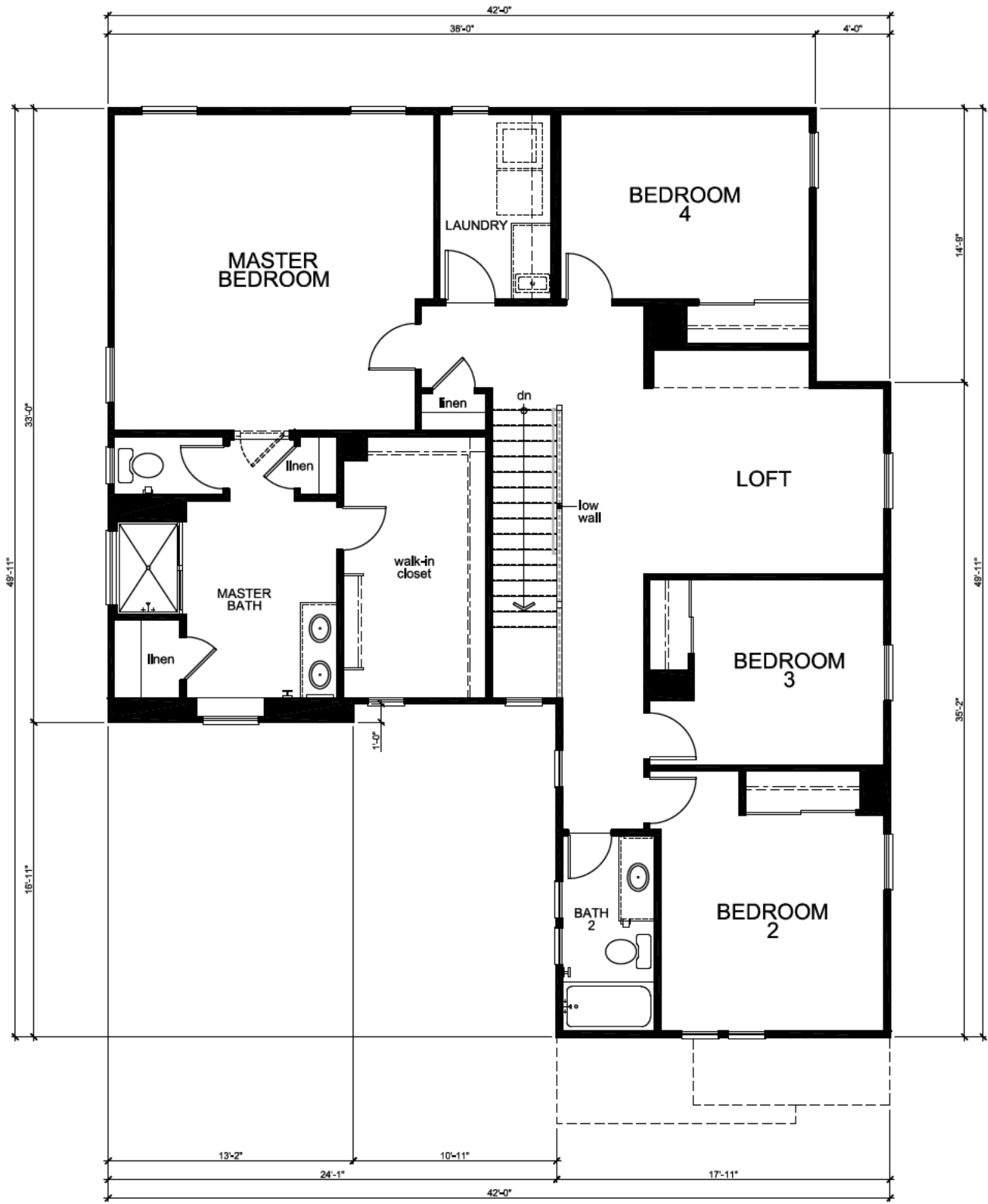
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Wildomar, CA 92595  
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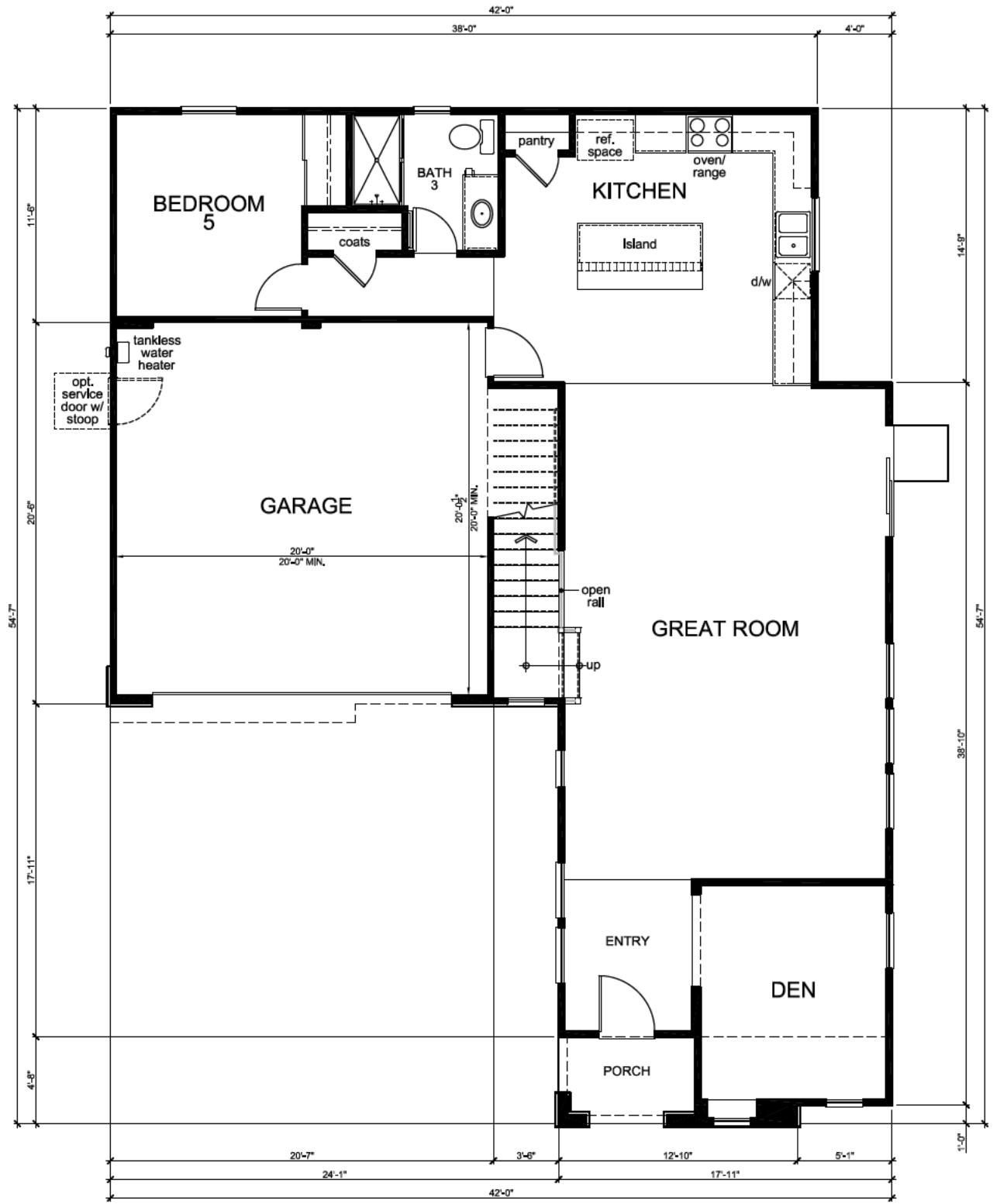
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JOB No. : 350999  
STORY: Two  
Rev. May 16, 2022

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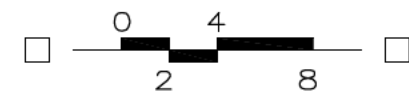


Second Floor Plan 'C'

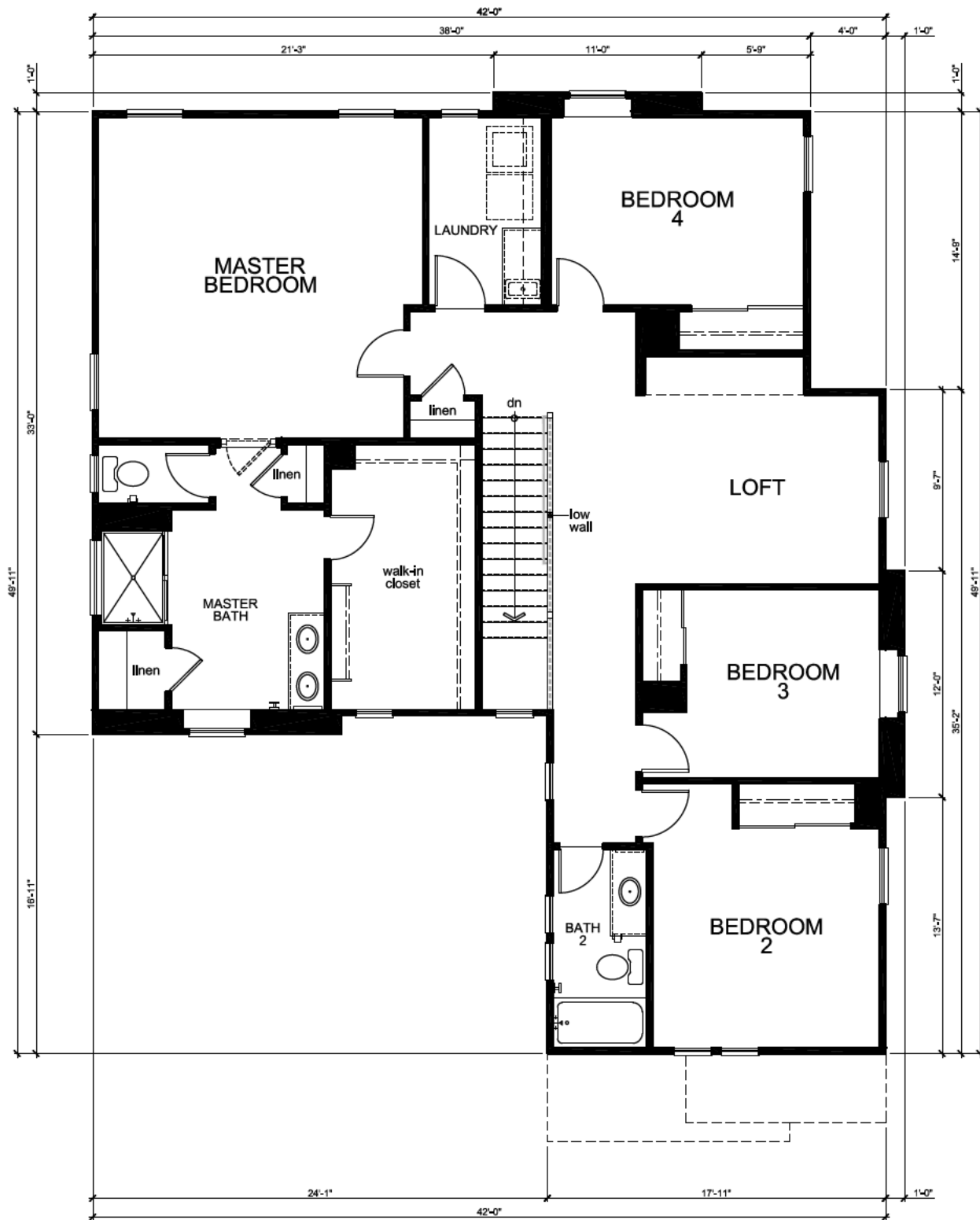


First Floor Plan 'C'

SQUARE FOOTAGE			
PLAN 242.2780			
FIRST FLOOR AREA	1224	SQ. FT.	
SECOND FLOOR AREA	199	SQ. FT.	
TOTAL AREA	2780	SQ. FT.	
GARAGE AREA	442	SQ. FT.	
PORCH AREA	27	SQ. FT.	
	ELEVATION 'A'	45	SQ. FT.
	ELEVATION 'B'	84	SQ. FT.
OPTIONS:			
COVERED PATIO	184	SQ. FT.	

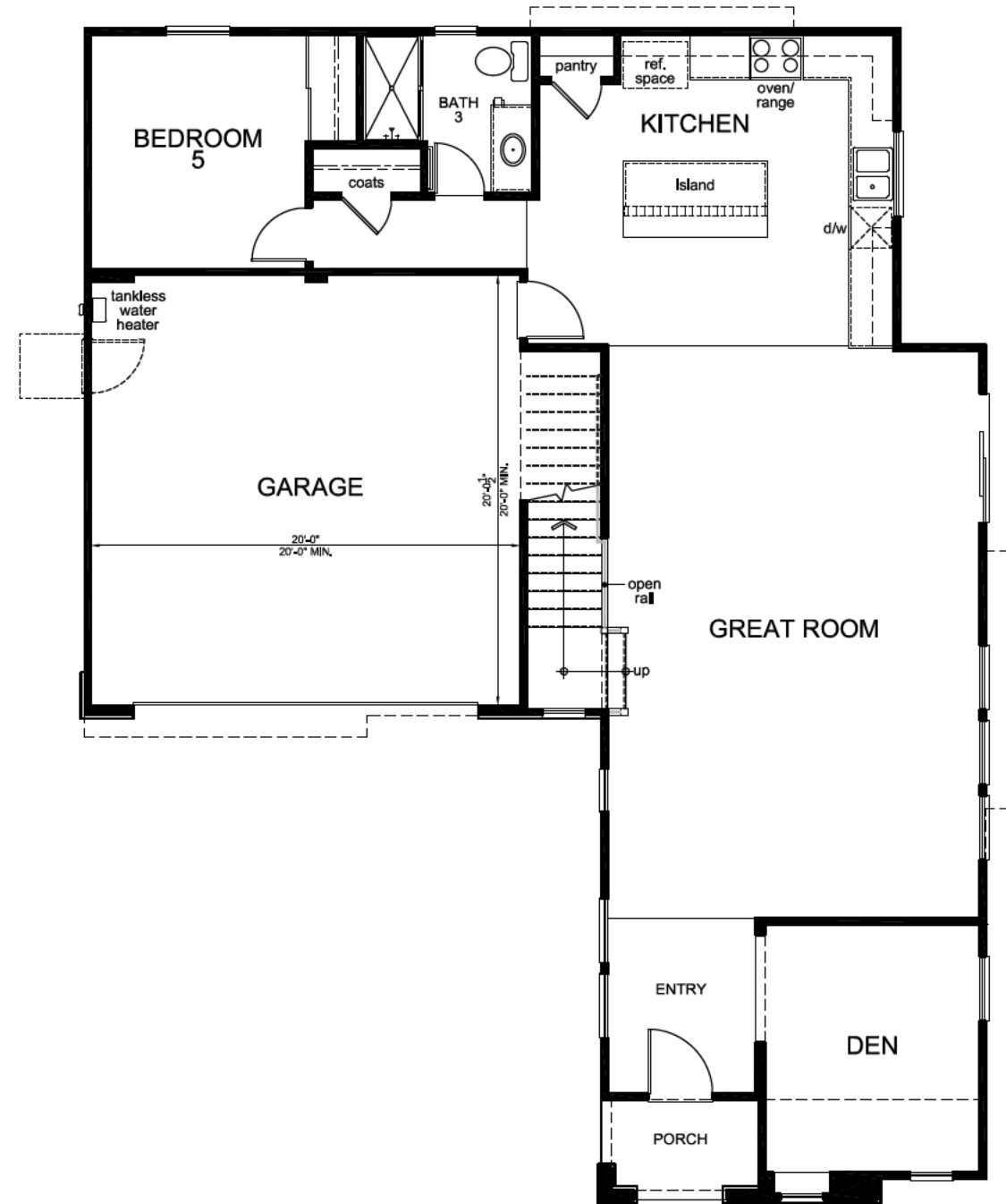


PLAN 3



Enhanced Second Floor Plan 'C'

SQUARE FOOTAGE		
PLAN 242.2780		
FIRST FLOOR AREA	1224	SQ. FT.
SECOND FLOOR AREA	1991	SQ. FT.
TOTAL AREA	2780	SQ. FT.
GARAGE AREA	442	SQ. FT.
PORCH AREA	27	SQ. FT.
	45	SQ. FT.
	94	SQ. FT.
OPTIONS:		
COVERED PATIO	184	SQ. FT.



First Floor Plan 'C'



PLAN 3

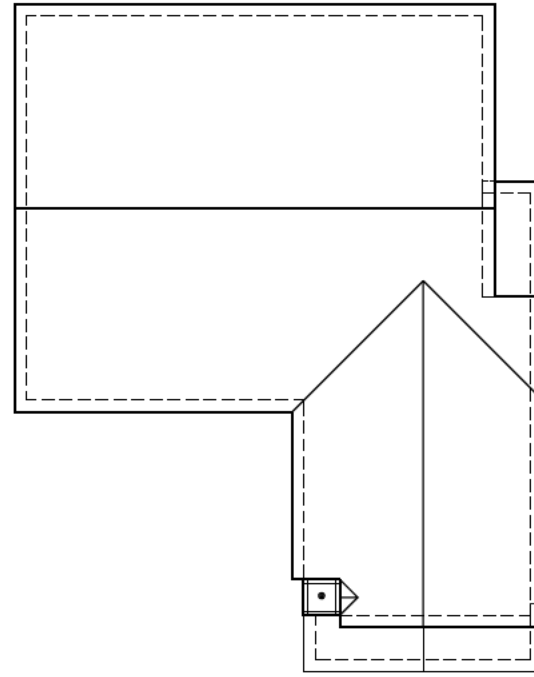


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 ONTARIO, CA

ESPERANZA MOTORCOURT CLUSTER  
 TENTATIVE TRACT MAP 20160

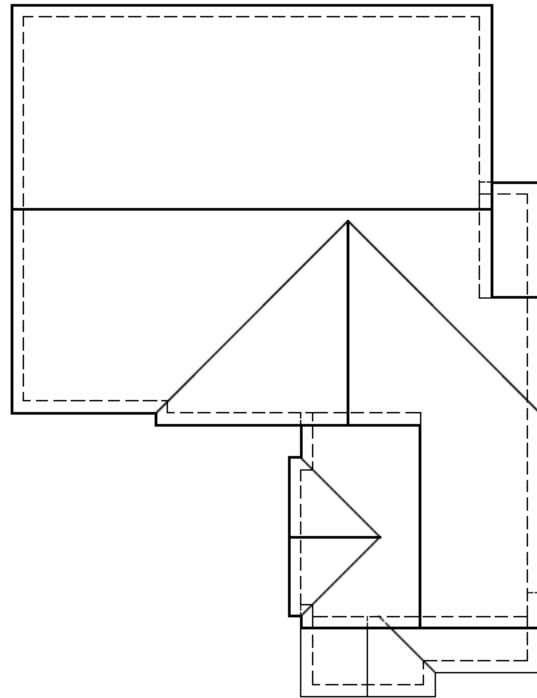
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 JOB No. : 350999  
 STORY: Two  
 Rev. May 16, 2022  
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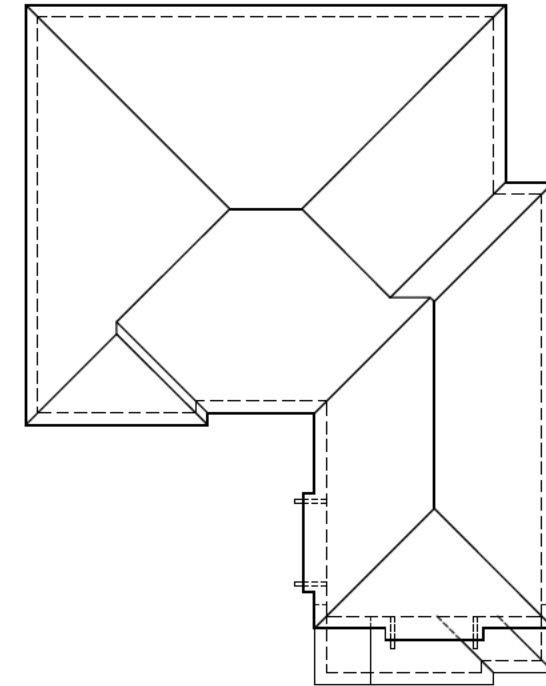
**'A' Spanish Colonial**

4:12



**'B' Craftsman**

4:12

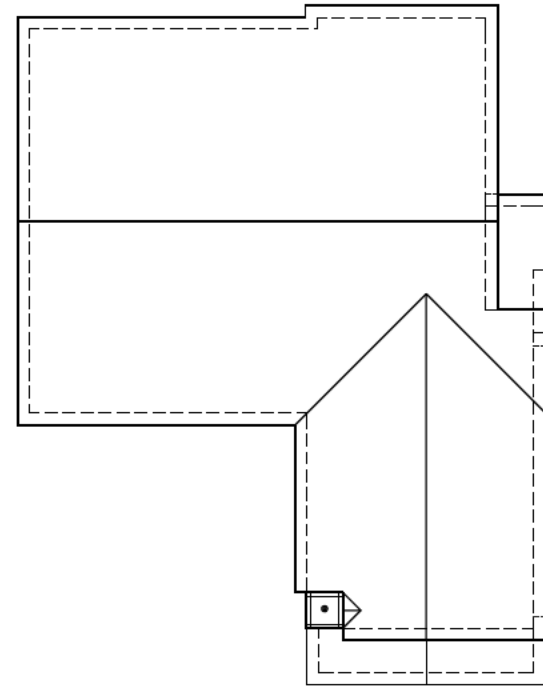


**'C' Tuscan**

4:12

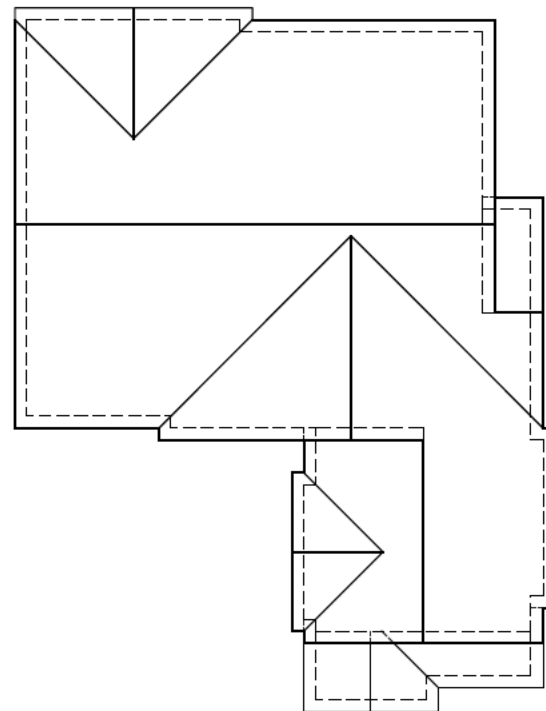


Roof Plans



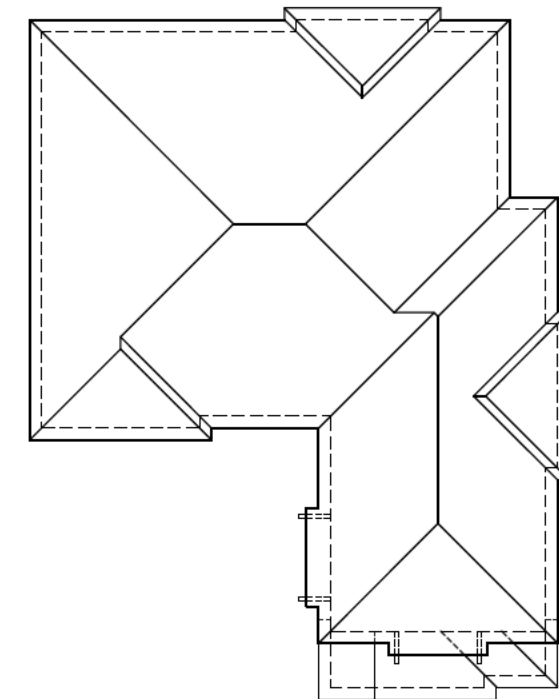
**'A' Spanish Colonial**

4:12



**'B' Craftsman**

4:12

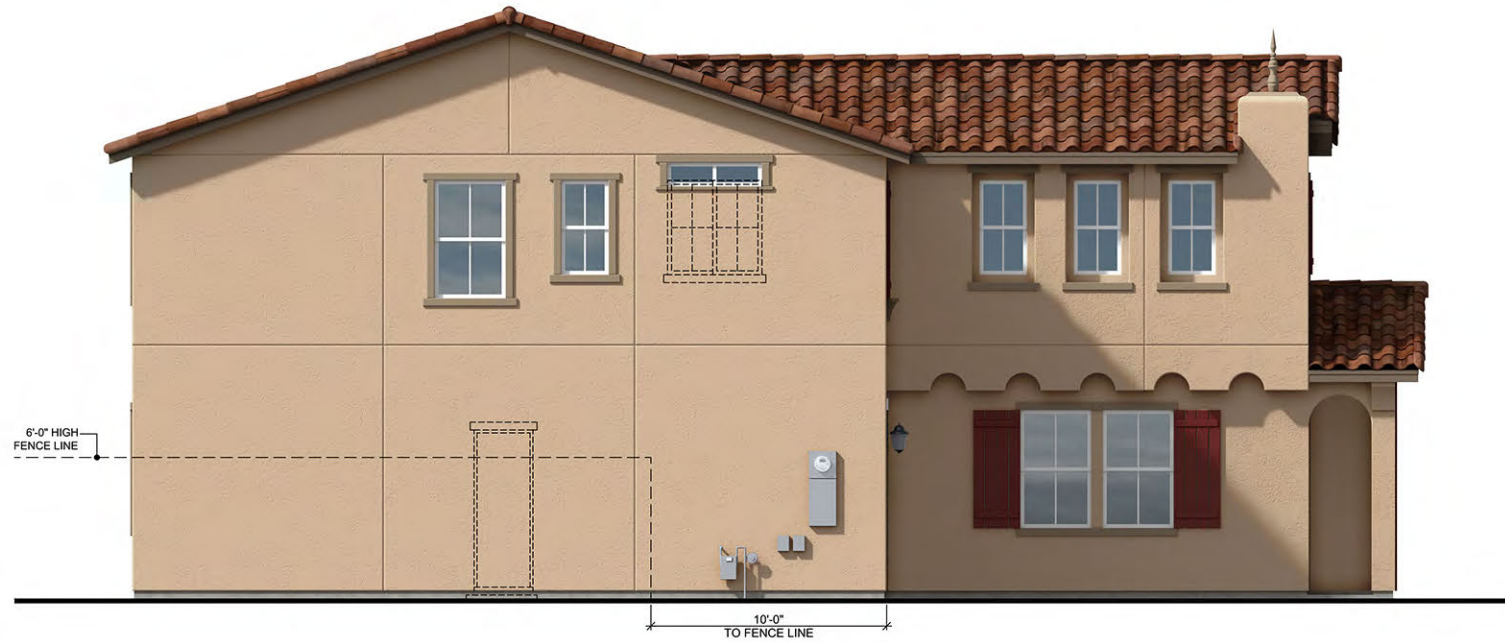


**'C' Tuscan**

4:12



Enhanced Roof Plans



Left Elevation 'A' (Spanish Colonial)



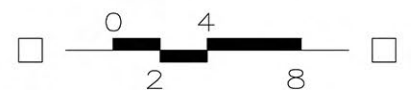
Front Elevation 'A' (Spanish Colonial)



Right Elevation 'A' (Spanish Colonial)



Rear Elevation 'A' (Spanish Colonial)





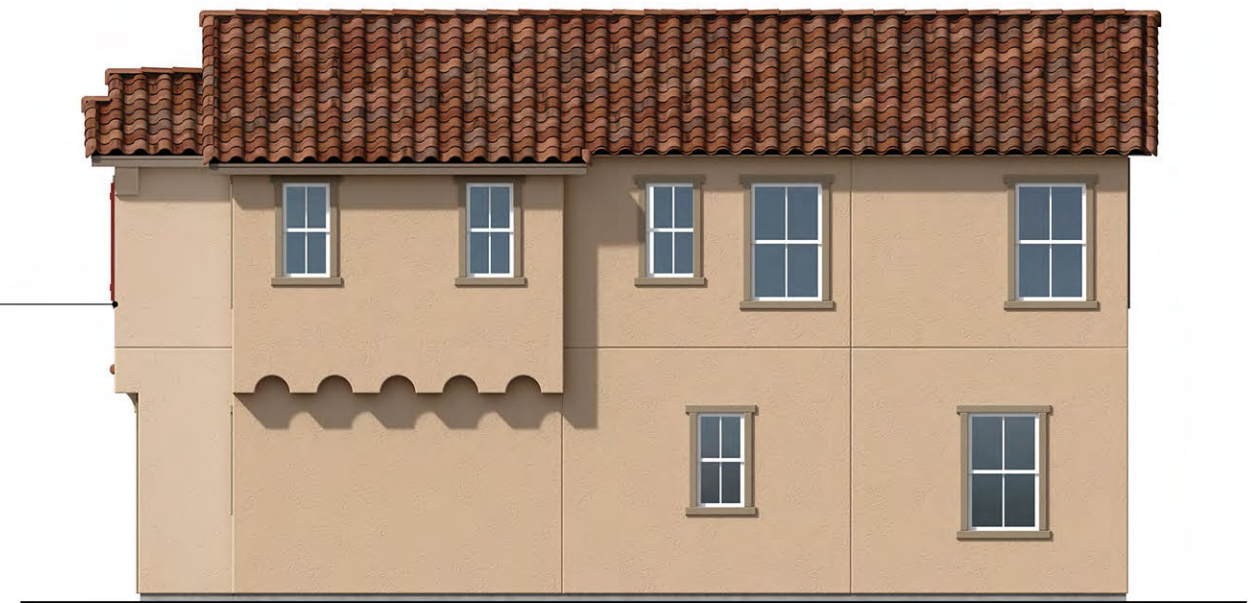
Left Elevation 'A' (Spanish Colonial)



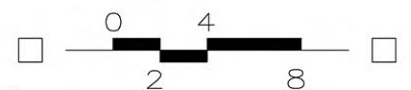
Front Elevation 'A' (Spanish Colonial)



Enhanced Right Elevation 'A' (Spanish Colonial)



Enhanced Rear Elevation 'A' (Spanish Colonial)





Left Elevation 'B' (Craftsman)



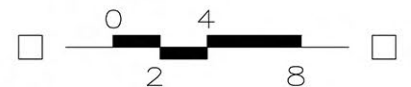
Front Elevation 'B' (Craftsman)



Right Elevation 'B' (Craftsman)



Rear Elevation 'B' (Craftsman)



PLAN 3



Left Elevation 'B' (Craftsman)



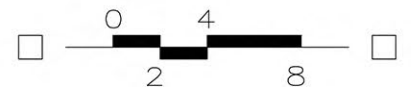
Front Elevation 'B' (Craftsman)

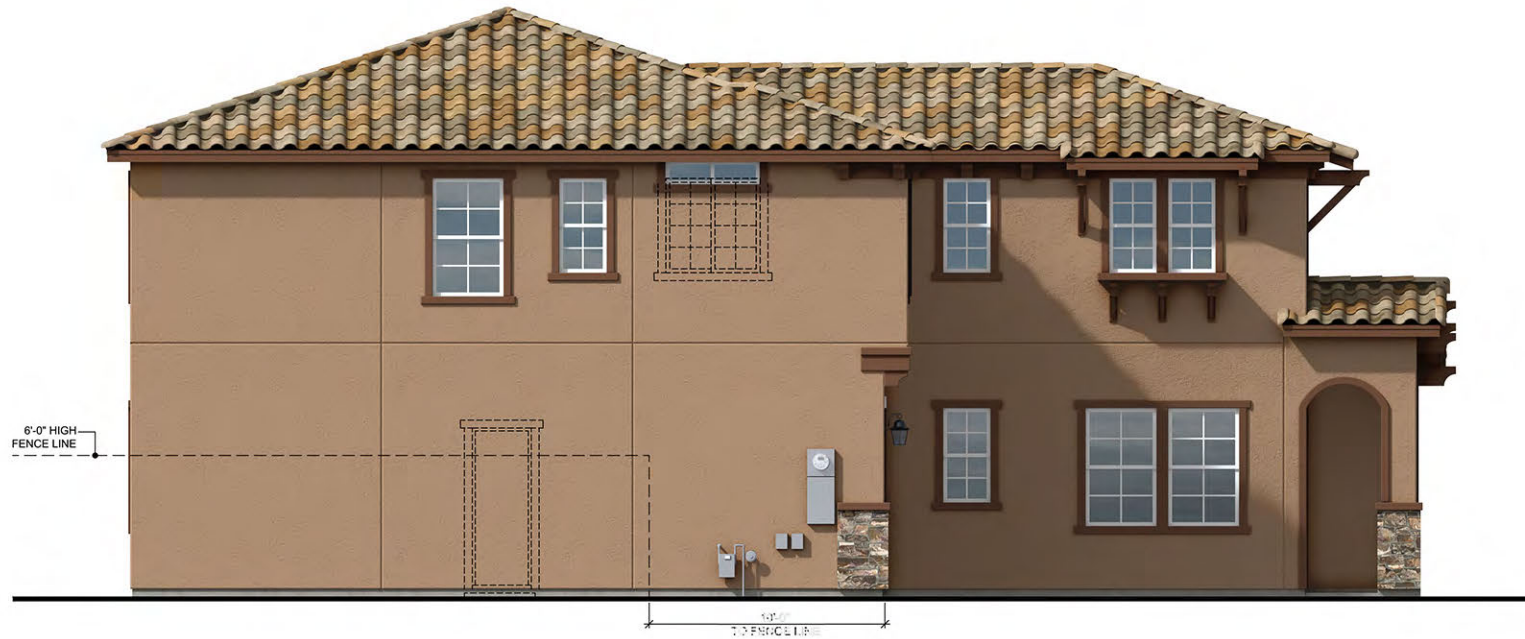


Enhanced Right Elevation 'B' (Craftsman)



Enhanced Rear Elevation 'B' (Craftsman)





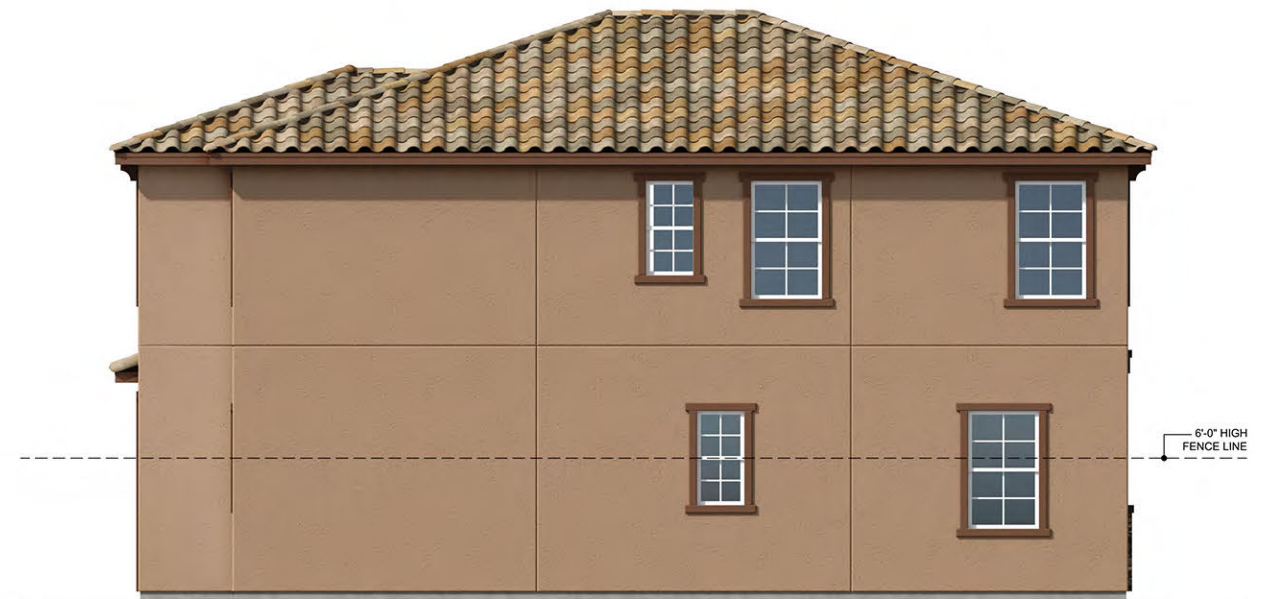
Left Elevation 'C' (Tuscany)



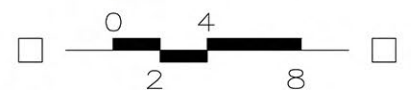
Front Elevation 'C' (Tuscany)



Right Elevation 'C' (Tuscany)



Rear Elevation 'C' (Tuscany)





Left Elevation 'C' (Tuscany)



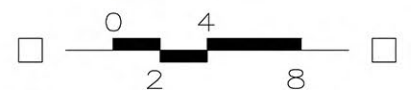
Front Elevation 'C' (Tuscany)



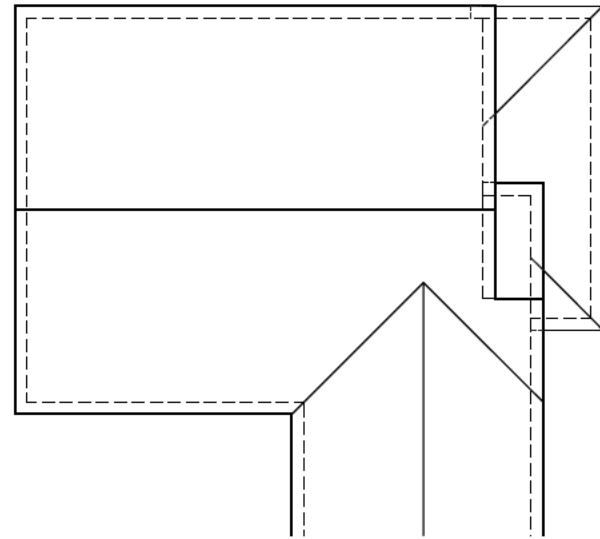
Enhanced Right Elevation 'C' (Tuscany)



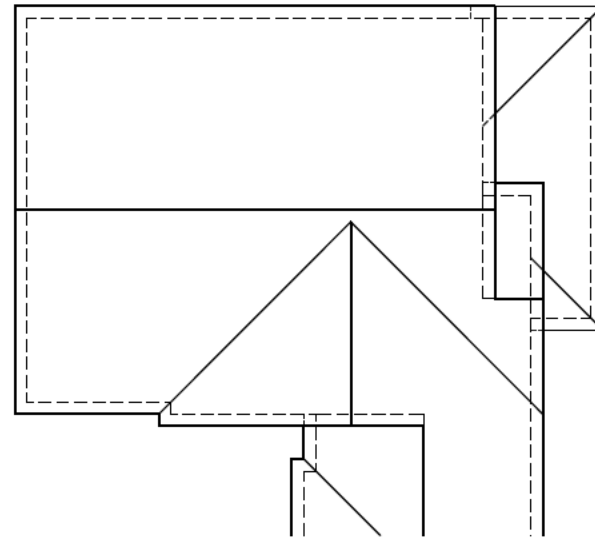
Enhanced Rear Elevation 'C' (Tuscany)



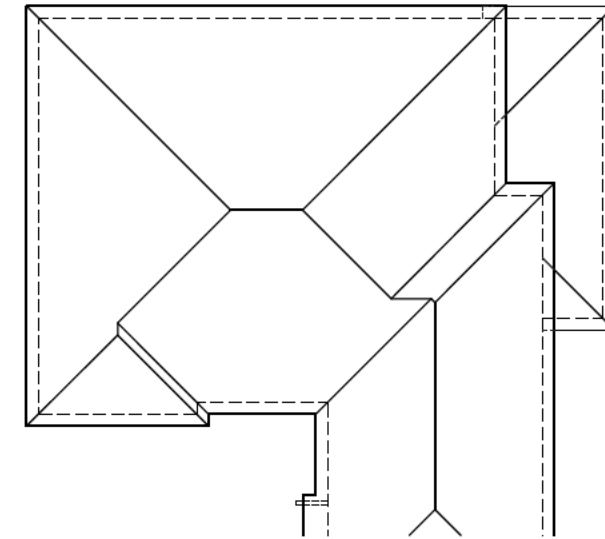




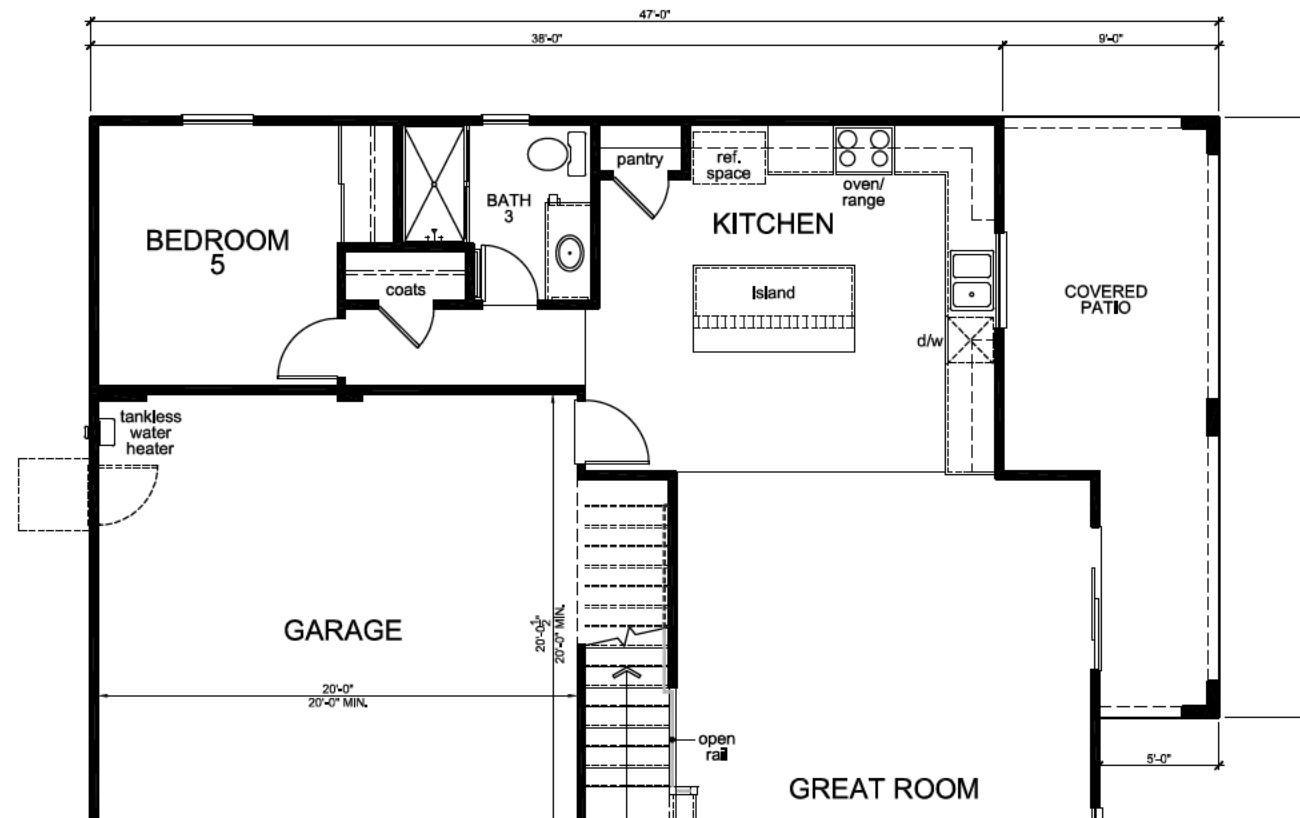
Partial Roof Plan 'A' (Spanish Colonial)  
at Covered Patio



Partial Roof Plan 'B' (Farmhouse)  
at Covered Patio



Partial Roof Plan 'C' (Tuscany)  
at Covered Patio



Partial First Floor Plan  
at Covered Patio



PLAN 3



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ESPERANZA MOTORCOURT CLUSTER  
TENTATIVE TRACT MAP 20160

242.2780

JOB No. : 350999  
STORY: Two  
Rev. May 16, 2022

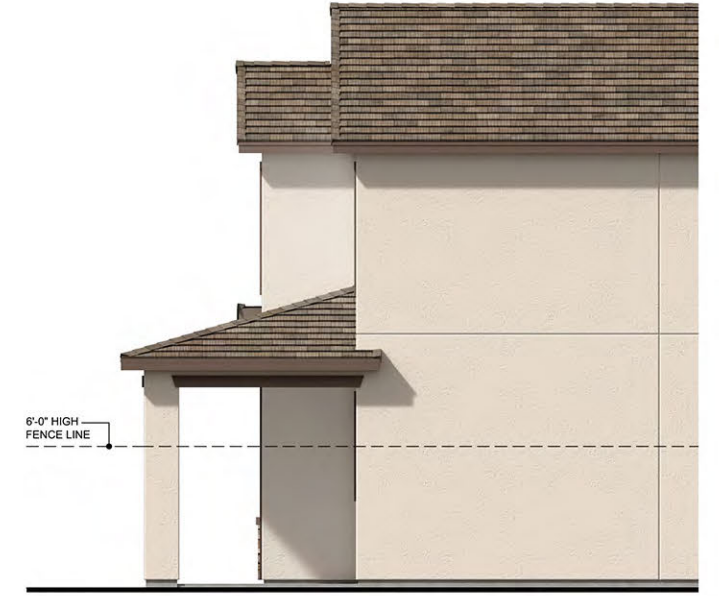
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Partial Front Elevation 'B' (Craftsman)  
at Covered Patio



Right Elevation 'B' (Craftsman)  
at Covered Patio



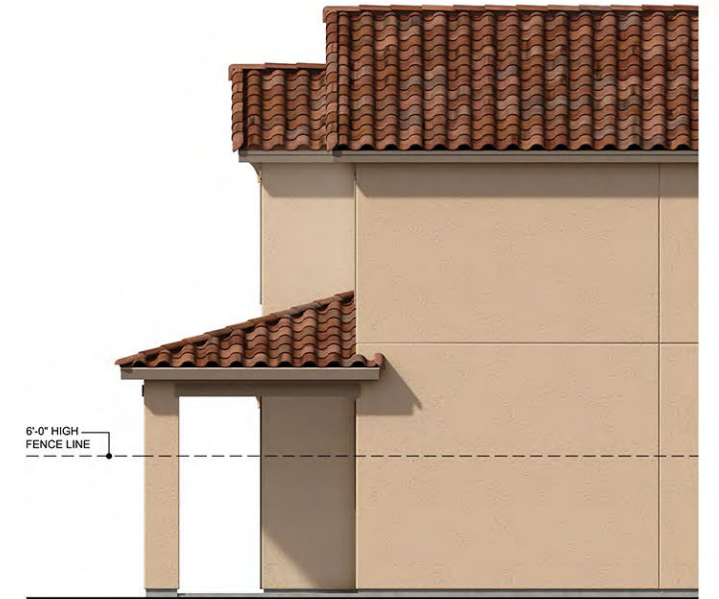
Partial Rear Elevation 'B' (Craftsman)  
at Covered Patio



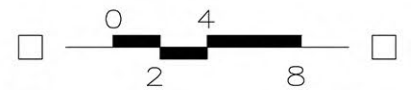
Partial Front Elevation 'A' (Spanish Colonial)  
at Covered Patio



Right Elevation 'A' (Spanish Colonial)  
at Covered Patio



Partial Rear Elevation 'A' (Spanish Colonial)  
at Covered Patio



PLAN 3



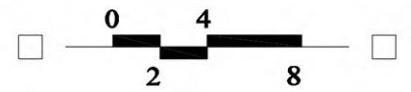
Partial Front Elevation 'C' (Tuscany)  
at Covered Patio



Right Elevation 'C' (Tuscany)  
at Covered Patio



Partial Rear Elevation 'C' (Tuscany)  
at Covered Patio



PLAN 3



Right Elevation 'A' at Quad Door Option



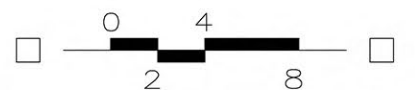
Right Elevation 'B' at Quad Door Option



Right Elevation 'C' at Quad Door Option



Quad Door Option



PLAN 3

## **Attachment B—Conditions of Approval**

*(Conditions of Approval to follow this page)*

# AIRPORT LAND USE COMPATIBILITY PLANNING

## CONSISTENCY DETERMINATION REPORT



Project File No.: PDEV21-039

Address: SEC Mill Creek Avenue & Old Edison Avenue

APN: 0218-252-07 & 08

Existing Land Use: Vacant/Mass Graded

Proposed Land Use: Development Plan to construct 113 Single-Family Homes

Site Acreage: 22.84 Proposed Structure Height: 26 FT

ONT-IAC Project Review: n/a

Airport Influence Area: ONT

Reviewed By: Lorena Mejia

Contact Info: 909-395-2276

Project Planner: Jeanie Aguilo

Date: 1/3/2022

CD No.: 2021-061

PALU No.: n/a

### The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input type="checkbox"/> High Terrain Zone	<input type="checkbox"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input type="checkbox"/> FAA Notification Surfaces	<input type="checkbox"/> Recorded Overflight Notification
<input type="radio"/> Zone 2	<input type="checkbox"/> 65 - 70 dB CNEL	<input type="checkbox"/> Airspace Obstruction Surfaces	<input checked="" type="checkbox"/> Real Estate Transaction Disclosure
<input type="checkbox"/> Zone 3	<input type="checkbox"/> 60 - 65 dB CNEL	<input type="checkbox"/> Airspace Avigation Easement Area	
<input type="radio"/> Zone 4		Allowable Height: 200 FT +	
<input type="radio"/> Zone 5			

### The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1   
  Zone 2   
  Zone 3   
  Zone 4   
  Zone 5   
  Zone 6

Allowable Height: \_\_\_\_\_

## CONSISTENCY DETERMINATION

This proposed Project is:  Exempt from the ALUCP     Consistent     Consistent with Conditions     Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

Real Estate Transaction Disclosure Required

Airport Planner Signature:



# CITY OF ONTARIO MEMORANDUM



**DATE:** July 22, 2022  
**TO:** Miguel Sotomayor, Engineering Department  
**CC:** Jeanie Aguilo, Planning Department  
**FROM:** Heather Young, Utilities Engineering Department  
Christy Stevens, Utilities Engineering Department  
**SUBJECT:** DPR#3 - Utilities Conditions of Approval (COA) (#8437)  
**PROJECT NO.:** PDEV21-039

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## BRIEF DESCRIPTION:

*A Development Plan to construct 113 single-family 6-pack courtyard cluster homes on 22.84 acres of land generally located at the southeast corner of Mill Creek Avenue and Old Edison Road, within PA-2 (RD-6 / 6-Pack Courtyard Homes) of the Esperanza Specific Plan (APN(s): 0218-252-07 and 0218-252-08). Related Files: PMTT18-002 (TTM 20157), PMTT18-005 (TTM 20160).*

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## THIS SUBMITTAL IS COMPLETE AND RECOMMENDED FOR APPROVAL.

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**CONDITIONS OF APPROVAL:** *The Ontario Municipal Utilities Company (OMUC) Utilities Engineering Division recommends this application for approval subject to the Conditions of Approval outlined below and compliance with the City's Design Development Guidelines, Specifications Design Criteria, and City Standards. The Applicant shall be responsible for the compliance with and the completion of all the following applicable Conditions of Approval prior to the following milestones and subject to compliance with City's Design Development Guidelines, Specifications Design Criteria, and City Standards:*

1. Standard Conditions of Approval: Project shall comply with the requirements set forth in the Amendment to the Standard Conditions of Approval for New Development Projects adopted by the City Council (Resolution No. 2017-027) on April 18, 2017, or as amended or superseded by Council Resolution; as well as project-specific conditions/requirements as outlined below.

***Prior to Issuance of Any Permits (Grading, Building, Demolition and Encroachment), unless other timeline milestones are specified by individual conditions below, the Applicant Shall:***

***General Conditions (Section 2.A, Other conditions): The Applicant shall comply with the following:***

2. Inherited Requirements and Conditions of Approval: This project is subject to all the requirements and Conditions of Approval set forth in the: Esperanza Specific Plan, PMTT18-002 (TTM 20157), PMTT18-005 (TTM 20160), and PDA19-002, as amended. Any conflict in Conditions of Approval and requirements, the Conditions of Approval below for this Project will supersede.
3. Note the following definitions and concepts for Public Utility Improvements and Private Utility Improvements: Public Improvements shall be designed per City Public Design Guidelines and City Standards and constructed through a City Encroachment Permit; and, Private Onsite Improvements shall be designed per Building Code and Plumbing Code and constructed through a City Building Permit.
  - a. Public Utility Improvements include the following: water main pipelines and sewer main pipelines; sewer laterals connecting to a Public Sewer Main up to the Cleanout (or Manhole) at PL/RoW; water services and connected appurtenances (Meters/Meter Boxes, Fire Hydrants, Airvacs, Blowoffs, etc.) connecting to a Public Water Main per City Standards; and, Fire Services connecting to a Public Water Main from the Main up to the DCDA. Public Water Improvements and Public Sewer Improvements are required to be designed and constructed through Public Improvement Plans with Plan View and Profile View per City Standards, Guidelines, and Requirements.

- b. Private Utility Improvements include the following: onsite water plumbing lines after a Public Meter, or after the Fire DCDA and including the DCDA; Backflow Devices and other Cross-Connection Prevention; onsite sewer upstream of the Public Sewer Lateral, including the Cleanout (or Manhole) at PL/RoW/PUE Edge; Monitoring Manholes and other Wastewater Pretreatment Facilities. Private Onsite Utility Improvements are required to be designed and constructed per Building and Plumbing Plans with: the Backflows, DCDAs, Cleanout (or Manhole) at PL/RoW/PUE Edge, and Monitoring Manholes being designed and constructed through a Precise Grading Plan; and, the other Pretreatment Devices (Grease Interceptor, Sand, Oil Interceptors, etc.) and the connections to the buildings and structures through a building Plumbing Plan.
4. **Public Utility Easements:** Any City of Ontario Public Utilities that will not be installed within the public Right-of-Way (RoW), shall be installed within a Public Utility Easement (PUE) and shall comply with the following requirements (as applicable, these requirements also apply to utilities in Public RoW and Public RoW/PUE combinations):
    - a. The PUE shall be a minimum of 20 feet wide, centered on the utility main contained within it with 10 feet of PUE on each side of each main;
    - b. The PUE shall be a minimum of 10 feet wide, centered on the utility services/laterals contained within it with 5 feet of PUE on each side of each service/lateral;
    - c. The PUE shall be a minimum of 5 feet behind and 5 feet on each side of a water meter box, and 5 feet on each side of water appurtenances (fire hydrants, blowoffs, airvacs, etc.);
    - d. For any above ground public water appurtenances (fire hydrants, blowoffs, airvacs, etc) that are behind non-raised curbs (no curb, 0" curb, roll curb, v-curb, or non-raised curb) or far enough back from curb or in a curve return, install bollard protect posts per applicable City Standard Drawings as required by Ontario Municipal Utilities Company field staff.
    - e. The PUE shall not contain any storm water improvements (infiltration, detention, retention, bioswale, etc.), landscaping with thick or intrusive root structures, or any permanent structures or overhangs of permanent structures;
    - f. The PUE surface shall be improved and shall be designed to allow vehicle access over and along the full length and width of the utility main by any City maintenance vehicle;
    - g. Within a PUE, all Department of Drinking Water (DDW) Water Main Separations per California Code of Regulations (CCR) §64572 shall be met between all Public City Utilities, Non-City Utilities, and Private Utilities. Additionally, at minimum there shall be a 4 feet horizontal separation between each utility as measured between the outside walls of the utility pipelines, or in the case of a Joint Utility Trench, between the outside wall of the Joint Utility Trench and the outside wall of the utility pipeline.

***Recycled Water Conditions (Section 2.E): The Applicant shall comply with the following:***

5. **City Ordinance 2689:** This development shall comply with City Ordinance 2689 and make use of recycled water for all approved uses, including but not limited to landscape irrigation. Appropriately sized public and private mains shall be installed throughout the Project to meet this requirement, as approved by the City.
6. **RW Program Requirements:** In order to receive RW service, the applicant shall comply with each of the following:
  - a. Prior to Precise Grading Plan Approval and Building Permits Issuance:
    - i. Provide two hard copies and the digital files (in PDF and AutoCAD format) for both on-site and off-site utility plans, including landscape and irrigation improvements.
    - ii. Submit an **Engineering Report (ER)** to the City detailing recycled water usage for review and approval by the City and the State. The review process for the ER is typically 3 months. City will coordinate the State's approval of the ER.
    - iii. For details, contact Cynthia Heredia-Torres at (909) 395-2647 or [ctorres@ontarioca.gov](mailto:ctorres@ontarioca.gov).
  - b. Prior to Occupancy Release/Finalizing:
    - i. Pass start-up and cross-connection test successfully.
    - ii. Provide evidence demonstrating the training of on-site supervisor or designee as determined in the ER.





# CITY OF ONTARIO

## MEMORANDUM

**TO:** Jeanie Irene Aguilo, Associate Planner  
Planning Department

**FROM:** Paul Ehrman, Sr. Deputy Fire Chief/Fire Marshal  
Fire Department

**DATE:** November 22, 2021

**SUBJECT:** PDEV21-039 - A Development Plan to construct a 113 single-family 6-pack courtyard cluster homes on 22.84 acres of land generally located at the southeast corner of Mill Creek Avenue and Old Edison Road, within PA-2 (RD-6 / 6-Pack Courtyard Homes) of the Esperanza Specific Plan (APNs: 0218-252-07 and 0218-252-08). Related Files: PMTT18-002 (TTM 20157), PMTT18-005 (TTM 20160).

- 
- The plan **does** adequately address Fire Department requirements at this time.
- Standard Conditions of Approval apply, as stated below.

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### **SITE AND BUILDING FEATURES:**

- A. 2019 CBC Type of Construction: Type V B
- B. Type of Roof Materials: Ordinary
- C. Ground Floor Area(s): Varies
- D. Number of Stories: 2-3
- E. Total Square Footage: 2,308 – 2,780 Sq. Ft.
- F. 2019 CBC Occupancy Classification(s): R3

## **CONDITIONS OF APPROVAL:**

### **1.0 GENERAL**

- ☒ 1.1 The following are the Ontario Fire Department (“Fire Department”) requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards (“Standards.”) It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at [www.ontarioca.gov/Fire/Prevention](http://www.ontarioca.gov/Fire/Prevention).
- ☒ 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

### **2.0 FIRE DEPARTMENT ACCESS**

- ☒ 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See Standard #B-004.
- ☒ 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25’) inside and forty-five feet (45’) outside turning radius per Standard #B-005.
- ☒ 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150’) in length shall have an approved turn-around per Standard #B-002.
- ☒ 2.4 Access drive aisles which cross property lines shall be provided with CC&Rs, access easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of building plan check.
- ☒ 2.5 "No Parking-Fire Lane" signs and /or red painted curbs with lettering are required to be installed in interior access roadways, in locations where vehicle parking would obstruct the minimum clear width requirement. Installation shall be per Standard #B-001.
- ☒ 2.6 Security gates or other barriers on fire access roadways shall be provided with a Knox brand key switch or padlock to allow Fire Department access. See Standards #B-003, B-004 and H-001.
- ☒ 2.7 Any time PRIOR to on-site combustible construction and/or storage, a minimum twenty-four (24) ft. wide circulating all weather access roads shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved by fire department and other emergency services.

### **3.0 WATER SUPPLY**

- ☒ 3.1 The required fire flow per Fire Department standards, based on the 2019 California Fire Code, Appendix B, is 1500 gallons per minute (g.p.m.) for 2 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.
- ☒ 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300') apart, per Engineering Department specifications.
- ☒ 3.4 The water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

### **4.0 FIRE PROTECTION SYSTEMS**

- ☒ 4.2 Underground fire mains which cross property lines shall be provided with CC & R, easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of fire department plan check. The shared use of private fire mains or fire pumps is allowable only between immediately adjacent properties and shall not cross any public street.
- ☒ 4.3 An automatic fire sprinkler system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 13. All new fire sprinkler systems, except those in single family dwellings, which contain twenty (20) sprinkler heads or more shall be monitored by an approved listed supervising station. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- ☒ 4.4 Wood frame buildings that are to be sprinkled shall have these systems in service (but not necessarily finalized) before the building is enclosed.
- ☒ 4.5 Fire Department Connections (FDC) shall be located on the address side of the building within one hundred fifty feet (150') of a public fire hydrant on the same side of the street. Provide identification for all fire sprinkler control valves and fire department connections per Standard #D-007. Raised curbs adjacent to Fire Department connection(s) shall be painted red, five feet either side, per City standards.

### **5.0 BUILDING CONSTRUCTION FEATURES**

- ☒ 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- ☒ 5.3 Single station smoke alarms and carbon monoxide alarms are required to be installed per the California Building Code and the California Fire Code.

- ☒ 5.5 All residential chimneys shall be equipped with an approved spark arrester meeting the requirements of the California Building Code.



# CITY OF ONTARIO

## MEMORANDUM

**TO:** Jeanie Irene Aguilo, Associate Planner

**FROM:** Tony Galban, Police Officer

**DATE:** November 8, 2021

**SUBJECT:** PDEV21-039- A DEVELOPMENT PLAN TO CONSTRUCT A 113 SINGLE-FAMILY 6-PACK COURTYARD CLUSTER HOMES ON 22.84 ACRES OF LAND GENERALLY LOCATED AT THE SOUTHWEST CORNER OF MILL CREEK AVENUE AND OLD EDISON ROAD.  
**RELATED FILES:** PMTT18-002 (TTM 20157) PMTT18-005 (TTM 20160).

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The “Standard Conditions of Approval” contained in Resolution No. 2017-027 for “Ontario ranch Projects” apply. The applicant shall read and be thoroughly familiar with these conditions, including but not limited to, the requirements listed below.

- Required lighting for all walkways, paseos, driveways, doorways, parking areas, parks, park walkways, playgrounds, recreation areas and other areas used by the public shall be provided and operate on photosensor at the prescribed foot-candle levels. Photometrics shall be provided to the Police Department. Photometrics shall include the types of fixtures proposed and demonstrate that such fixtures meet the vandal-resistant requirement. Planned landscaping shall not obstruct lighting.
- The Applicant shall install illuminated address numbers, powered by photocell, on each individual unit and shall not be controlled by the building occupants.
- The Applicant shall comply with all construction site security requirements as stated in the Standard Conditions. This includes the provisions for perimeter lighting, site lighting, fencing and/or uniformed security.

The Applicant is invited to contact Officer Tony Galban at (909) 408-1006 with any questions or concerns regarding these conditions.



# CITY OF ONTARIO MEMORANDUM

## ENGINEERING DEPARTMENT CONDITIONS OF APPROVAL

(Engineering Services Division [Land Development Section and Environmental Section], Traffic & Transportation Division, Ontario  
Municipal Utilities Company and Information Technology & Management Services Department Conditions incorporated)

**PROJECT ENGINEER:** Miguel Sotomayor, P.E., Senior Associate Engineer *MS*  
(909) 395-2108

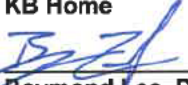
**PROJECT PLANNER:** Jeanie Aguilo, Assistant Planner (909) 395-2418

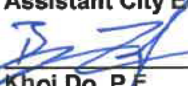
**DAB MEETING DATE:** August 15, 2022

**PROJECT NAME/DESCRIPTION:** PDEV21-039- A Development Plan to construct a 113 single-family 6-pack courtyard cluster homes on 22.84 acres of land within PA-2 (RD-6 / 6-Pack Courtyard Homes) of the Esperanza Specific Plan (APNs: 0218-252-07 and 0218-252-08). Related Files: PMTT18-002 (TTM 20157), PMTT18-005 (TTM 20160).

**LOCATION:** SEC of Mill Creek Avenue and Old Edison Road

**APPLICANT:** KB Home

**REVIEWED BY:** *for*   
Raymond Lee, P.E.  
Assistant City Engineer 8/11/22  
Date

**APPROVED BY:** *for*   
Khoi Do, P.E.  
City Engineer 8/11/22  
Date

**THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE GENERAL STANDARD CONDITIONS OF APPROVAL ADOPTED BY THE CITY COUNCIL (RESOLUTION NO. 2017-027) AND THE PROJECT SPECIFIC CONDITIONS OF APPROVAL SPECIFIED IN HEREIN. ONLY APPLICABLE CONDITIONS OF APPROVAL ARE LISTED BELOW. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL APPLICABLE CONDITIONS OF APPROVAL PRIOR TO ISSUANCE OF PERMITS AND/OR OCCUPANCY CLEARANCE, AS SPECIFIED IN THIS REPORT. SEE ATTACHED EXHIBIT 'A' FOR PLAN CHECK SUBMITTAL REQUIREMENTS.**

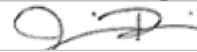
1. All the required improvements for this tract shall be subject to completion of the required public improvements including public utilities beyond the tract limits as specified in Esperanza Specific Plan, the Development Agreement and the Conditions of Approval for TM-20157 (A-Map) and TM-20160 (B-Map).
2. The applicant/developer shall re-align and abandon/remove temporary SCE conduit constructed in Mill Creek Avenue.
3. The applicant/developer shall complete the landscape for the park located in TM-17931 upon the removal of the temporary cul-de-sac.

4. The applicant/developer shall be responsible to design and construct the necessary pavement and striping transitions from existing roadway conditions to the widened roadway portions along Mill Creek Avenue beginning north of Bellegrave Avenue. Striping improvements shall include the removal existing interim signing and striping beyond the project frontage limits and the installation of ultimate signing and striping necessary to accommodate fully widened street improvements.
5. Parking shall be restricted with signs along chokers per City Standard Drawing No. 1110.
6. Property frontage along Mill Creek Avenue shall be signed "No Stopping Anytime".
7. All landscaping, block walls, and other obstructions shall be compatible with the stopping sight distance requirements per City of Ontario Standard Drawing No. 1309.
8. The applicant/developer shall be responsible to design and construct street knuckles per City Standard Drawing No. 1104.
9. The applicant/developer's engineer-of-record shall meet with City Engineering staff prior to designing and submitting for plan check the signing/striping and street lighting design plans to define limits of improvements.
10. Public Utility Easements: Any City of Ontario Public Utilities that will not be installed within the public Right-of-Way (ROW), shall be installed within a Public Utility Easement (PUE) and shall comply with the following requirements (as applicable, these requirements also apply to utilities in Public ROW and Public ROW/PUE combinations):
  - a. The PUE shall be a minimum of 20 feet wide, centered on the utility main contained within it with 10 feet of PUE on each side of each main;
  - b. The PUE shall be a minimum of 10 feet wide, centered on the utility services/laterals contained within it with 5 feet of PUE on each side of each service/lateral;
  - c. The PUE shall be a minimum of 5 feet behind and 5 feet on each side of a water meter box, and 5 feet on each side of water appurtenances (fire hydrants, blowoffs, airvacs, etc.);
  - d. For any above ground public water appurtenances (fire hydrants, blowoffs, airvacs, etc) that are behind non-raised curbs (no curb, 0" curb, roll curb, v-curb, or non-raised curb) or far enough back from curb or in a curve return, install bollard protect posts per applicable City Standard Drawings as required by Ontario Municipal Utilities Company field staff.
  - e. The PUE shall not contain any storm water improvements (infiltration, detention, retention, bioswale, etc.), landscaping with thick or intrusive root structures, or any permanent structures or overhangs of permanent structures;
  - f. The PUE surface shall be improved and shall be designed to allow vehicle access over and along the full length and width of the utility main by any City maintenance vehicle;
  - g. Within a PUE, all Department of Drinking Water (DDW) Water Main Separations per California Code of Regulations (CCR) §64572 shall be met between all Public City Utilities, Non-City Utilities, and Private Utilities. Additionally, at minimum there shall be a 4 feet horizontal separation between each utility as measured between the outside walls of the utility pipelines, or in the case of a Joint Utility Trench, between the outside wall of the Joint Utility Trench and the outside wall of the utility pipeline.

**CITY OF ONTARIO**  
**LANDSCAPE PLANNING DIVISION**  
 303 East "B" Street, Ontario, CA 91764

**CONDITIONS OF APPROVAL**

**Sign Off**



08/11/2022

Jamie Richardson, Sr. Landscape Planner

Date

Reviewer's Name:

**Jamie Richardson, Sr. Landscape Planner**

Phone:

**(909) 395-2615**

D.A.B. File No.:  
 PDEV21-039

Case Planner:  
 Jeanie Aguilo

Project Name and Location:

Esperanza – 113 single-family 6-pack cluster homes  
 TM20157 & 20160

Applicant/Representative:

KB Home Coastal Inc. (909) 991-9369 [ctsutsui@kbhome.com](mailto:ctsutsui@kbhome.com)  
 36310 Inland Valley Drive  
 Wildomar, CA 92595



**Preliminary Plans (dated 08/10/22) meet the Standard Conditions for New Development and have been approved considering that the following conditions below be met upon submittal of the landscape construction documents.**



**Preliminary Plans (dated) have not been approved. Corrections noted below are required before Preliminary Landscape Plan approval.**

**A RESPONSE SHEET IS REQUIRED WITH RESUBMITTAL OR PLANS WILL BE RETURNED INCOMPLETE.**

Landscape construction plans with plan check number may be emailed to:  
[landscapeplancheck@ontarioca.gov](mailto:landscapeplancheck@ontarioca.gov)

Civil/ Site Plans

1. New residential projects shall use recycled water for HOA-maintained property (parks, parkways, neighborhood edges, common areas). Potable water with a backflow shall only be used on single-family detached properties even if HOA maintained.
2. Parkway tree locations shall be shown on plans where utilities are proposed. Parkway trees are to be planted 30' apart.
3. Before permit issuance, stormwater infiltration devices located in landscape areas shall be reviewed and plans approved by the Landscape Planning Division. Any stormwater devices in parkway areas shall not displace street trees.
4. Note for compaction to be no greater than 85% in landscape areas. All finished grades at 1 1/2" below finished surfaces. Slopes to be maximum 3:1.
5. Add Note to Grading Plans: Landscape areas where compaction has occurred due to grading activities and where trees or stormwater infiltration areas are located shall be loosened by soil fracturing. For trees, a 12'x12'x18" deep area; for stormwater infiltration, the entire area shall be loosened. Add the following information on the plans: The backhoe method of soil fracturing shall be used to break up compaction. A 4" layer of Compost is spread over the soil surface before fracturing is begun. The backhoe shall dig into the soil lifting and then drop the soil immediately back into the hole. The bucket then moves to the adjacent soil and repeats. The Compost falls into the spaces between the soil chunks created. Fracturing shall leave the soil surface quite rough with large soil clods. These must be broken by additional tilling. Tilling in more Compost to the surface after fracturing per the soil report will help create an A horizon soil. Imported or reused Topsoil can be added on top of the fractured soil as needed for grading. The Landscape Architect shall be present during this process and provide certification of the soil fracturing. For additional reference, see Urban Tree Foundation – Planting Soil Specifications.



#### Landscape Plans

6. The City has collected fees for completing the park landscape for the southerly tract 17931 at B Street. If improvements have not been completed, they will be constructed as part of this development.
7. During plan check, coordinate with Ontario Municipal Utilities Company (OMUC) to submit irrigation plans for recycled water systems to [omucwaterquality@ontarioca.gov](mailto:omucwaterquality@ontarioca.gov). OMUC shall review and approve irrigation systems utilizing recycled water before final landscape approval. Submit an electronic approval letter or memo from OMUC with the resubmittal of the landscape package.
8. Provide broad canopy shade trees; consider deciduous trees to allow shade in the summer and warm sunny spaces in the winter.
9. Street trees will be determined and finalized during plan check.
10. Side slopes of the basin shall be a maximum 3:1 slope with trees and container plants.
11. Detention Basin: Additional trees on side slopes provide shade and handle wet soils and drought conditions; consider Platanus and Cercis occidentalis.
12. MAWA calculations will be required for typical lots/plan types during plan check whether HOA maintained or not; required for annual reporting to the State.
13. Overhead spray systems shall be designed for plant material less than the height of the spray head.
14. Show concrete mowstrips to identify property lines along open areas or to separate ownership or between maintenance areas.
15. After a project's entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council. Landscape construction plans with building permit number for plan check may be emailed to: [landscapeplancheck@ontarioca.gov](mailto:landscapeplancheck@ontarioca.gov)



# CITY OF ONTARIO MEMORANDUM



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**DATE:** April 27, 2022  
**TO:** Jeanie Irene Aguilo, Planning Department  
**FROM:** Blaine Ishii, Integrated Waste Department  
**SUBJECT:** DPR 2 – Integrated Waste Comments  
**PROJECT NO.:** PDEV21-039 – Mill Creek Ave./Old Edison Rd.  
**ATTACHMENTS:**

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## **BRIEF DESCRIPTION**

*A Development Plan to construct 113 single-family 6-pack courtyard cluster homes on 22.84 acres at the southeast corner of Mill Creek Avenue and Old Edison Road.*

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## **THIS SUBMITTAL IS COMPLETE.**

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**CORRECTION ITEMS:** *In order to be considered for approval by the Integrated Waste Department the applicant shall address all the correction items below and resubmit the application for further review. Please note that all design shall meet the City's Design Development Guidelines, Specifications Design Criteria, and City Standards.*

### ***Integrated Waste Comments:***

N/A



## LAND DEVELOPMENT DIVISION CONDITIONS OF APPROVAL

303 East B Street, Ontario, California 91764 Phone: 909.395.2036 / Fax: 909.395.2420

**Date Prepared:** 7/29/2022

**File No:** PDEV21-039

**Related Files:** PMTT18-002 (TM 20157), PMTT18-005 (TM 20160)

**Project Description:** A Development Plan to construct 113 single-family homes on 22.42 acres of land generally located at the southeast corner of Mill Creek Avenue and Old Edison Road, within PA-2 (RD-4 / SFD Cottages and RD-6 / 6 Pack Courtyard) of the Esperanza Specific Plan (APNs: 0218-252-08 and 0218-252-38); **submitted by KB Home Coastal, Inc.**

**Prepared By:** Jeanie Irene Aguilo, Associate Planner  
Phone: 909.395.2418 (direct)  
Email: jaguilo@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

**1.0 Standard Conditions of Approval.** The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

**2.0 Special Conditions of Approval.** In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

**2.1 Time Limits.** Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

**2.2 General Requirements.** The Project shall comply with the following general requirements:

**(a)** All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility, and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

**(b)** The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

**(c)** The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

### **2.3** Landscaping.

**(a)** The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

**(b)** Comply with the conditions of approval of the Planning Department; Landscape Planning Division.

**(c)** Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

**(d)** Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

**2.4** Walls and Fences. All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

### **2.5** Parking, Circulation and Access.

**(a)** The Project shall comply with the applicable off-street parking, loading and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

**(b)** All drive approaches shall be provided with an enhanced pavement treatment. The enhanced paving shall extend from the back of the approach apron, into the site, to the first intersecting drive aisle or parking space.

**(c)** Areas provided to meet the City's parking requirements, including off-street parking and loading spaces, access drives, and maneuvering areas, shall not be used for the outdoor storage of materials and equipment, nor shall it be used for any other purpose than parking.

**(d)** The required number of off-street parking spaces and/or loading spaces shall be provided at the time of site and/or building occupancy. All parking and loading spaces shall be maintained in good condition for the duration of the building or use.

**(e)** Parking spaces specifically designated and conveniently located for use by the physically disabled shall be provided pursuant to current accessibility regulations contained in State law (CCR Title 24, Part 2, Chapters 2B71, and CVC Section 22507.8).

**(f)** Bicycle parking facilities, including bicycle racks, lockers, and other secure facilities, shall be provided in conjunction with development projects pursuant to current regulations contained in CALGreen (CAC Title 24, Part 11).

## **2.6** Site Lighting.

**(a)** All off-street parking facilities shall be provided with nighttime security lighting pursuant to Ontario Municipal Code Section 4-11.08 (Special Residential Building Provisions) and Section 4-11.09 (Special Commercial/Industrial Building Provisions), designed to confine emitted light to the parking areas. Parking facilities shall be lighted from sunset until sunrise, daily, and shall be operated by a photocell switch.

**(b)** Unless intended as part of a master lighting program, no operation, activity, or lighting fixture shall create illumination on any adjacent property.

## **2.7** Mechanical and Rooftop Equipment.

**(a)** All exterior roof-mounted mechanical, heating and air conditioning equipment, and all appurtenances thereto, shall be completely screened from public view by parapet walls or roof screens that are architecturally treated so as to be consistent with the building architecture.

**(b)** All ground-mounted utility equipment and structures, such as tanks, transformers, HVAC equipment, and backflow prevention devices, shall be located out of view from a public street, or adequately screened through the use of landscaping and/or decorative low garden walls.

**2.8** Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

**2.9** Signs. All Project signage shall comply with the requirements of Ontario Development Code Division 8.1 (Sign Regulations).

**2.10** Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noised levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

**2.11** Disclosure Statements. A copy of the Public Report from the Department of Real Estate, prepared for the subdivision pursuant to Business and Professions Code Section 11000 et seq., shall be provided to each prospective buyer of the residential units and shall include a statement to the effect that:

**(a)** This tract is subject to noise from the Ontario International Airport and may be more severely impacted in the future.

**(b)** Some of the property adjacent to this tract is zoned for agricultural uses and there could be fly, odor, or related problems due to the proximity of animals.

**(c)** The area south of Riverside Drive lies within the San Bernardino County Agricultural Preserve. Dairies currently existing in that area are likely to remain for the foreseeable future.

**(d)** This tract is part of a Landscape Maintenance District. The homeowner(s) will be assessed through their property taxes for the continuing maintenance of the district.

#### **2.12** Environmental Review.

**(a)** The environmental impacts of this Project were previously reviewed in conjunction with the Esperanza Specific Plan (File No. PSP05-002) Environmental Impact Report (State Clearinghouse No. 2002061047) certified by the City Council on February 6, 2007. This application introduces no new significant environmental impacts. The City's "Guidelines for the Implementation of the California Environmental Quality Act ("CEQA")" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed. The previously adopted mitigation measures shall be a condition of project approval and are incorporated herein by this reference.

**(b)** If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

**(c)** If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

**2.13** Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

#### **2.14** Additional Fees.

**(a)** Within 5 days following final application approval, the Notice of Determination ("NOD") filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act ("CEQA"). Failure to provide said fee within the time specified will result in the extension of the statute of limitations for the filing of a CEQA lawsuit from 30 days to 180 days.

**(b)** After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

**2.15** Additional Requirements.

**(a)** The final design of the of central neighborhood park shade structure and restroom building shall require Planning Director review and approval.

**(b)** Final sets of plans shall be provided after project approval per the directions to be provided by the Planning Department.

**(c)** Final project details, including but not limited to, architecture, grading, landscaping, and recreation facilities shall be subject to review and approval as part of the Plan Check process.

**(d)** The model sales office shall require review and approval of a Temporary Use Permit, to be submitted prior to Planning approval of building plan checks pertaining to model sales units.

**(e)** The applicant shall contact the Ontario Post Office to determine the size and location of mailboxes for this project. The location of the mailboxes shall be submitted to the Planning Department for review and approval prior to the issuance of building permits.

**(f)** All conditions of approval from all other City agencies and departments shall be complied with.



# Development Advisory Board Decision

August 15, 2022

**DECISION NO.:** DAB22-[insert #]

**FILE NO.:** PDEV21-042

**DESCRIPTION:** A Development Plan to construct 174 multiple-family residential units on 15.11 acres of land generally located at the southeast corner of Mill Creek Avenue and Old Edison Road, within PA-1 (RD-7/Row Townhomes and RD-8/Motorcourt Townhomes) of the Esperanza Specific Plan. (APNs: 0218-252-08 and 0218-252-38); **submitted by KB Home Coastal, Inc. Planning Commission action required.**

## Part I—BACKGROUND & ANALYSIS

KB HOME COASTAL INC., (herein after referred to as “Applicant”) has filed an application requesting Development Plan approval, File No. PDEV21-042, as described in the subject of this Decision (herein after referred to as “Application” or “Project”).

(1) **Project Setting:** The Project site is comprised of 15.11 acres of land located at generally located at the southeast corner of Mill Creek Avenue and Old Edison Road, and is depicted in Exhibit A—Project Location Map, attached. Existing land uses, Policy Plan (general plan) and zoning designations, and specific plan land uses on and surrounding the Project site are as follows:

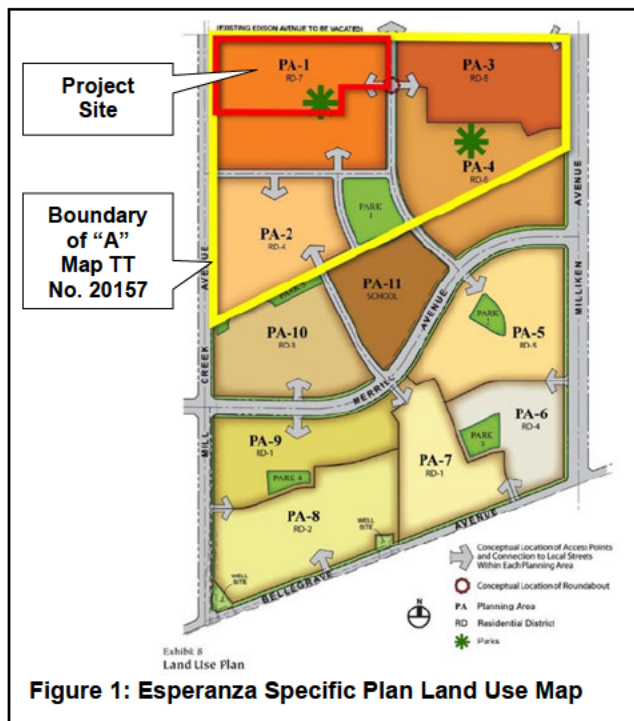
	<i>Existing Land Use</i>	<i>Policy Plan Designation</i>	<i>Zoning Designation</i>	<i>Specific Plan Land Use</i>
<i>Site</i>	Vacant/Mass Graded	(MDR) Medium Density Residential (11.1 – 25 DU/AC)	Esperanza Specific Plan	PA-1 (RD-7 Row Townhomes and RD-8 Motorcourt Townhomes)
<i>North</i>	Residential	(MU) Mixed Use & (OS-NR) Open Space – Non Recreation	Rich Haven Specific Plan	Mixed Use District PA 8A and 8B (Mixed-Use Stand Alone Residential Overlay)
<i>South</i>	Vacant/Mass Graded	(MDR) Medium Density Residential (11.1 – 25 DU/AC)	Esperanza Specific Plan	PA-1 (RD-7 Row Townhomes and RD-8 Motorcourt Townhomes)
<i>East</i>	Vacant	(MDR) Medium Density Residential (11.1 – 25 DU/AC)	Esperanza Specific Plan	PA-3 (RD-8 / Motorcourt Townhomes)
<i>West</i>	Dairy Farm	(LDR) Low Density Residential (2 – 5 DU/AC)	SP (Specific Plan) AG (Agricultural Overlay)	N/A



(2) **Project Description:**

(a) **Background** — The Esperanza Specific Plan and the related Environmental Impact Report (State Clearinghouse No. 2002061047) were approved by the City Council on February 6, 2007. The Specific Plan established the land use designations, development standards, and design guidelines Esperanza Specific Plan, which included the potential development of 1,594 residential dwelling units and a 10.02-acre elementary school (Figure 1: Esperanza Specific Plan Land Use Map).

On August 27, 2019, the Planning Commission approved Tentative Tract Map No. 20157 (File No. PMTT18-002) for Planning Areas PA-1, PA-2, PA-3 and PA-4, which subdivided 81.35 gross acres of land into 6 numbered lots and 5 lettered lots for residential, public streets, landscaped neighborhood edges, and common open space purposes. The Tentative Map served as the “A” Map for all four planning areas. The “A” Map subdivided the parcel to facilitate future land uses, backbone infrastructure improvements (major streets, sewer, water, and storm drain facilities) and subsequent “B” Maps. Three “B” Maps were processed concurrently with the “A” Map for PA-1 and PA-2, which are further described below:



- **Tract Map No. 20158 (File No. PMTT18-003)** – The “B” Map for the northern portion of PA-1 subdivided 15.41 acres of land into 31 numbered lots and 15 lettered lots for residential (row townhomes), public streets, private lanes, landscape neighborhood edges, and common open space purposes.
- **Tract Map No. 20159 (File No. PMTT18-004)** – The “B” Map for the southern portion of PA-1 subdivided 13.94 acres of land into 15 numbered lots and 5 lettered lots for residential (motorcourt townhomes), public streets, private lanes, landscape neighborhood edges, and common open space purposes.
- **Tract Map No. 20160 (File No. PMTT18-005)** – The “B” Map for PA-2 subdivided 22.84 acres of land into 113 numbered lots and 32 lettered lots for residential (6-pack courtyard single family homes), public streets, private lanes, landscape neighborhood edges, and common open space purposes.

On September 17, 2019, the City Council approved a Development Agreement (File No. PDA19-002) to facilitate infrastructure improvements to serve the site, which will be completed in two phases. Phase 1 improvements will develop PA-1 and PA-2, and Phase 2 improvements will develop PA-3 and PA-4.

On October 29, 2021, the Applicant submitted the subject Development Plan (File No. PDEV21-042) to facilitate the development of Tract 20158 with 174 multi-family residential units on 15.11 acres of land within PA-1 (RD-7 Row Townhomes and RD-8 Motorcourt Townhomes) of the Esperanza Specific Plan.

(b) **Site Design/Building Layout** — The proposed Row Townhomes product type will have garage access from a private lane or drive aisle, with the main entrances of the units fronting the street or paseo. The paseos will be landscaped with accent trees, provide landscape planters, feature

enhanced entries for street adjacent paseos, and include private patios with 3-foot high walls for each unit to provide visual interest and promote pedestrian mobility (see Exhibit B—Site Plan, attached).

The Project is proposing three, two-story row townhome building types. Building A is comprised of 6 attached units and features 4 plan types (1 through 4) in 13 buildings, for a total of 78 units. Building B is comprised of 6 attached units featuring floor plan types 2, 3, and 4 in 12 buildings, for a total of 72 units. Building C is comprised of 4 attached units featuring floor plan types 2, 3, and 4 in 6 buildings, for a total of 24 units. The Esperanza Specific Plan requires a maximum 60 percent lot coverage. The proposed lot coverages range from 41 to 58 percent, with an average lot coverage of 52 percent. All plans incorporate various design features, such as a mix of one- and two-story massing, varied entries, second floor laundry facilities, loft, kitchen, open dining, and great room/living areas. The proposed building and floor plan characteristics are summarized in Tables 1 and 2, below.

<b>Floor Plan Type</b>	<b>Building A</b>	<b>Building B</b>	<b>Building C</b>	<b>Subtotal</b>
<i>Floor Plan 1</i>	13			13
<i>Floor Plan 2</i>	13	24	6	43
<i>Floor Plan 3</i>	26	24	6	56
<i>Floor Plan 4</i>	26	24	12	62
<b>TOTAL DUs</b>	<b>78</b>	<b>72</b>	<b>24</b>	<b>174</b>

<b>Floor Plan Type (No. of Units)</b>	<b>Gross Floor Area</b>	<b>Key Features</b>
<i>1 (13 DUs)</i>	1,338 SF	3 bedrooms, 2.5 bathrooms
<i>2 (43 DUs)</i>	1,455 SF	3 bedrooms, 2.5 bathrooms
<i>3 (56 DUs)</i>	1,555 SF	3 bedrooms, 2.5 bathrooms
<i>4 (62 DUs)</i>	1,652 SF	3 bedrooms, 2.5 bathrooms

(c) **Site Access/Circulation** — Previously approved Tract Map Nos. 20157 (“A” Map) and 20158 (“B” Map) facilitated the construction of the backbone streets including the primary access points into the northwestern portion of the Esperanza Specific Plan from Mill Creek Avenue and Clifton Avenue, as well as the construction of all the interior neighborhood streets within the subdivision. Primary access into the subdivision will be from Huntington Street, which runs east-west along the Project’s southern boundary. A secondary access point will be from Rincon Street, which runs east-west and is centralized to the Project site. The Project developer is responsible for the construction of the Project’s interior neighborhood streets, including Laguna Avenue, Carlsbad Paseo, Carmel Privado, Bolsa Chica Paseo, Los Osos Privado, Venice Paseo, Redondo Privado, Hermosa Paseo, and Del Mar Paseo.

(d) **Parking** — The Esperanza Specific Plan and the Ontario Development Code requires parking based on bedroom count for multiple-family residential units along with required guest parking. The Project has provided a two-car garage for each unit. The Project requires a total of 486 parking spaces and a total of 709 parking spaces will be provided, exceeding the minimum requirements by 223 parking spaces and providing an average of 4.07 parking spaces per unit, as summarized in Table 3, below.

The additional parking spaces are distributed throughout the site as on-street parking, driveway parking, and parking within the private drive aisles.

**Table 3: Summary of Parking Analysis Per Unit**

Type of Use	Parking Ratio	Spaces Required	Spaces Provided
Multi-Family Residential	2.5 spaces per three or more-bedroom unit (including 2 in garage or carport)	435 (348 covered)	348 (private garage spaces)
Guest Spaces	1 space for every 4 units under 50 on the building lot	44	
Driveway Spaces			208
Private Drive Aisle Stalls			53
On-Street Parking Spaces			92
Handicap Accessible (2 Van)		7	8
<b>TOTAL</b>		<b>486</b>	<b>709</b>
<b>Per Unit Average</b>		<b>4.07 spaces per unit</b>	
<b>+/- Parking</b>		<b>223 spaces</b>	

(e) Architecture — The architectural theme for the Esperanza Specific Plan is based upon historical styles found in Ontario. The proposed architectural styles include Spanish Colonial, Country French, and Western Ranch. These styles were chosen to complement one another through the overall scale, massing, proportions, details, and the ability to establish an attractive backdrop that will age gracefully over time.

The architectural styles proposed will include the following features (see Exhibit C—Front Elevations and Floor Plan, attached):

- Spanish Colonial: Varying gable roofs with “S” type roof tiles, stucco exterior, deep recessed openings, arched entryways, decorative gable end details, decorative shutters, ceramic tiles, and decorative corbels.
- Country French: Varying gable roof forms, with concrete flat roof tiles, stucco exteriors with quoin at corners, decorative shutters, and enhanced gable end and window trim details.
- Western Ranch: Varying gable and shed roof forms, vertical and horizontal siding, stucco exterior, decorative shutters, gable end details, and decorative window framing.

(f) Landscaping/Open Space — Tract Map No. 20157 (“A” Map) will facilitate the construction of neighborhood parks, sidewalks, parkways, and open space areas for Planning Areas PA-1 through PA-4. TOP Policy PR1-1 requires new developments to provide a minimum of two acres of Private Park per 1,000 residents. The overall tract is required to provide 5.53 acres of parkland to meet the minimum TOP private park requirement and a total of 6.46 acres of parkland is being provided. PA-1 will provide a 0.69-acre recreation park and a 0.32-acre trellis park. PA-2 will provide a 3.4-acre central neighborhood park and a 0.27-acre garden park. PA-3 and PA-4 will provide a 1.78-acre neighborhood park and 0.1-acre pocket park. The pedestrian circulation system provides connectivity to the parks, residential neighborhoods, and surrounding communities. Future park designs and amenities located within PA-3 and PA-4 will be addressed as part of the Development Plan entitlement process that will require consistency

with the Esperanza Specific Plan. This Development Plan includes the development of the 0.69-acre recreation park within PA-1.

The 0.69-acre recreation park will be developed at the southeast corner of the Project site, located at the northwest corner of Huntington Street and Ventura Avenue. The recreation park's featured amenities include a pool, a building with restroom and shower facilities, gated pool entry with decorative pavers, shade structures, outdoor lounge, picnic tables, barbeque areas, lounge seating, and synthetic turf recreation areas. The building has been designed with a Spanish Colonial architectural style featuring arched entries, gable detailing, decorative shutters, and ceramic tile enhancements (see Exhibit D—Recreation Park and Exhibit E—Pool Building Elevations, attached).

The Esperanza Specific Plan requires that all areas not used for buildings or hardscape shall be fully landscaped. The Project provides 27.4 percent landscape coverage, which consists of shade trees, shrubs, groundcovers, turf, and other plantings (See Exhibit F—Landscape Plan and Exhibit G—Typical Row Townhome Paving Layout, attached). Plantings include, but are not limited to, Coast Live Oak, Bay Laurel, Marina Strawberry Tree, Western Redbud, Bubba Desert Willow, Crape Myrtle, Golden Rain Tree, Cork Oak, Bottle Tree, Australian Willow, Holly Oak, Toyon, Drake Lacebark Elm, Agave, Silver Dollar Jade, Rosemary, Sage, and Lantana.

(g) Utilities (drainage, sewer) — All major backbone improvements and interior site improvements will be constructed in congruence with the related Tract Map. The Applicant will also obtain an encroachment permit to conduct work within the public rights-of-way. Furthermore, the Applicant has submitted a Preliminary Water Quality Management Plan ("PWQMP"), which establishes the Project's compliance with storm water discharge/water quality requirements. The PWQMP includes site design measures that capture runoff and pollutant transport by minimizing impervious surfaces and maximizes low impact development ("LID") best management practices ("BMPs"), such as retention and infiltration, biotreatment, and evapotranspiration. Additionally, the Project is consistent with the previously approved Development Agreement (File No. PDA19-002) that required all major backbone infrastructure improvements within the Esperanza Specific Plan.

(h) Covenants, Conditions and Restrictions ("CC&Rs") — As a Condition of Approval, CC&Rs were previously required to be prepared and recorded with the Final Tract Map subdividing PA-1 (Tract No. 20158). The CC&Rs will outline the maintenance responsibilities for the open space areas, recreation amenities, drive aisles, utilities, and upkeep of the entire site, to ensure the on-going maintenance of the common areas and facilities.

## **Part II—RECITALS**

WHEREAS, the Application is a Project pursuant to the California Environmental Quality Act (Public Resources Code Section 21000 et seq.) ("CEQA") and an initial study has been prepared to determine possible environmental impacts; and

WHEREAS, the environmental impacts of this Project were previously reviewed in conjunction with the Esperanza Specific Plan (File No. PSP05-002) Environmental Impact Report (State Clearinghouse No. 2002061047) certified by the City Council on February 6, 2007, and this Application introduces no new significant environmental impacts; and

WHEREAS, the City's "Local Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board (hereinafter referred to as "DAB") the responsibility and authority to review and make recommendation to the Planning Commission on the subject Application; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan ("ALUCP"), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, on August 15, 2022, the DAB of the City of Ontario conducted a hearing on the Application and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.

### **Part III—THE DECISION**

NOW, THEREFORE, IT IS HEREBY FOUND AND DETERMINED by the Development Advisory Board of the City of Ontario, as follows:

**SECTION 1: *Environmental Determination and Findings.*** As the recommending body for the Project, the DAB has reviewed and considered the information contained in the previous Certified EIR and supporting documentation. Based upon the facts and information contained in the previous Certified EIR and supporting documentation, the DAB finds as follows:

(1) The environmental impacts of this Project were previously reviewed in conjunction with the Esperanza Specific Plan (File No. PSP05-002) Environmental Impact Report (State Clearinghouse No. 2002061047), certified by the City Council on February 6, 2007; and

(2) The previous Certified EIR contains a complete and accurate reporting of the environmental impacts associated with the Project; and

(3) The previous Certified EIR was completed in compliance with CEQA and the Guidelines promulgated thereunder, and the City of Ontario Local CEQA Guidelines; and

(4) The previous Certified EIR reflects the independent judgment of the Planning Commission; and

(5) The proposed Project will introduce no new significant environmental impacts beyond those previously analyzed in the previous Certified EIR, and all mitigation measures previously adopted with the Certified EIR, are incorporated herein by this reference.

**SECTION 2: Subsequent or Supplemental Environmental Review Not Required.** Based on the information presented to the DAB, and the specific findings set forth in Section 1, above, the DAB finds that the preparation of a subsequent or supplemental Certified EIR is not required for the Project, as the Project:

(1) Does not constitute substantial changes to the Certified EIR that will require major revisions to the Certified EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and

(2) Does not constitute substantial changes with respect to the circumstances under which the Certified EIR was prepared, that will require major revisions to the Certified EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of the previously identified significant effects; and

(3) Does not contain new information of substantial importance that was not known and could not have been known with the exercise of reasonable diligence at the time the Certified EIR was certified/adopted, that shows any of the following:

(a) The Project will have one or more significant effects not discussed in the Certified EIR; or

(b) Significant effects previously examined will be substantially more severe than shown in the Certified EIR; or

(c) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the Project, but the City declined to adopt such measures; or

(d) Mitigation measures or alternatives considerably different from those analyzed in the Certified EIR would substantially reduce one or more significant effects on the environment, but which the City declined to adopt.

**SECTION 3: Housing Element Compliance.** Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the recommending body for the Project, the DAB finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the Project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan. The Project site is one of the properties listed in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix, and the proposed Project is consistent with the number of dwelling units (174) and density ( 11.5 DU/AC) specified in the Available Land Inventory. Per the Available Land Inventory, the Esperanza Specific Plan is required to provide 1,594 dwelling units with an overall density of 5-21 DU/AC.

**SECTION 4: ALUCP Compliance.** The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land use Compatibility Plan, establishing the Airport Influence Area for Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future

land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the recommending body for the Project, the DAB has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the DAB, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

**SECTION 5: Concluding Facts and Reasons.** Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the facts and information set forth in Parts I (Background and Analysis) and II (Recitals), above, and the determinations set forth in Sections 1 through 4, above, the DAB hereby concludes as follows:

(1) **The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.** The proposed Project is located within the (MDR) Medium Density Residential (11.1 – 25 DU/AC) land use district of the Policy Plan Land Use Map, and the PA-1 (RD-7 Row Townhomes and RD-8 Motorcourt Townhomes) land use district of the Esperanza Specific Plan. The development standards and conditions under which the proposed Project will be constructed and maintained, is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan; and

(2) **The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located.** The Project has been designed consistent with the requirements of the City of Ontario Development Code and the PA-1 (RD-7 Row Townhomes and RD-8 Motorcourt Townhomes) land use district of the Esperanza Specific Plan, including standards relative to the particular land use proposed (multiple-family residential row townhomes), as well as building intensity, building and parking setbacks, building height, number of off-street parking and loading spaces, on-site and off-site landscaping, and fences, walls and obstructions; and

(3) **The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the Project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed Project.** The Development Advisory Board has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the Esperanza Specific Plan are maintained; [ii] the Project will not endanger the public health, safety or general welfare; [iii] the Project will not result in any significant environmental impacts; [iv] the Project will be in harmony with the area in which it is located; and [v] the Project will be in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan, and the Esperanza Specific Plan. Additionally, the environmental impacts of this Project were previously reviewed in conjunction with the Esperanza Specific Plan (File No. PSP05-002) Environmental Impact Report (State Clearinghouse No. 2002061047) certified by the City Council on February 6, 2007. This application is consistent with the previously adopted EIR and introduces no new significant environmental impacts; and

(4) **The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.** The proposed Project has been reviewed for consistency with the general development standards and guidelines of the Esperanza Specific Plan that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of off-street parking and loading spaces, parking lot dimensions, design and landscaping, bicycle parking, on-site landscaping, and fences and walls, as well as those development standards and guidelines specifically related to the

particular land use being proposed (multiple-family residential row townhomes). As a result of this review, the Development Advisory Board has determined that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the development standards and guidelines described in the Esperanza Specific Plan.

**SECTION 6: *Development Advisory Board Action.*** Based on the findings and conclusions set forth in Sections 1 through 5, above, the DAB hereby recommends the Planning Commission APPROVES the Application subject to each and every condition set forth in the Department reports included as Attachment A of this Decision and incorporated herein by this reference.

**SECTION 7: *Indemnification.*** The Applicant shall agree to defend, indemnify, and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Ontario shall promptly notify the Applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**SECTION 8: *Custodian of Records.*** The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

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APPROVED AND ADOPTED this 15th day of August 2022.

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Development Advisory Board Chairman



Exhibit A—PROJECT LOCATION MAP

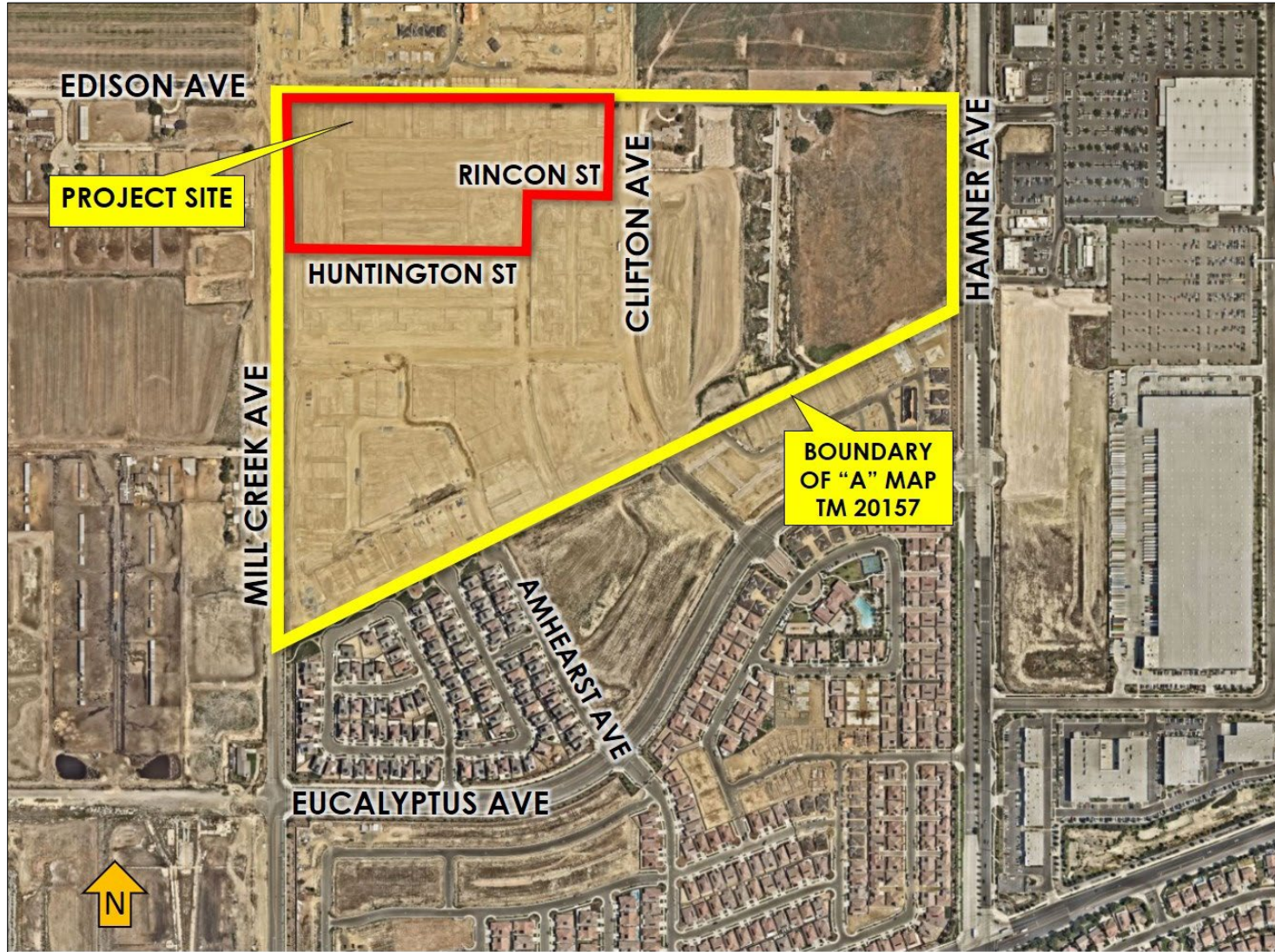


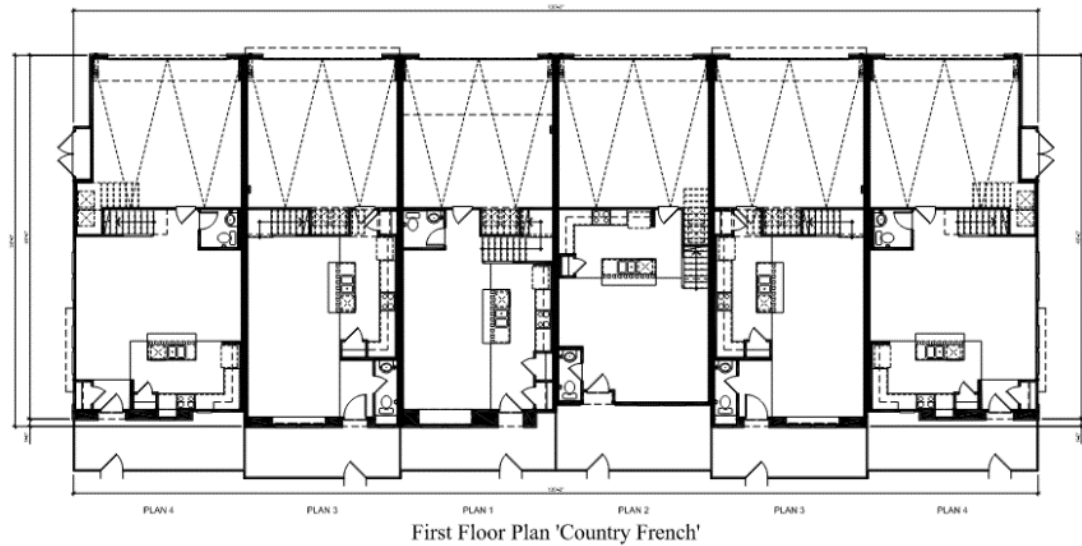
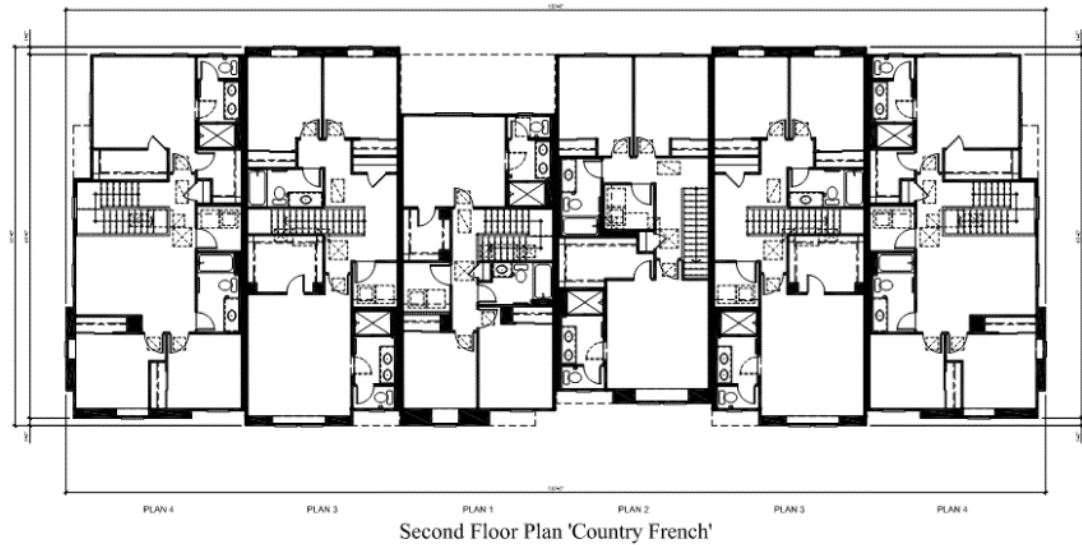
Exhibit B—SITE PLAN



**Exhibit C—BUILDING A: FRONT ELEVATIONS**



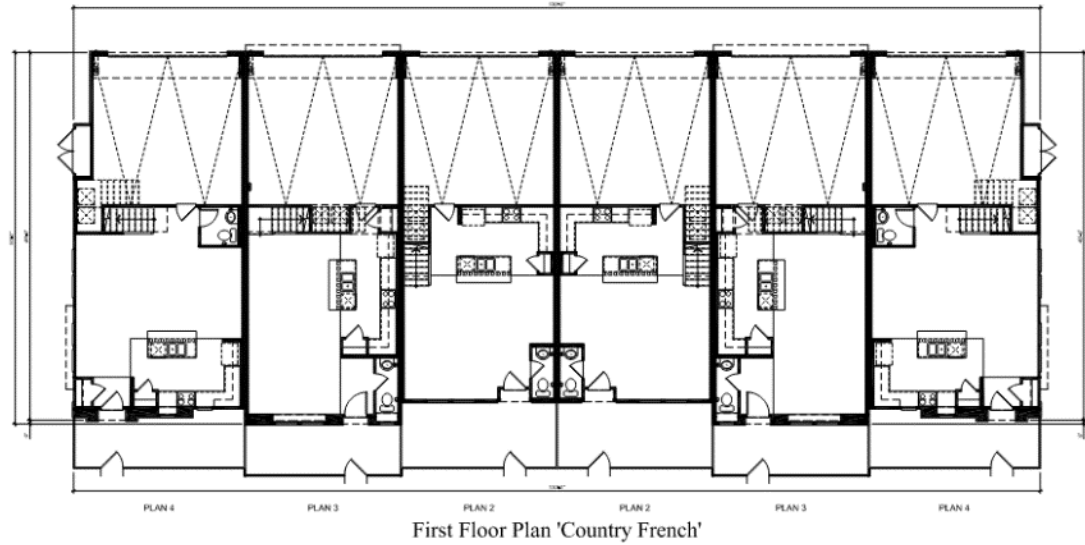
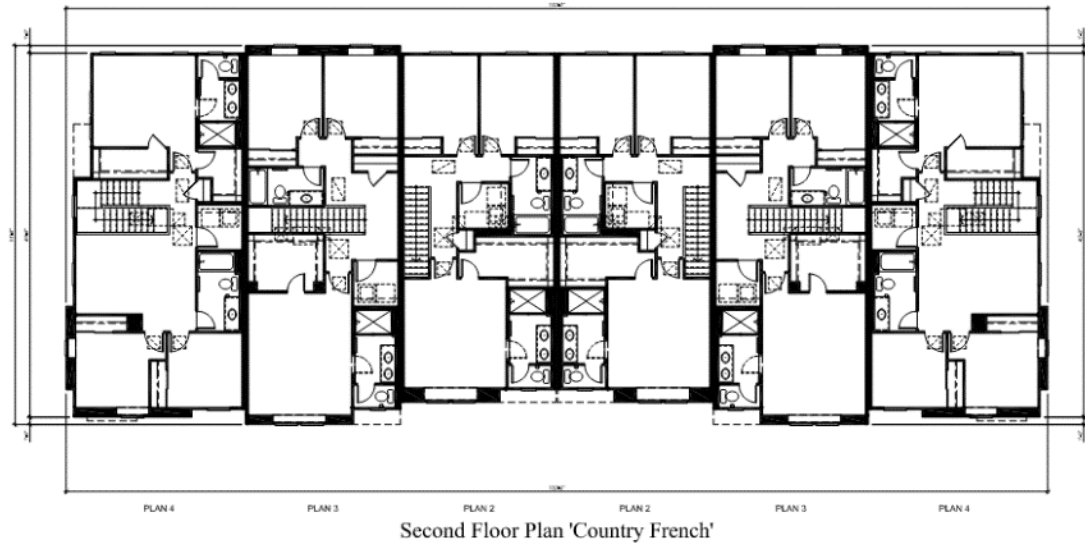
**Exhibit C—BUILDING A: FLOOR PLANS**



**Exhibit C—BUILDING B: FRONT ELEVATIONS**



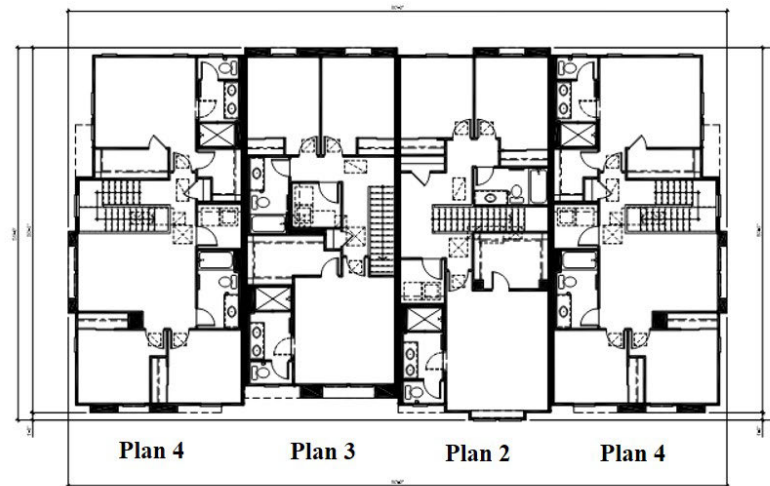
**Exhibit C—BUILDING B: FLOOR PLANS**



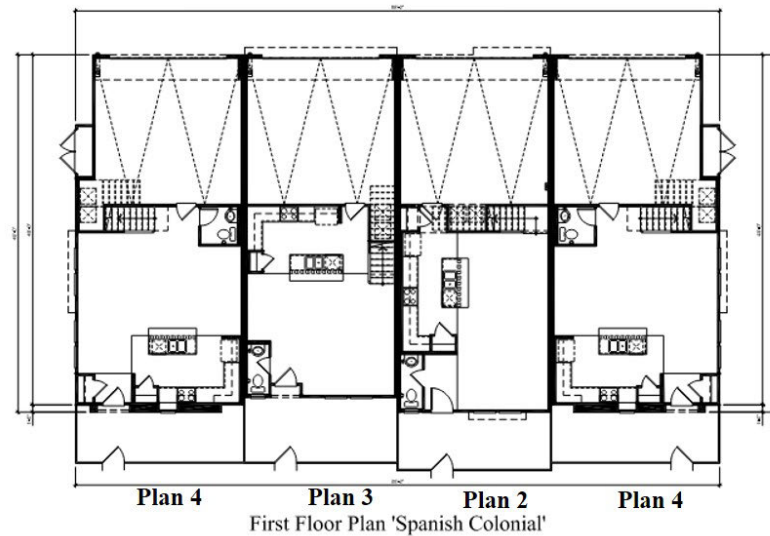
**Exhibit C—BUILDING C: FRONT ELEVATIONS**



**Exhibit C—BUILDING C: FLOOR PLANS**



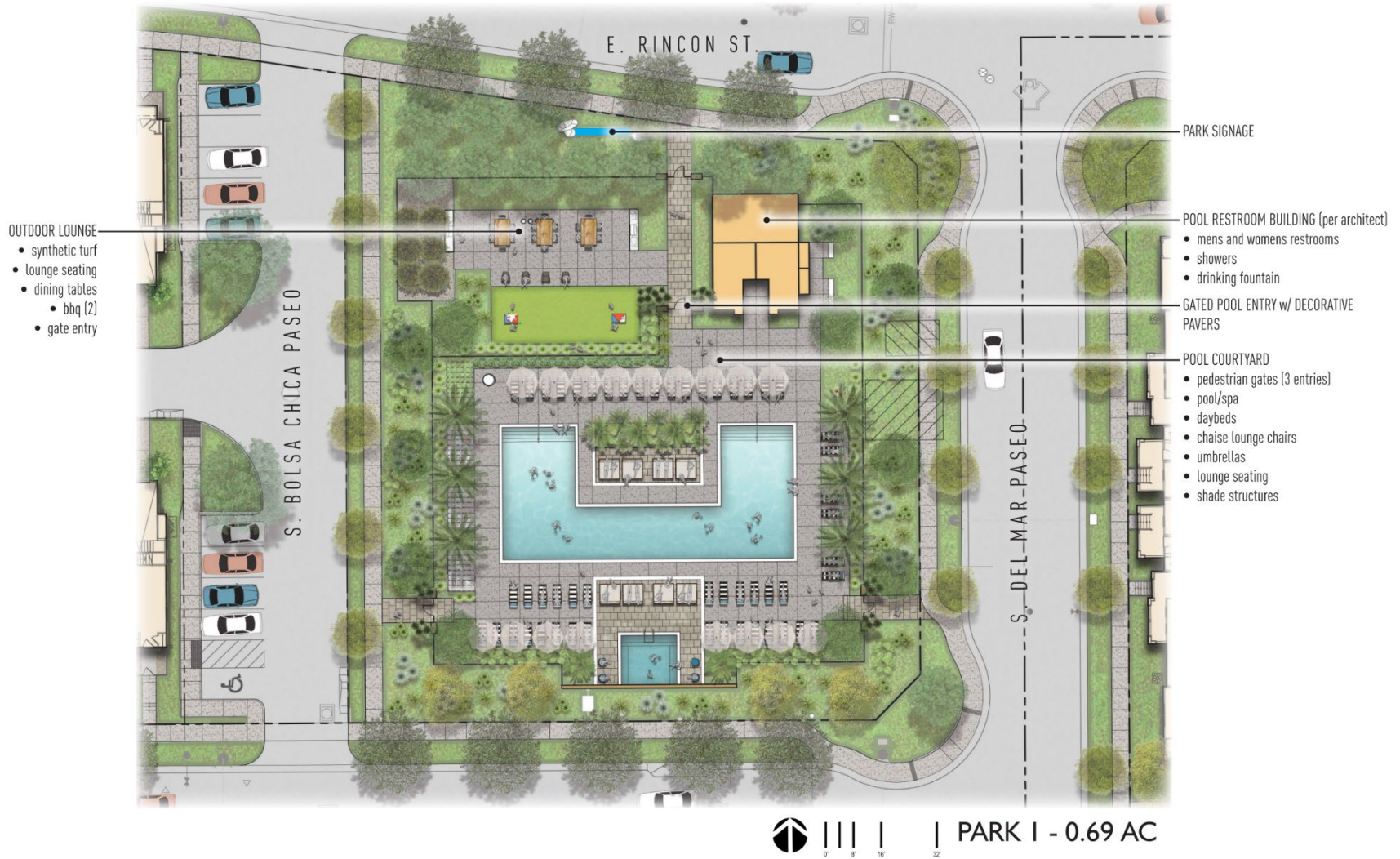
Second Floor Plan 'Spanish Colonial'



First Floor Plan 'Spanish Colonial'



**Exhibit D—RECREATION PARK**



**Exhibit E—POOL BUILDING ELEVATIONS**



Rear Elevation (Spanish Colonial)

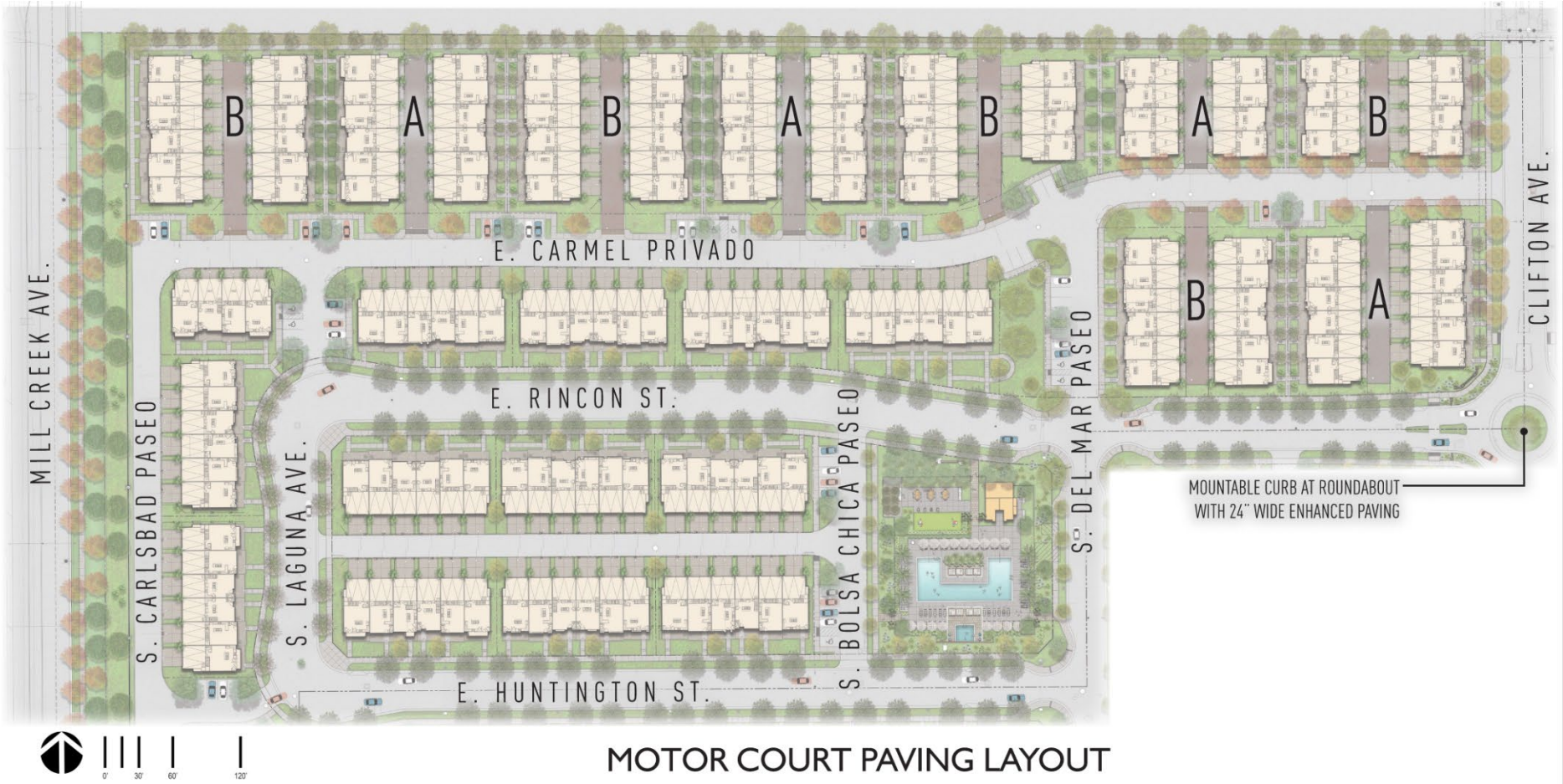


Left Elevation (Spanish Colonial)





**Exhibit G—TYPICAL ROW TOWNHOME PAVING LAYOUT**



**Exhibit G—TYPICAL ROW TOWNHOME PAVING LAYOUT (ENLARGED)**



## **Attachment A—Elevations and Floor Plans**

*(Full set of Elevation and Floor Plans to follow this page)*



PLAN 4 PLAN 3 PLAN 1 PLAN 2 PLAN 3 PLAN 4  
**Front Elevation 'Western Ranch'**



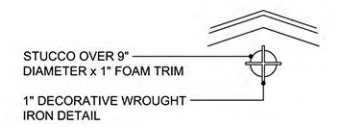
PLAN 4 PLAN 3 PLAN 1 PLAN 2 PLAN 3 PLAN 4  
**Front Elevation 'Country French'**

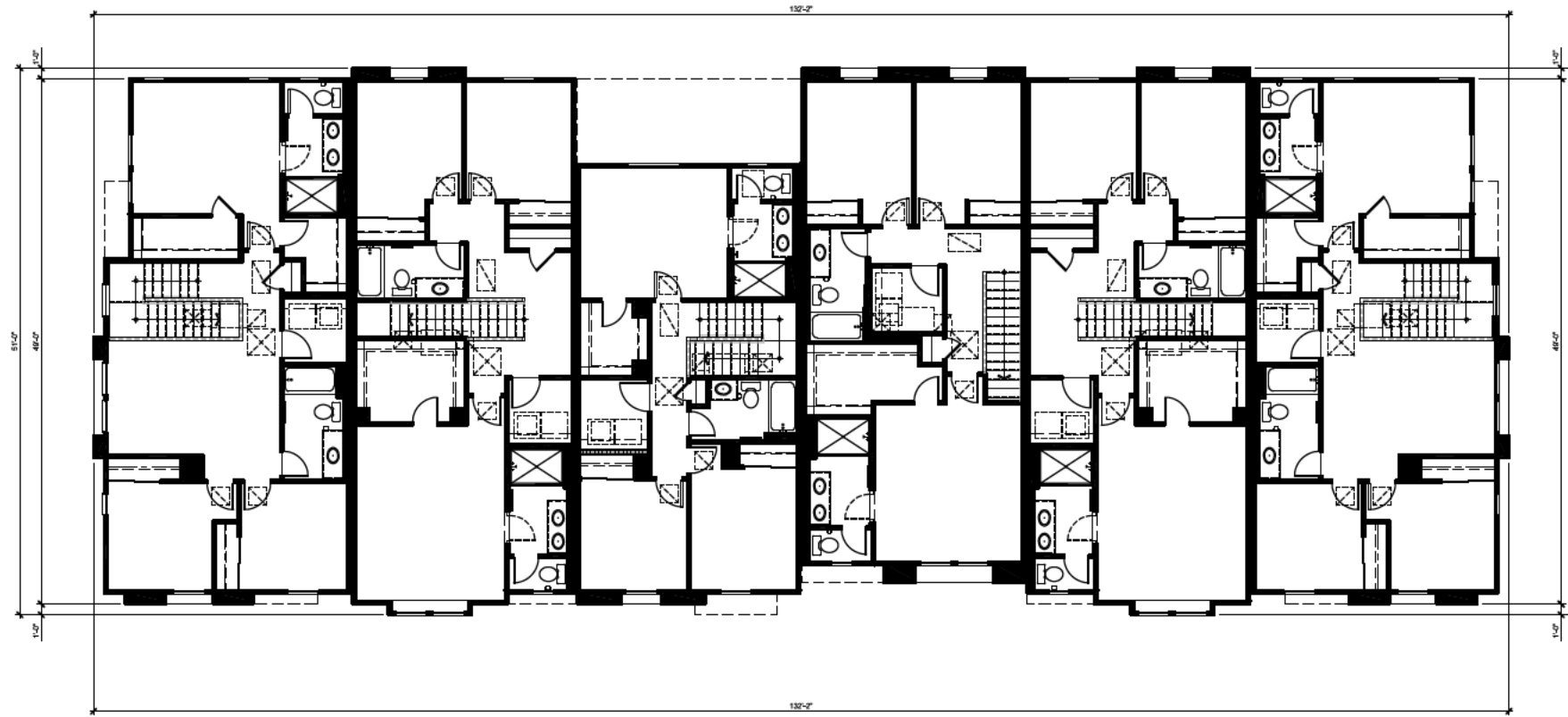


PLAN 4 PLAN 3 PLAN 1 PLAN 2 PLAN 3 PLAN 4  
**Front Elevation 'Spanish Colonial'**

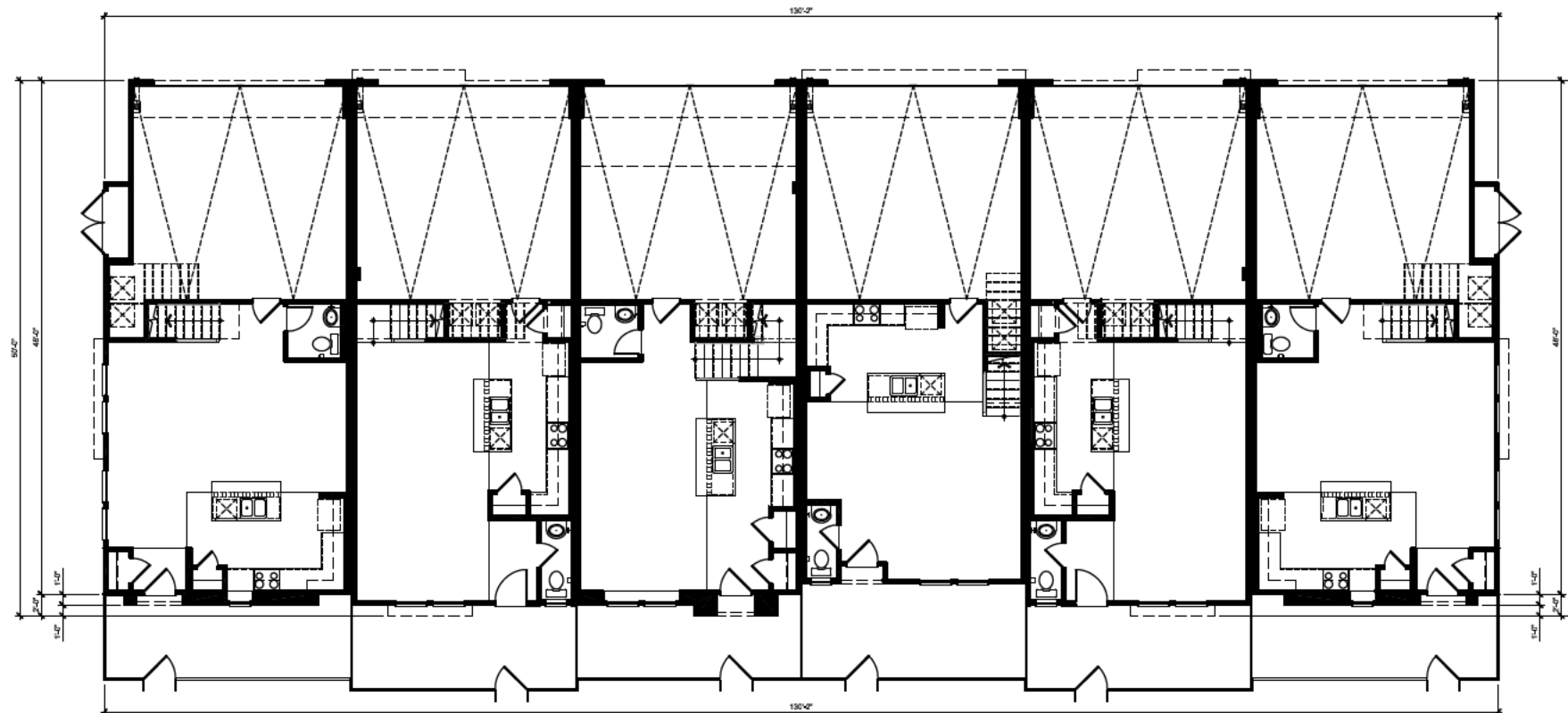
**ELEVATION LEGEND**

- 1 CONCRETE 'S' TILE ROOFING
- 2 CONCRETE FLAT TILE ROOFING
- 3a WOOD FASCIA / BARGE BOARD
- 3b EXPOSED RAFTER TAIL
- 4 STUCCO FINISH (16/20 SAND)
- 5 STUCCO OVER FOAM TRIM
- 6 STUCCO OVER FOAM CORBELS/SHAPED FOAM TRIM WITH SAND FINISH
- 7 DECORATIVE STUCCO COLUMNS (STUCCO OVER WOOD FRAMING WITH SMOOTH FINISH)
- 8 VINYL WINDOW SYSTEM
- 9 COMPOSITE ENTRY DOOR - THERMA-TRU SMOOTH-STAR SERIES
- 10 METAL SECTIONAL GARAGE DOOR - WAYNE DALTON MODEL NO. 9100
- 11 DECORATIVE FOAM SHUTTERS
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- 14 DECORATIVE WROUGHT IRON POT SHELF
- 15 STUCCO POT SHELF
- 16 POLYURETHANE, FOAM OR WOOD POT SHELF
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- 18 STONE VENEER
- 19 FIBER CEMENT SIDING WITH VERTICAL BATTENS SPACED 12" O.C.
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- 22 DECORATIVE OUTLOOKER WITH KNEEBRACE
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- 24 WOOD POST
- 25 WOOD CORBEL
- 26 COACH LIGHTS
- 27 ILLUMINATED ADDRESS SIGN
- 28 STUCCO EXPANSION JOINT
- 29 STUCCO CHANNEL





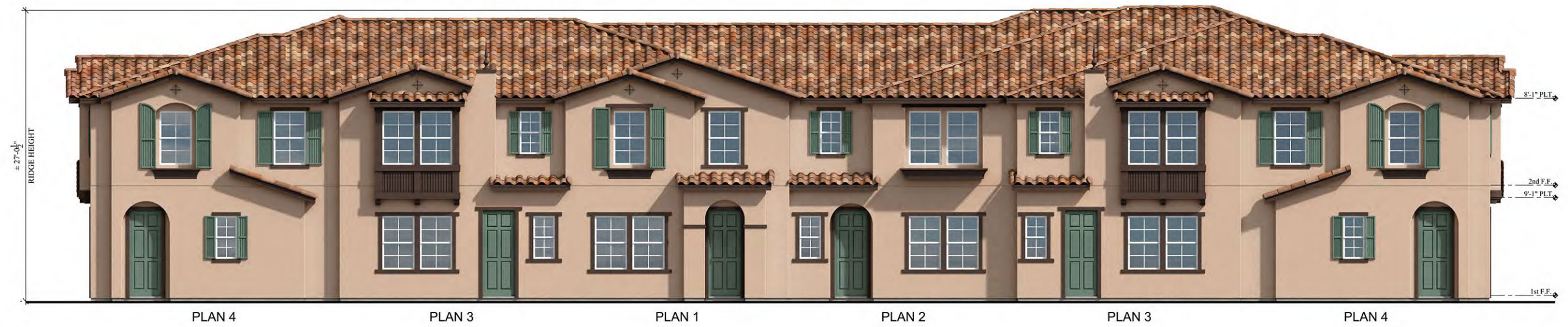
Second Floor Plan 'Spanish Colonial'



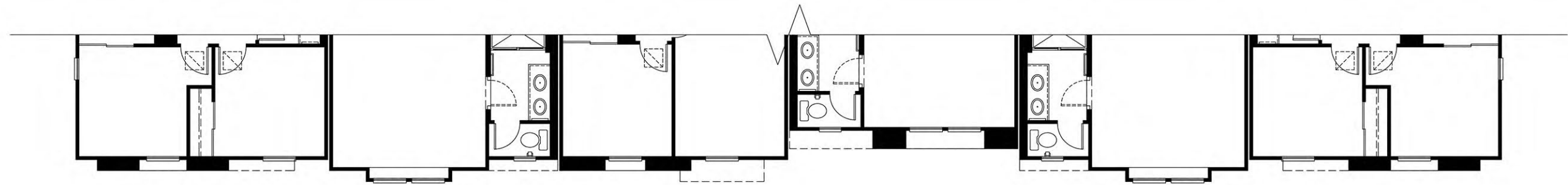
First Floor Plan 'Spanish Colonial'



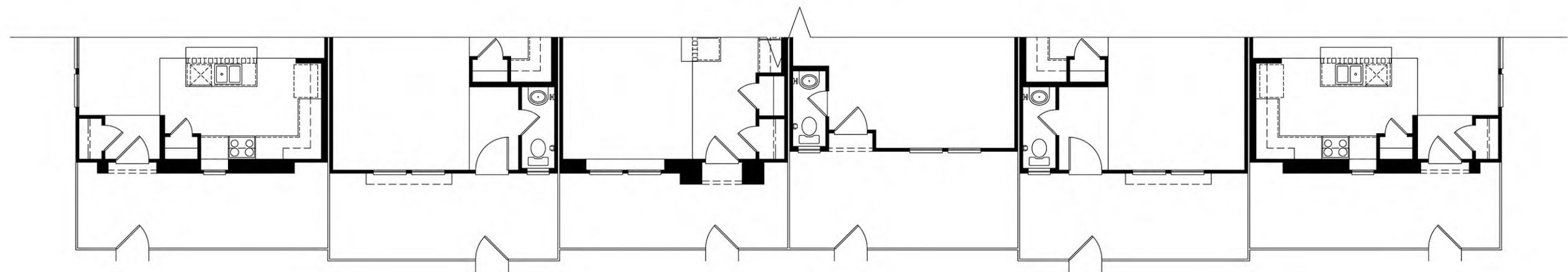




Front Elevation 'Spanish Colonial'



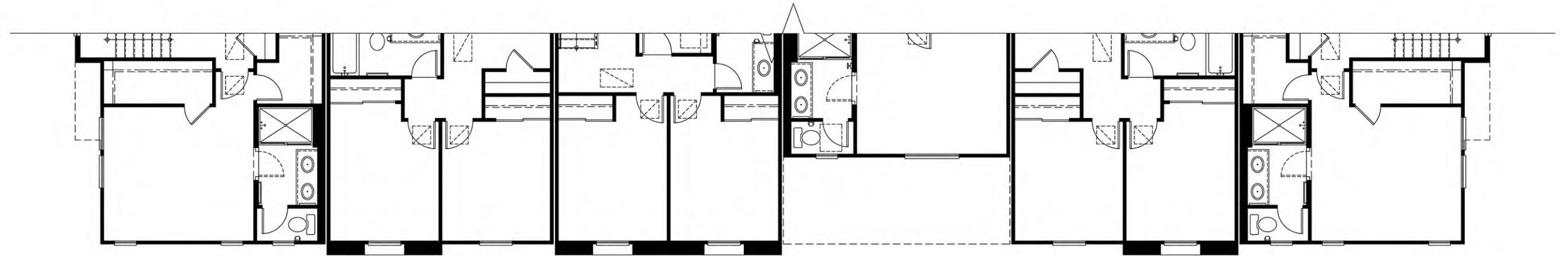
Partial Second Floor Plan



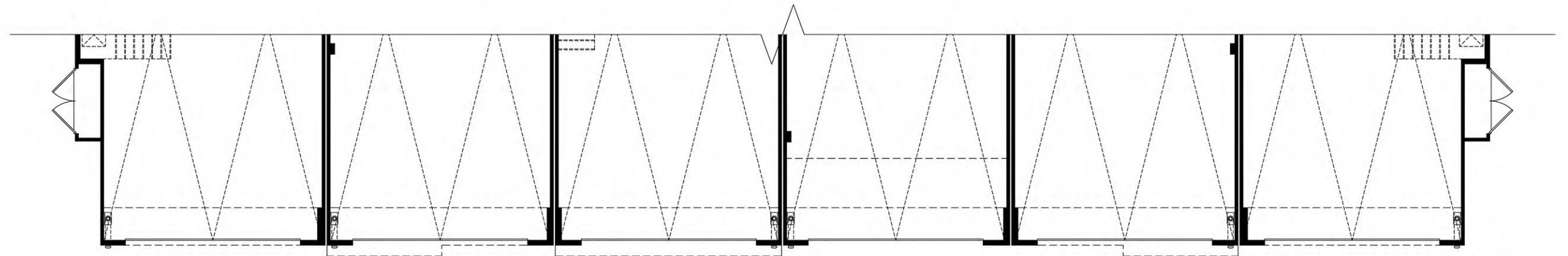
Partial First Floor Plan



Rear Elevation 'Spanish Colonial'



Partial Second Floor Plan



Partial First Floor Plan



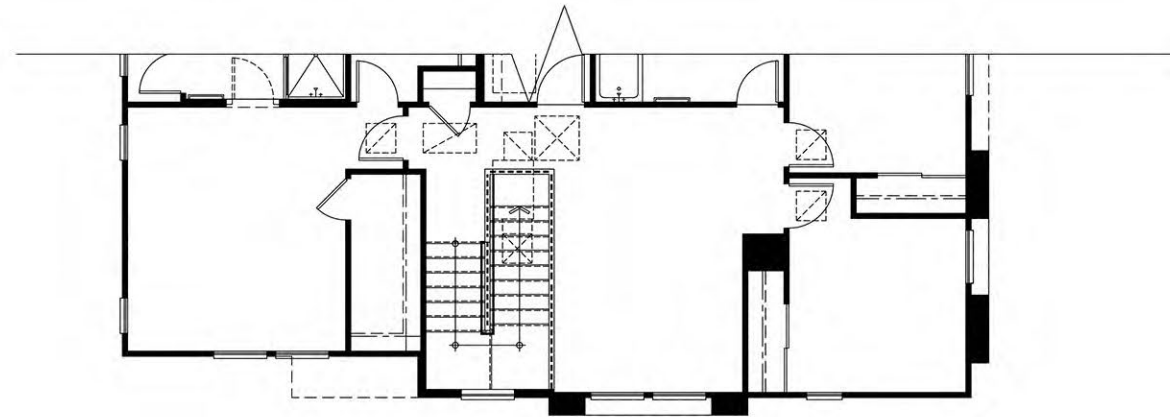
PLAN 4

Left Elevation 'Spanish Colonial'

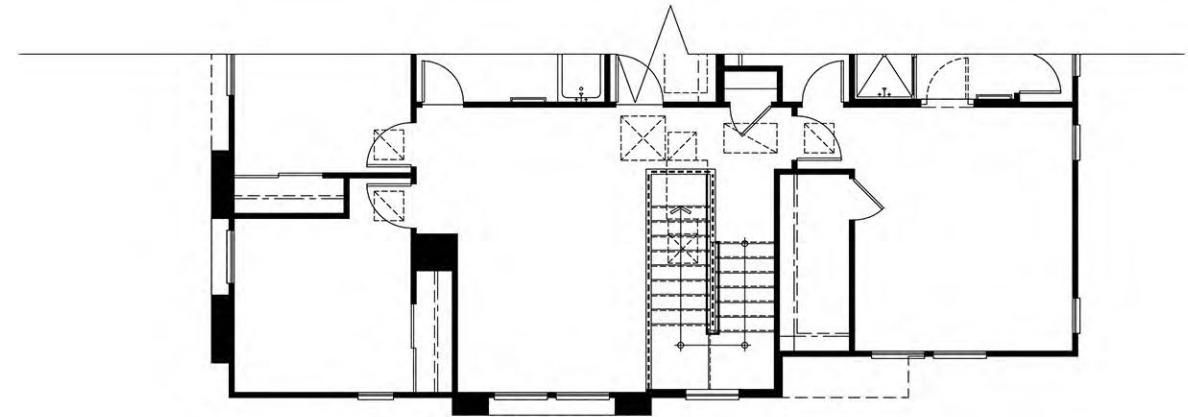


PLAN 4

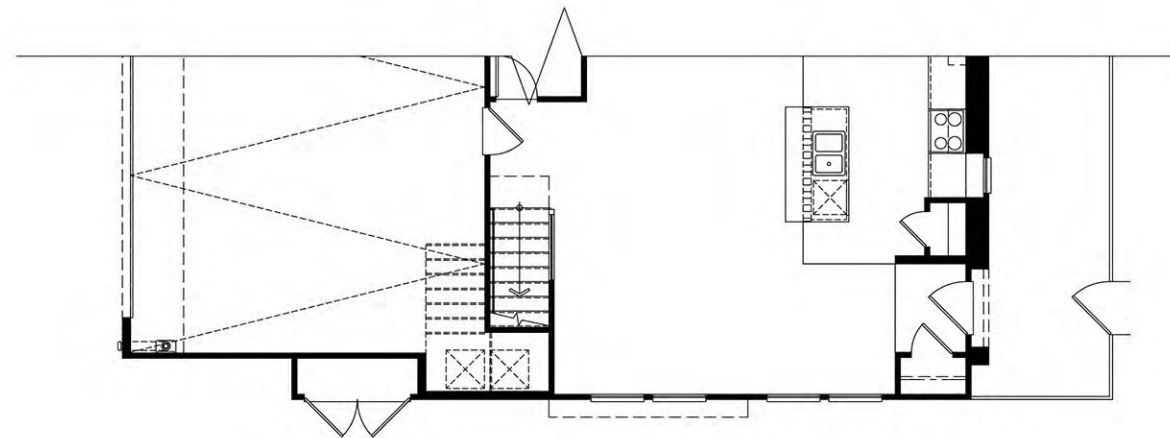
Right Elevation 'Spanish Colonial'



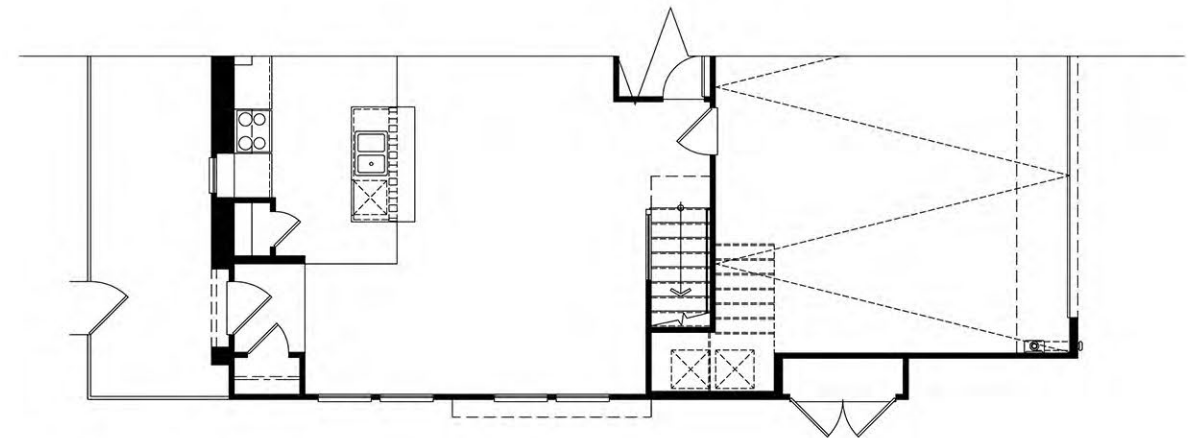
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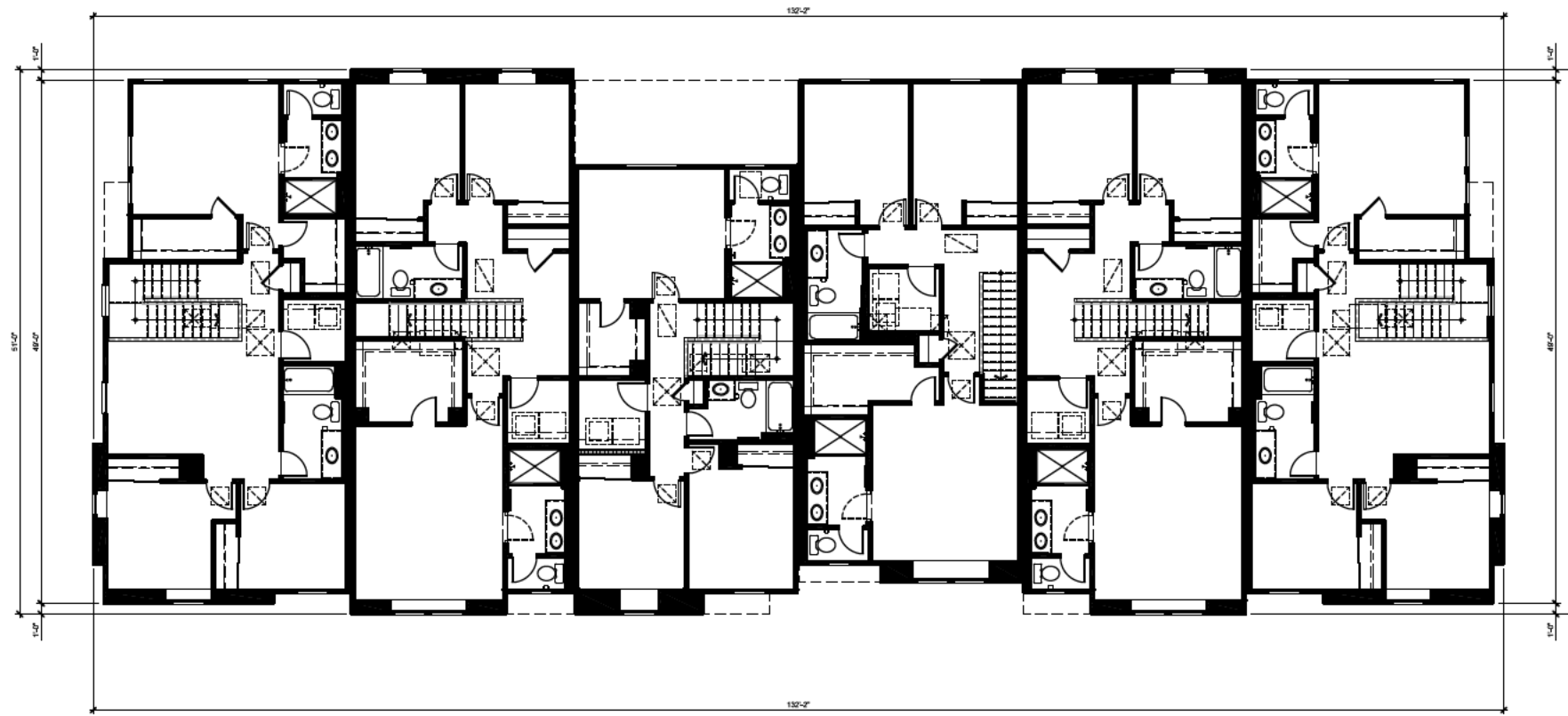
Partial Second Floor Plan



Partial First Floor Plan

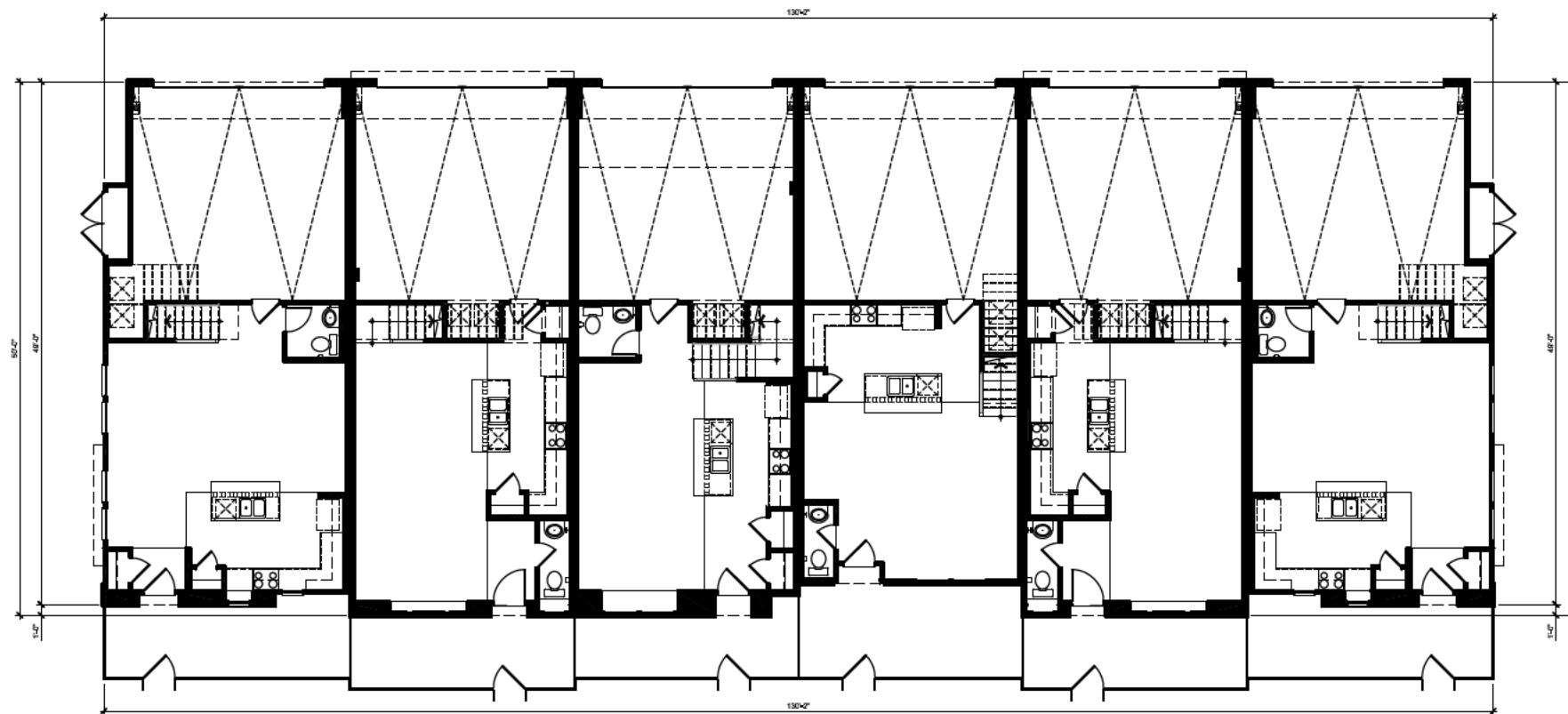


Partial First Floor Plan



PLAN 4      PLAN 3      PLAN 1      PLAN 2      PLAN 3      PLAN 4

Second Floor Plan 'Country French'



PLAN 4      PLAN 3      PLAN 1      PLAN 2      PLAN 3      PLAN 4

First Floor Plan 'Country French'



KB Home Southern California/Inland Empire  
 36310 Inland Valley Drive  
 Wildomar, CA 92595  
 (951) 691-5300  
 ONTARIO, CA

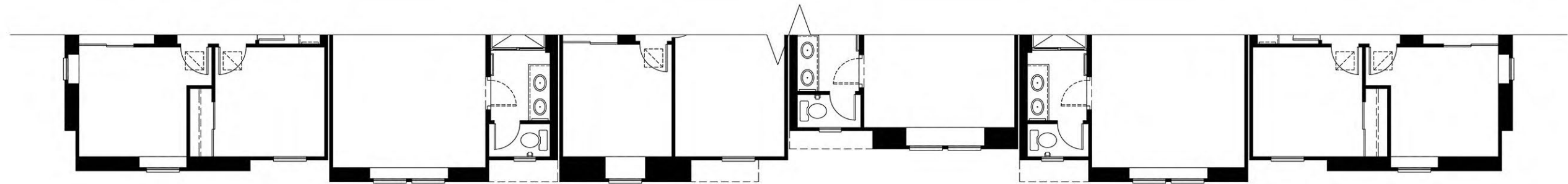
ESPERANZA ROW TOWNHOMES  
 TENTATIVE TRACT MAP 20158

BUILDING TYPE 01

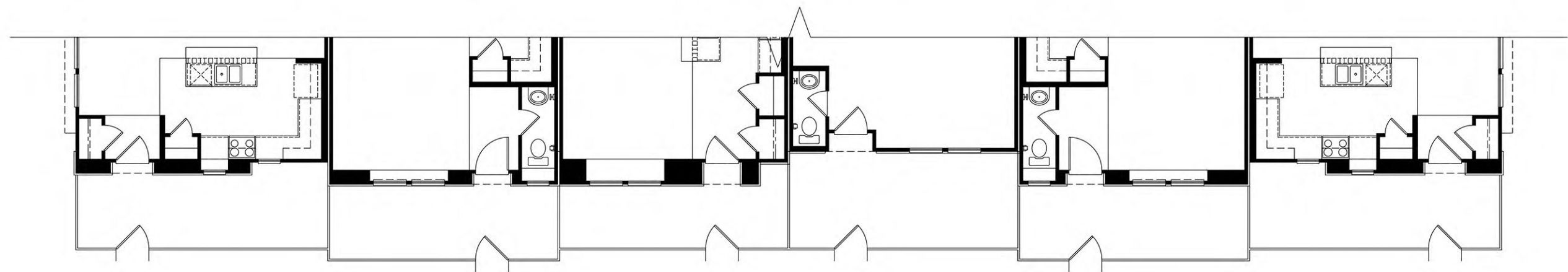
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 STORY: Two  
 Rev. May 16, 2022



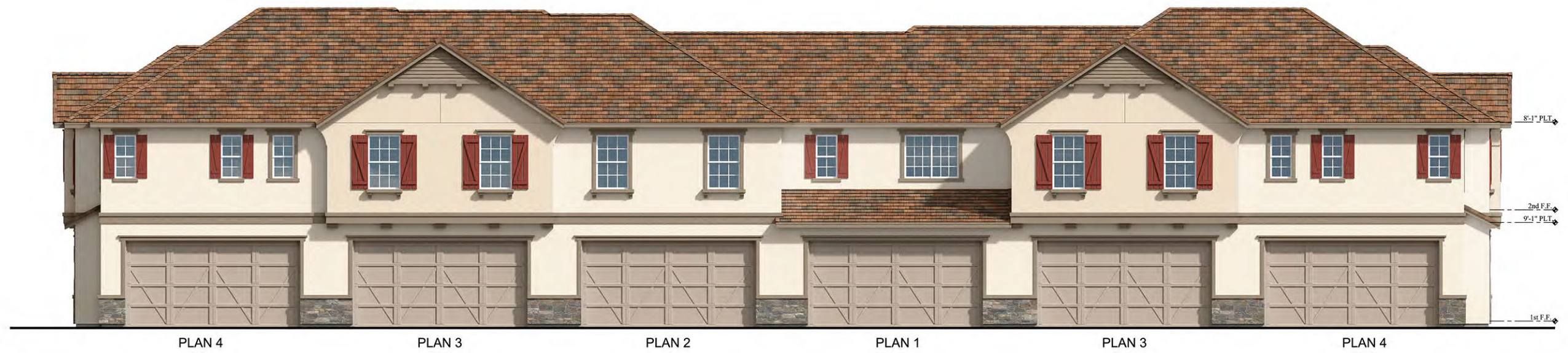
Front Elevation 'Country French'



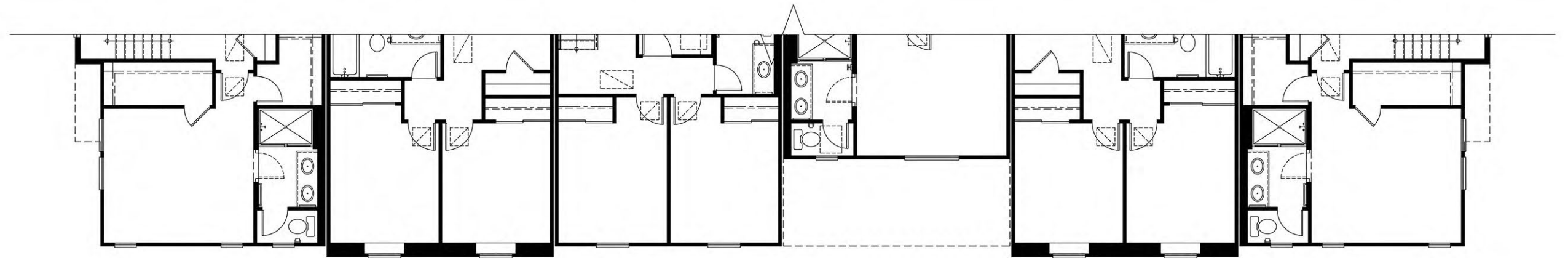
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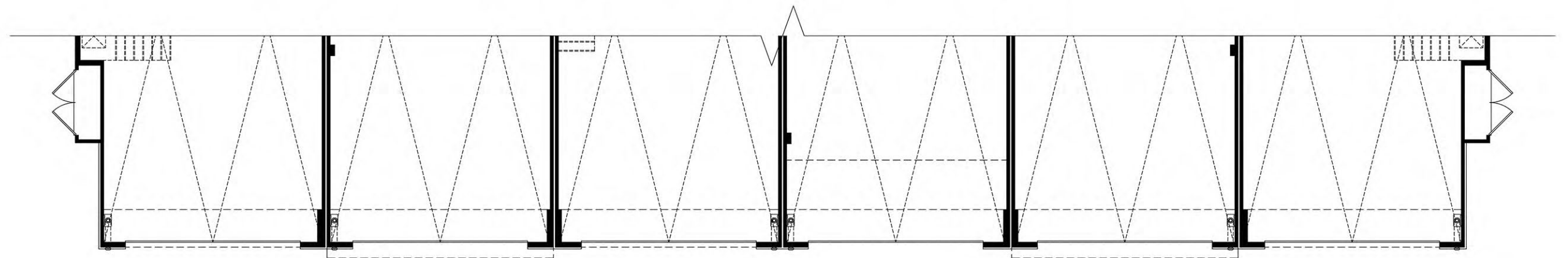
Partial First Floor Plan



Rear Elevation 'Country French'



Partial Second Floor Plan



Partial First Floor Plan



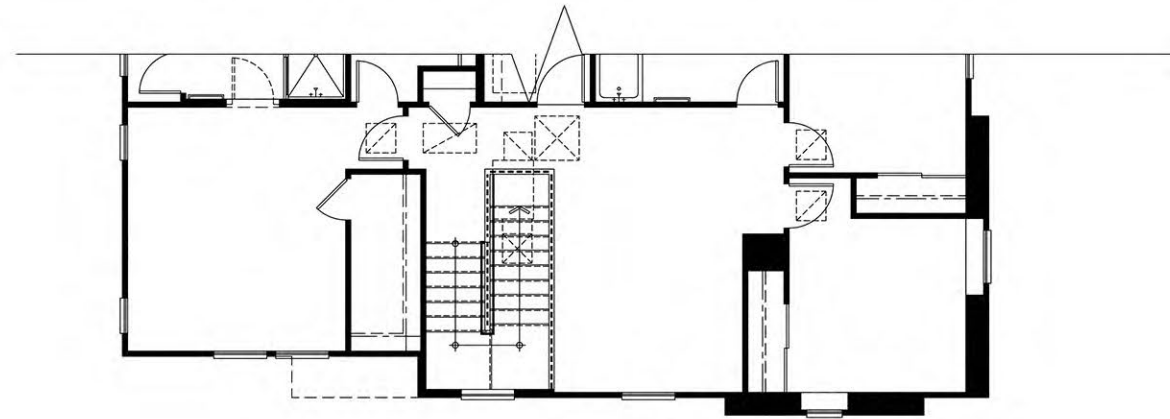
PLAN 4

Left Elevation 'Country French'

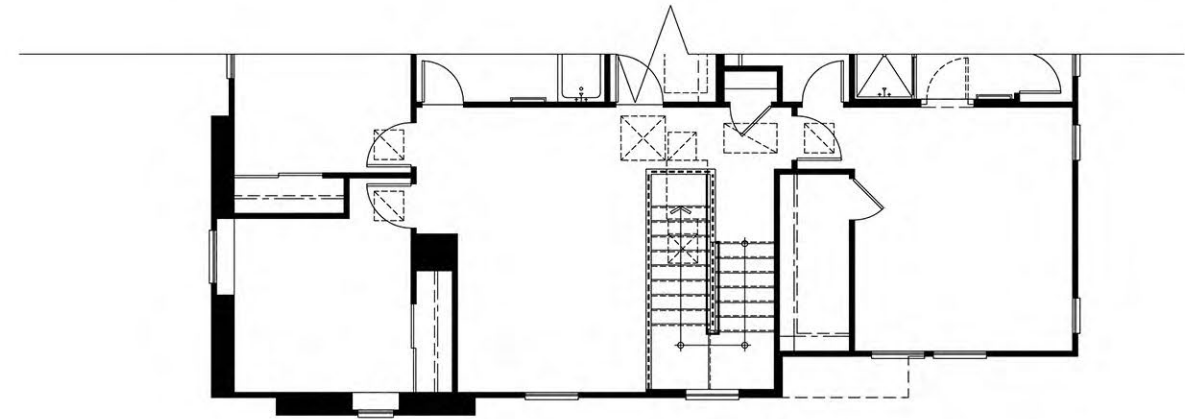


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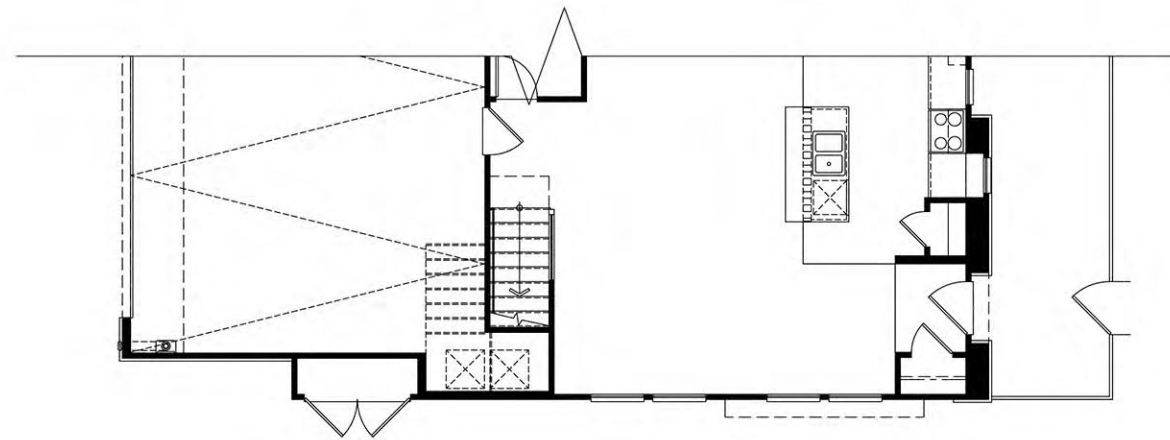
Right Elevation 'Country French'



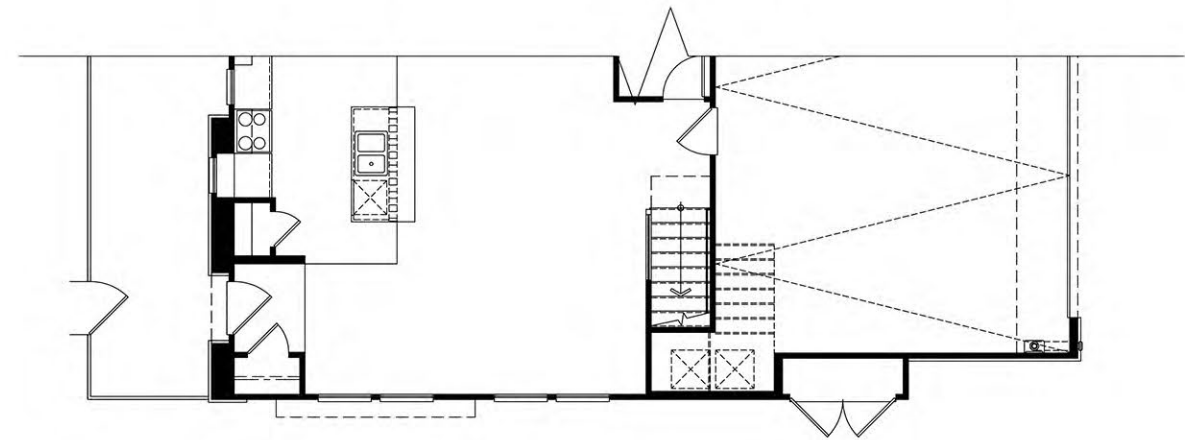
Partial Second Floor Plan



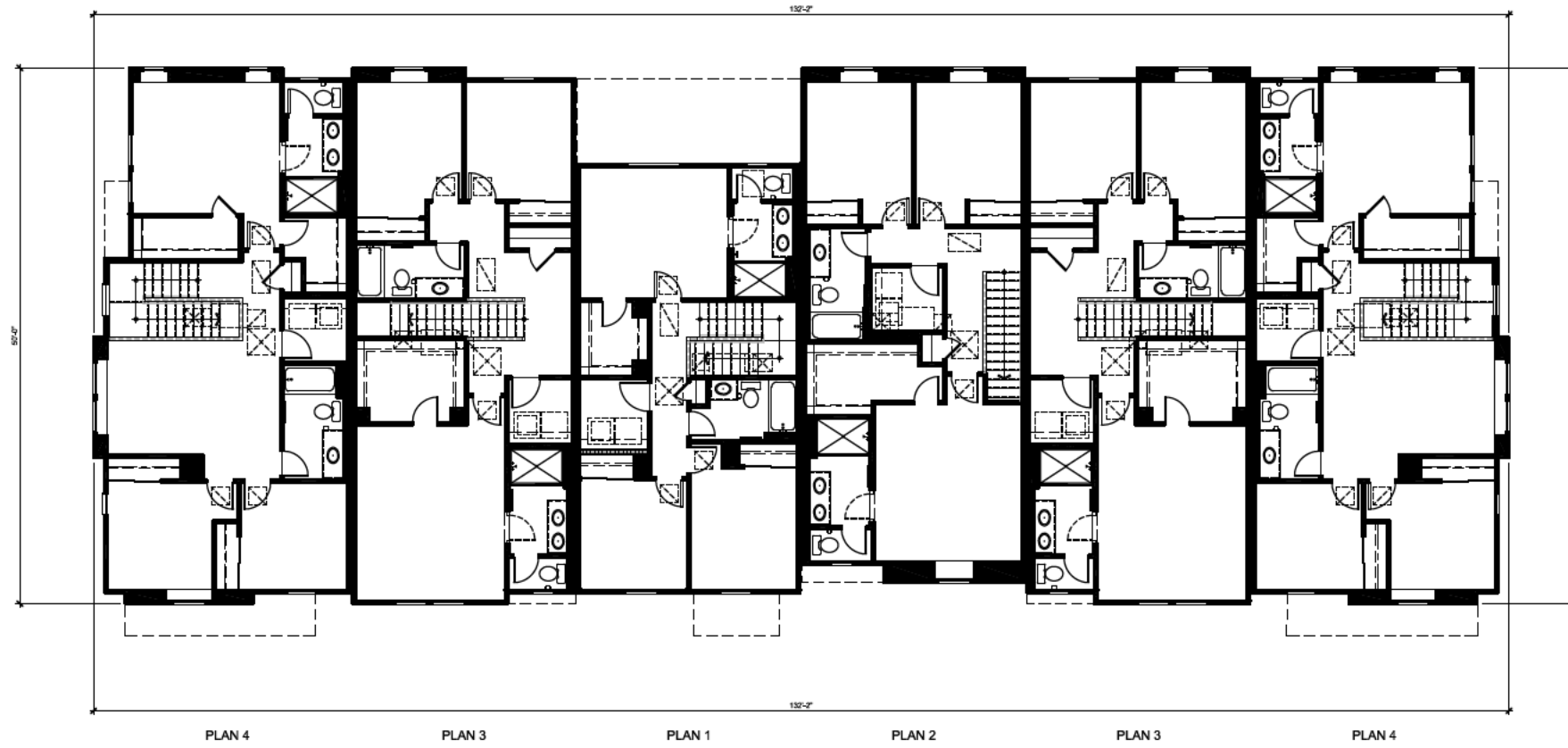
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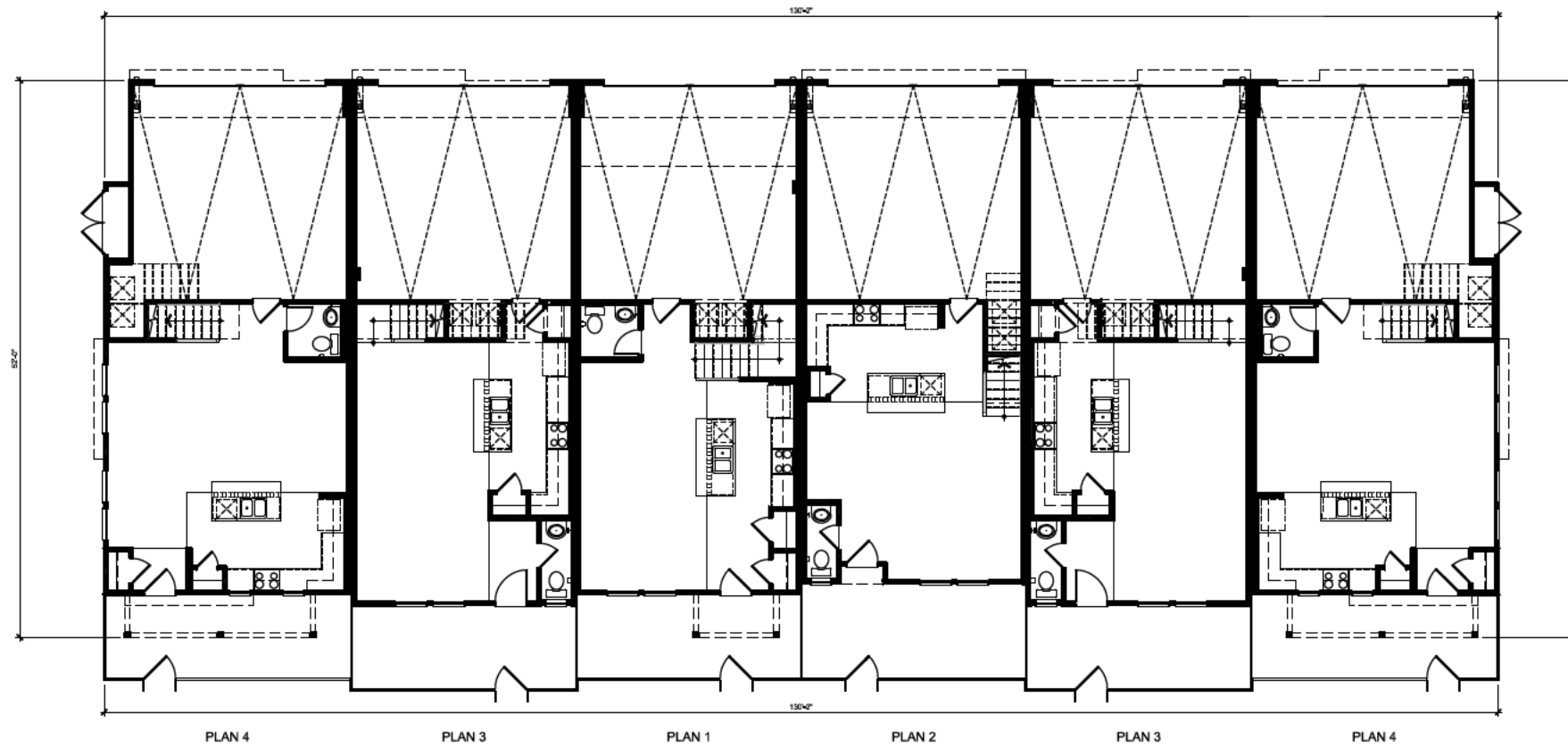
Partial First Floor Plan



Partial First Floor Plan



Second Floor Plan 'Western Ranch'



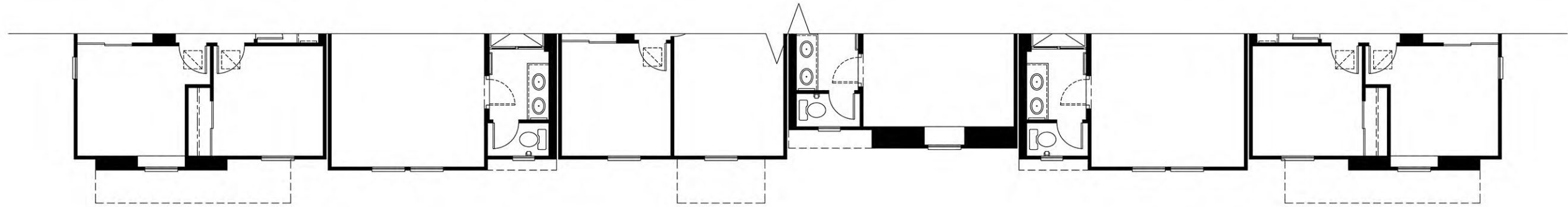
First Floor Plan 'Western Ranch'



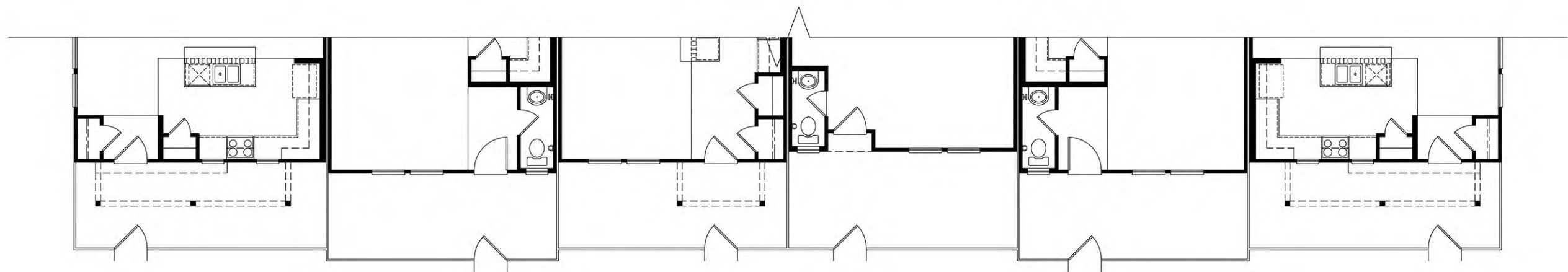




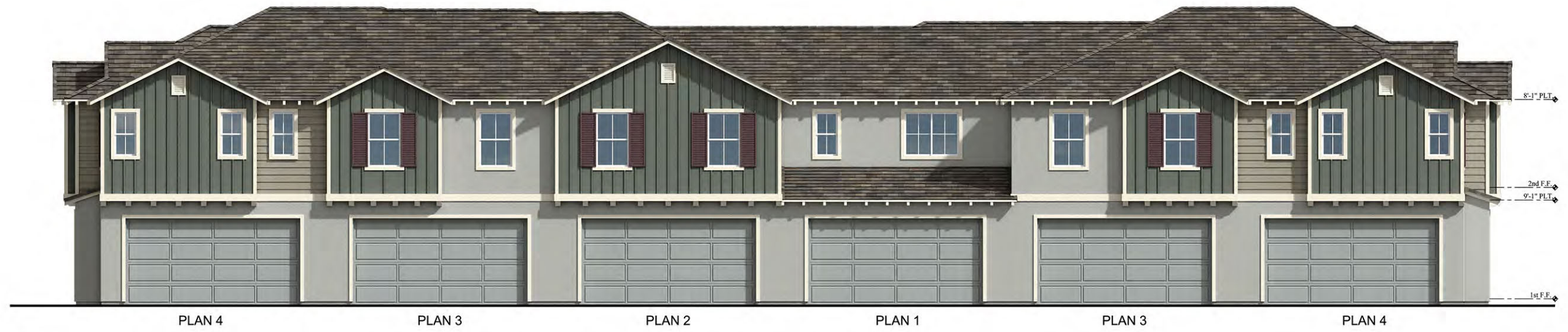
Front Elevation 'Western Ranch'



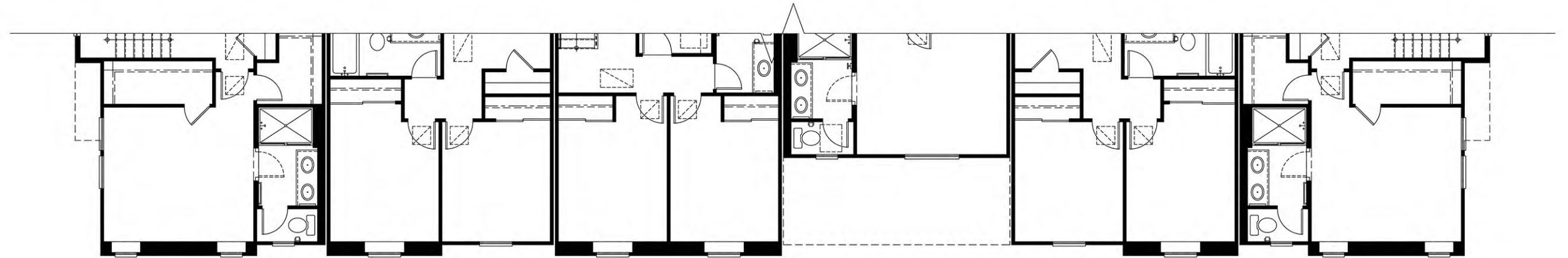
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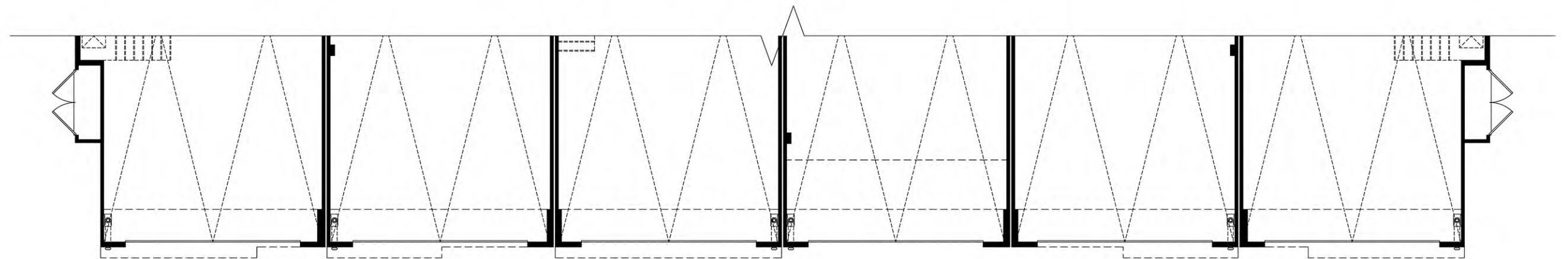
Partial First Floor Plan



Rear Elevation 'Western Ranch'



Partial Second Floor Plan



Partial First Floor Plan



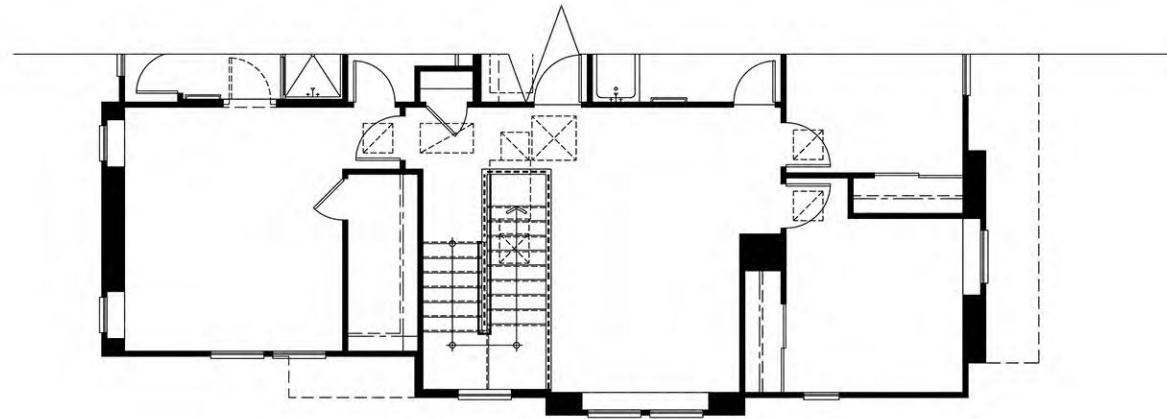
PLAN 4

Left Elevation 'Western Ranch'

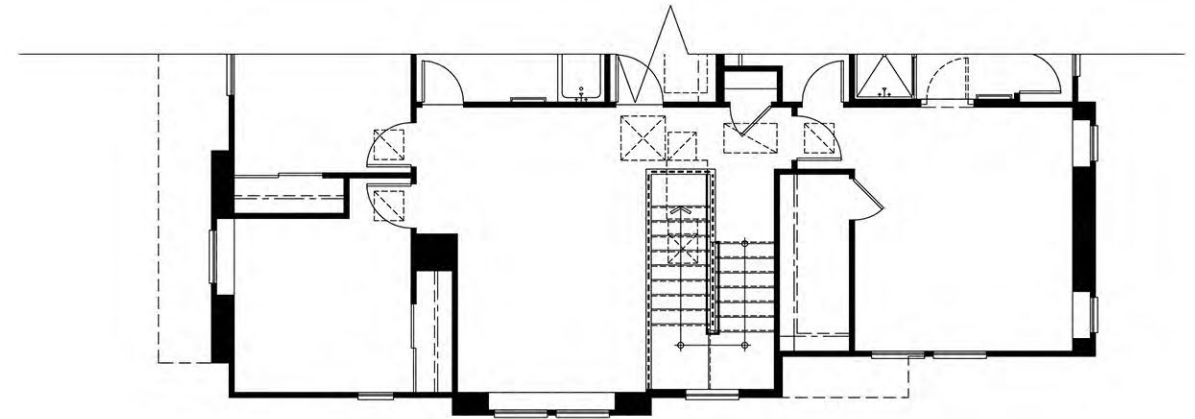


PLAN 4

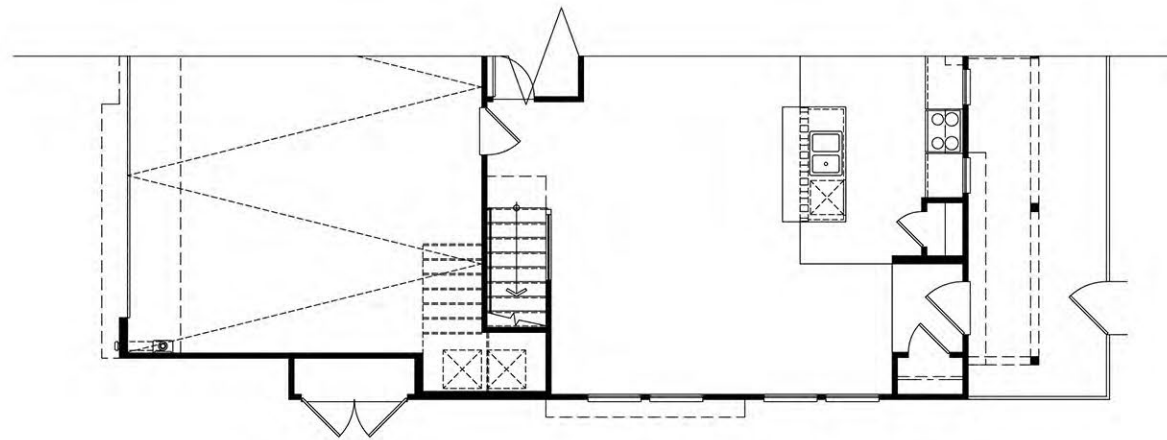
Right Elevation 'Western Ranch'



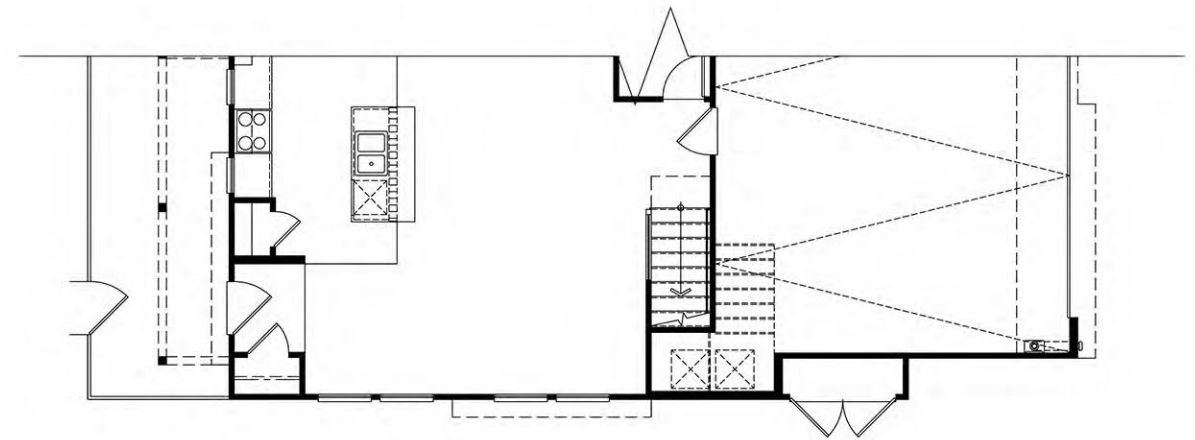
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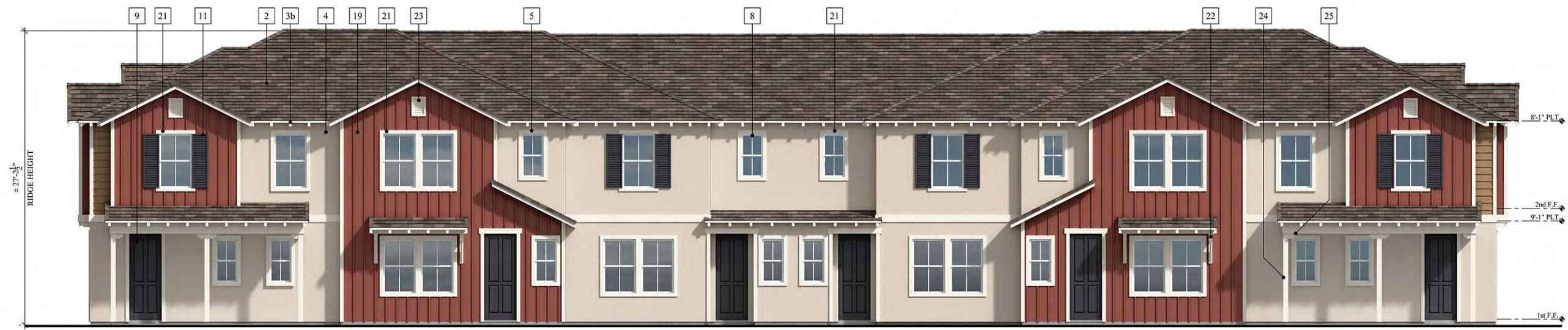
Partial Second Floor Plan



Partial First Floor Plan



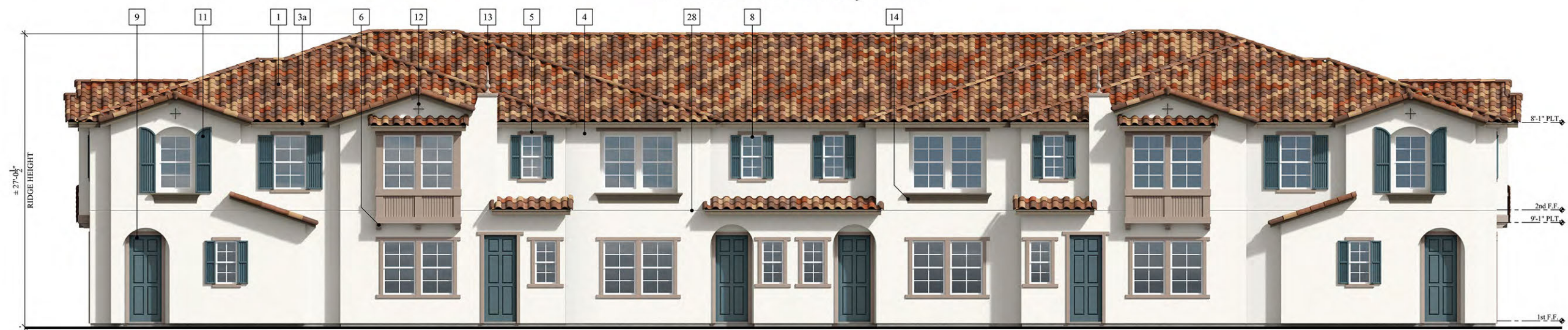
Partial First Floor Plan



PLAN 4 PLAN 3 PLAN 2 PLAN 2 PLAN 3 PLAN 4  
**Front Elevation 'Western Ranch'**



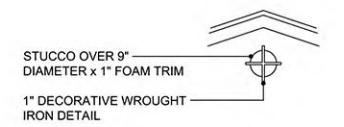
PLAN 4 PLAN 3 PLAN 2 PLAN 2 PLAN 3 PLAN 4  
**Front Elevation 'Country French'**

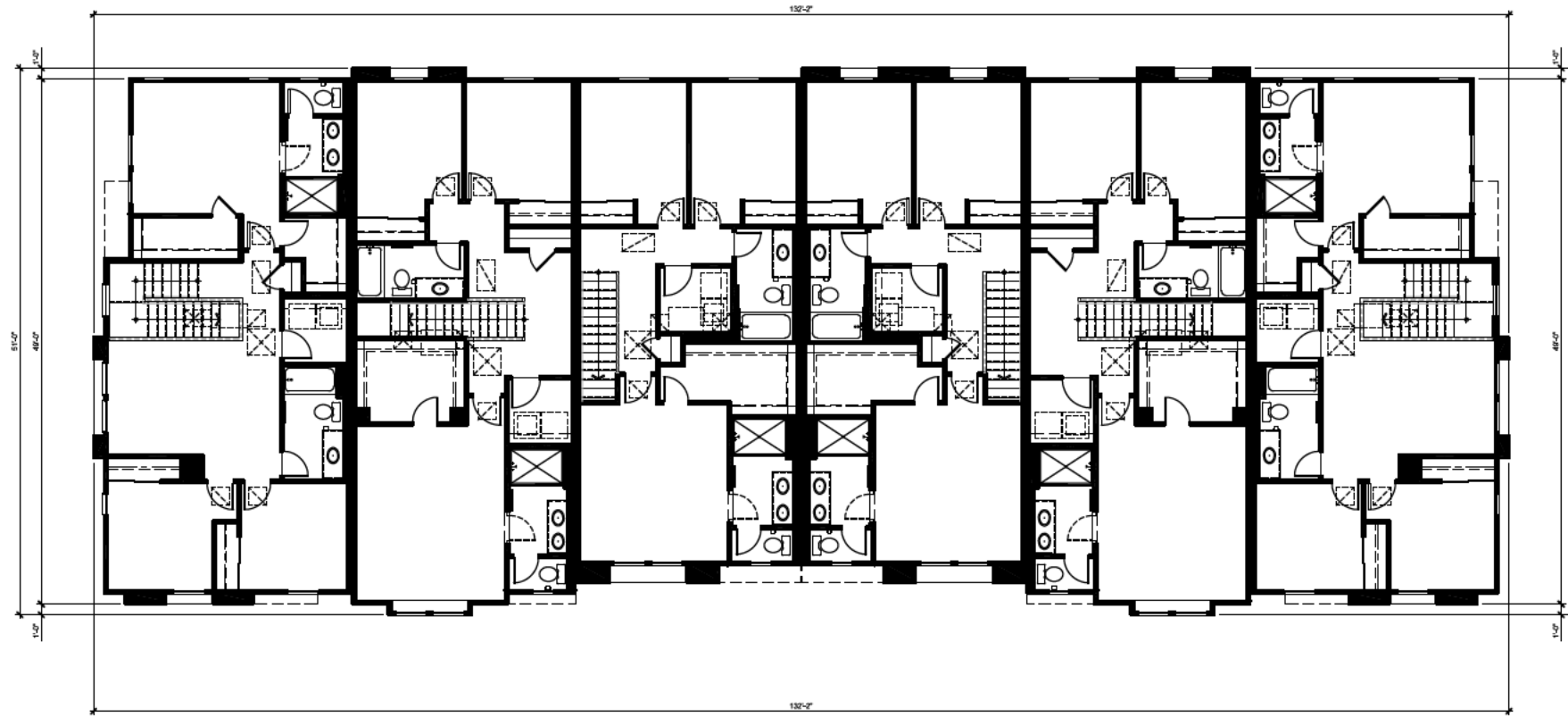


PLAN 4 PLAN 3 PLAN 2 PLAN 2 PLAN 3 PLAN 4  
**Front Elevation 'Spanish Colonial'**

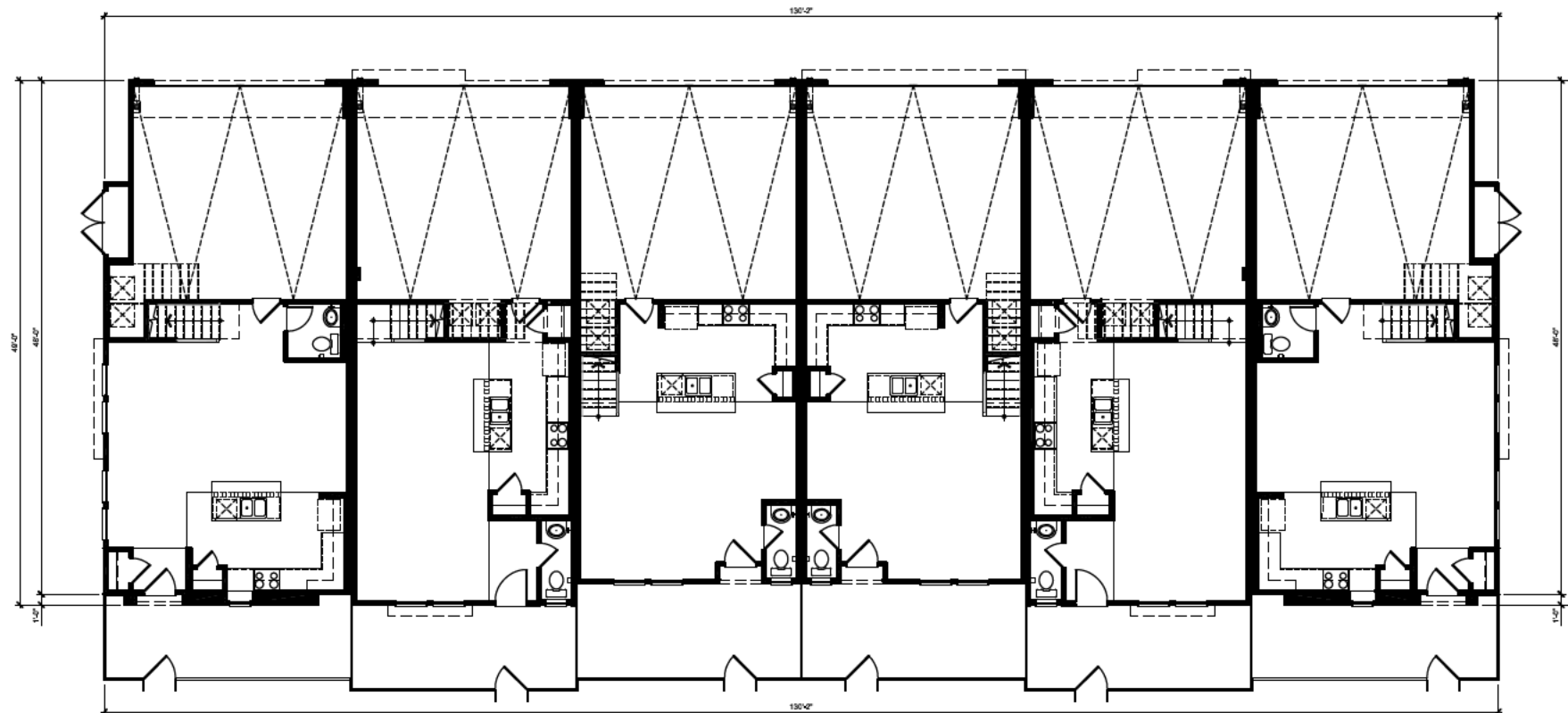
**ELEVATION LEGEND**

- 1 CONCRETE 'S' TILE ROOFING
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- 9 COMPOSITE ENTRY DOOR - THERMA-TRU SMOOTH-STAR SERIES
- 10 METAL SECTIONAL GARAGE DOOR - WAYNE DALTON MODEL NO. 9100
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- 12 DECORATIVE GABLE END DETAIL
- 13 DECORATIVE FINIAL
- 14 DECORATIVE WROUGHT IRON POT SHELF
- 15 STUCCO POT SHELF
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- 29 STUCCO CHANNEL





Second Floor Plan 'Spanish Colonial'

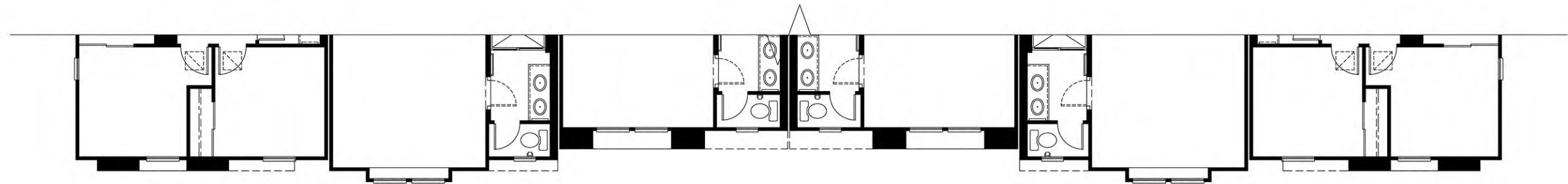


First Floor Plan 'Spanish Colonial'

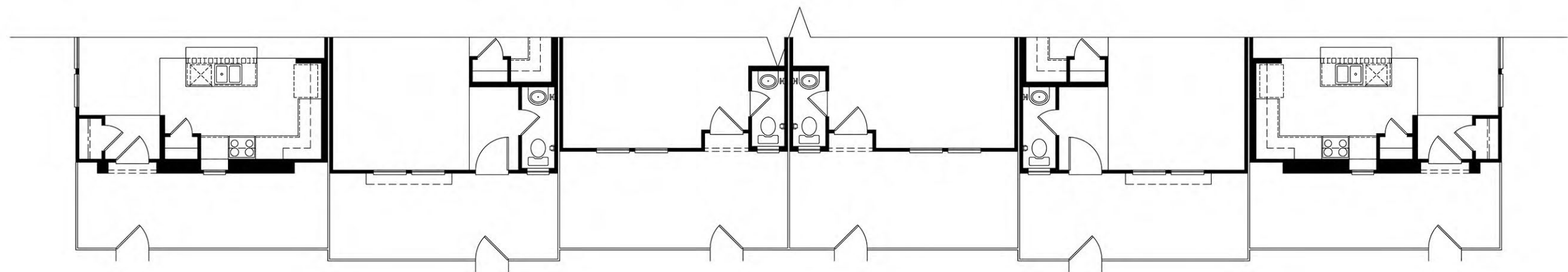




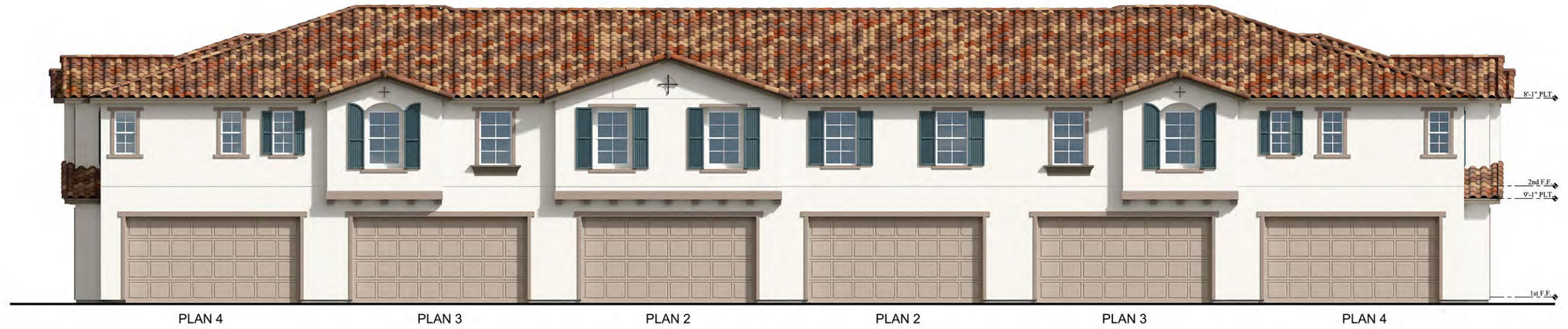
Front Elevation 'Spanish Colonial'



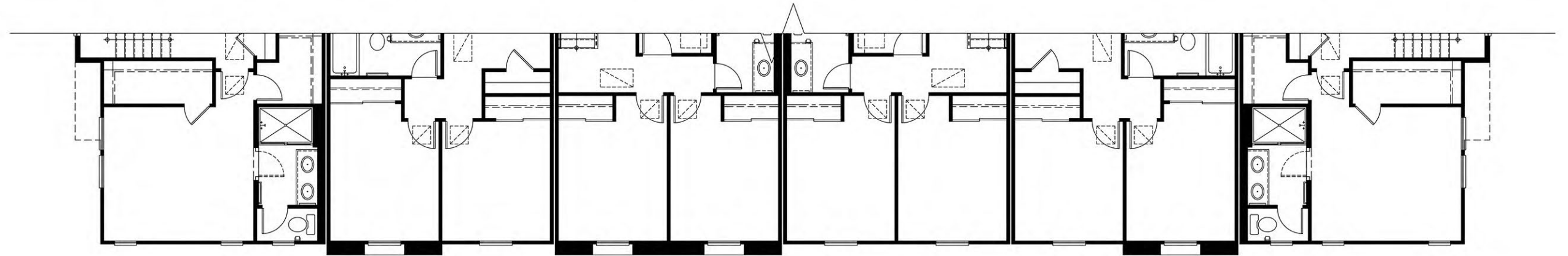
Partial Second Floor Plan



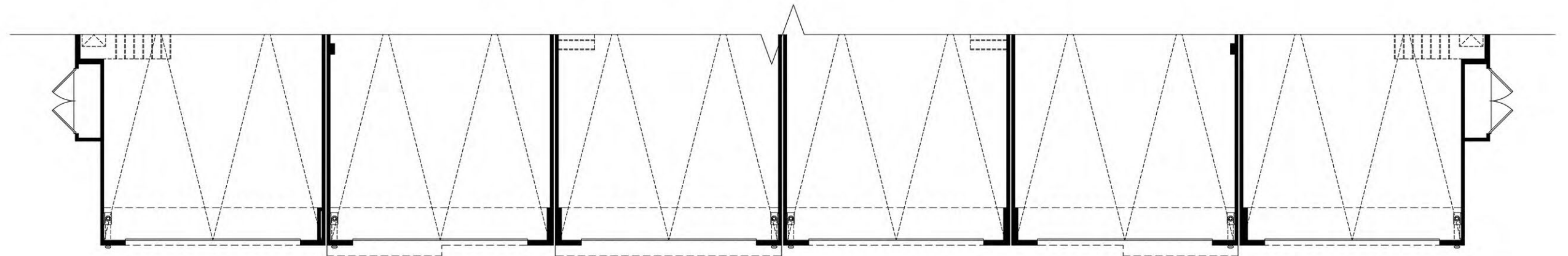
Partial First Floor Plan



Rear Elevation 'Spanish Colonial'



Partial Second Floor Plan



Partial First Floor Plan



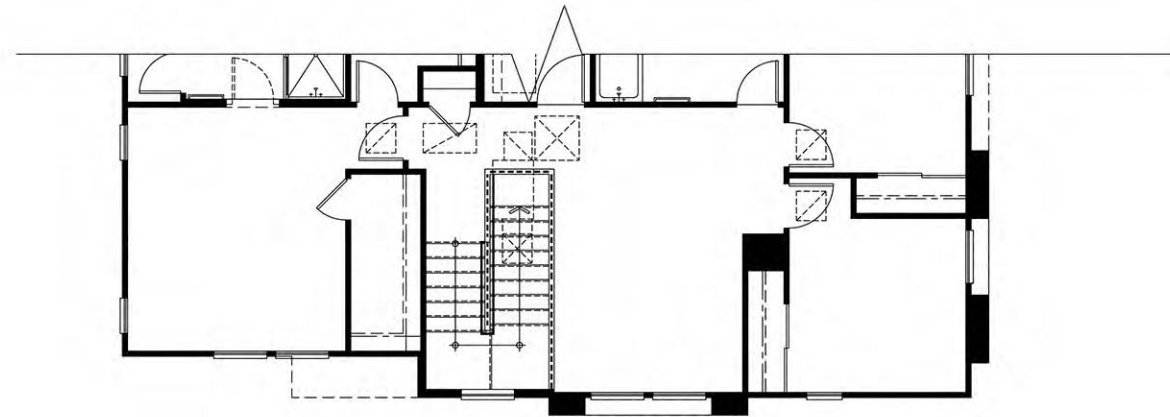
PLAN 4

Left Elevation 'Spanish Colonial'

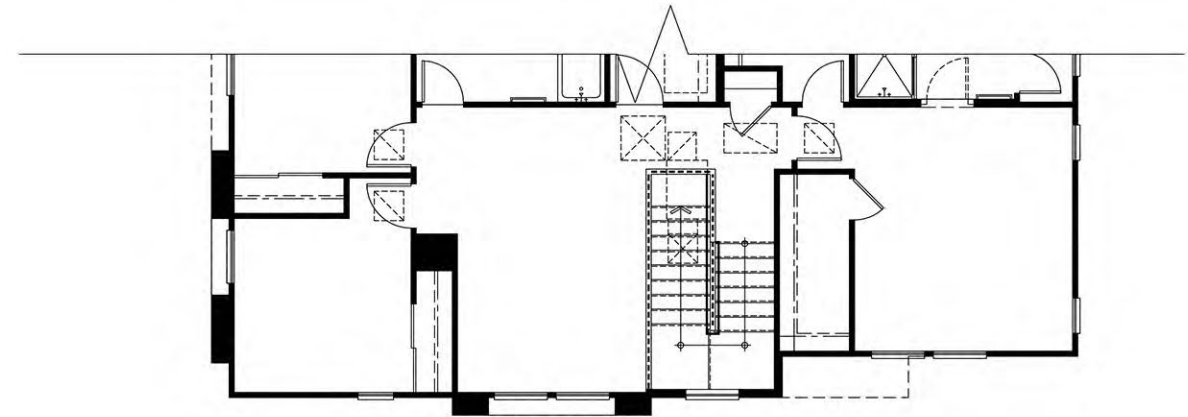


PLAN 4

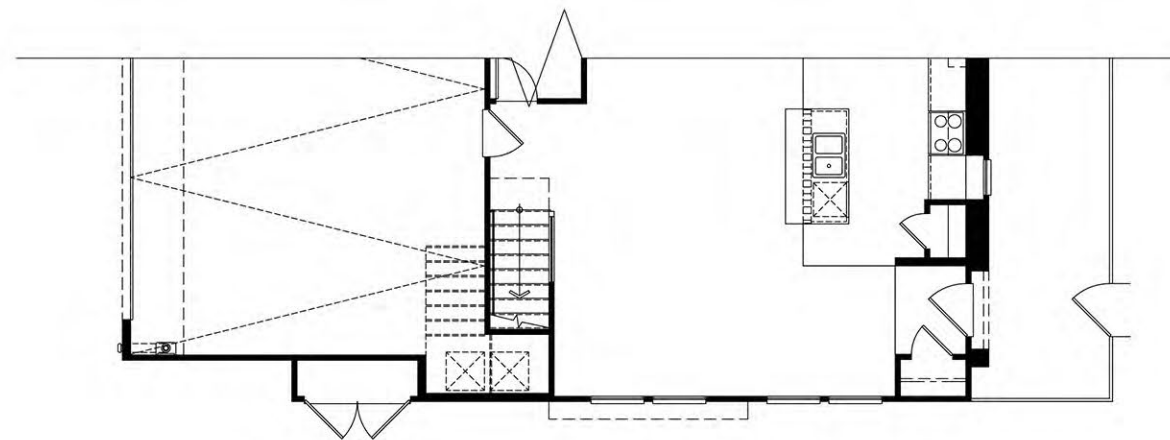
Right Elevation 'Spanish Colonial'



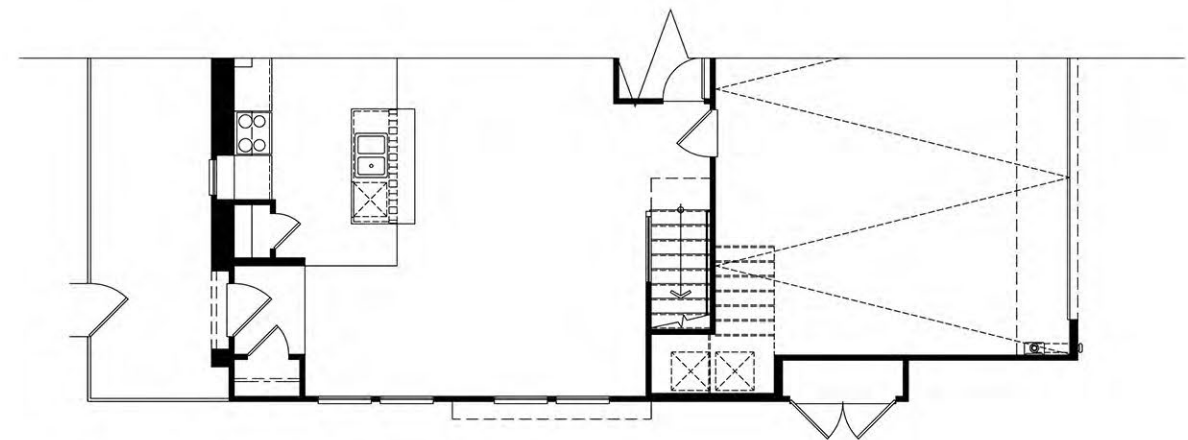
Partial Second Floor Plan



Partial Second Floor Plan

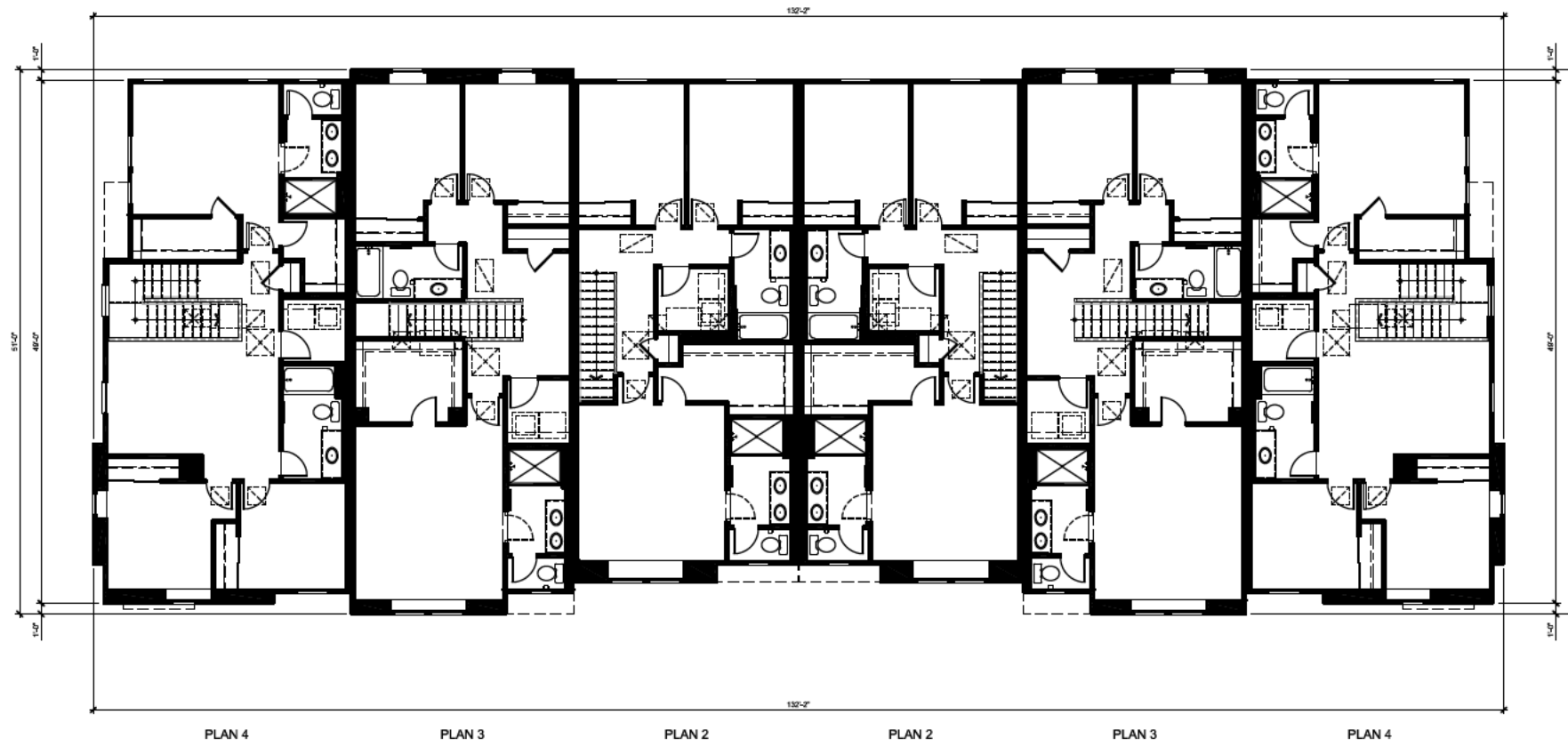


Partial First Floor Plan

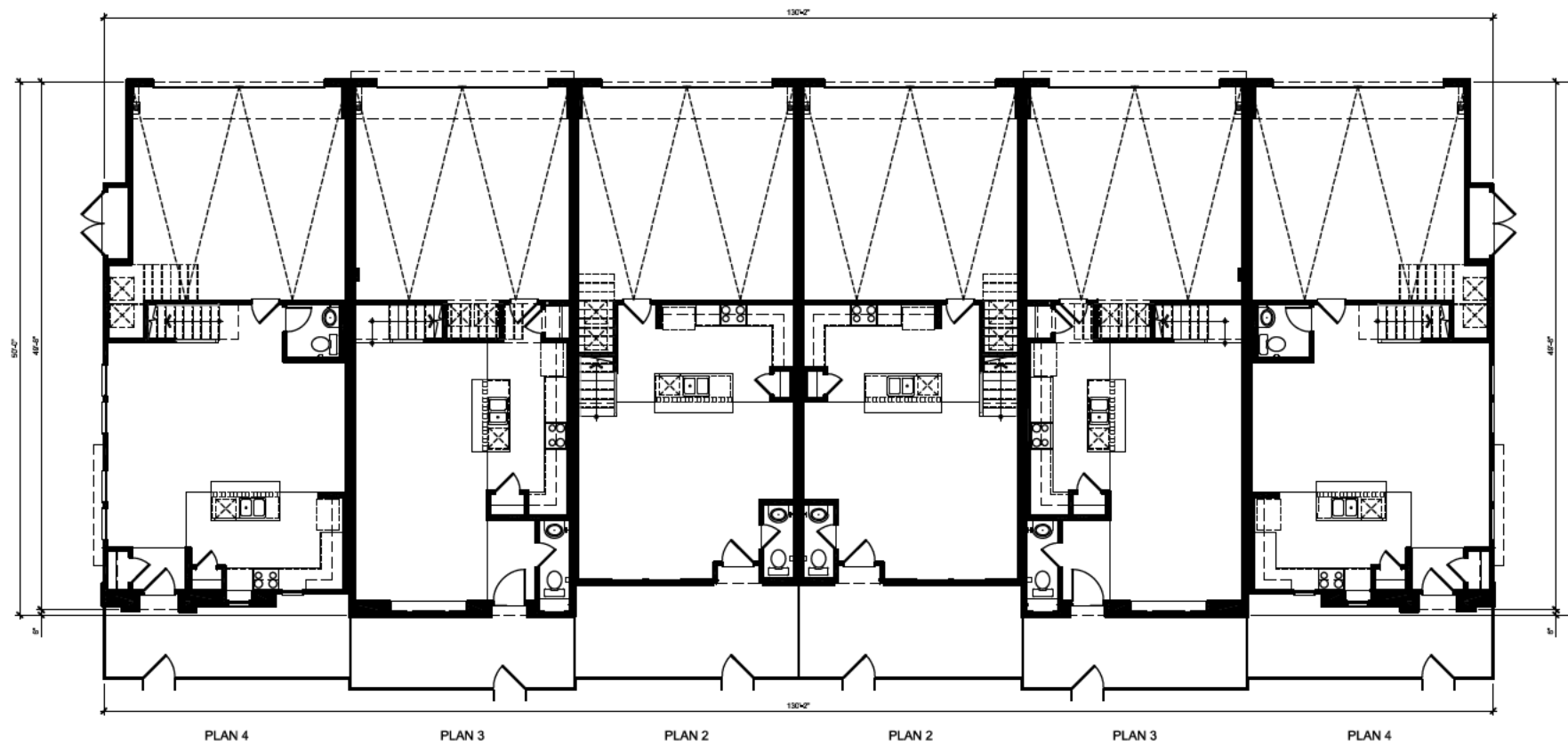


Partial First Floor Plan





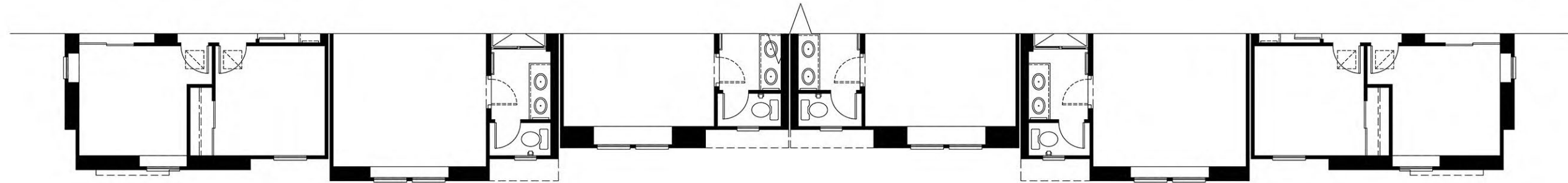
Second Floor Plan 'Country French'



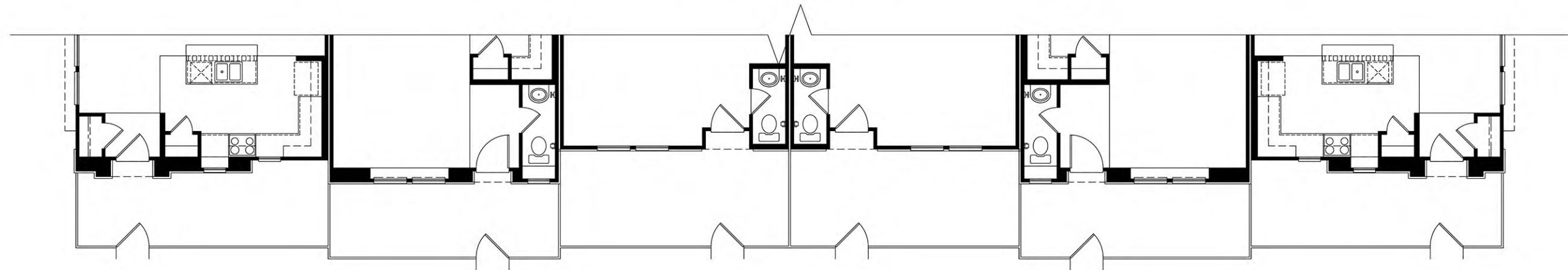
First Floor Plan 'Country French'



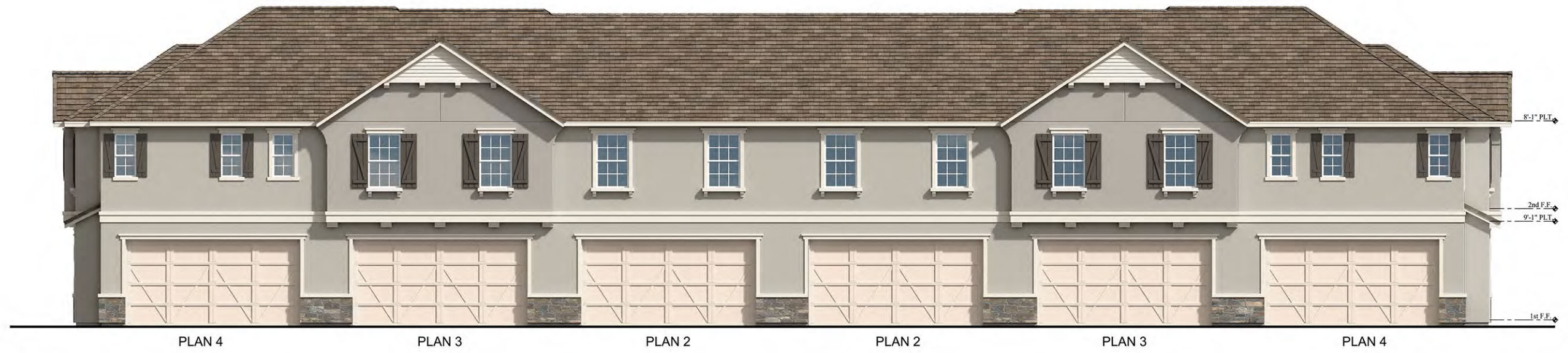
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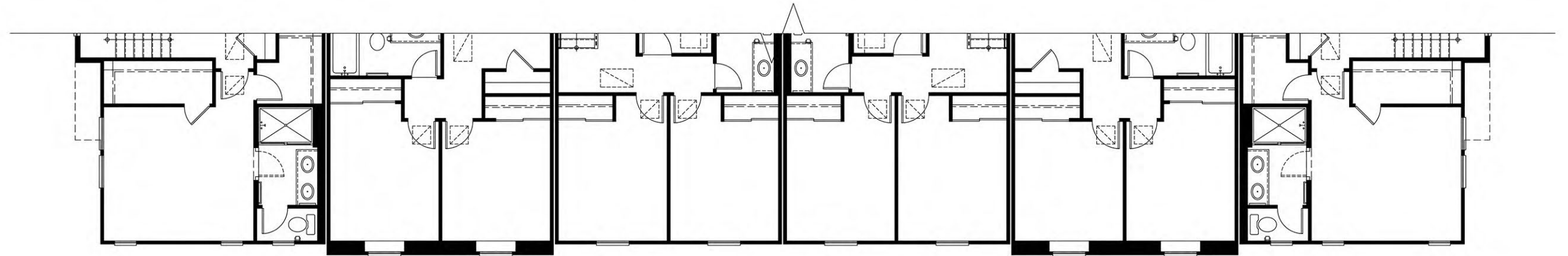
Partial Second Floor Plan



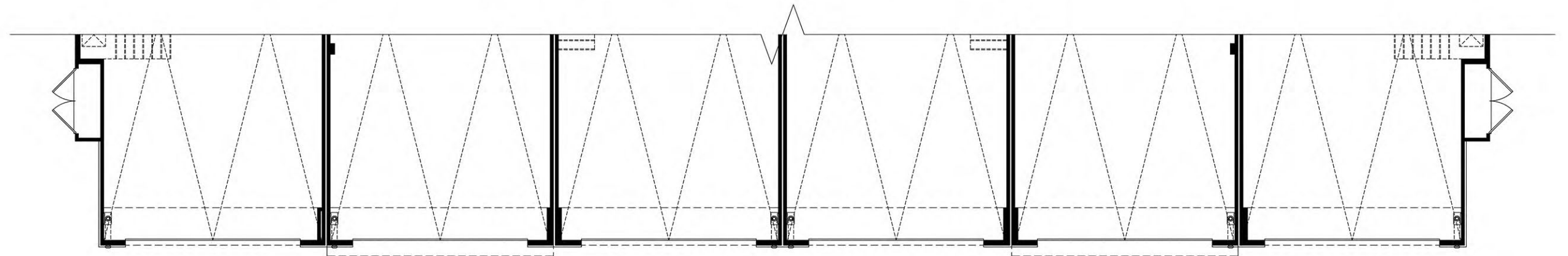
Partial First Floor Plan



Rear Elevation 'Country French'



Partial Second Floor Plan



Partial First Floor Plan



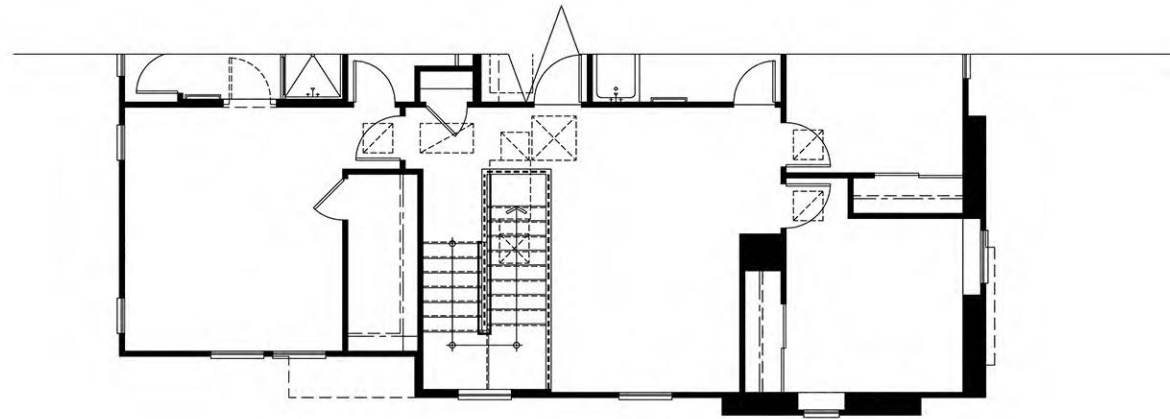
PLAN 4

Left Elevation 'Country French'

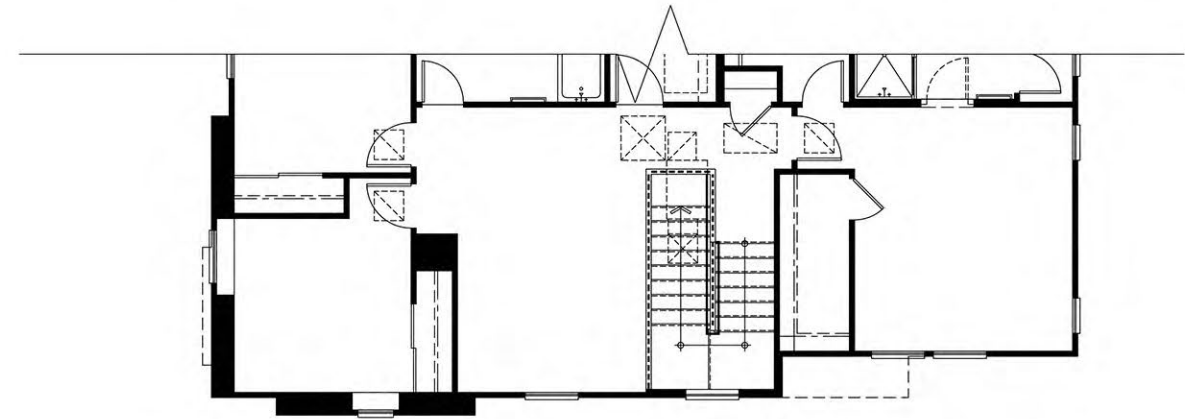


PLAN 4

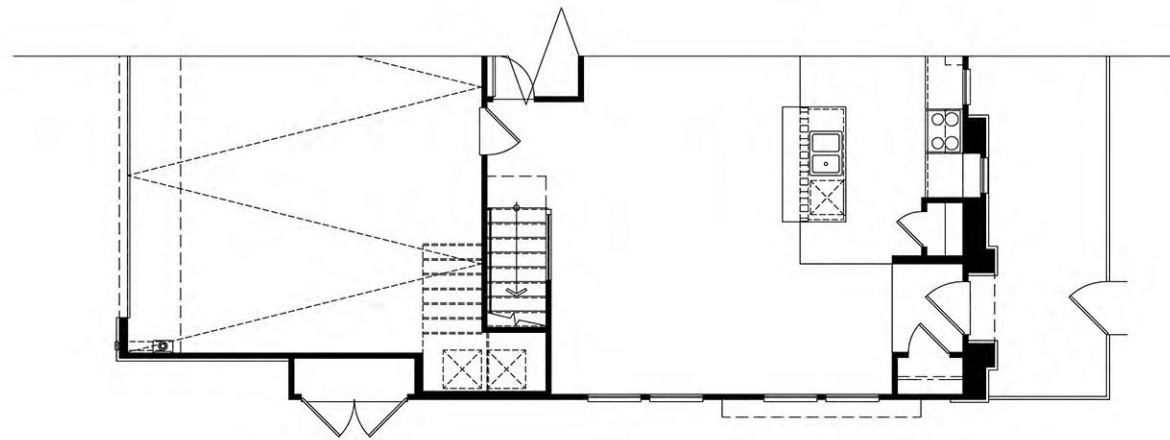
Right Elevation 'Country French'



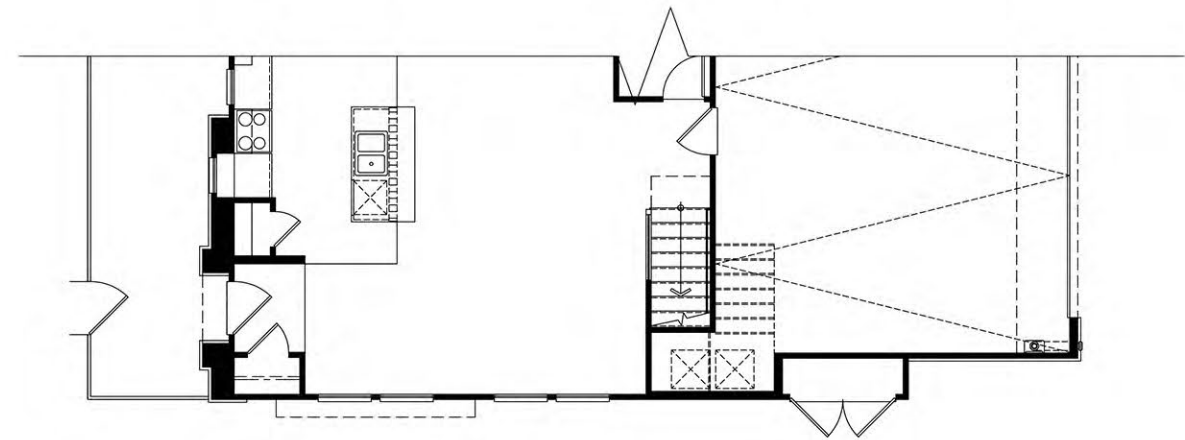
Partial Second Floor Plan



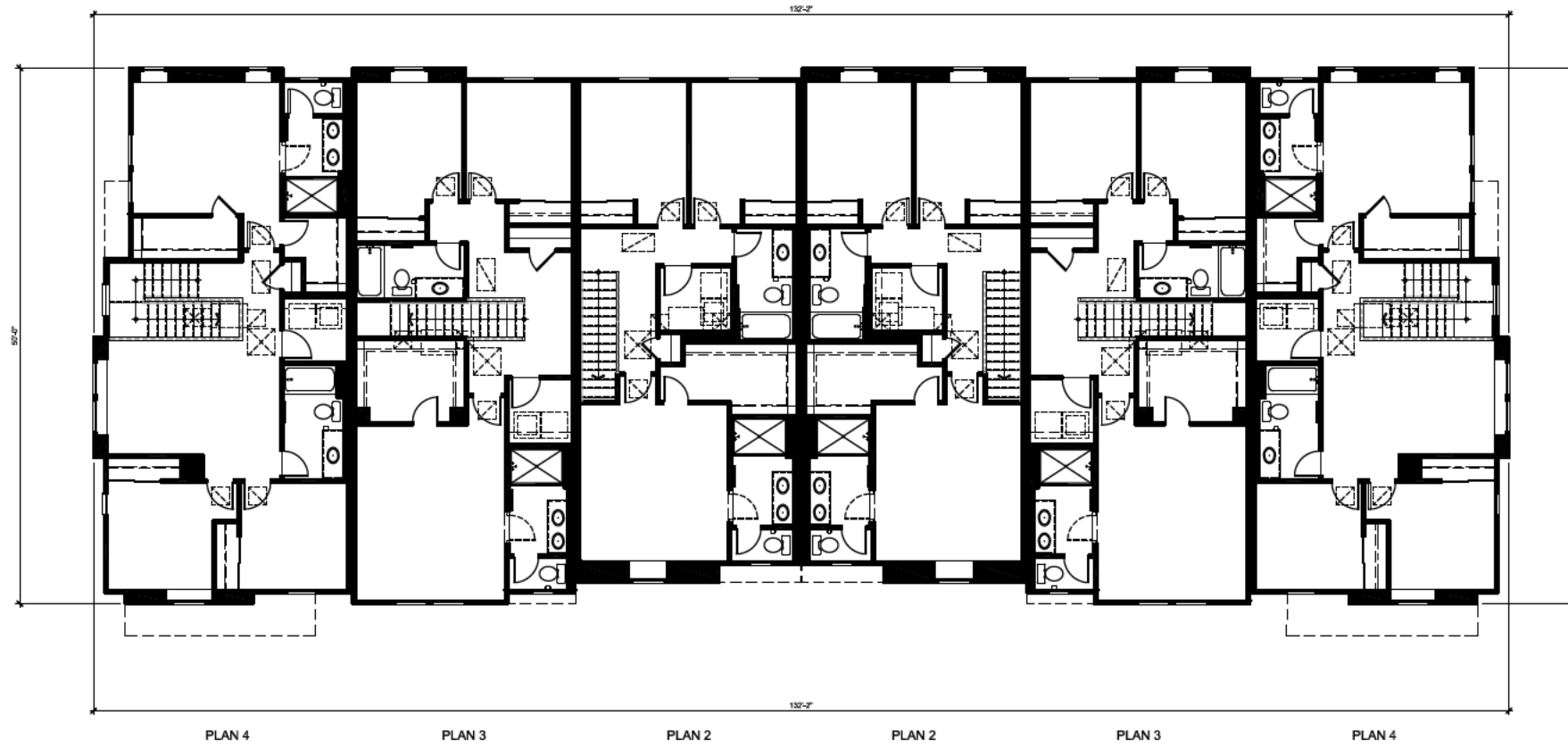
Partial Second Floor Plan



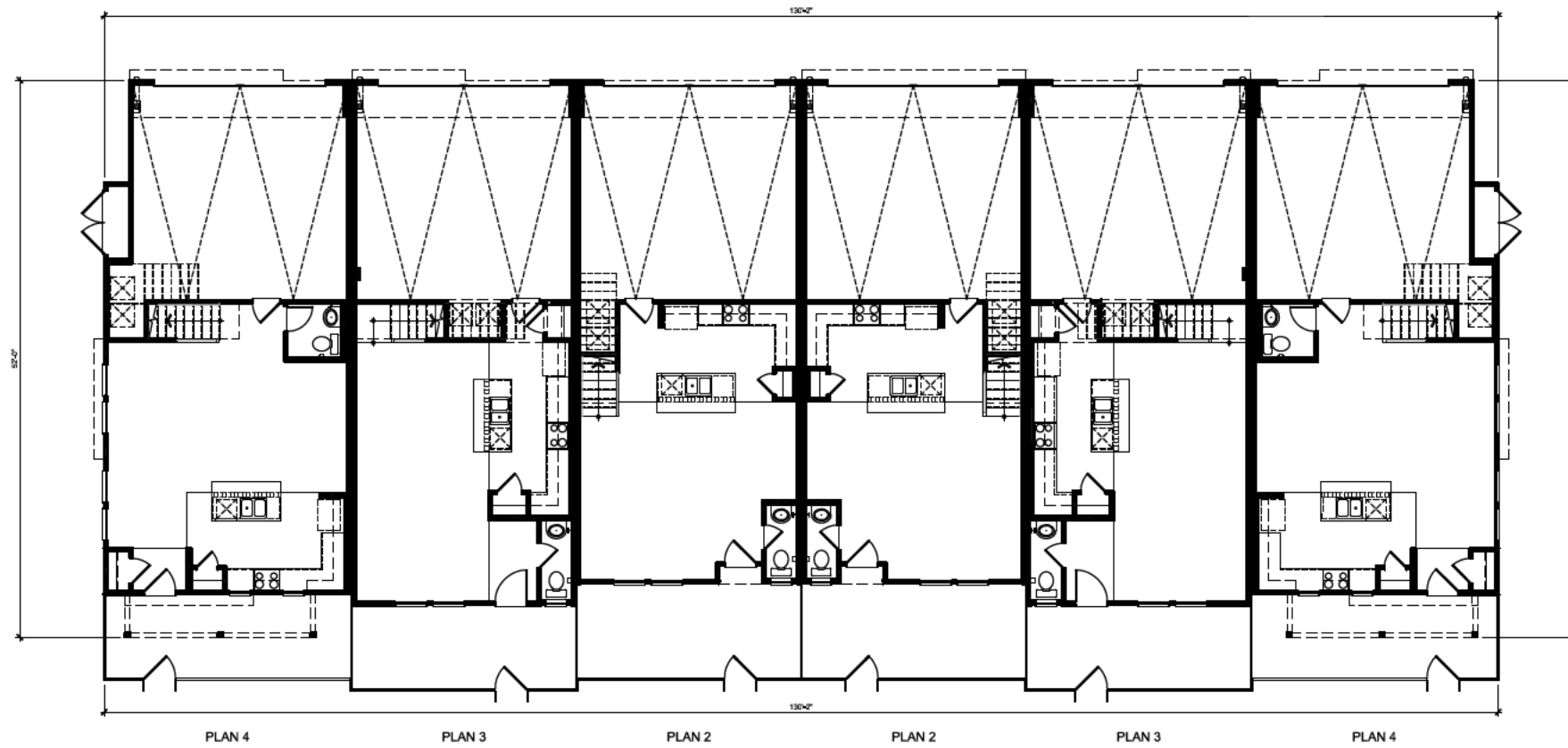
Partial First Floor Plan



Partial First Floor Plan



Second Floor Plan 'Western Ranch'

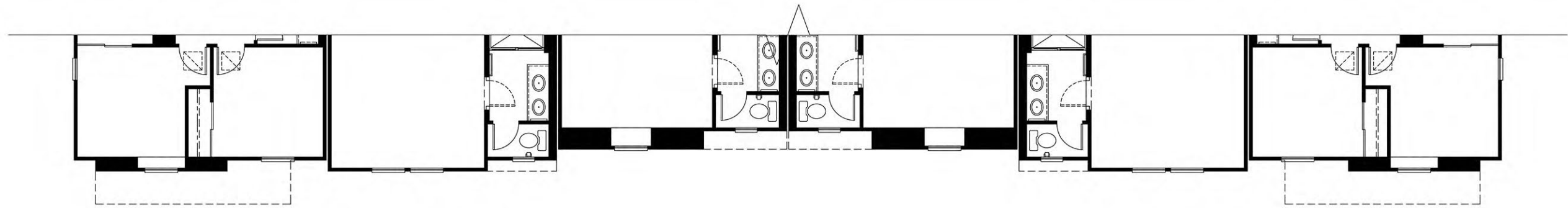


First Floor Plan 'Western Ranch'

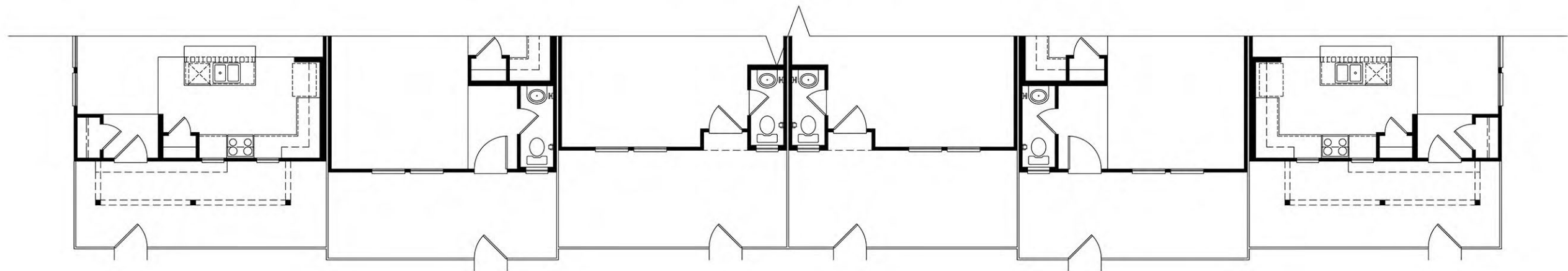




Front Elevation 'Western Ranch'



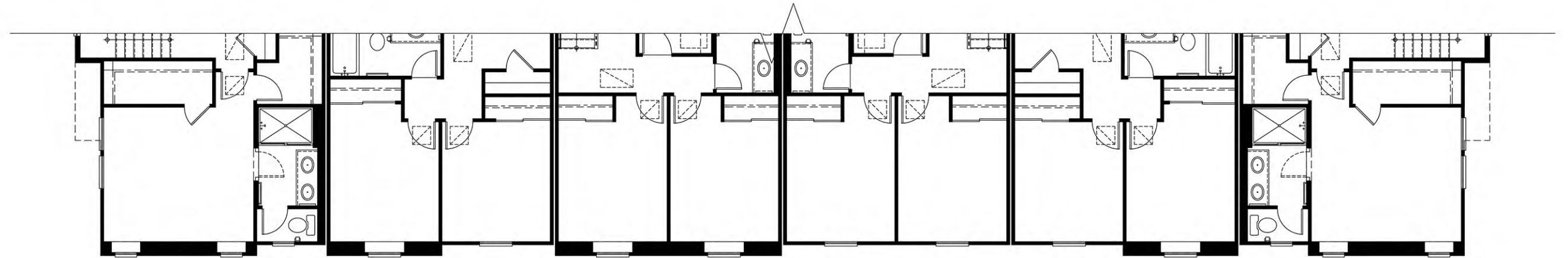
Partial Second Floor Plan



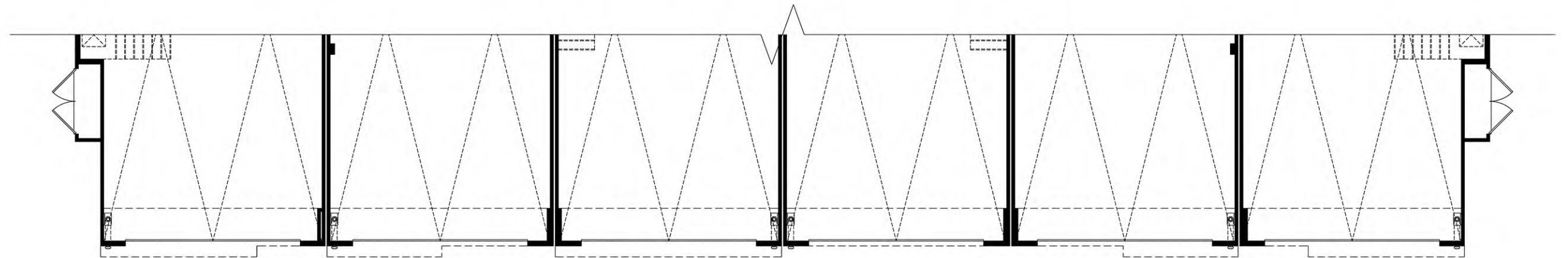
Partial First Floor Plan



Rear Elevation 'Western Ranch'



Partial Second Floor Plan



Partial First Floor Plan



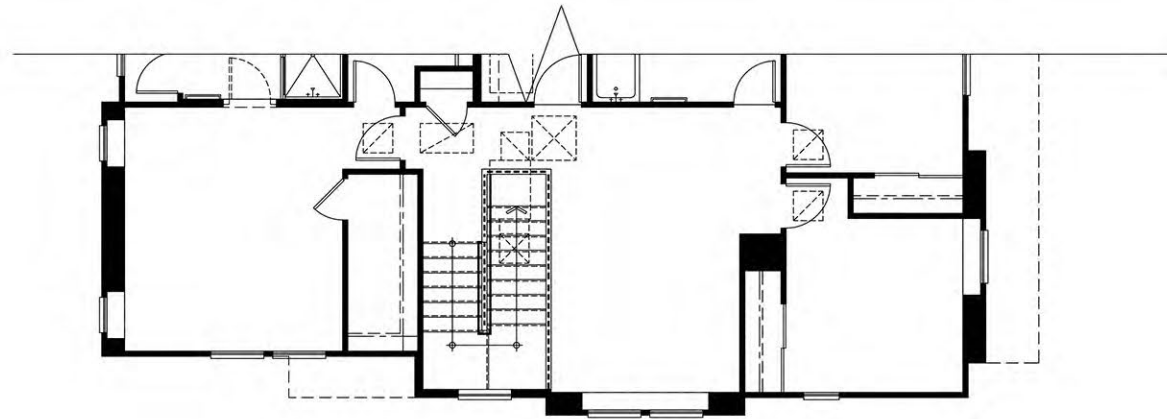
PLAN 4

Left Elevation 'Western Ranch'

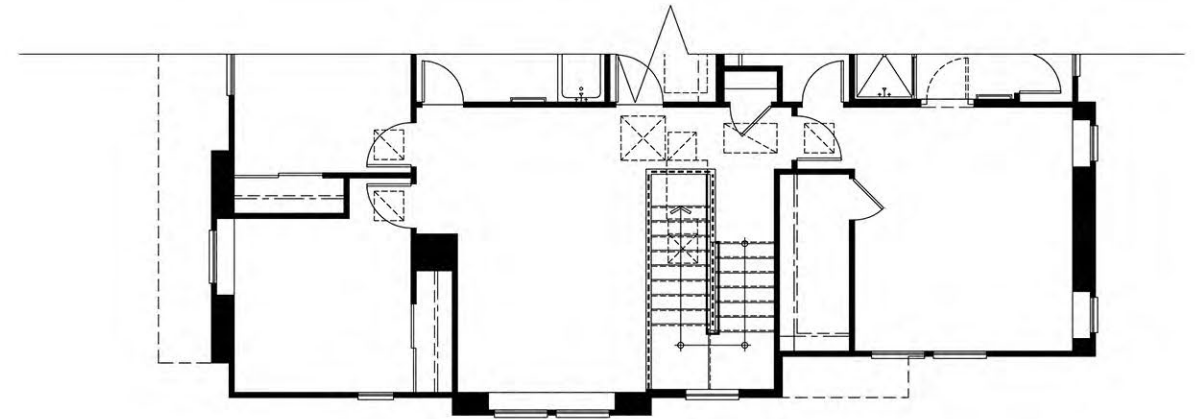


PLAN 4

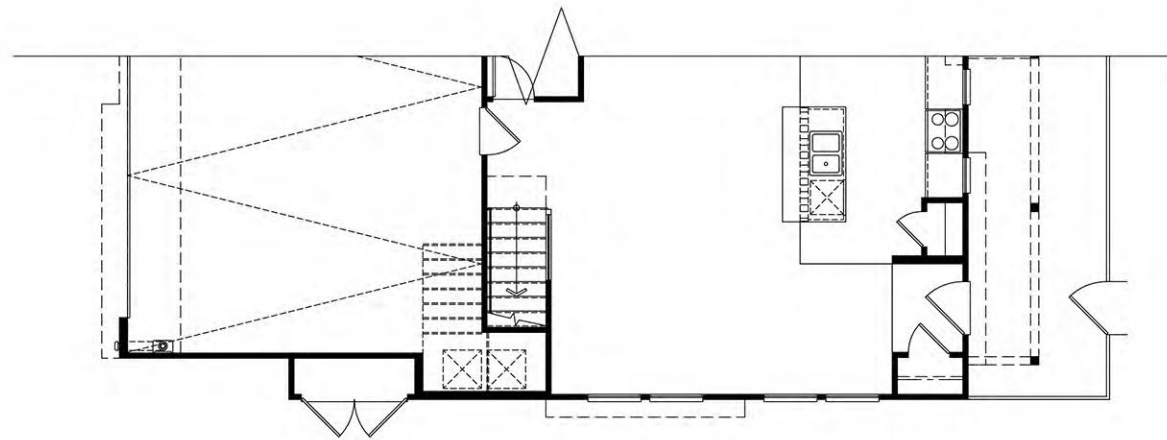
Right Elevation 'Western Ranch'



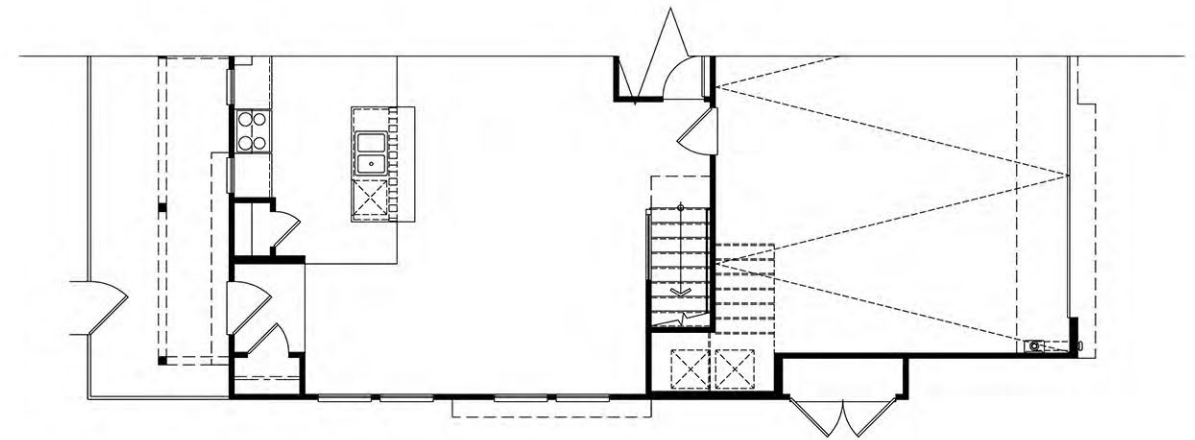
Partial Second Floor Plan



Partial Second Floor Plan



Partial First Floor Plan

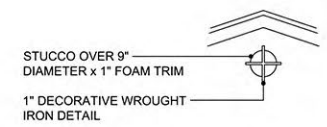
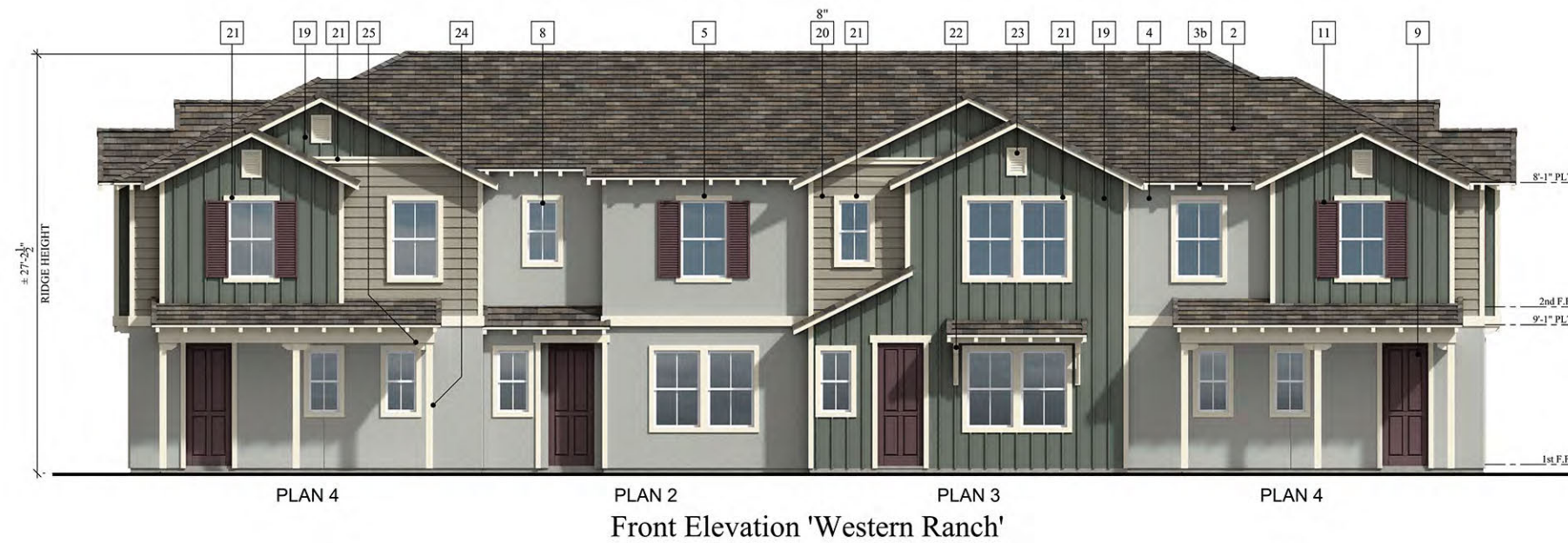


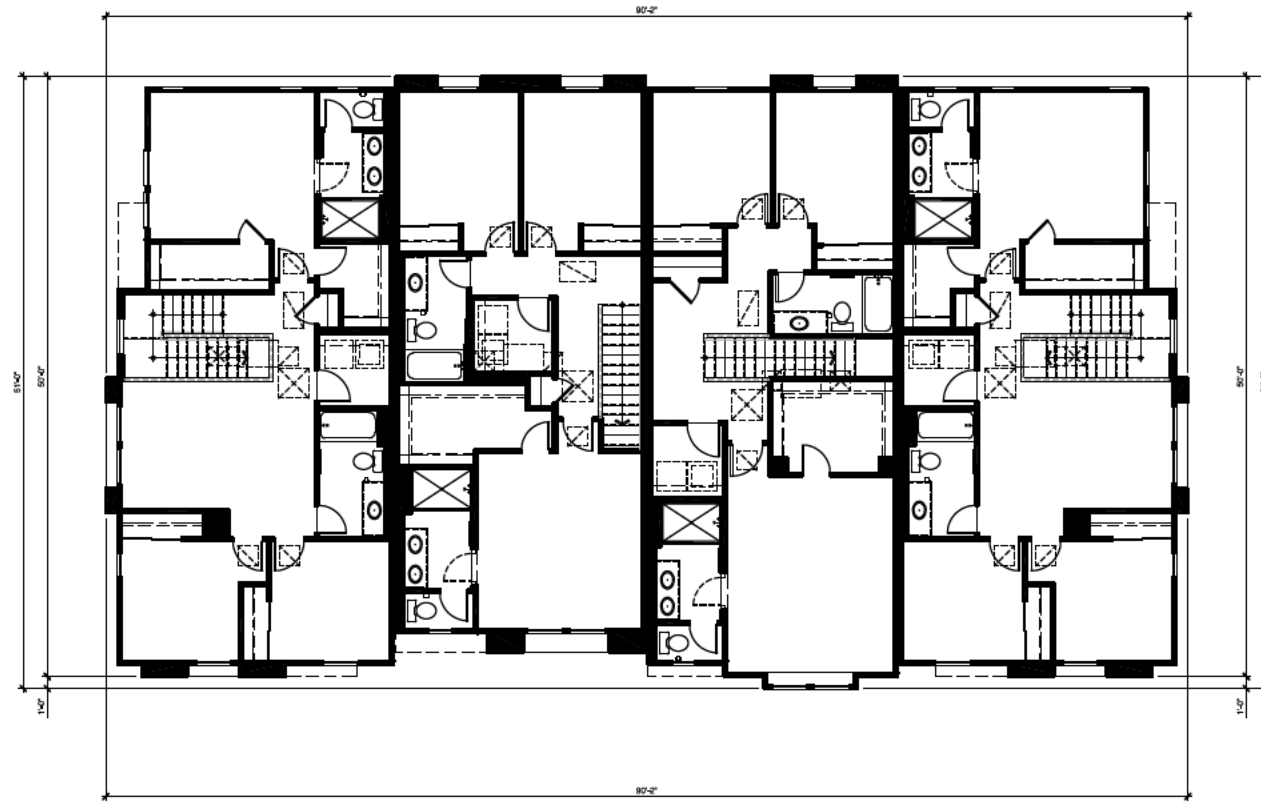
Partial First Floor Plan



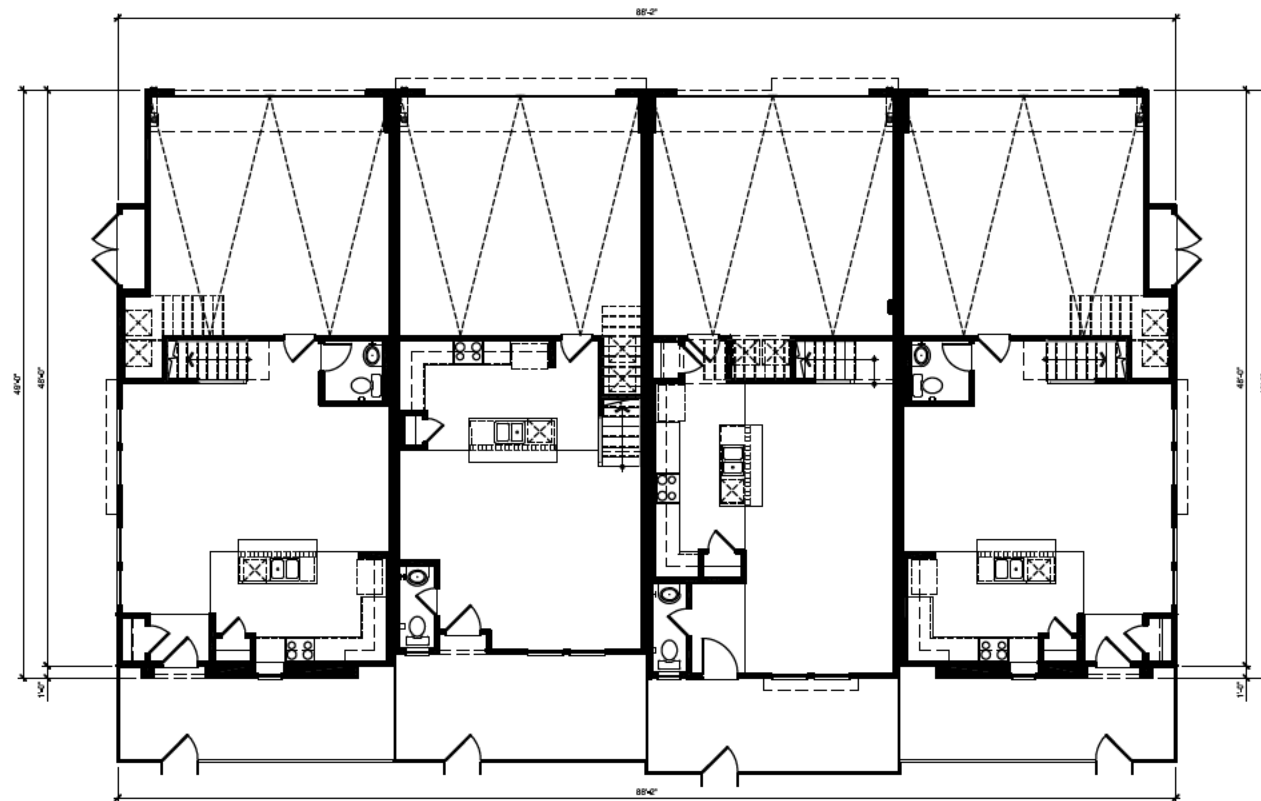
**ELEVATION LEGEND**

- 1 CONCRETE 'S' TILE ROOFING
- 2 CONCRETE FLAT TILE ROOFING
- 3a WOOD FASCIA / BARGE BOARD
- 3b EXPOSED RAFTER TAIL
- 4 STUCCO FINISH (16/20 SAND)
- 5 STUCCO OVER FOAM TRIM
- 6 STUCCO OVER FOAM CORBELS/SHAPED FOAM TRIM WITH SAND FINISH
- 7 DECORATIVE STUCCO COLUMNS (STUCCO OVER WOOD FRAMING WITH SMOOTH FINISH)
- 8 VINYL WINDOW SYSTEM
- 9 COMPOSITE ENTRY DOOR - THERMA-TRU SMOOTH-STAR SERIES
- 10 METAL SECTIONAL GARAGE DOOR - WAYNE DALTON MODEL NO. 9100
- 11 DECORATIVE FOAM SHUTTERS
- 12 DECORATIVE GABLE END DETAIL
- 13 DECORATIVE FINIAL
- 14 DECORATIVE WROUGHT IRON POT SHELF
- 15 STUCCO POT SHELF
- 16 POLYURETHANE, FOAM OR WOOD POT SHELF
- 17 DECORATIVE OUTLOOKER
- 18 STONE VENEER
- 19 FIBER CEMENT SIDING WITH VERTICAL BATTENS SPACED 12" O.C.
- 20 FIBER CEMENT LAP SIDING
- 21 FIBER CEMENT TRIM
- 22 DECORATIVE OUTLOOKER WITH KNEEBRACE
- 23 DECORATIVE VENT
- 24 WOOD POST
- 25 WOOD CORBEL
- 26 COACH LIGHTS
- 27 ILLUMINATED ADDRESS SIGN
- 28 STUCCO EXPANSION JOINT
- 29 STUCCO CHANNEL





Second Floor Plan 'Spanish Colonial'



First Floor Plan 'Spanish Colonial'

ESPERANZA ROW TOWNHOMES  
TENTATIVE TRACT MAP 20158



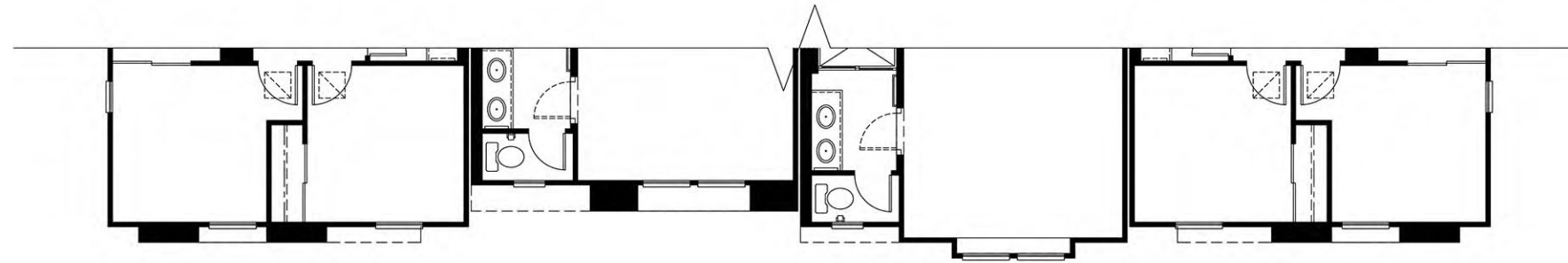
KB Home Southern California/Inland Empire  
36310 Inland Valley Drive  
Wildomar, CA 92595  
(951) 691-5300  
ONTARIO, CA

BUILDING TYPE 03

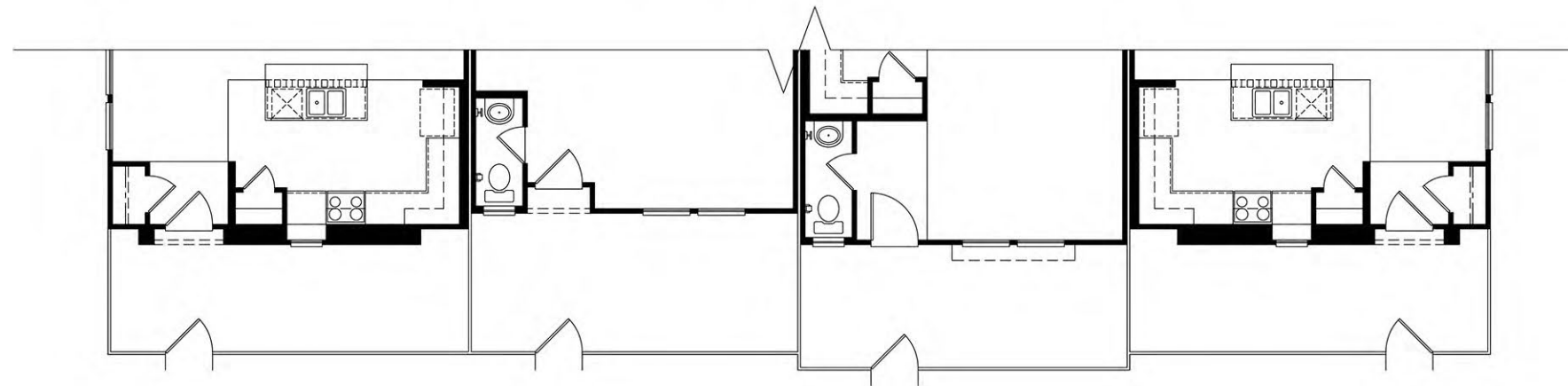
JOB No. : 350999  
STORY: Two  
Rev. May 16, 2022



Front Elevation 'Spanish Colonial'



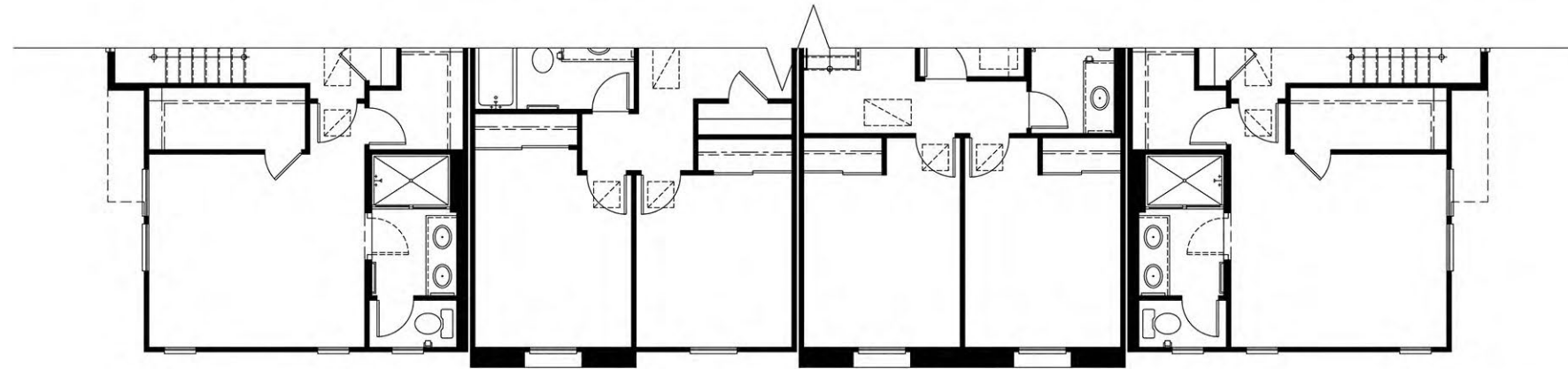
Partial Second Floor Plan



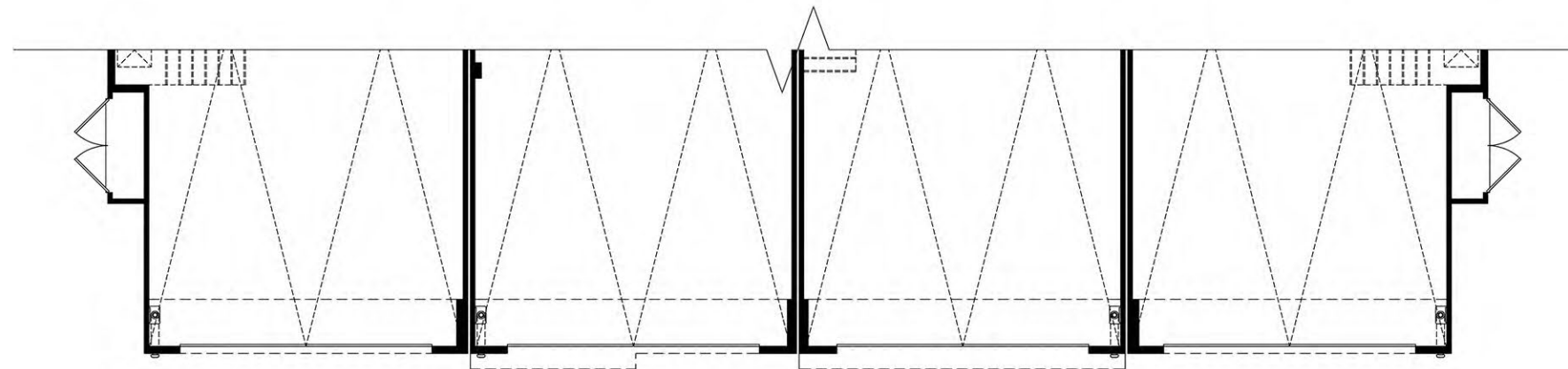
Partial First Floor Plan



Rear Elevation 'Spanish Colonial'



Partial Second Floor Plan



Partial First Floor Plan



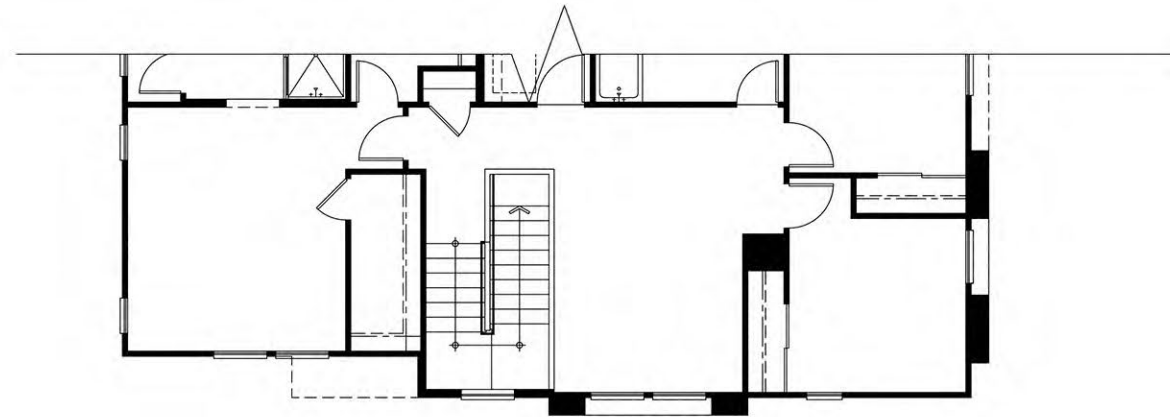
PLAN 4

Left Elevation 'Spanish Colonial'

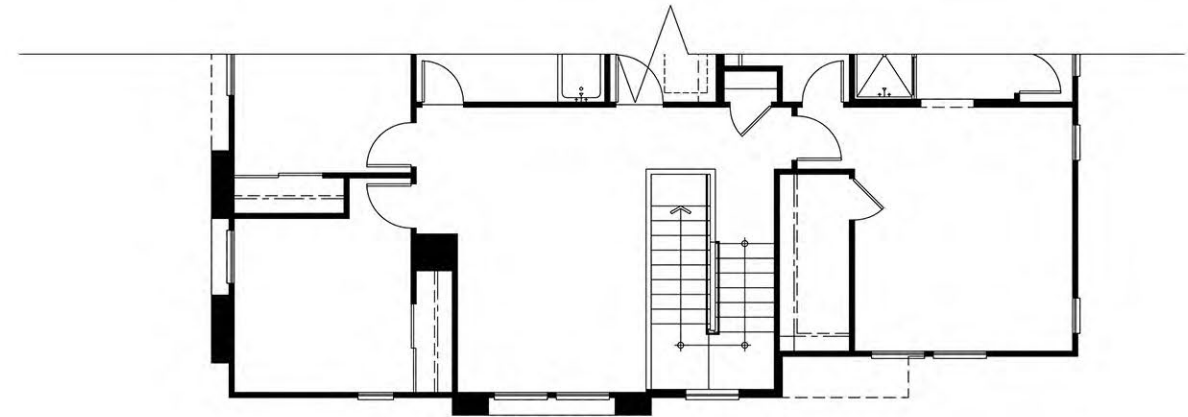


PLAN 4

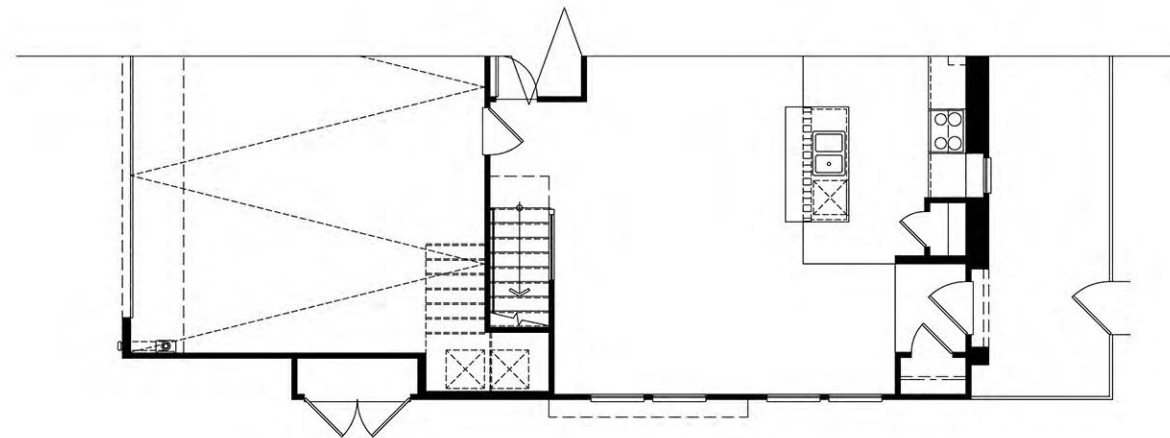
Right Elevation 'Spanish Colonial'



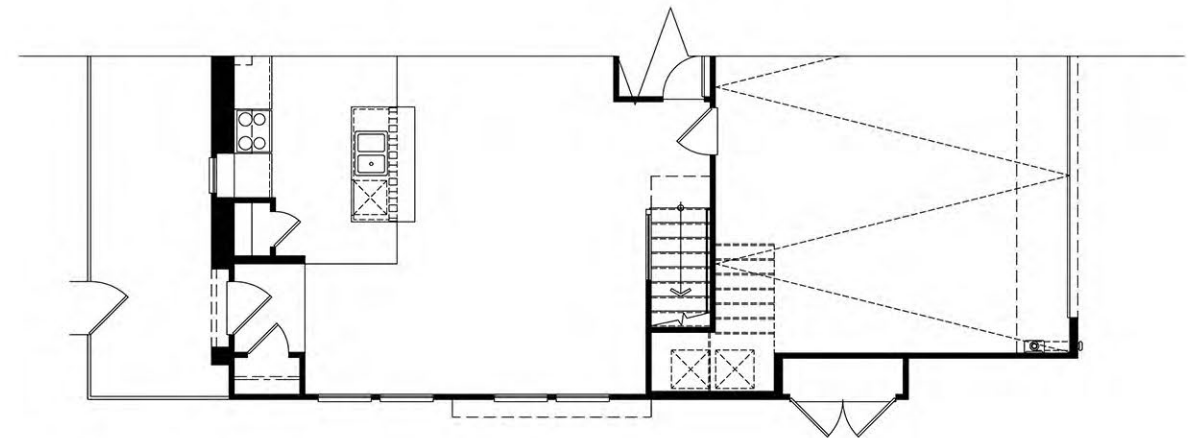
Partial Second Floor Plan



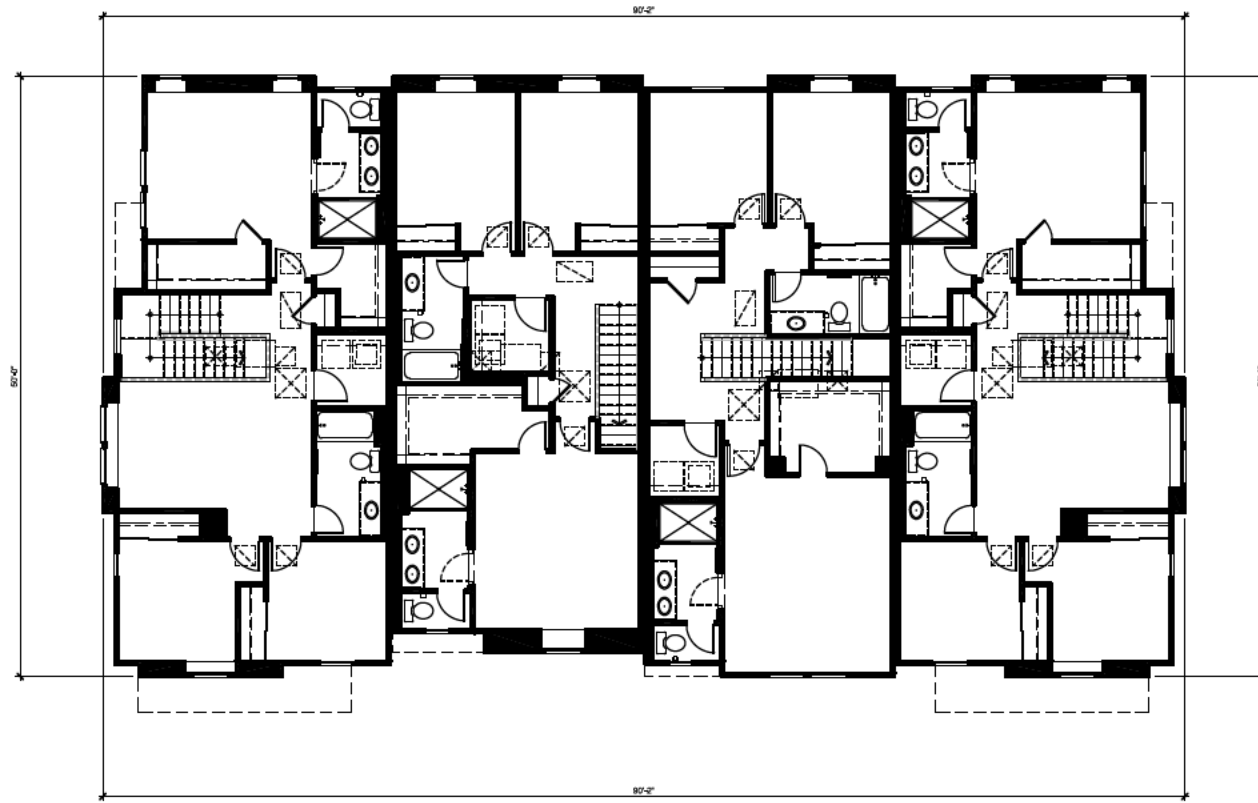
Partial Second Floor Plan



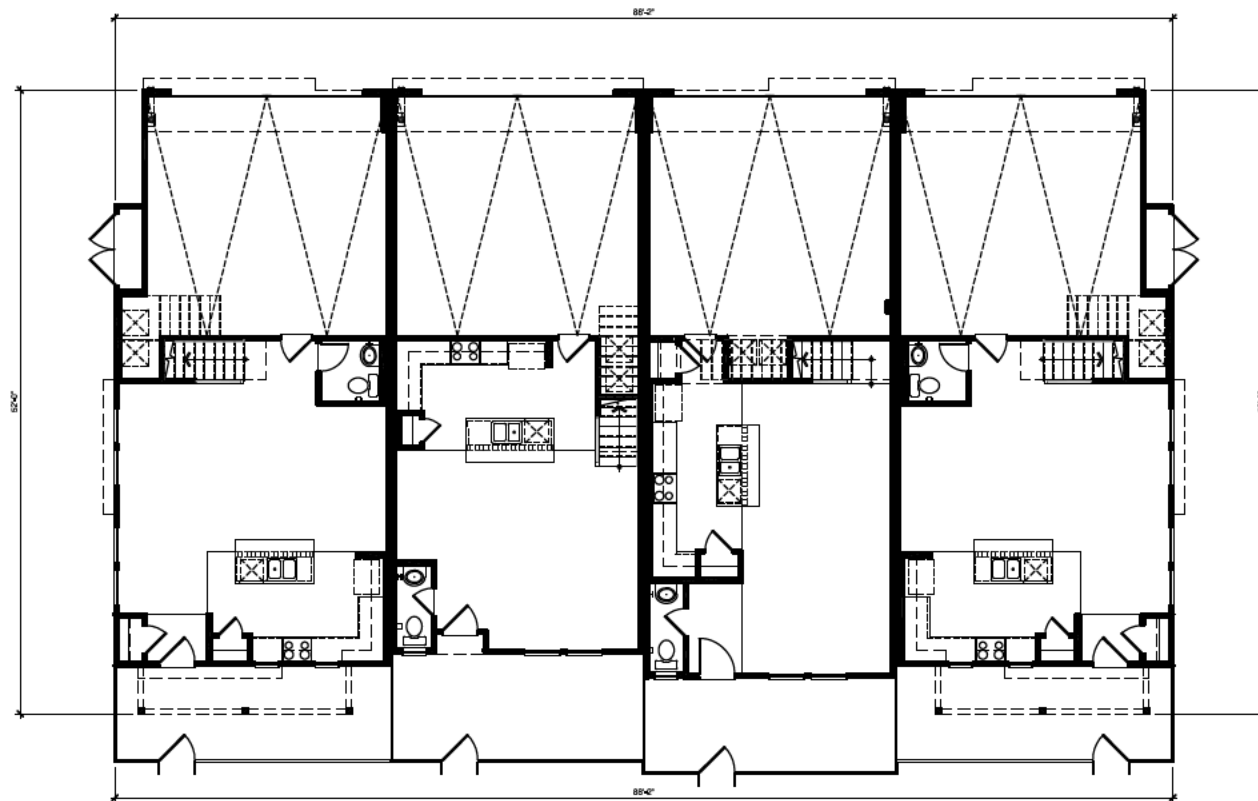
Partial First Floor Plan



Partial First Floor Plan



Second Floor Plan 'Western Ranch'



First Floor Plan 'Western Ranch'

ESPERANZA ROW TOWNHOMES  
TENTATIVE TRACT MAP 20158



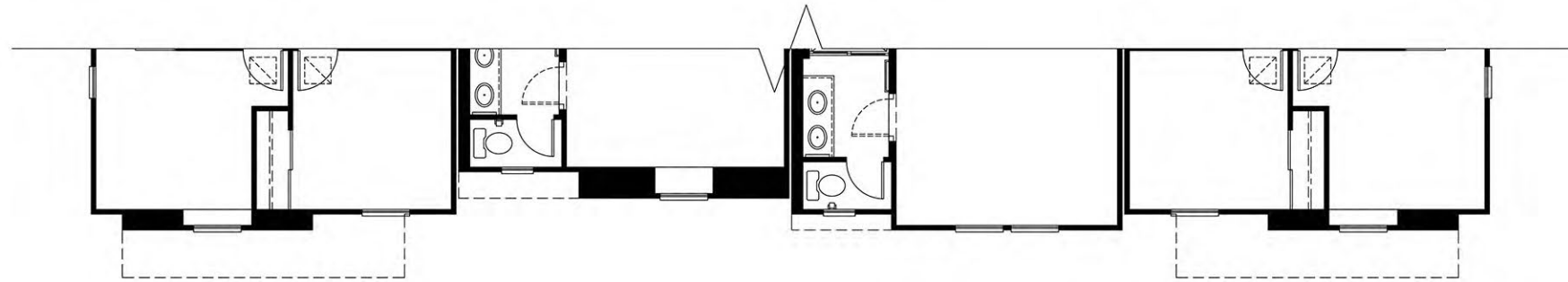
KB Home Southern California/Inland Empire  
36310 Inland Valley Drive  
Wildomar, CA 92595  
(951) 691-5300  
ONTARIO, CA

BUILDING TYPE 03

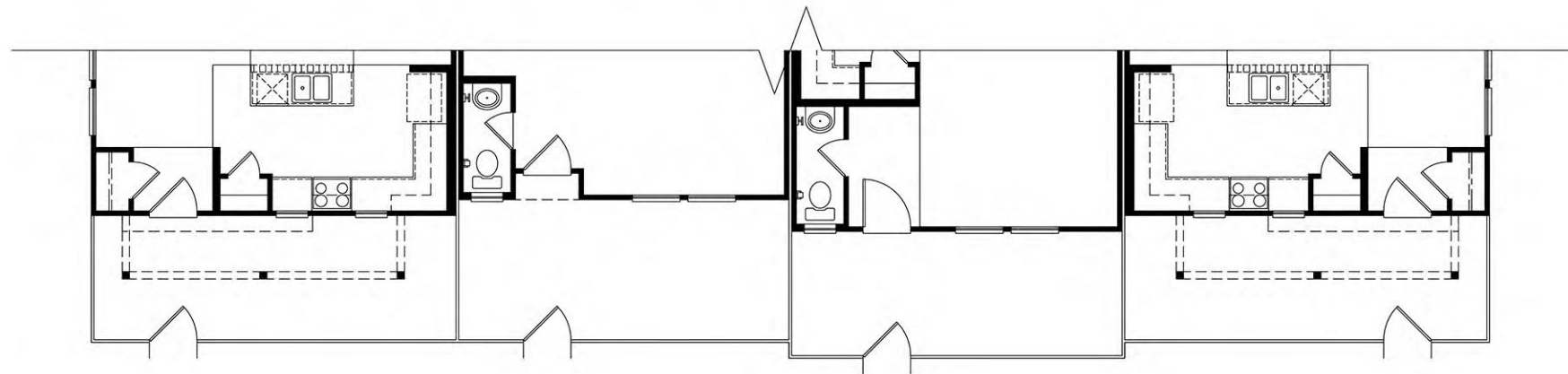
JOB No. : 350999  
STORY: Two  
Rev. May 16, 2022



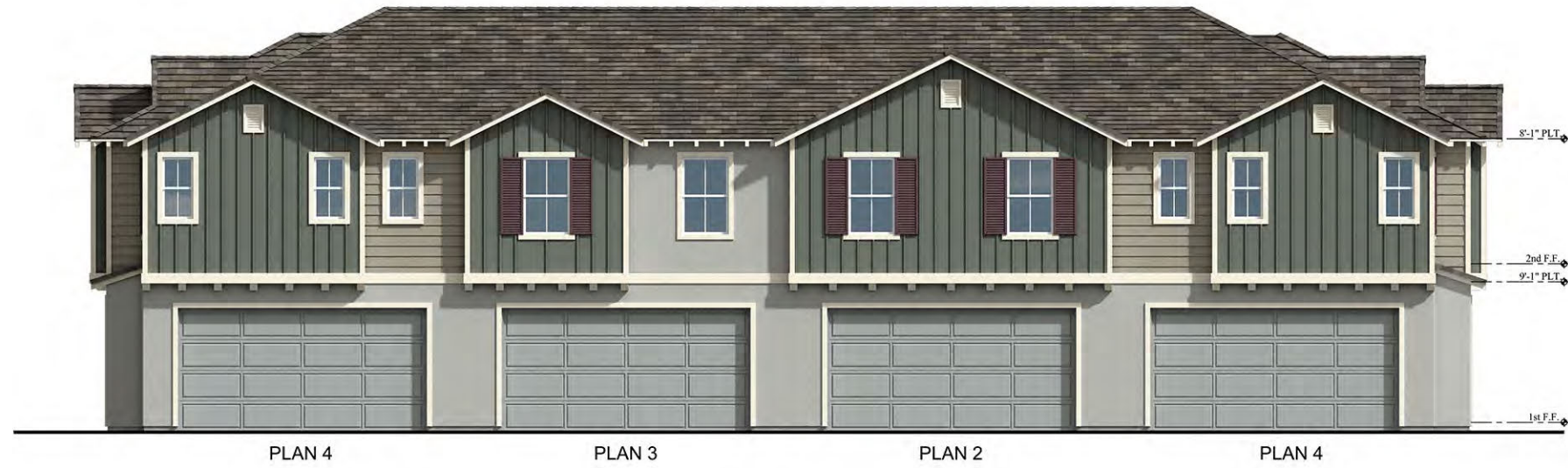
Front Elevation 'Western Ranch'



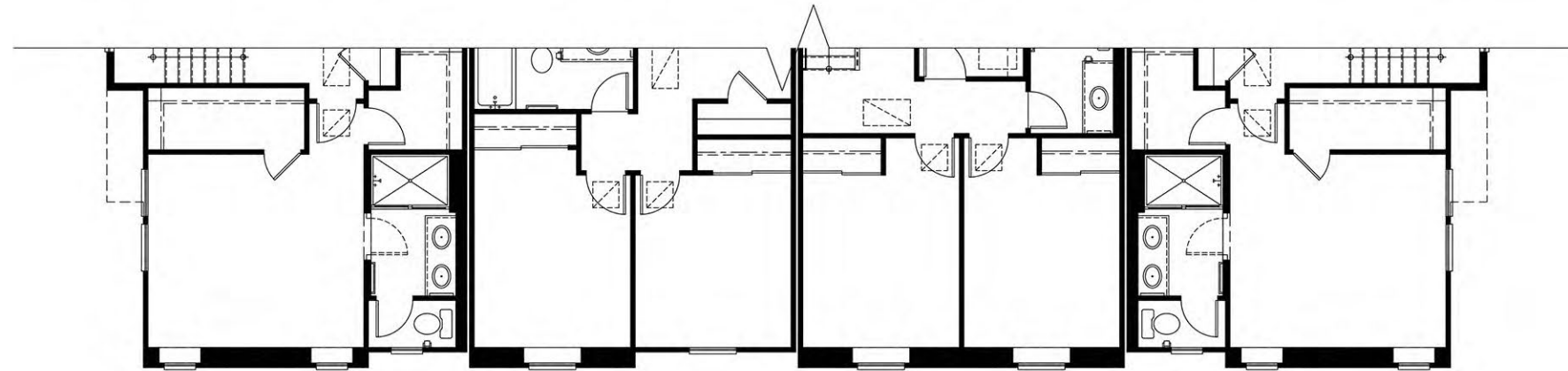
Partial Second Floor Plan



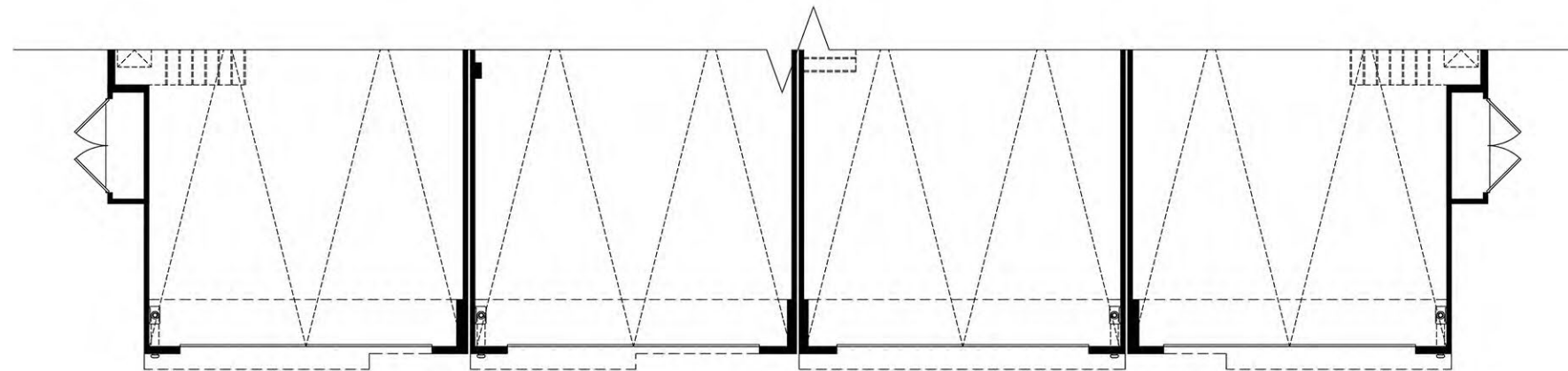
Partial First Floor Plan



Rear Elevation 'Western Ranch'



Partial Second Floor Plan



Partial First Floor Plan





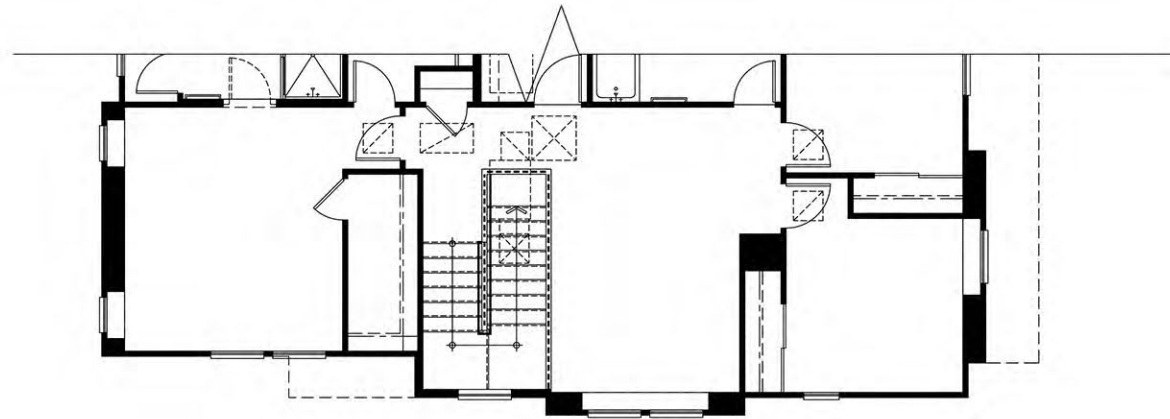
PLAN 4

Left Elevation 'Western Ranch'

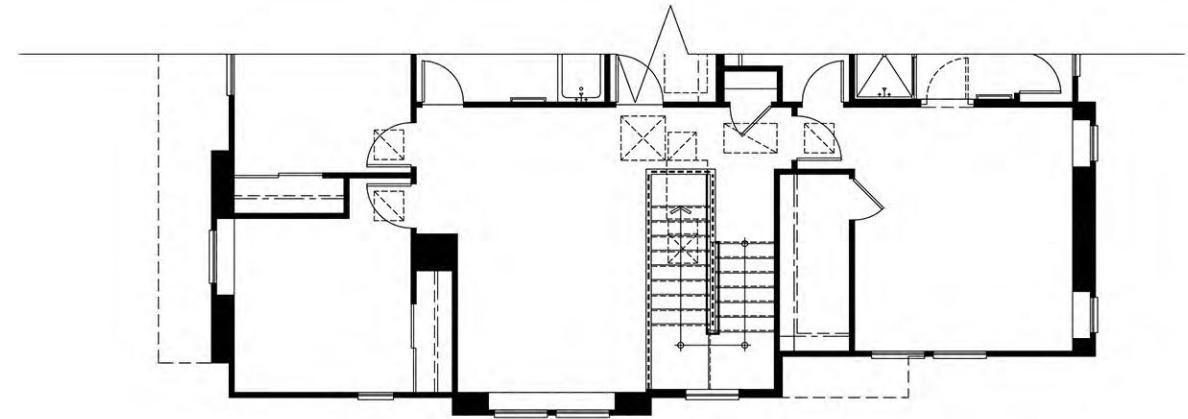


PLAN 4

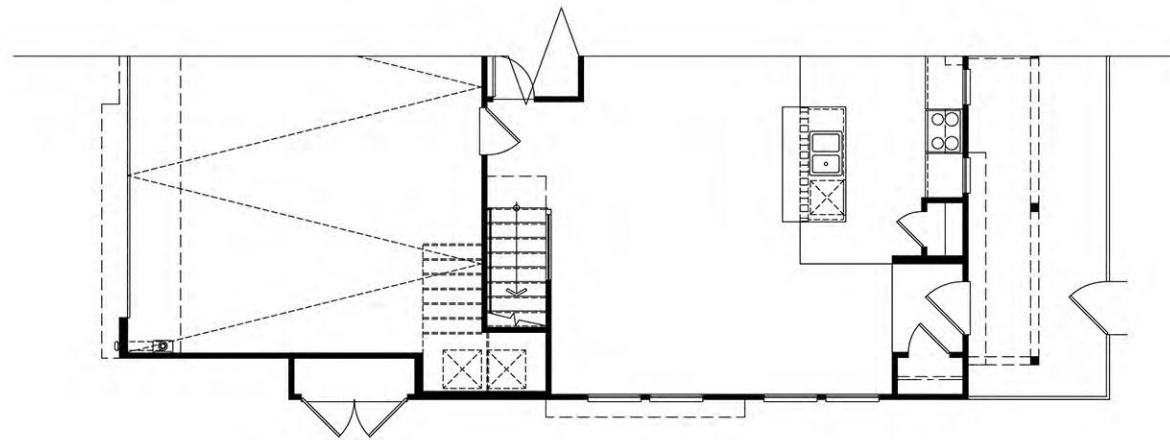
Right Elevation 'Western Ranch'



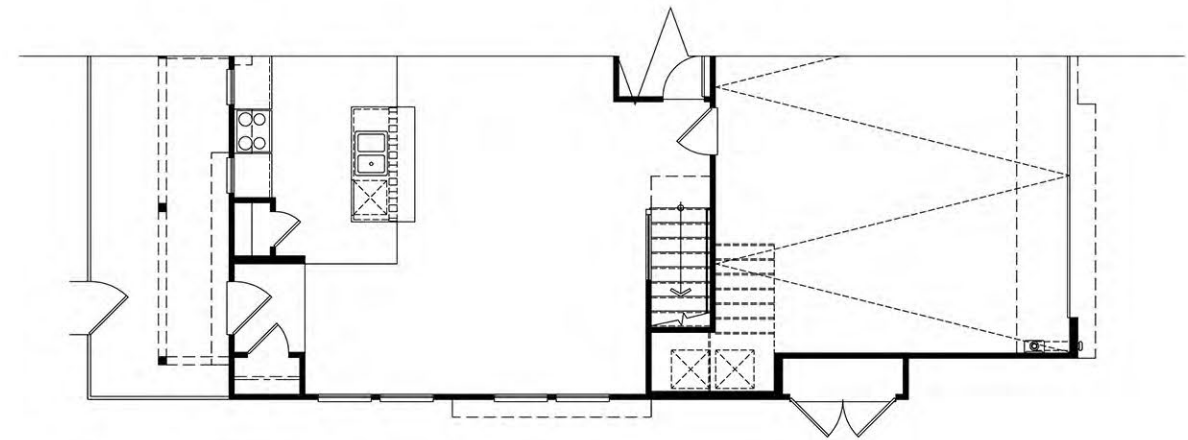
Partial Second Floor Plan



Partial Second Floor Plan

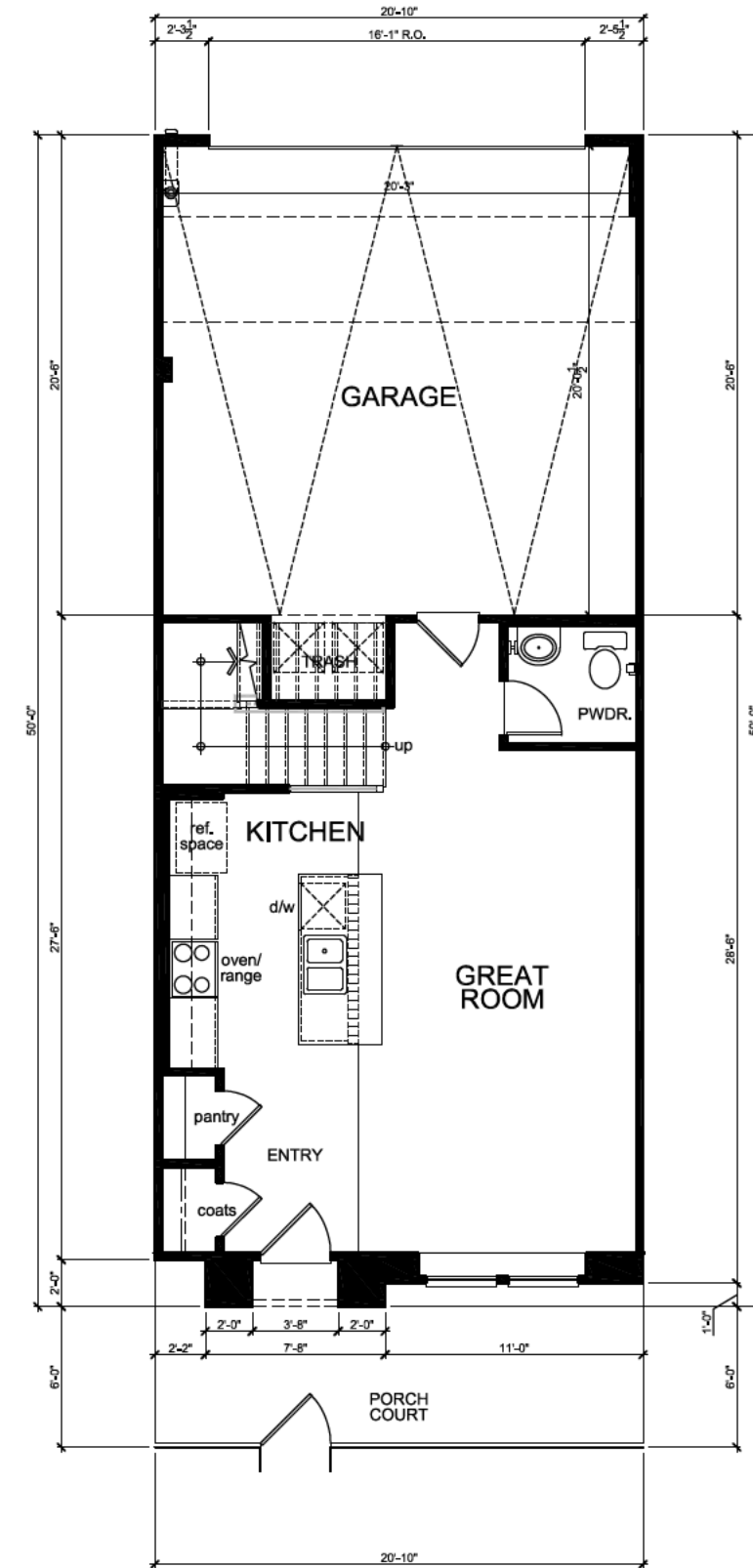
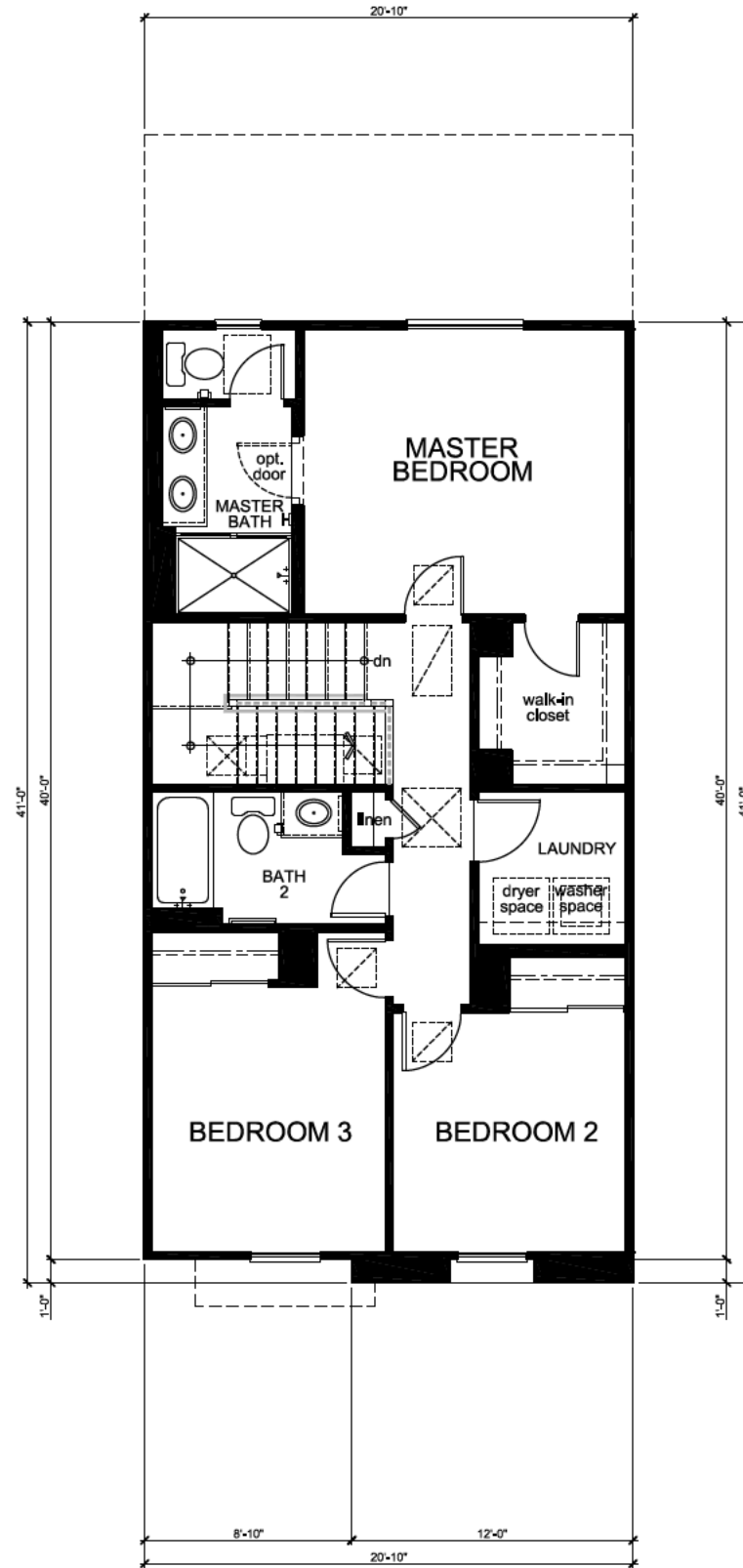


Partial First Floor Plan



Partial First Floor Plan

SQUARE FOOTAGE		
PLAN 1 221.1338		
FIRST FLOOR AREA	575	SQ. FT.
SECOND FLOOR AREA	165	SQ. FT.
TOTAL AREA	1338	SQ. FT.
GARAGE AREA	445	SQ. FT.
PORCH AREA	161	SQ. FT.



Second Floor Plan 'A'  
(Building Type 01)

First Floor Plan 'A'  
(Building Type 01)

PLAN 1



KB Home Southern California/Inland Empire  
36310 Inland Valley Drive  
Wildomar, CA 92595  
(951) 691-5300  
ONTARIO, CA

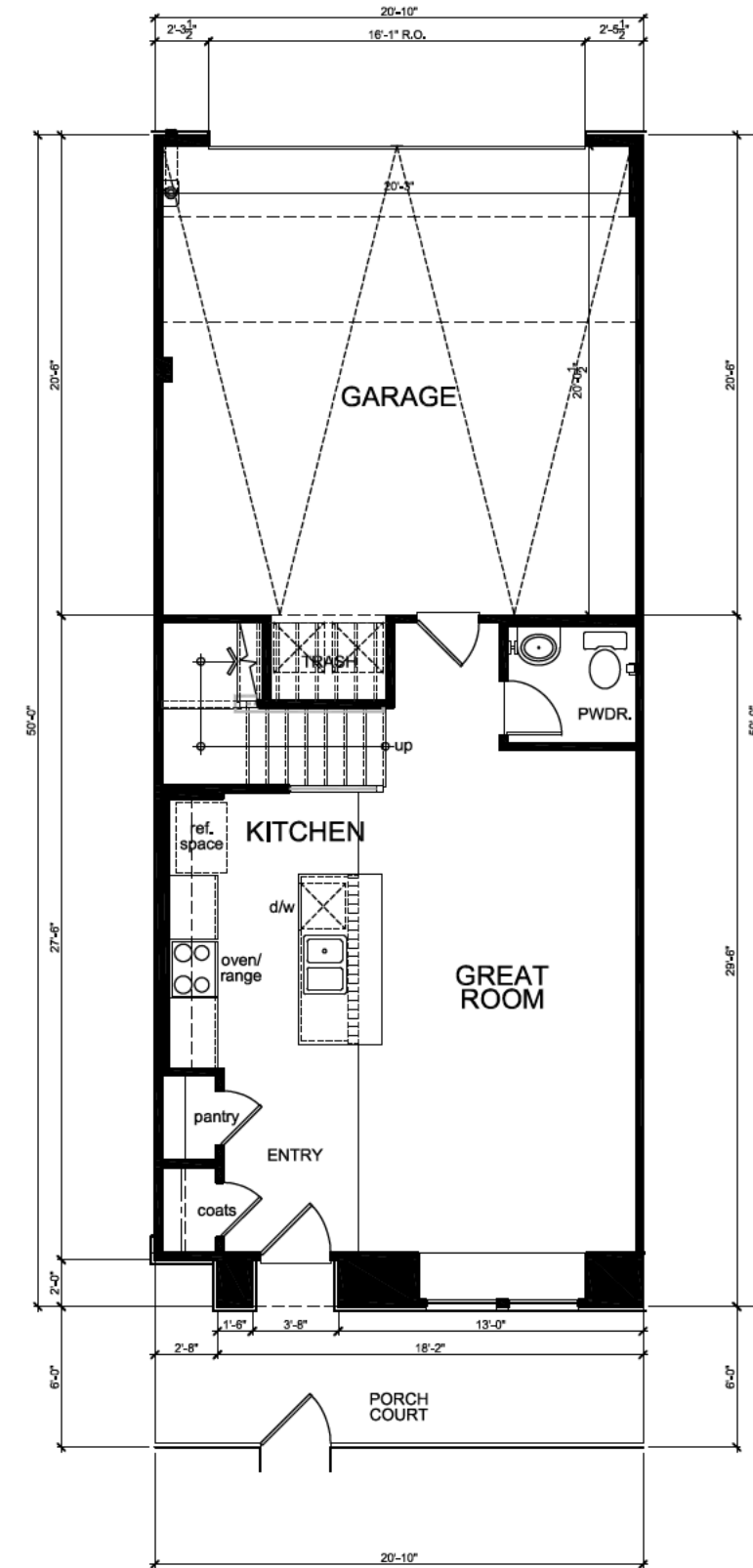
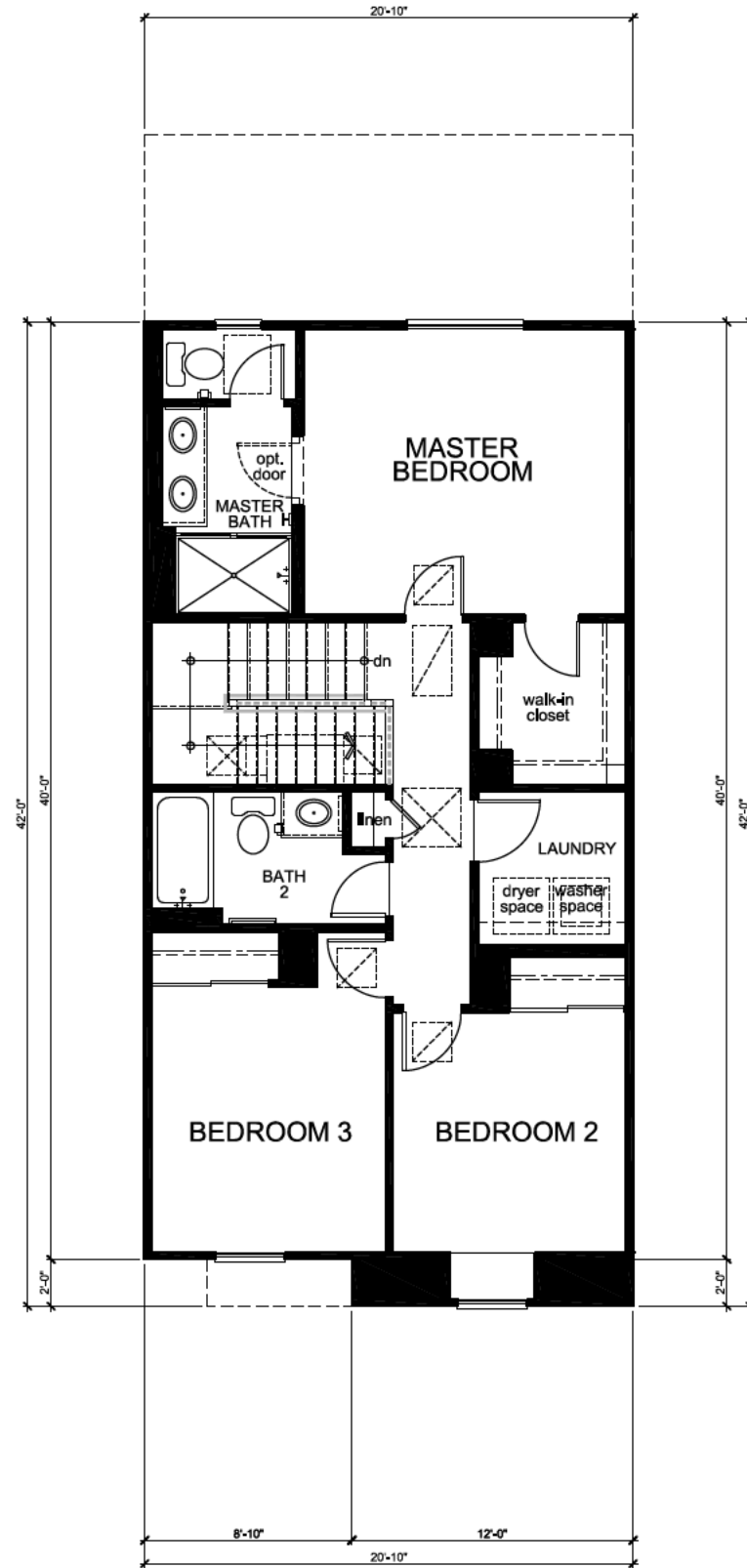
ESPERANZA ROW TOWNHOMES  
TENTATIVE TRACT MAP 20158

221.1338

Rev. No. : 350999  
STORY: Two  
Rev. Date: 1/6, 2022

Item I - 59 of 96

SQUARE FOOTAGE		
PLAN 1 221.1338		
FIRST FLOOR AREA	575	SQ. FT.
SECOND FLOOR AREA	165	SQ. FT.
TOTAL AREA	1338	SQ. FT.
GARAGE AREA	445	SQ. FT.
PORCH AREA	161	SQ. FT.



Second Floor Plan 'B'  
(Building Type 01)

First Floor Plan 'B'  
(Building Type 01)

PLAN 1



KB Home Southern California/Inland Empire  
36310 Inland Valley Drive  
Wildomar, CA 92595  
(951) 691-5300  
ONTARIO, CA

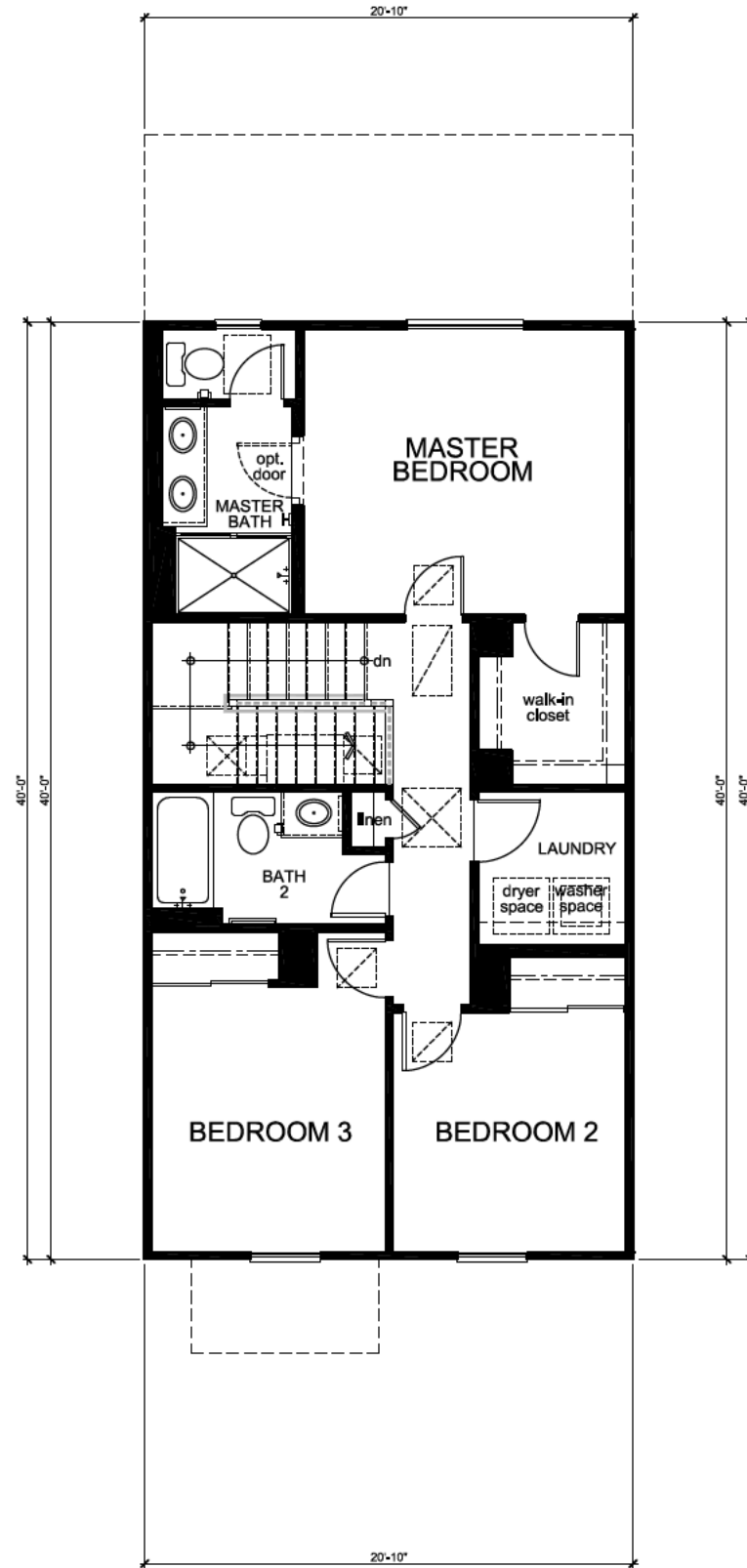
ESPERANZA ROW TOWNHOMES  
TENTATIVE TRACT MAP 20158

221.1338

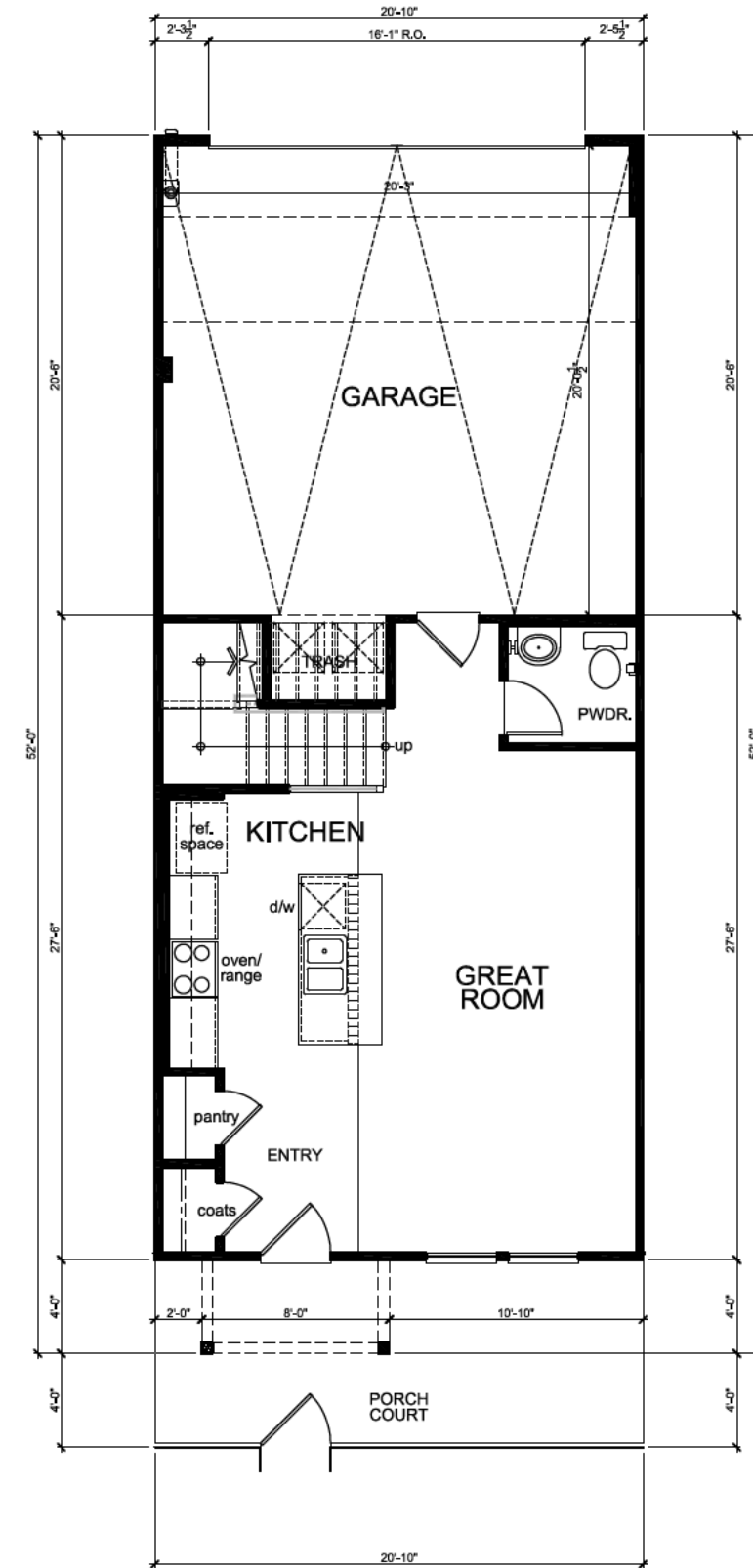
No. : 350999  
STORY: Two  
Rev. May 16, 2022

Item I - 60 of 96

SQUARE FOOTAGE		
PLAN I 221.1338		
FIRST FLOOR AREA	575	SQ. FT.
SECOND FLOOR AREA	165	SQ. FT.
TOTAL AREA	1338	SQ. FT.
GARAGE AREA	445	SQ. FT.
PORCH AREA	161	SQ. FT.



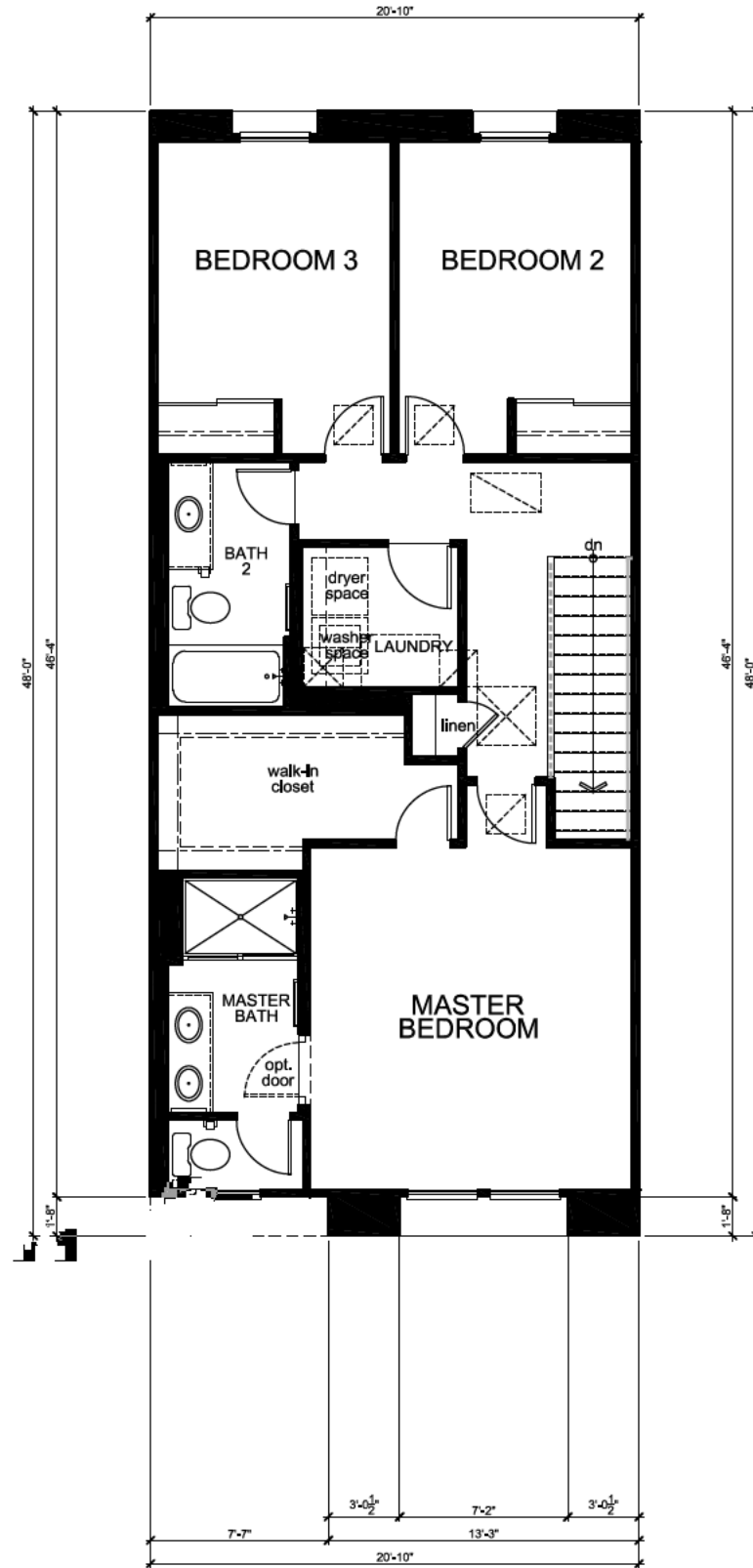
Second Floor Plan 'C'  
(Building Type 01)



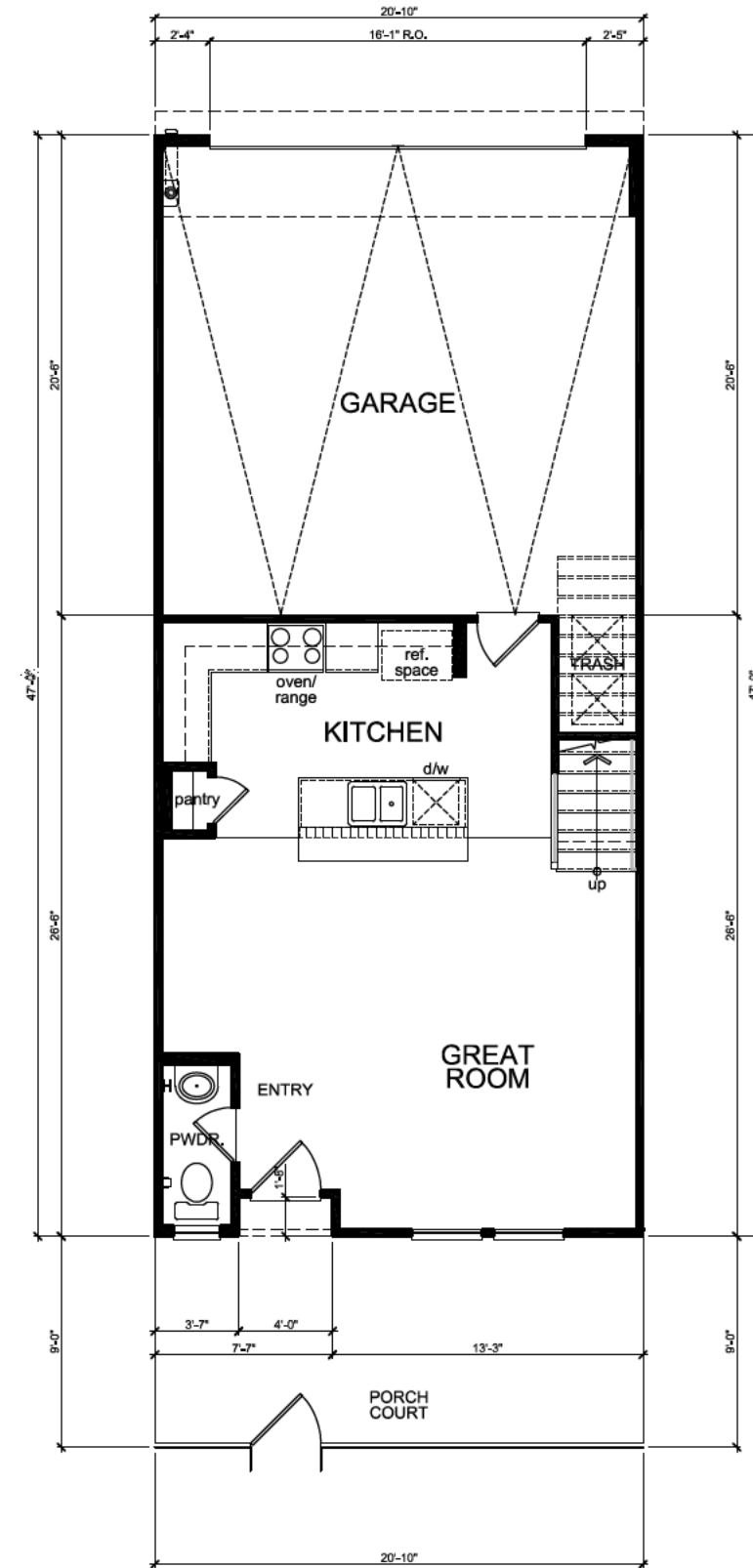
First Floor Plan 'C'  
(Building Type 01)



SQUARE FOOTAGE		
PLAN 2 221.1455		
FIRST FLOOR AREA	554	SQ. FT.
SECOND FLOOR AREA	401	SQ. FT.
TOTAL AREA	1455	SQ. FT.
GARAGE AREA	445	SQ. FT.
PORCH AREA	144	SQ. FT.



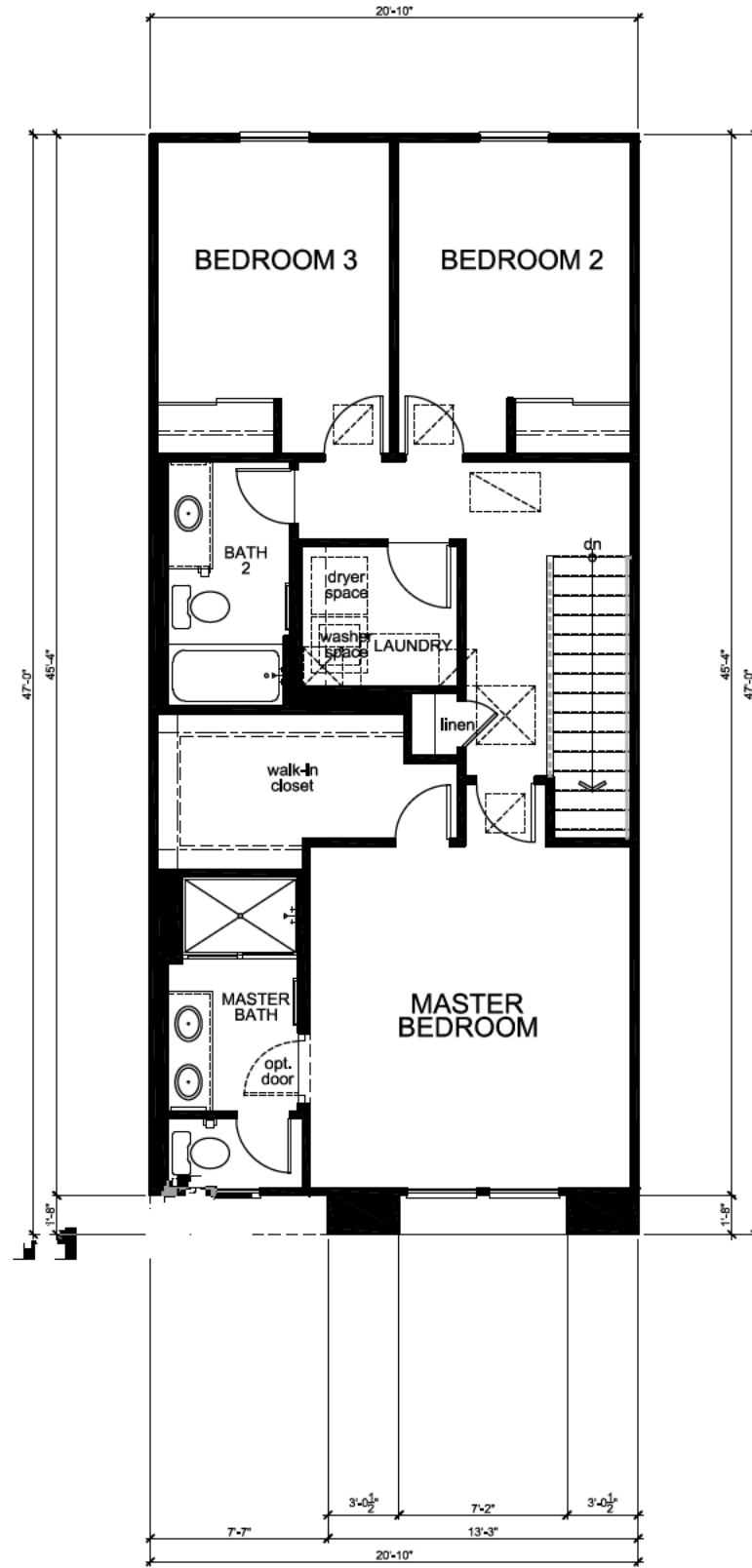
Second Floor Plan 'A'  
(Building Type 01, 02 & 03)



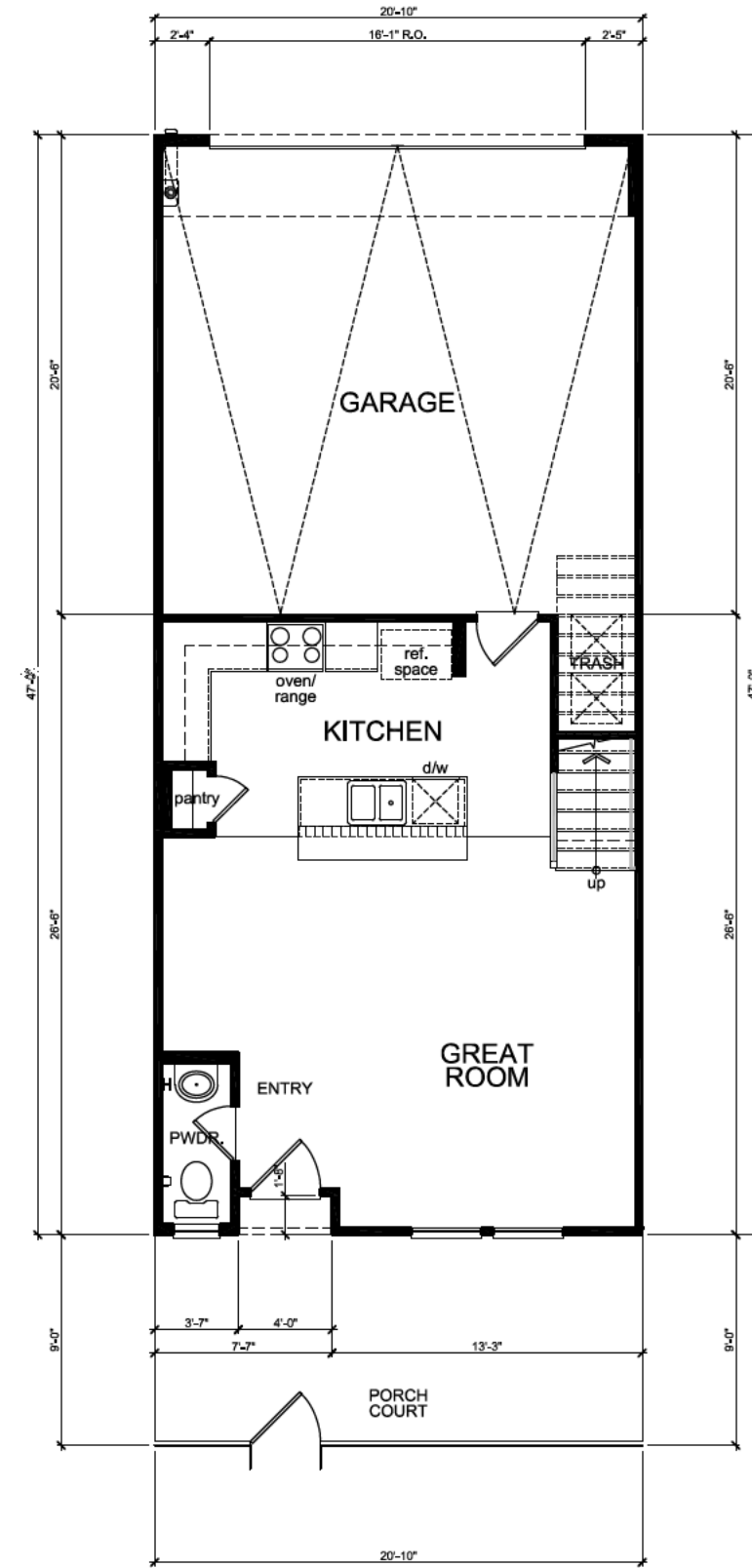
First Floor Plan 'A'  
(Building Type 01, 02 & 03)



SQUARE FOOTAGE		
PLAN 2 221.1455		
FIRST FLOOR AREA	554	SQ. FT.
SECOND FLOOR AREA	401	SQ. FT.
TOTAL AREA	1455	SQ. FT.
GARAGE AREA	445	SQ. FT.
PORCH AREA	144	SQ. FT.



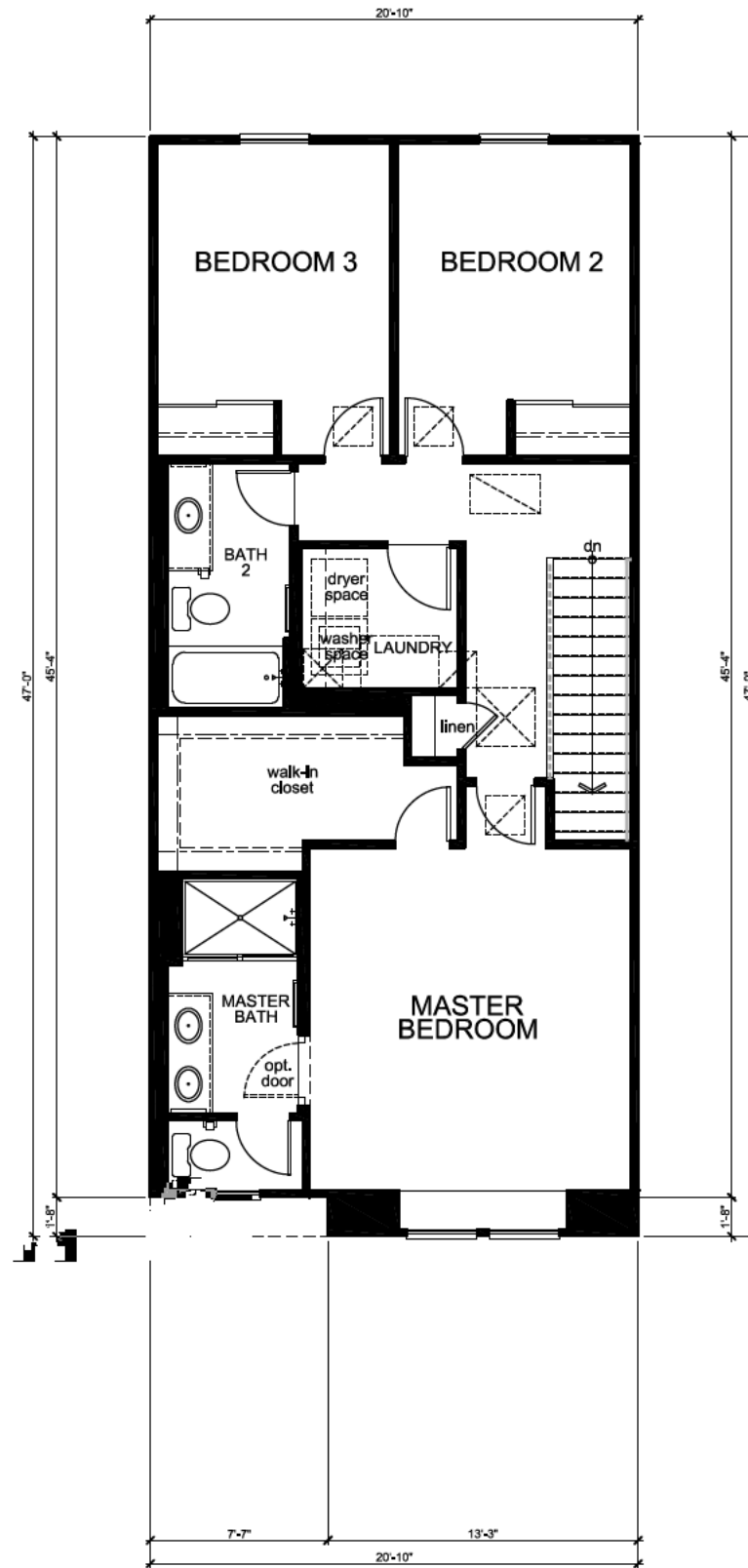
Second Floor Plan 'A'  
(Building Type 02)



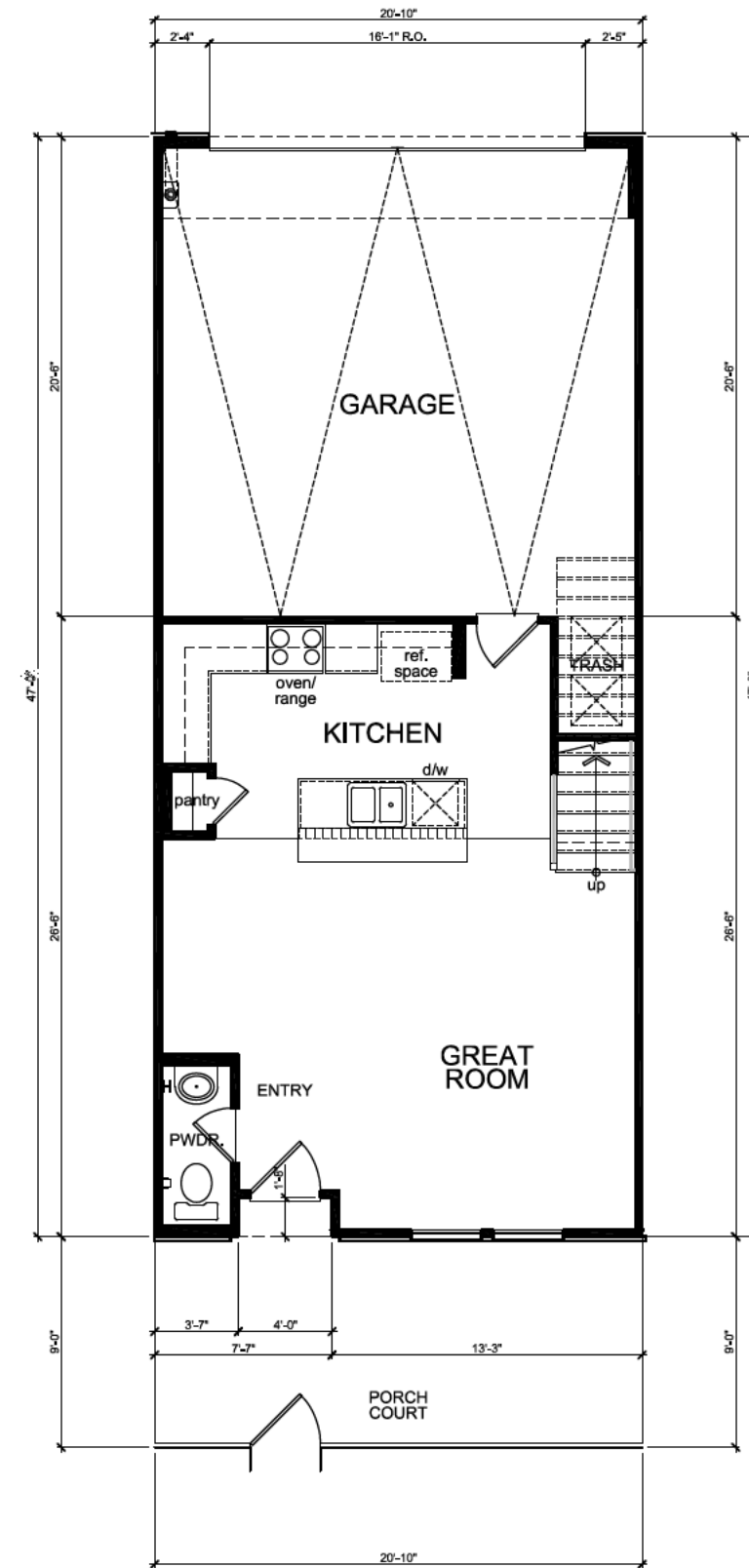
First Floor Plan 'A'  
(Building Type 02)



SQUARE FOOTAGE		
PLAN 2 221.1455		
FIRST FLOOR AREA	554	SQ. FT.
SECOND FLOOR AREA	401	SQ. FT.
TOTAL AREA	1455	SQ. FT.
GARAGE AREA	445	SQ. FT.
PORCH AREA	144	SQ. FT.



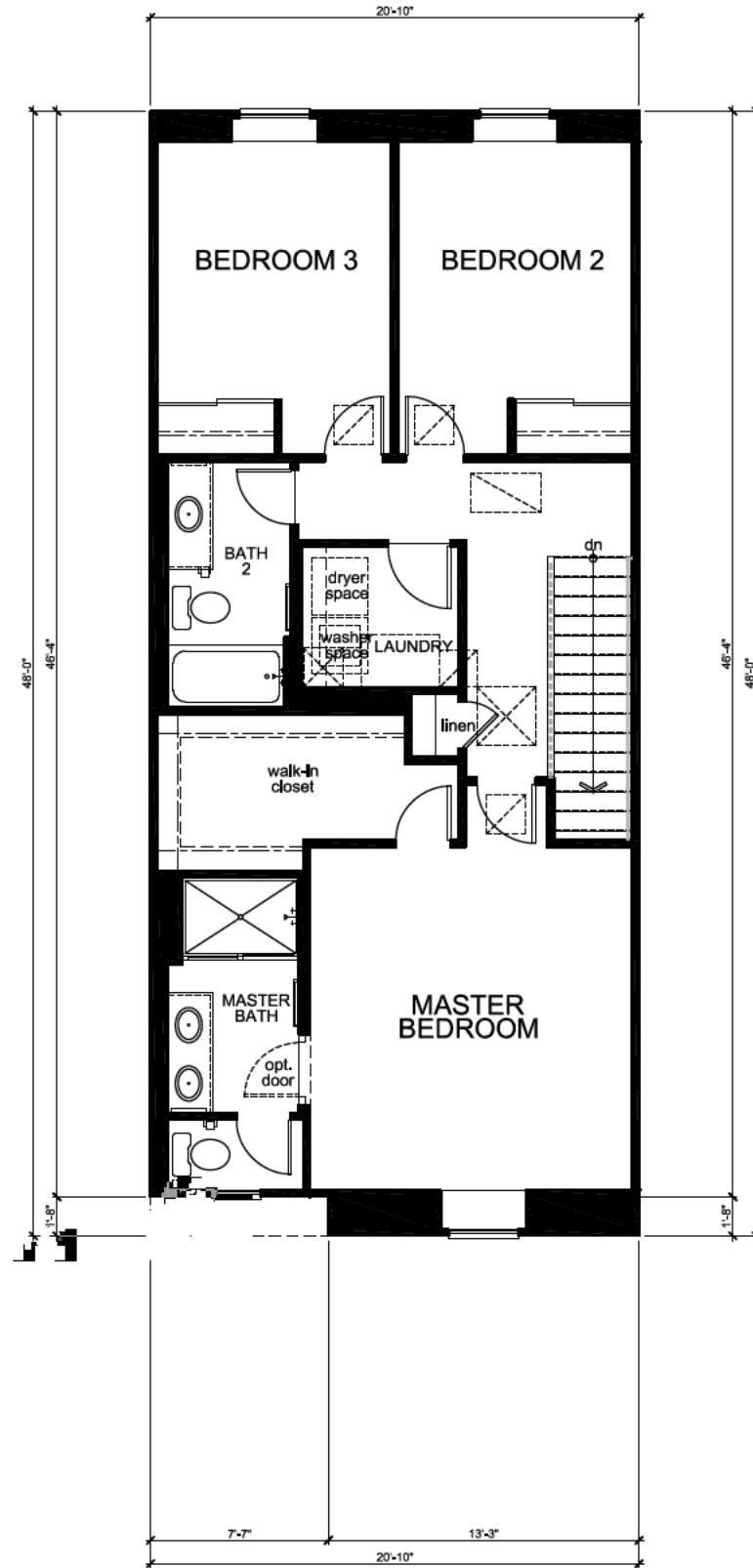
Second Floor Plan 'B'  
(Building Type 01, 02 & 03)



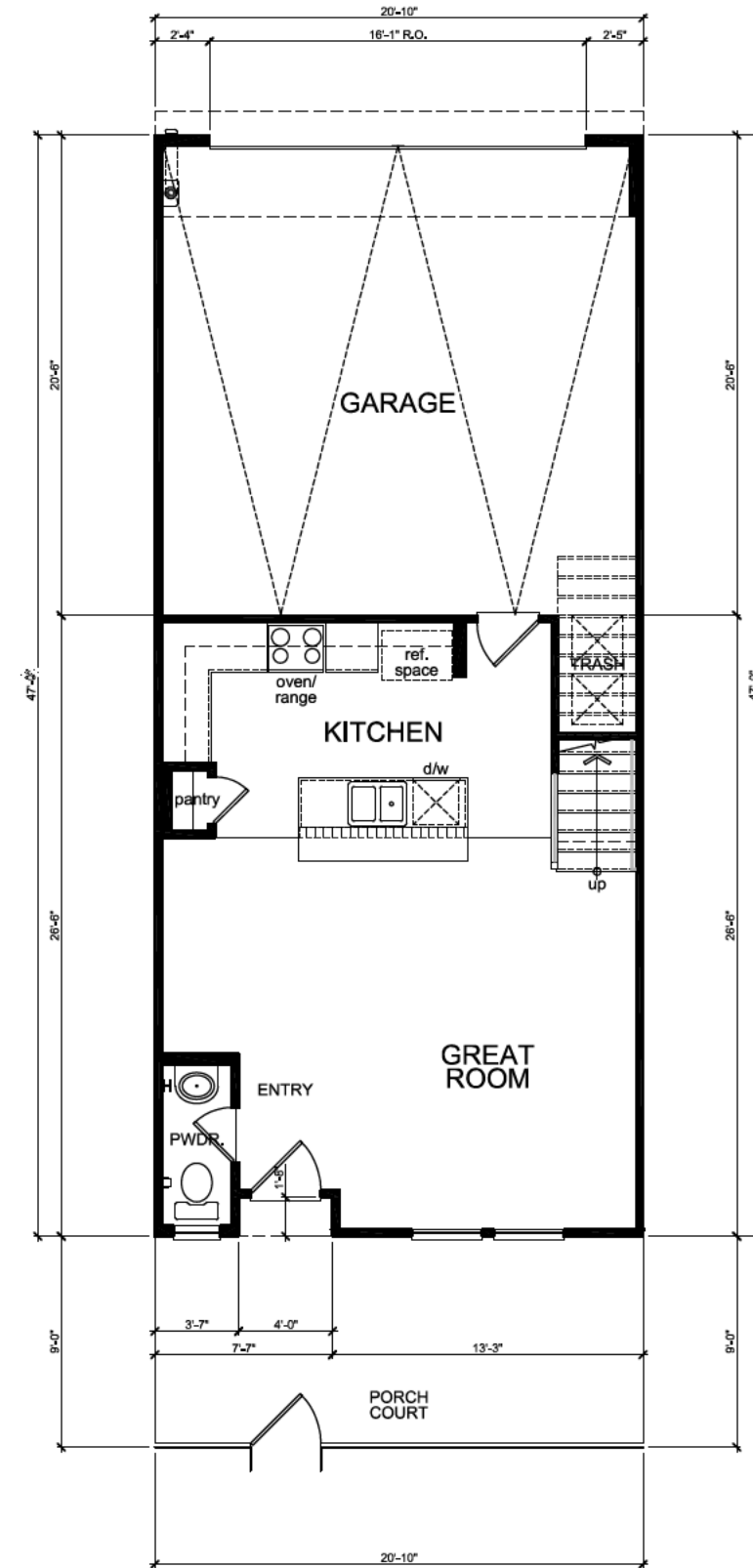
First Floor Plan 'B'  
(Building Type 01, 02 & 03)



SQUARE FOOTAGE		
PLAN 2 221.1455		
FIRST FLOOR AREA	554	SQ. FT.
SECOND FLOOR AREA	401	SQ. FT.
TOTAL AREA	1455	SQ. FT.
GARAGE AREA	445	SQ. FT.
PORCH AREA	144	SQ. FT.



Second Floor Plan 'C'  
(Building Type 01, 02 & 03)

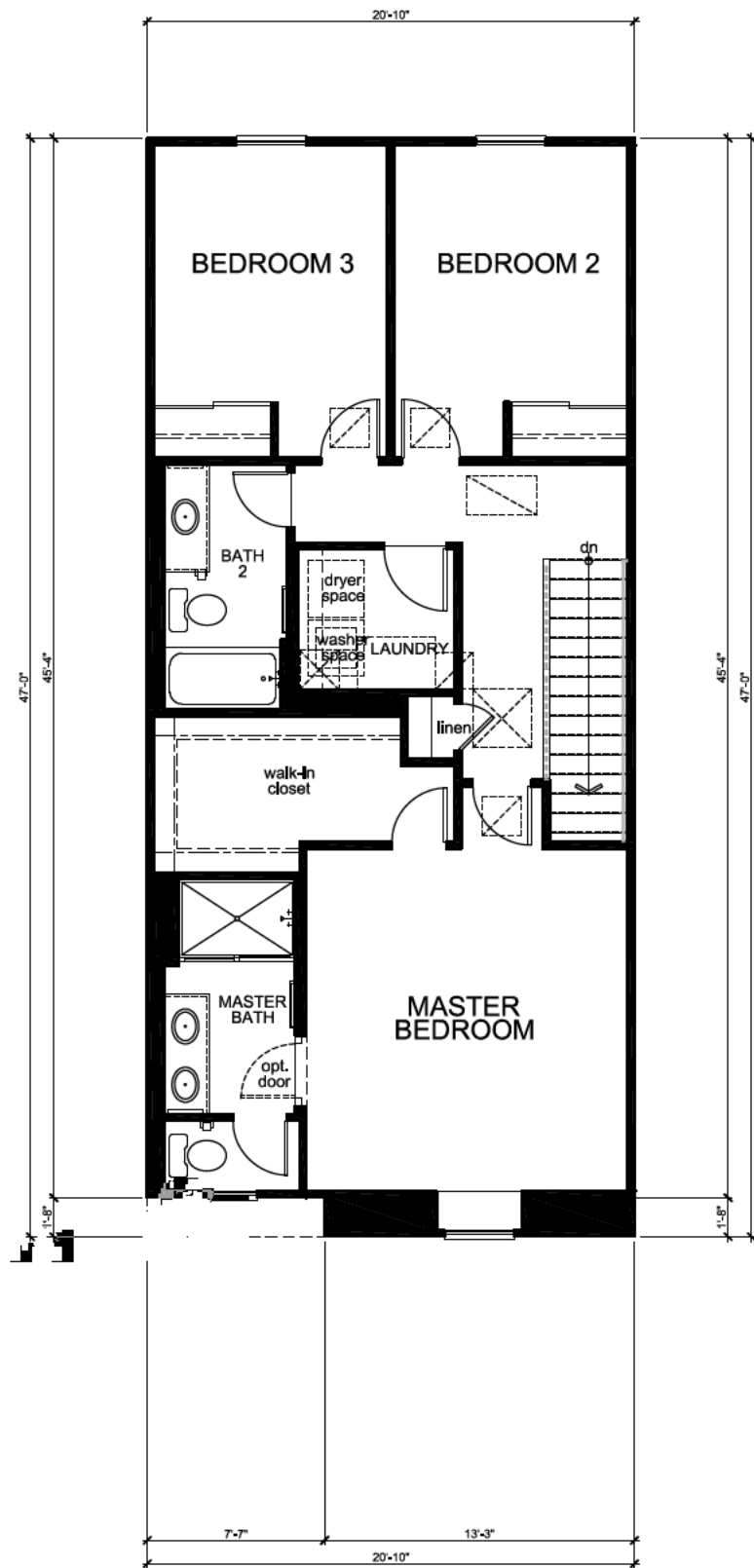


First Floor Plan 'C'  
(Building Type 01, 02 & 03)

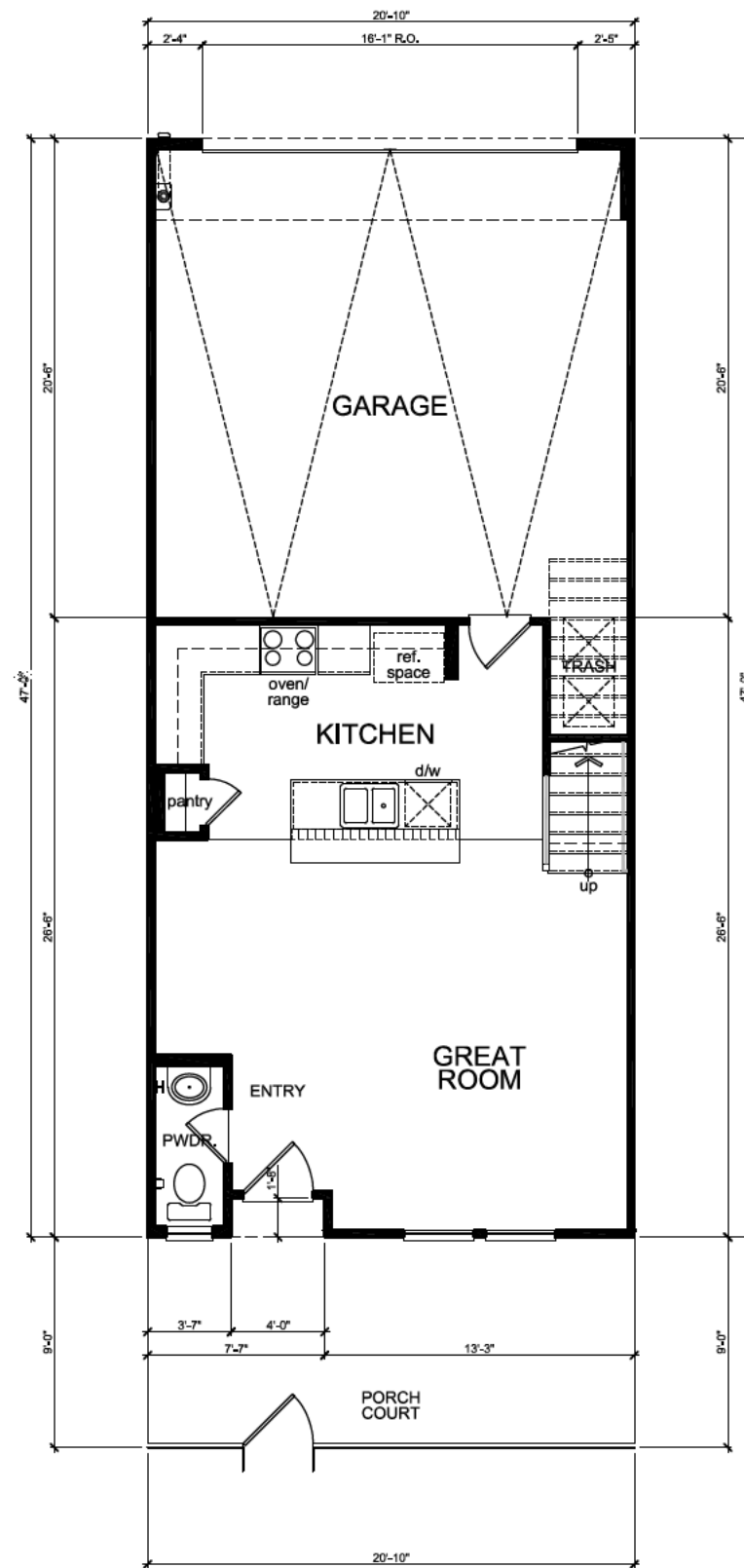




SQUARE FOOTAGE		
PLAN 2 221.1455		
FIRST FLOOR AREA	554	SQ. FT.
SECOND FLOOR AREA	401	SQ. FT.
TOTAL AREA	1455	SQ. FT.
GARAGE AREA	445	SQ. FT.
PORCH AREA	144	SQ. FT.

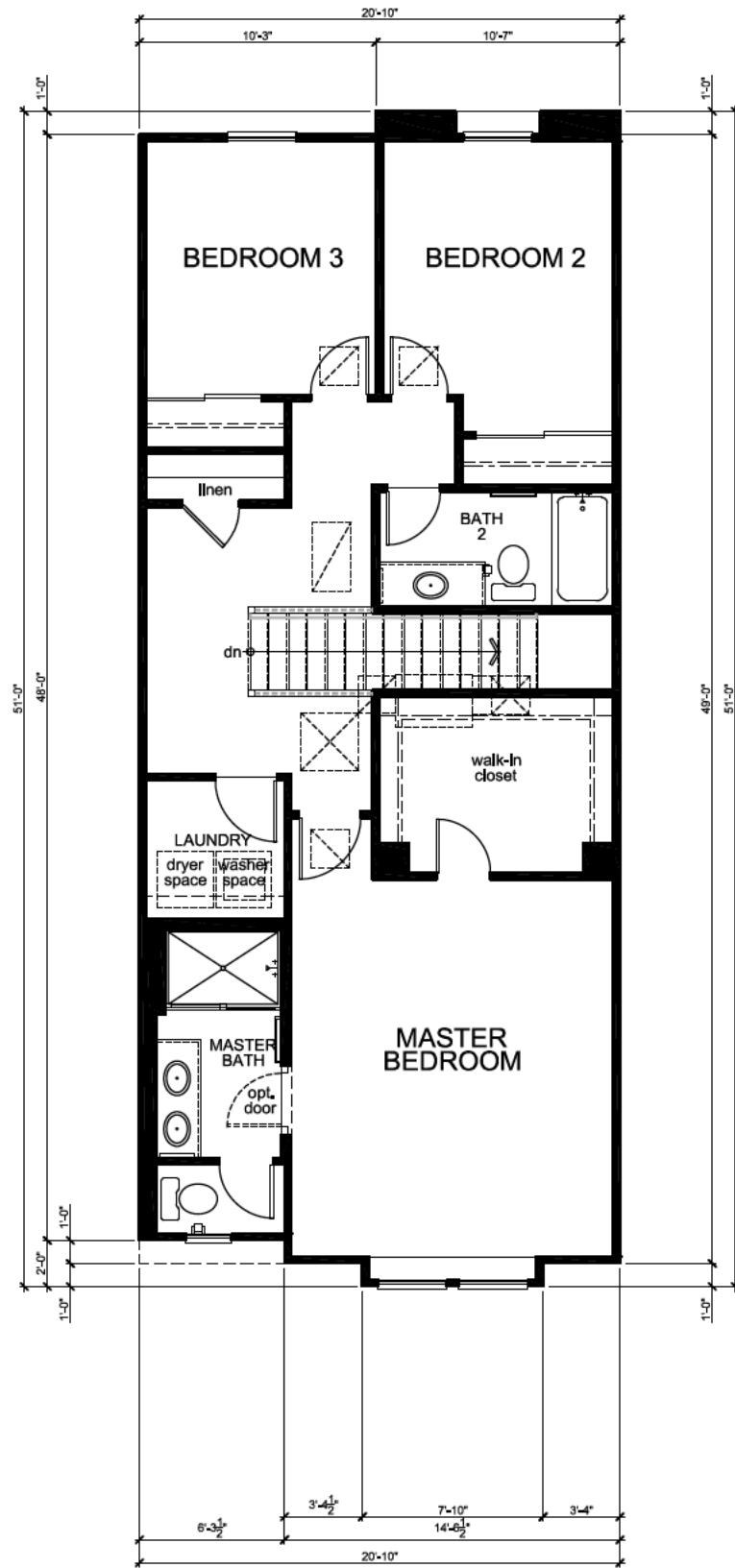


Second Floor Plan 'C'  
(Building Type 02)



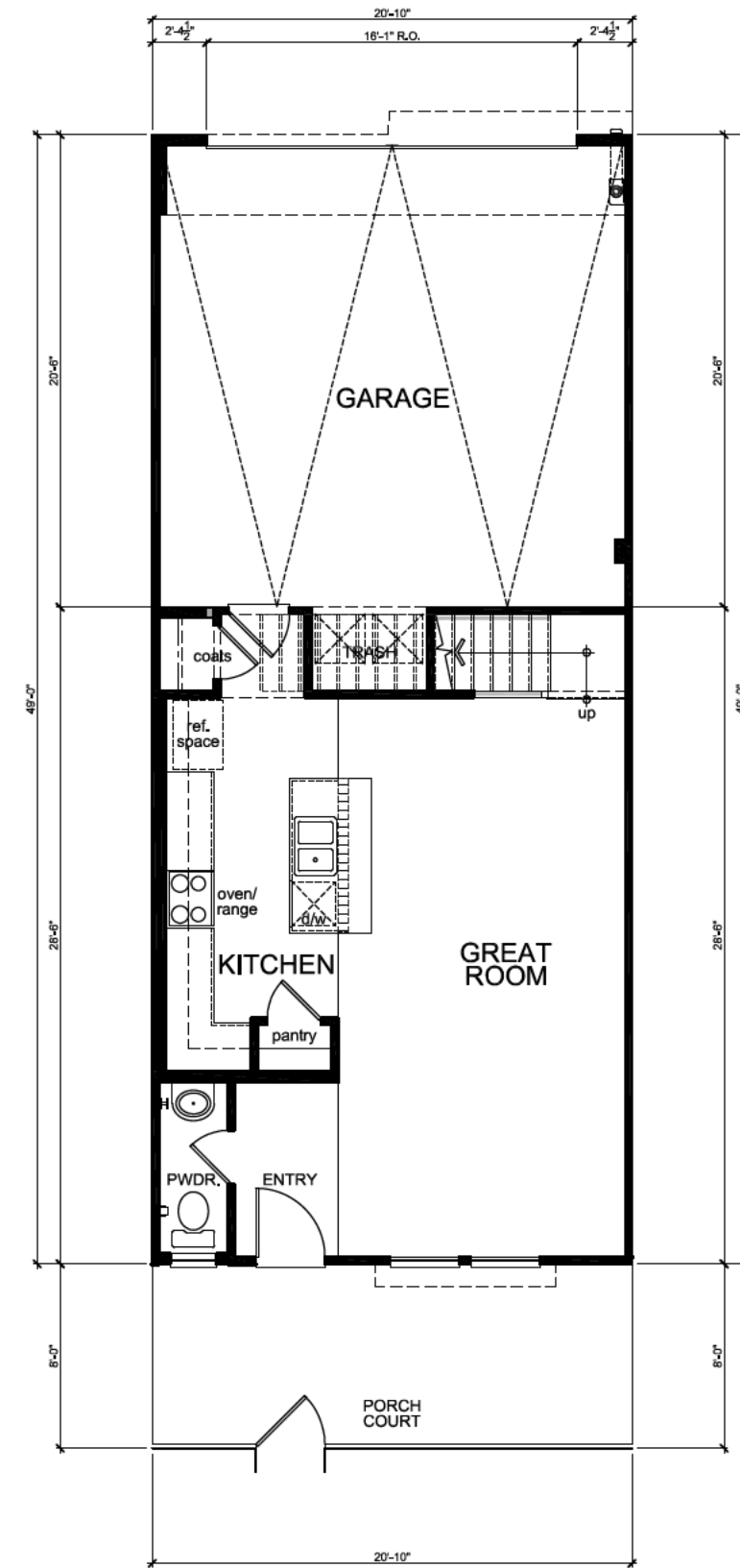
First Floor Plan 'C'  
(Building Type 02)





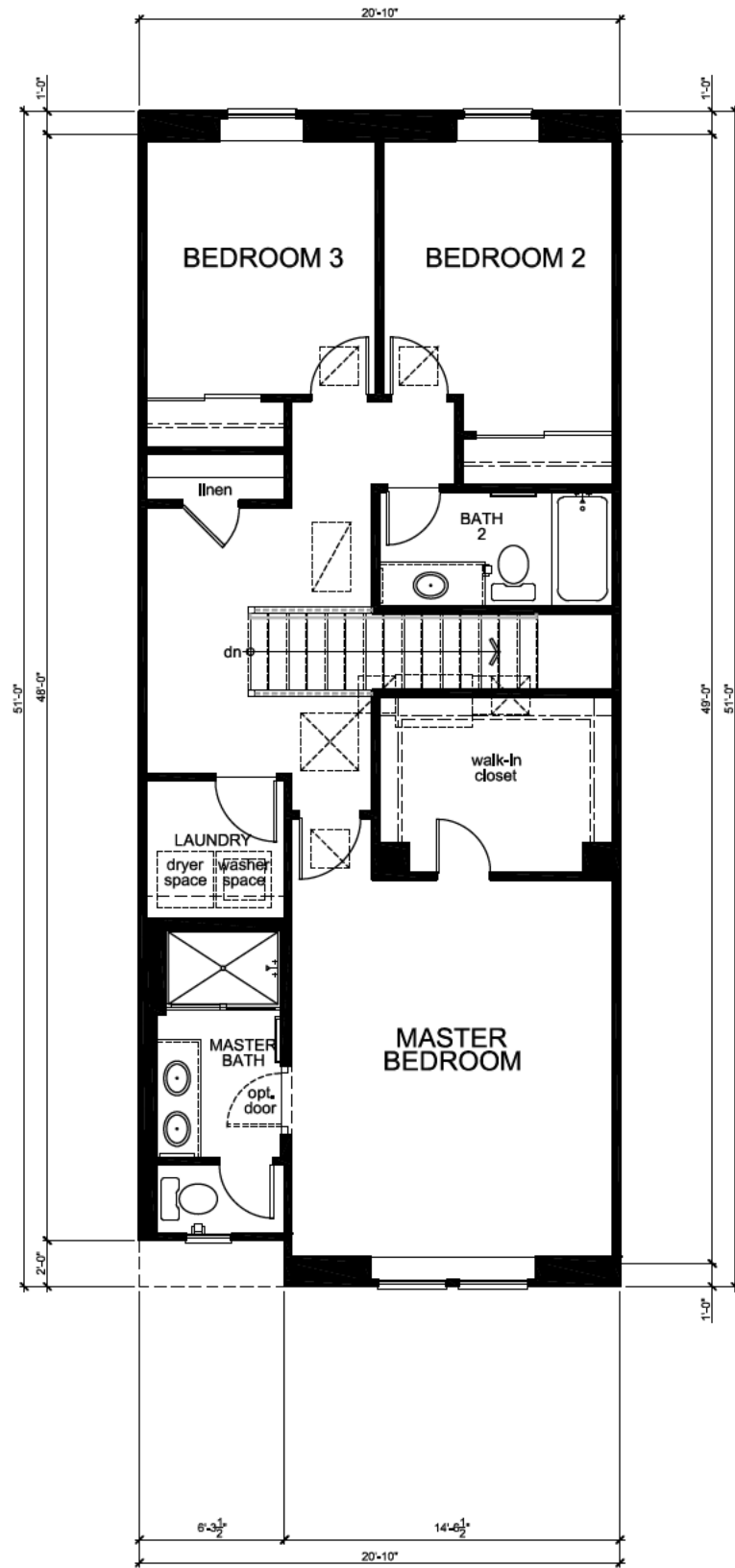
Second Floor Plan 'A'  
(Building Type 01, 02 & 03)

SQUARE FOOTAGE		
PLAN 3 221.1555		
FIRST FLOOR AREA	544	SQ. FT.
SECOND FLOOR AREA	461	SQ. FT.
TOTAL AREA	1005	SQ. FT.
GARAGE AREA	445	SQ. FT.
PORCH AREA	161	SQ. FT.



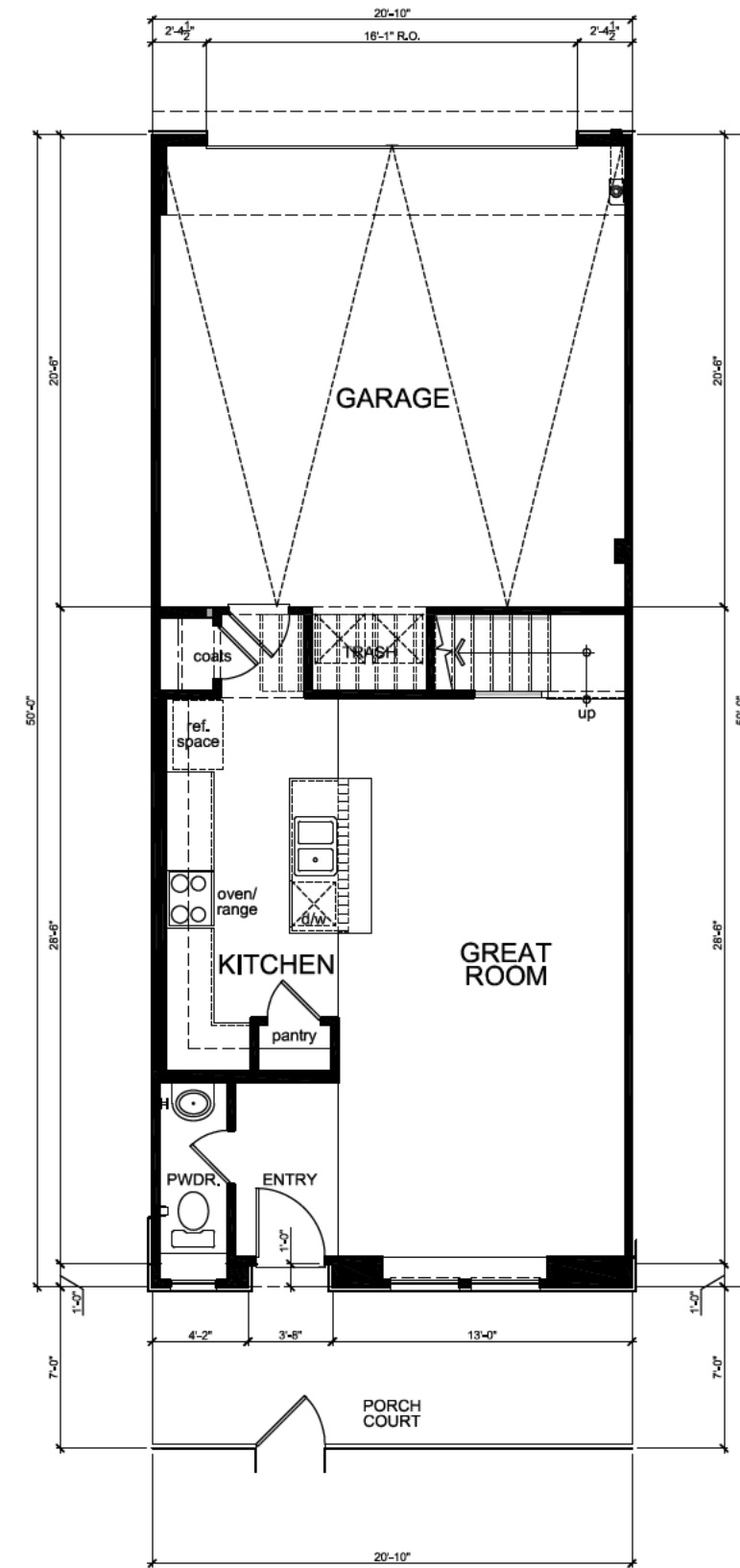
First Floor Plan 'A'  
(Building Type 01, 02 & 03)





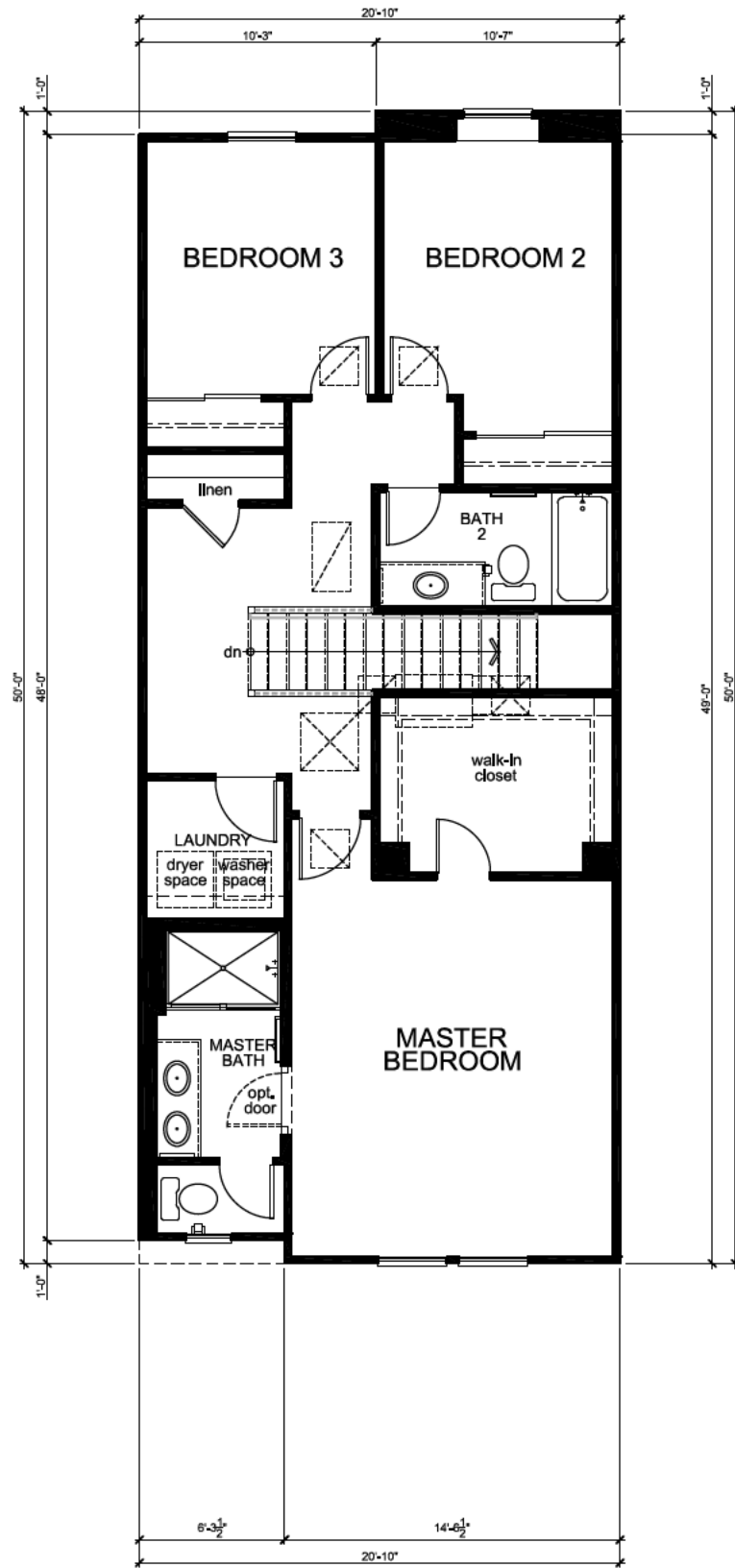
Second Floor Plan 'B'  
(Building Type 01, 02 & 03)

SQUARE FOOTAGE		
PLAN 3 221.1555		
FIRST FLOOR AREA	544	SQ. FT.
SECOND FLOOR AREA	461	SQ. FT.
TOTAL AREA	1005	SQ. FT.
GARAGE AREA	445	SQ. FT.
PORCH AREA	161	SQ. FT.



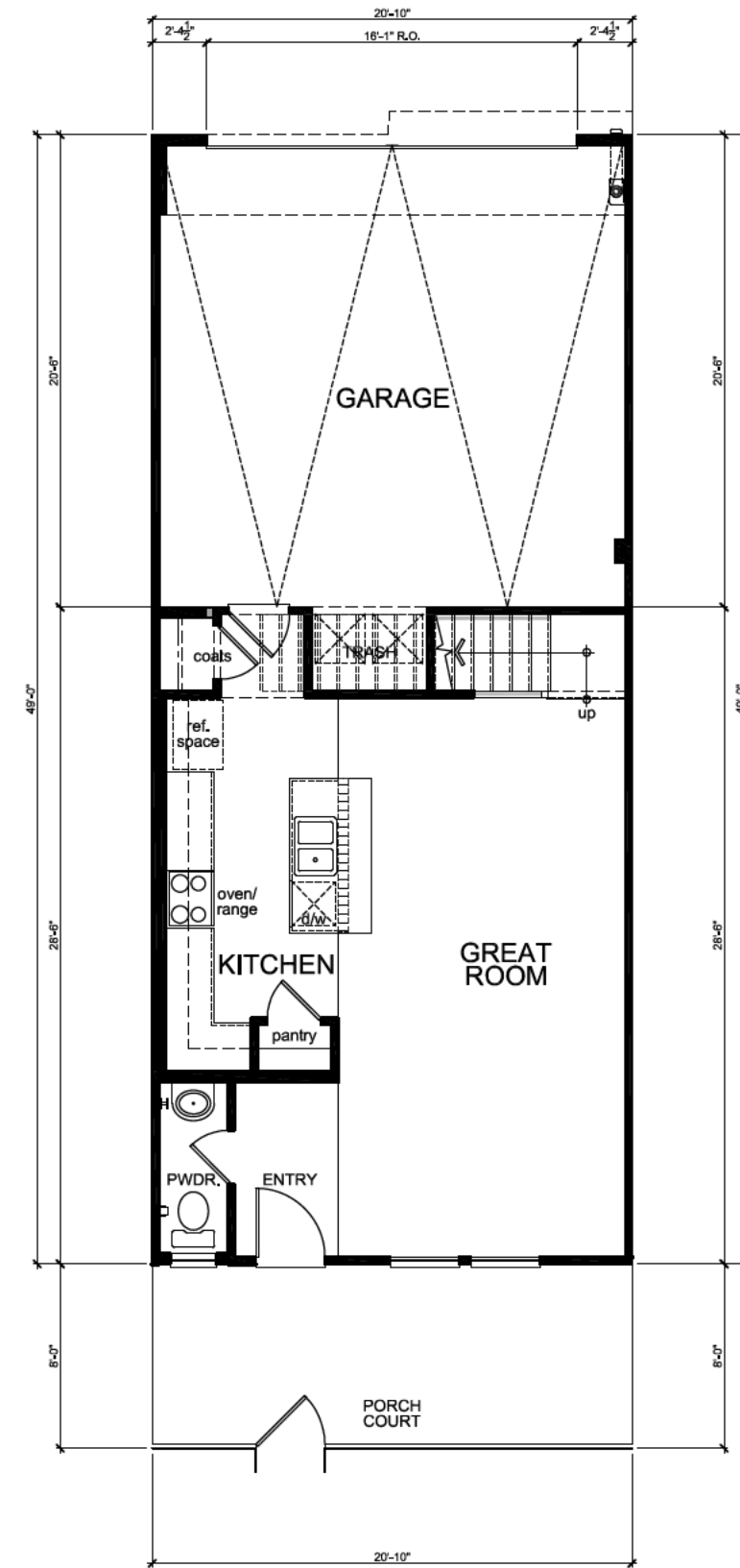
First Floor Plan 'B'  
(Building Type 01, 02 & 03)





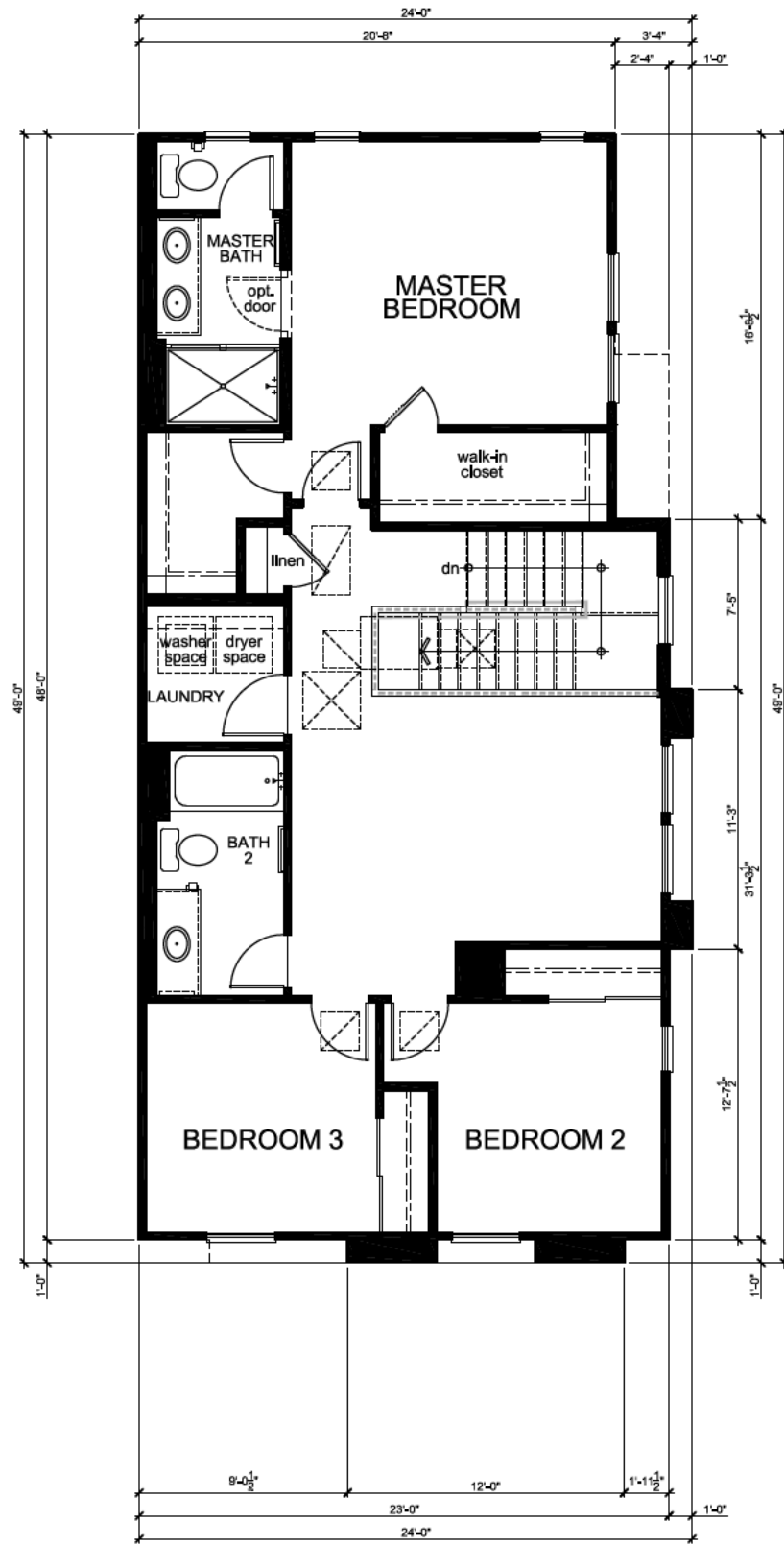
Second Floor Plan 'C'  
(Building Type 01, 02 & 03)

SQUARE FOOTAGE		
PLAN 3 221.1555		
FIRST FLOOR AREA	544	SQ. FT.
SECOND FLOOR AREA	461	SQ. FT.
TOTAL AREA	1005	SQ. FT.
GARAGE AREA	445	SQ. FT.
PORCH AREA	161	SQ. FT.



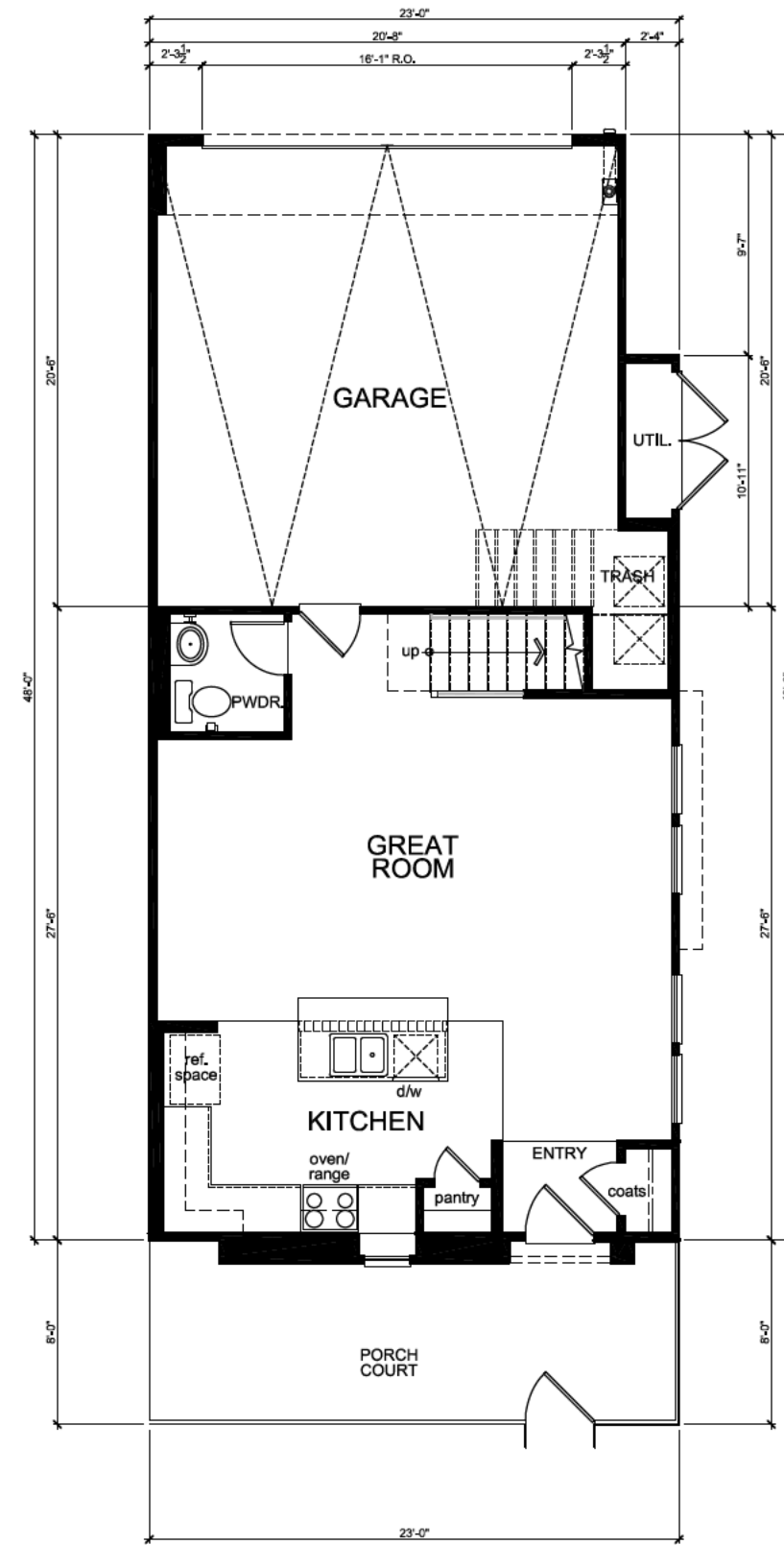
First Floor Plan 'C'  
(Building Type 01, 02 & 03)





Second Floor Plan 'A'  
(Building Type 01, 02 & 03)

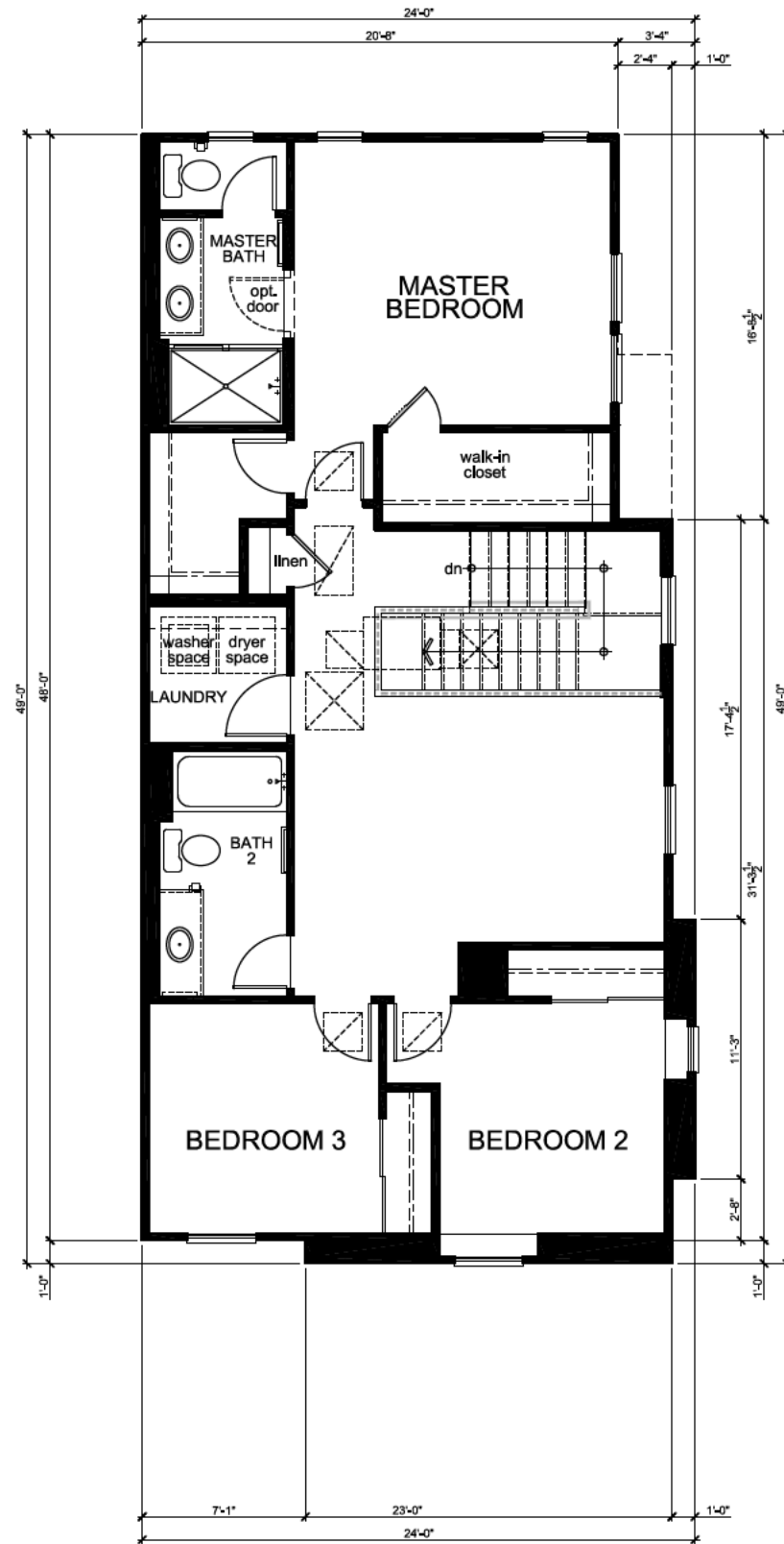
SQUARE FOOTAGE		
PLAN 4 223.1652		
FIRST FLOOR AREA	662	SQ. FT.
SECOND FLOOR AREA	490	SQ. FT.
TOTAL AREA	1652	SQ. FT.
GARAGE AREA	446	SQ. FT.
PORCH AREA	184	SQ. FT.



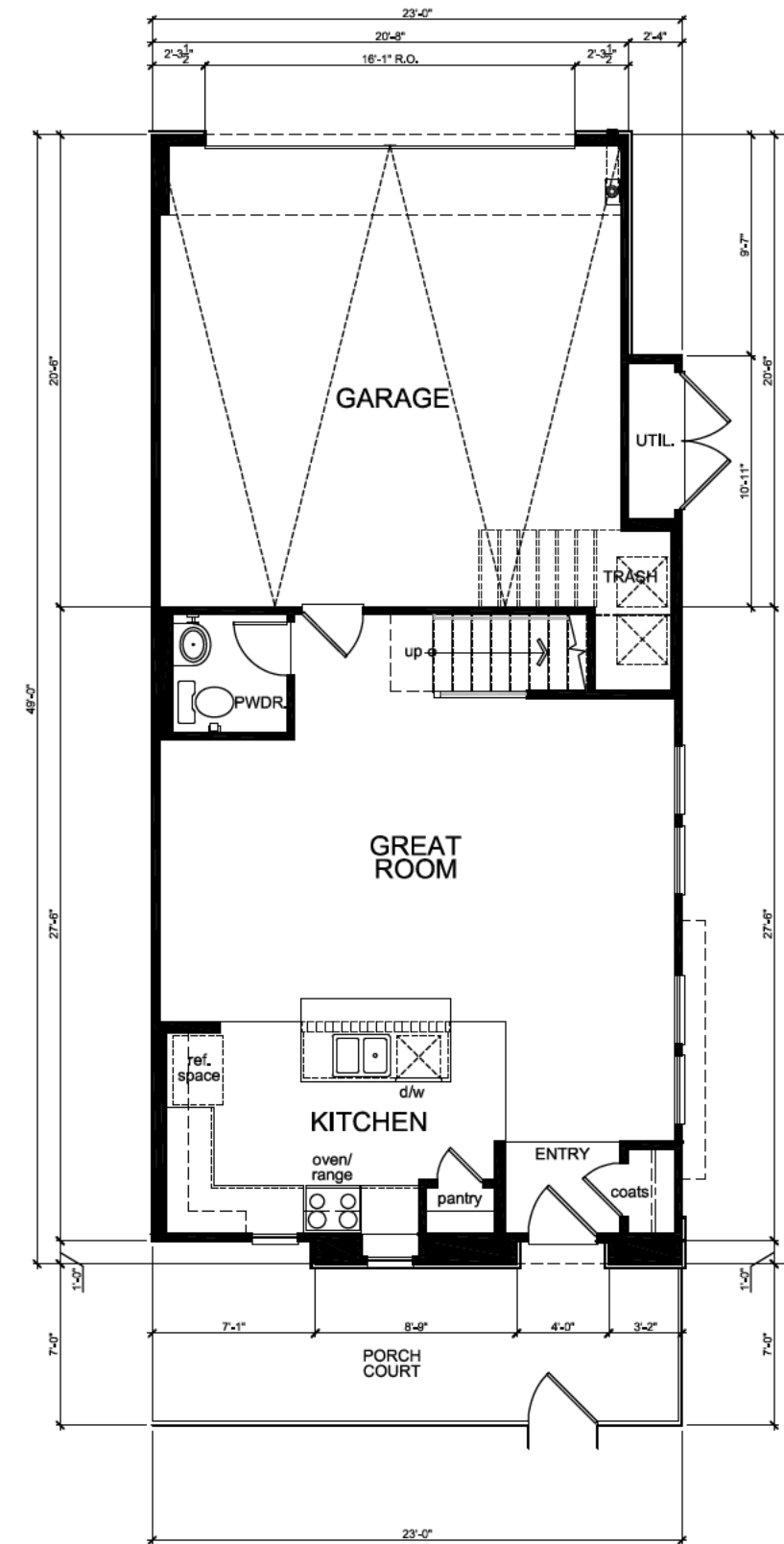
First Floor Plan 'A'  
(Building Type 01, 02 & 03)



SQUARE FOOTAGE		
PLAN 4 223.1652		
FIRST FLOOR AREA	662	SQ. FT.
SECOND FLOOR AREA	490	SQ. FT.
TOTAL AREA	1652	SQ. FT.
GARAGE AREA	446	SQ. FT.
PORCH AREA	184	SQ. FT.



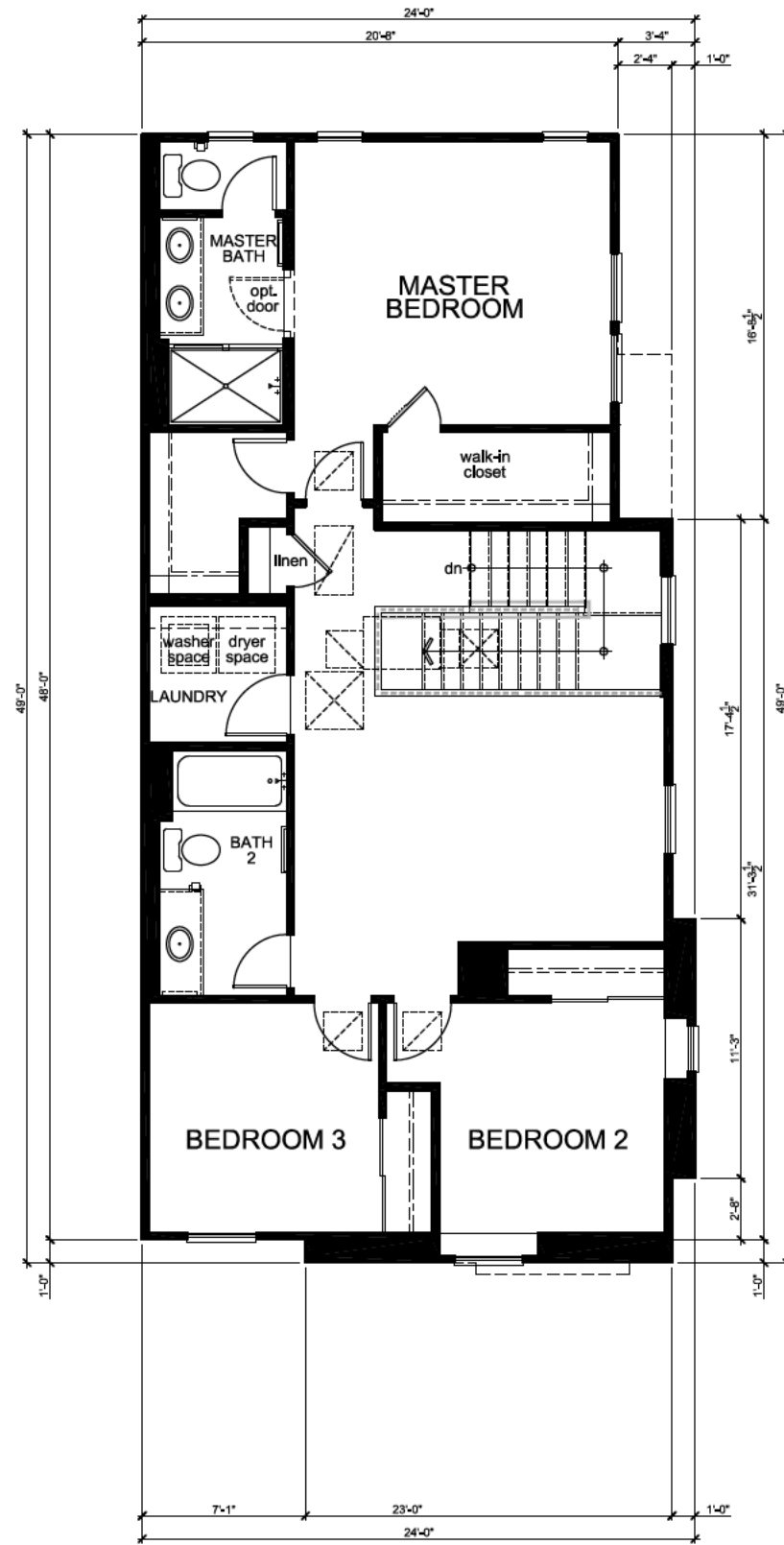
Second Floor Plan 'B'  
(Building Type 01)



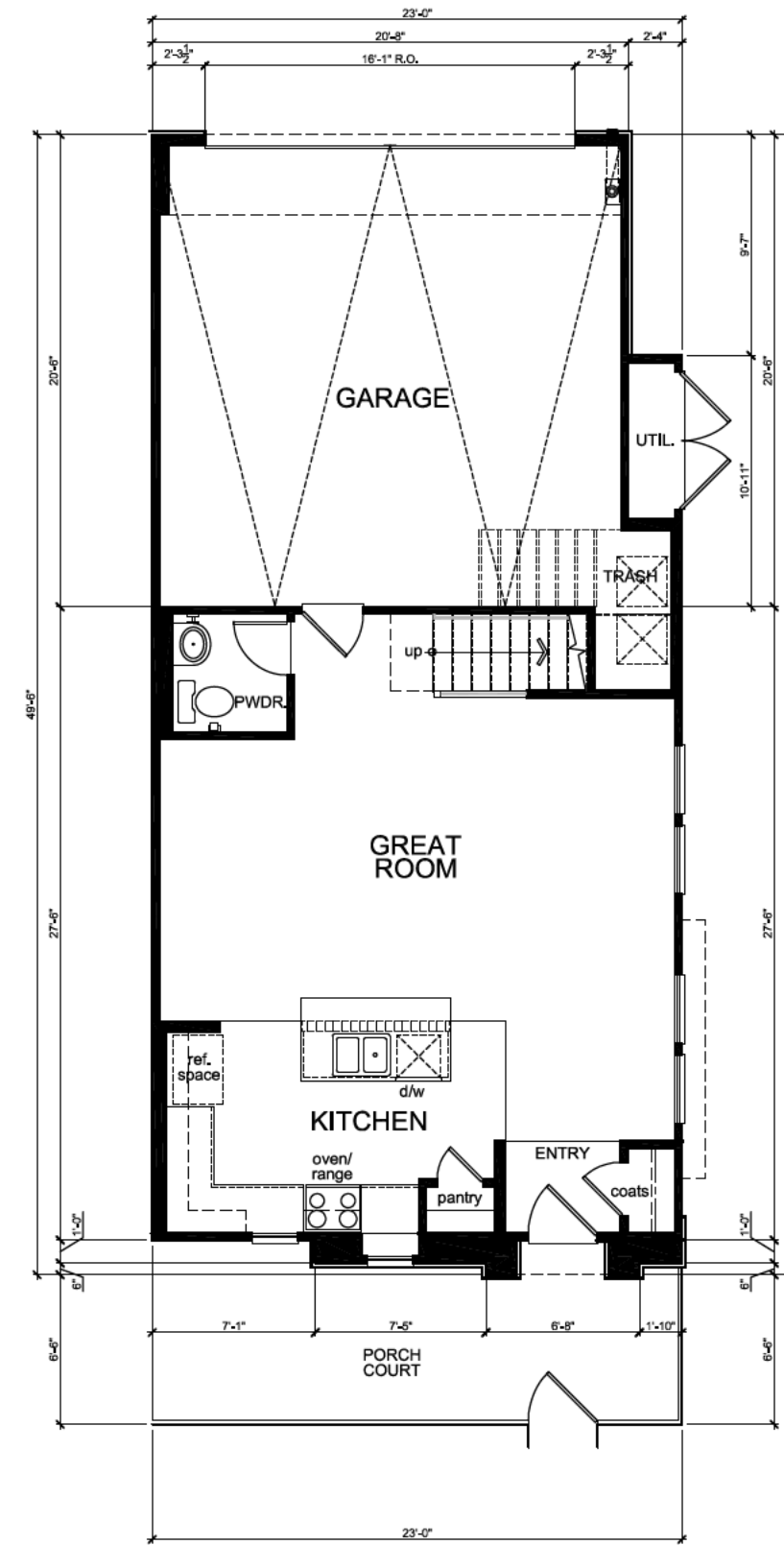
First Floor Plan 'B'  
(Building Type 01)



SQUARE FOOTAGE		
PLAN 4 223.1652		
FIRST FLOOR AREA	662	SQ. FT.
SECOND FLOOR AREA	490	SQ. FT.
TOTAL AREA	1652	SQ. FT.
GARAGE AREA	446	SQ. FT.
PORCH AREA	184	SQ. FT.



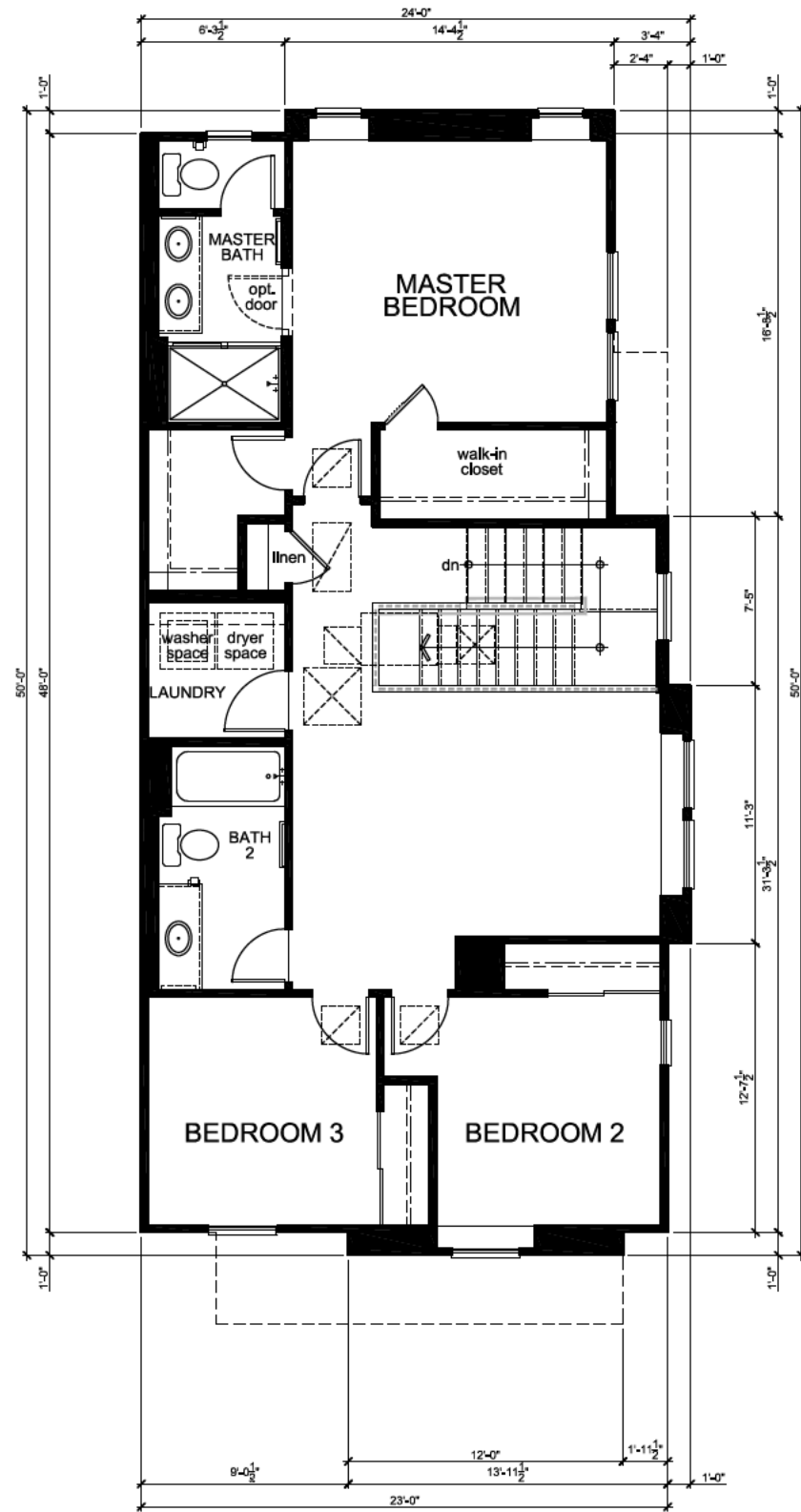
Second Floor Plan 'B'  
(Building Type 02)



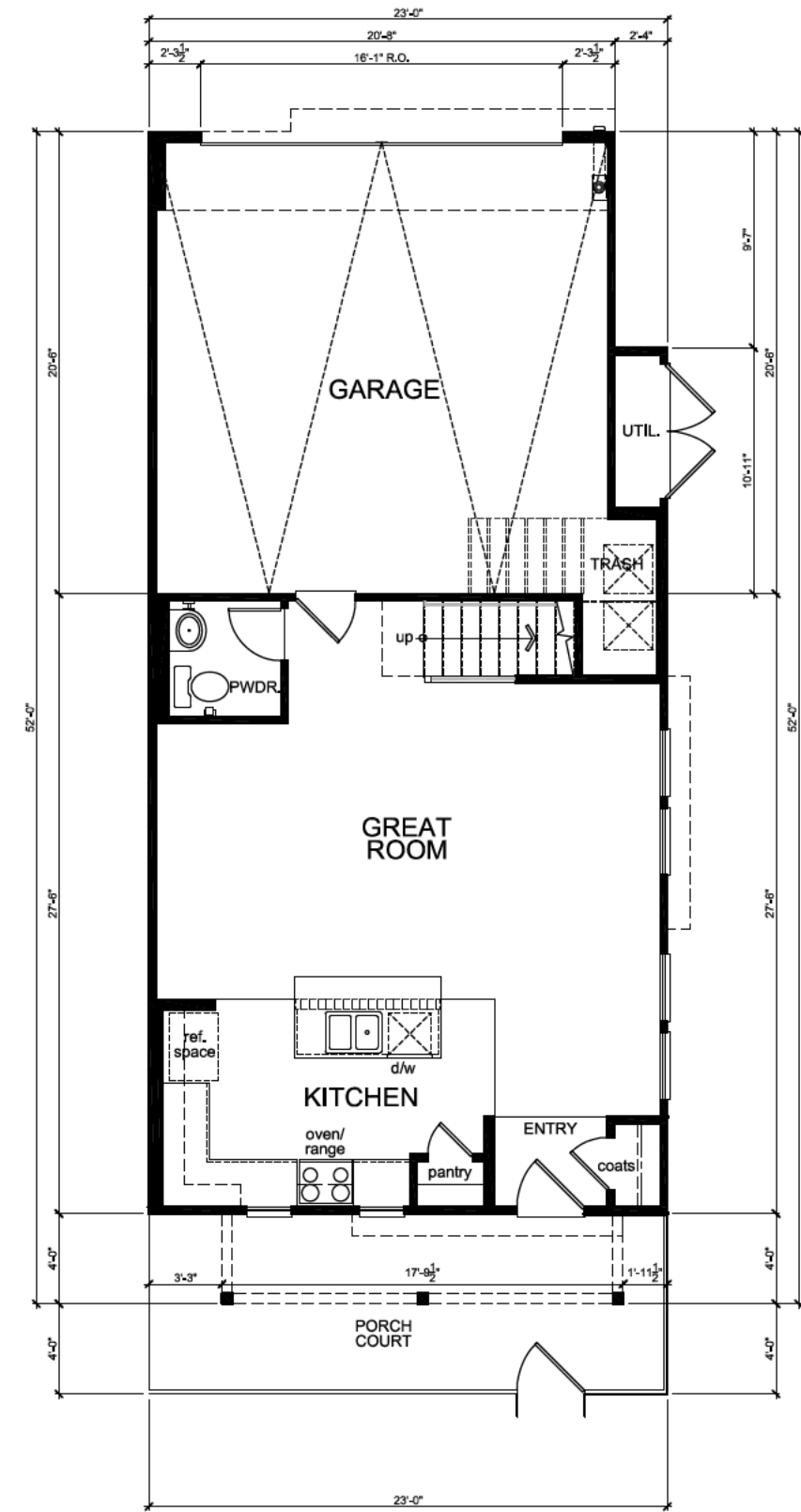
First Floor Plan 'B'  
(Building Type 02)



SQUARE FOOTAGE		
PLAN 4 223.1652		
FIRST FLOOR AREA	662	SQ. FT.
SECOND FLOOR AREA	490	SQ. FT.
TOTAL AREA	1652	SQ. FT.
GARAGE AREA	446	SQ. FT.
PORCH AREA	184	SQ. FT.



Second Floor Plan 'C'  
(Building Type 01, 02 & 03)



First Floor Plan 'C'  
(Building Type 01, 02 & 03)







Rear Elevation (Spanish Colonial)



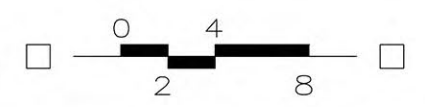
Left Elevation (Spanish Colonial)

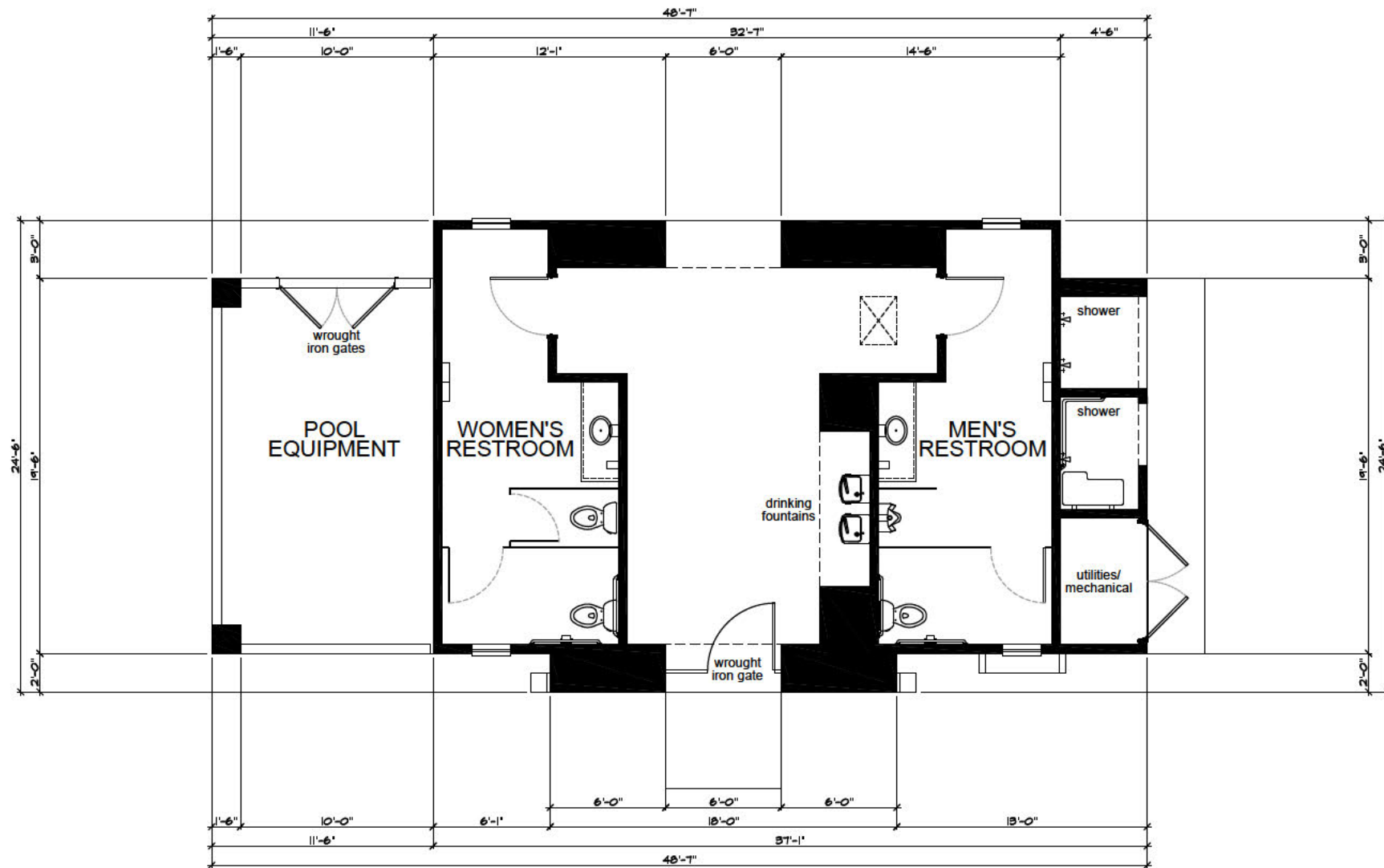


Front Elevation (Spanish Colonial)



Right Elevation (Spanish Colonial)





RESTROOM / POOL EQUIPMENT BUILDING	
WOMEN'S RESTROOM AREA	148 SQ. FT.
MEN'S RESTROOM AREA	148 SQ. FT.
UTILITY / MECHANICAL ROOM	54 SQ. FT.
ENTRY BREEZEWAY AREA	576 SQ. FT.
POOL EQUIPMENT AREA	224 SQ. FT.
SHOWER AREA	54 SQ. FT.
<b>TOTAL AREA</b>	<b>1081 SQ. FT.</b>

Floor Plan



KB Home Southern California/Inland Empire  
 36310 Inland Valley Drive  
 Wildomar, CA 92595  
 (951) 691-5300  
 CHINO, CA

ORCHID PARK RESTROOM / POOL EQUIPMENT BUILDING  
 TENTATIVE TRACT NO. 20247

1,081 SQUARE FEET  
 JOB No. 350885  
 STORY  
 Rev July 9, 2021

## **Attachment B—Conditions of Approval**

*(Conditions of Approval to follow this page)*



## LAND DEVELOPMENT DIVISION CONDITIONS OF APPROVAL

303 East B Street, Ontario, California 91764 Phone: 909.395.2036 / Fax: 909.395.2420

**Date Prepared:** 7/29/2022

**File No:** PDEV21-042

**Related Files:** PMTT18-002 (TM 20157), PMTT18-003 (TM 20158)

**Project Description:** A Development Plan to construct 174 multiple-family residential units on 15.11 acres of land generally located at the southeast corner of Mill Creek Avenue and Old Edison Road, within PA-1 (RD-7/Row Townhomes and RD-8/Motorcourt Townhomes) of the Esperanza Specific Plan (APNs: 0218-252-08 and 0218-252-38); **submitted by KB Home Coastal, Inc.**

**Prepared By:** Jeanie Irene Aguilo, Associate Planner  
Phone: 909.395.2418 (direct)  
Email: jaguilo@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

**1.0 Standard Conditions of Approval.** The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

**2.0 Special Conditions of Approval.** In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

**2.1 Time Limits.** Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

**2.2 General Requirements.** The Project shall comply with the following general requirements:

**(a)** All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility, and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

**(b)** The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

**(c)** The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

### **2.3** Landscaping.

**(a)** The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

**(b)** Comply with the conditions of approval of the Planning Department; Landscape Planning Division.

**(c)** Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

**(d)** Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

**2.4** Walls and Fences. All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

### **2.5** Parking, Circulation and Access.

**(a)** The Project shall comply with the applicable off-street parking, loading and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

**(b)** All drive approaches shall be provided with an enhanced pavement treatment. The enhanced paving shall extend from the back of the approach apron, into the site, to the first intersecting drive aisle or parking space.

**(c)** Areas provided to meet the City's parking requirements, including off-street parking and loading spaces, access drives, and maneuvering areas, shall not be used for the outdoor storage of materials and equipment, nor shall it be used for any other purpose than parking.

**(d)** The required number of off-street parking spaces and/or loading spaces shall be provided at the time of site and/or building occupancy. All parking and loading spaces shall be maintained in good condition for the duration of the building or use.

**(e)** Parking spaces specifically designated and conveniently located for use by the physically disabled shall be provided pursuant to current accessibility regulations contained in State law (CCR Title 24, Part 2, Chapters 2B71, and CVC Section 22507.8).

**(f)** Bicycle parking facilities, including bicycle racks, lockers, and other secure facilities, shall be provided in conjunction with development projects pursuant to current regulations contained in CALGreen (CAC Title 24, Part 11).

## **2.6** Site Lighting.

**(a)** All off-street parking facilities shall be provided with nighttime security lighting pursuant to Ontario Municipal Code Section 4-11.08 (Special Residential Building Provisions) and Section 4-11.09 (Special Commercial/Industrial Building Provisions), designed to confine emitted light to the parking areas. Parking facilities shall be lighted from sunset until sunrise, daily, and shall be operated by a photocell switch.

**(b)** Unless intended as part of a master lighting program, no operation, activity, or lighting fixture shall create illumination on any adjacent property.

## **2.7** Mechanical and Rooftop Equipment.

**(a)** All exterior roof-mounted mechanical, heating and air conditioning equipment, and all appurtenances thereto, shall be completely screened from public view by parapet walls or roof screens that are architecturally treated so as to be consistent with the building architecture.

**(b)** All ground-mounted utility equipment and structures, such as tanks, transformers, HVAC equipment, and backflow prevention devices, shall be located out of view from a public street, or adequately screened through the use of landscaping and/or decorative low garden walls.

**2.8** Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

## **2.9** Signs.

**(a)** All Project signage shall comply with the requirements of Ontario Development Code Division 8.1 (Sign Regulations).

**2.10** Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noised levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

**2.11** Disclosure Statements. A copy of the Public Report from the Department of Real Estate, prepared for the subdivision pursuant to Business and Professions Code Section 11000 et seq., shall be provided to each prospective buyer of the residential units and shall include a statement to the effect that:

**(a)** This tract is subject to noise from the Ontario International Airport and may be more severely impacted in the future.

**(b)** Some of the property adjacent to this tract is zoned for agricultural uses and there could be fly, odor, or related problems due to the proximity of animals.

**(c)** The area south of Riverside Drive lies within the San Bernardino County Agricultural Preserve. Dairies currently existing in that area are likely to remain for the foreseeable future.

**(d)** This tract is part of a Landscape Maintenance District. The homeowner(s) will be assessed through their property taxes for the continuing maintenance of the district.

#### **2.12** Environmental Review.

**(a)** The environmental impacts of this Project were previously reviewed in conjunction with the Esperanza Specific Plan (File No. PSP05-002) Environmental Impact Report (State Clearinghouse No. 2002061047) certified by the City Council on February 6, 2007. This application introduces no new significant environmental impacts. The City's "Guidelines for the Implementation of the California Environmental Quality Act ("CEQA")" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed. The previously adopted mitigation measures shall be a condition of project approval and are incorporated herein by this reference.

**(b)** If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

**(c)** If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

**2.13** Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

#### **2.14** Additional Fees.

**(a)** Within 5 days following final application approval, the Notice of Determination ("NOD") filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act ("CEQA"). Failure to provide said fee within the time specified will result in the extension of the statute of limitations for the filing of a CEQA lawsuit from 30 days to 180 days.

**(b)** After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

**2.15** Additional Requirements.

**(a)** The maximum height of the low garden wall along the building frontage shall be no more than 3 feet in height. Final design shall complement the architectural style of the building and will require Planning Director review and approval.

**(b)** Final sets of plans shall be provided after project approval per the directions to be provided by the Planning Department.

**(c)** Final project details, including but not limited to, architecture, grading, landscaping, and recreation facilities shall be subject to review and approval as part of the Plan Check process.

**(d)** The model sales office shall require review and approval of a Temporary Use Permit, to be submitted prior to Planning approval of building plan checks pertaining to model sales units.

**(e)** The applicant shall contact the Ontario Post Office to determine the size and location of mailboxes for this project. The location of the mailboxes shall be submitted to the Planning Department for review and approval prior to the issuance of building permits.

**(f)** All conditions of approval from all other City agencies and departments shall be complied with.



# AIRPORT LAND USE COMPATIBILITY PLANNING

## CONSISTENCY DETERMINATION REPORT



Project File No.: PDEV21-042  
 Address: SEC Mill Creek & Old Edison Road  
 APN: 0218-252-07 & 08  
 Existing Land Use: Vacant  
 Proposed Land Use: Development Plan to construct 174 Single family homes  
 Site Acreage: 13.4 Proposed Structure Height: 35 FT  
 ONT-IAC Project Review: n/a  
 Airport Influence Area: ONT

Reviewed By: Lorena Mejia  
 Contact Info: 909-395-2276  
 Project Planner: Jeanie Aguilo  
 Date: 6/7/2022  
 CD No.: 2021-069  
 PALU No.: n/a

### The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input type="checkbox"/> High Terrain Zone	<input type="checkbox"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input type="checkbox"/> FAA Notification Surfaces	<input type="checkbox"/> Recorded Overflight Notification
<input type="radio"/> Zone 2	<input type="checkbox"/> 65 - 70 dB CNEL	<input type="checkbox"/> Airspace Obstruction Surfaces	<input checked="" type="checkbox"/> Real Estate Transaction Disclosure
<input type="checkbox"/> Zone 3	<input type="checkbox"/> 60 - 65 dB CNEL	<input type="checkbox"/> Airspace Avigation Easement Area	
<input type="radio"/> Zone 4		Allowable Height: <u>200 FT +</u>	
<input type="radio"/> Zone 5			

### The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1   
  Zone 2   
  Zone 3   
  Zone 4   
  Zone 5   
  Zone 6  
 Allowable Height: \_\_\_\_\_

## CONSISTENCY DETERMINATION

This proposed Project is:  Exempt from the ALUCP   
 Consistent   
 Consistent with Conditions   
 Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

See Attached Conditions

Airport Planner Signature:

# AIRPORT LAND USE COMPATIBILITY PLANNING

## CONSISTENCY DETERMINATION REPORT

CD No.: 2021-069  
PALU No.: \_\_\_\_\_

### PROJECT CONDITIONS

The applicant is required to meet the Real Estate Transaction Disclosure in accordance with California Codes (Business and Professions Code Section 11010-11024). New residential subdivisions within an Airport Influence Area are required to file an application for a Public Report consisting of a Notice of Intention (NOI) and a completed questionnaire with the Department of Real Estate and include the following language within the NOI:


#### NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you.

**CITY OF ONTARIO**  
**LANDSCAPE PLANNING DIVISION**  
 303 East "B" Street, Ontario, CA 91764

**CONDITIONS OF APPROVAL**

Sign Off



07/22/2022

Jamie Richardson, Sr. Landscape Planner

Date

Reviewer's Name:

**Jamie Richardson, Sr. Landscape Planner**

Phone:

**(909) 395-2615**

D.A.B. File No.:

PDEV21-042

Case Planner:

Jeanie Aguilo

Project Name and Location:

Esperanza – 174 Row Townhomes  
 TM20157 & TM20158

Applicant/Representative:

KB Home Coastal Inc. (909) 991-9369 [ctsutsui@kbhome.com](mailto:ctsutsui@kbhome.com)  
 36310 Inland Valley Drive  
 Wildomar, CA 92595



**Preliminary Plans (dated 07/05/2022) meet the Standard Conditions for New Development and have been approved considering that the following conditions below be met upon submittal of the landscape construction documents.**



**Preliminary Plans (dated) have not been approved. Corrections noted below are required before Preliminary Landscape Plan approval.**

**A RESPONSE SHEET IS REQUIRED WITH RESUBMITTAL OR PLANS WILL BE RETURNED AS INCOMPLETE.**

Landscape construction plans with plan check number may be emailed to:

[landscapeplancheck@ontarioca.gov](mailto:landscapeplancheck@ontarioca.gov)

Civil/ Site Plans

1. Show transformers set back 5' from paving all sides. Coordinate with landscape plans.
2. Show backflow devices set back 4' from paving all sides. Locate on level grade.
3. Note for compaction to be no greater than 85% at landscape areas. All finished grades at 1 1/2" below finished surfaces. Slopes to be maximum 3:1.
4. Add Note to Grading Plans: Landscape areas where compaction has occurred due to grading activities and where trees or stormwater infiltration areas are located shall be loosened by soil fracturing. For trees, a 12'x12'x18" deep area; for stormwater infiltration, the entire area shall be loosened. Add the following information on the plans: The backhoe method of soil fracturing shall be used to break up compaction. A 4" layer of Compost is spread over the soil surface before fracturing is begun. The backhoe shall dig into the soil lifting and then drop the soil immediately back into the hole. The bucket then moves to the adjacent soil and repeats. The Compost falls into the spaces between the soil chunks created. Fracturing shall leave the soil surface quite rough with large soil clods. These must be broken by additional tilling. Tilling in more Compost to the surface after fracturing per the soil report will help create an A horizon soil. Imported or reused Topsoil can be added on top of the fractured soil as needed for grading. The Landscape Architect shall be present during this process and provide certification of the soil fracturing. For additional reference, see Urban Tree Foundation – Planting Soil Specifications.
5. Show a mountable curb at the roundabout with a 24" area of enhanced paving.

Landscape Plans

6. During plan check, coordinate with Ontario Municipal Utilities Company (OMUC) to submit irrigation plans for recycled water systems to [omucwaterquality@ontarioca.gov](mailto:omucwaterquality@ontarioca.gov). OMUC shall

review and approve irrigation systems utilizing recycled water prior to final landscape approval. Submit an electronic approval letter or memo from OMUC with resubmittal of the landscape package.

7. Overhead spray systems shall be designed for plant material less than the height of the spray head.
8. Show concrete mowstrips to identify property lines along open areas or to separate ownership or between maintenance areas.
9. All single-family and multi-family residential front yards shall have landscape and irrigation. Including private patio spaces at entries; provide a hose bib, an anti-syphon valve with a patio tree or shrub, and a battery powered controller such as Hunter Node. Note on plans.
10. After a project's entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council. Landscape construction plans with building permit number for plan check may be emailed to: [landscapeplancheck@ontarioca.gov](mailto:landscapeplancheck@ontarioca.gov)



# CITY OF ONTARIO MEMORANDUM



**DATE:** July 21, 2022  
**TO:** Miguel Sotomayor, Engineering Department  
**CC:** Jeanie Aguilo, Planning Department  
**FROM:** Heather Young, Utilities Engineering Department  
Christy Stevens, Utilities Engineering Department  
**SUBJECT:** DPR#3 - Utilities Conditions of Approval (COA) (#8438)  
**PROJECT NO.:** PDEV21-042

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## BRIEF DESCRIPTION:

*A Development Plan to construct 174 single-family row townhomes on 13.4 acres of land generally located at the southeast corner of Mill Creek Avenue and Old Edison Road, within PA-1 (RD-7 /Row Townhomes) of the Esperanza Specific Plan (APN(s): 0218-252-07 and 0218-252-08). Related Files: PMTT18-002 (TTM 20157), PMTT18-003 (TTM 20158).*

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## THIS SUBMITTAL IS COMPLETE AND RECOMMENDED FOR APPROVAL.

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**CONDITIONS OF APPROVAL:** *The Ontario Municipal Utilities Company (OMUC) Utilities Engineering Division recommends this application for approval subject to the Conditions of Approval outlined below and compliance with the City's Design Development Guidelines, Specifications Design Criteria, and City Standards. The Applicant shall be responsible for the compliance with and the completion of all the following applicable Conditions of Approval prior to the following milestones and subject to compliance with City's Design Development Guidelines, Specifications Design Criteria, and City Standards:*

1. Standard Conditions of Approval: Project shall comply with the requirements set forth in the Amendment to the Standard Conditions of Approval for New Development Projects adopted by the City Council (Resolution No. 2017-027) on April 18, 2017, or as amended or superseded by Council Resolution; as well as project-specific conditions/requirements as outlined below.

***Prior to Issuance of Any Permits (Grading, Building, Demolition and Encroachment), unless other timeline milestones are specified by individual conditions below, the Applicant Shall:***

***General Conditions (Section 2.A, Other conditions): The Applicant shall comply with the following:***

2. Inherited Requirements and Conditions of Approval: This project is subject to all the requirements and Conditions of Approval set forth in the: Esperanza Specific Plan, PMTT18-002 (TTM 20157), PMTT18-003 (TTM 20158), and PDA19-002, as amended. Any conflict in Conditions of Approval and requirements, the Conditions of Approval below for this Project will supersede.
3. Note the following definitions and concepts for Public Utility Improvements and Private Utility Improvements: Public Improvements shall be designed per City Public Design Guidelines and City Standards and constructed through a City Encroachment Permit; and, Private Onsite Improvements shall be designed per Building Code and Plumbing Code and constructed through a City Building Permit.
  - a. Public Utility Improvements include the following: water main pipelines and sewer main pipelines; sewer laterals connecting to a Public Sewer Main up to the Cleanout (or Manhole) at PL/RoW; water services and connected appurtenances (Meters/Meter Boxes, Fire Hydrants, Airvacs, Blowoffs, etc.) connecting to a Public Water Main per City Standards; and, Fire Services connecting to a Public Water Main from the Main up to the DCDA. Public Water Improvements and Public Sewer Improvements are required to be designed and constructed through Public Improvement Plans with Plan View and Profile View per City Standards, Guidelines, and Requirements.
  - b. Private Utility Improvements include the following: onsite water plumbing lines after a Public Meter, or after the Fire DCDA and including the DCDA; Backflow Devices and other Cross-Connection

Prevention; onsite sewer upstream of the Public Sewer Lateral, including the Cleanout (or Manhole) at PL/RoW/PUE Edge; Monitoring Manholes and other Wastewater Pretreatment Facilities. Private Onsite Utility Improvements are required to be designed and constructed per Building and Plumbing Plans with: the Backflows, DCDAs, Cleanout (or Manhole) at PL/RoW/PUE Edge, and Monitoring Manholes being designed and constructed through a Precise Grading Plan; and, the other Pretreatment Devices (Grease Interceptor, Sand, Oil Interceptors, etc.) and the connections to the buildings and structures through a building Plumbing Plan.

4. **Public Utility Easements:** Any City of Ontario Public Utilities that will not be installed within the public Right-of-Way (RoW), shall be installed within a Public Utility Easement (PUE) and shall comply with the following requirements (as applicable, these requirements also apply to utilities in Public RoW and Public RoW/PUE combinations):
  - a. The PUE shall be a minimum of 20 feet wide, centered on the utility main contained within it with 10 feet of PUE on each side of each main;
  - b. The PUE shall be a minimum of 10 feet wide, centered on the utility services/laterals contained within it with 5 feet of PUE on each side of each service/lateral;
  - c. The PUE shall be a minimum of 5 feet behind and 5 feet on each side of a water meter box, and 5 feet on each side of water appurtenances (fire hydrants, blowoffs, airvacs, etc.);
  - d. For any above ground public water appurtenances (fire hydrants, blowoffs, airvacs, etc) that are behind non-raised curbs (no curb, 0" curb, roll curb, v-curb, or non-raised curb) or far enough back from curb or in a curve return, install bollard protect posts per applicable City Standard Drawings as required by Ontario Municipal Utilities Company field staff.
  - e. The PUE shall not contain any storm water improvements (infiltration, detention, retention, bioswale, etc.), landscaping with thick or intrusive root structures, or any permanent structures or overhangs of permanent structures;
  - f. The PUE surface shall be improved and shall be designed to allow vehicle access over and along the full length and width of the utility main by any City maintenance vehicle;
  - g. Within a PUE, all Department of Drinking Water (DDW) Water Main Separations per California Code of Regulations (CCR) §64572 shall be met between all Public City Utilities, Non-City Utilities, and Private Utilities. Additionally, at minimum there shall be a 4 feet horizontal separation between each utility as measured between the outside walls of the utility pipelines, or in the case of a Joint Utility Trench, between the outside wall of the Joint Utility Trench and the outside wall of the utility pipeline.
5. **Well Abandonment:** All existing ground water wells within the Project's boundaries shall be abandoned per County and State requirements. A copy of the State of California Well Completion Report (Form DWR 188) shall be submitted prior to approval of the precise grading.
6. **Septic Tank Abandonment:** Abandon all existing septic tank(s) within the Project's boundaries per County standards.

***Potable Water Conditions (Section 2.D): The Applicant shall comply with the following:***

7. **Potable Water Service:**
  - a. **Backflow Prevention:**
    - i. Each Meter connected to the Public Potable Water System that serves any use that is more than one (1) single family residential unit or any non-residential use requires a backflow prevention device.
  - b. **Domestic Service:** For domestic water uses:
    - i. Each Building shall have a its own domestic water service and meter connected to the Public Potable Water System.
  - c. **Fire Water Service:** For onsite private Fire System uses:
    - i. Where the domestic water service and meters connected to the Public Potable Water System that serves any use that is more than one (1) single family detached residential unit, or any non-residential use: if an onsite private fire system is required, then a separate Fire Service with Double Check Detector Assembly (DCDA) per City Standard #4208 connected to the

Public Potable Water System is required, to serve the onsite private fire system. The onsite fire system and onsite domestic water plumbing system shall be separate.

1. In certain residential cases where a separate fire service with DCDA connected to the Public Potable Water System is not required by above the requirement, and approved by the City Fire Department and the City Building Department, then the California Residential Code must be followed for the residential buildings; if the California Residential Code is not followed for the residential buildings; then a separate fire service with DCDA is required.
2. The submitted Conceptual Utilities Systems Map dated 6/24/2022 proposed no separate fire services for the residential units. If separate fire services with DCDAs are required, a delta on the approved water improvement plans shall be submitted for review and approval.

***Recycled Water Conditions (Section 2.E): The Applicant shall comply with the following:***

8. City Ordinance 2689: This development shall comply with City Ordinance 2689 and make use of recycled water for all approved uses, including but not limited to landscape irrigation. Appropriately sized public and private mains shall be installed throughout the Project to meet this requirement, as approved by the City.
9. RW Program Requirements: In order to receive RW service, the applicant shall comply with each of the following:
  - a. Prior to Precise Grading Plan Approval and Building Permits Issuance:
    - i. Provide two hard copies and the digital files (in PDF and AutoCAD format) for both on-site and off-site utility plans, including landscape and irrigation improvements.
    - ii. Submit an **Engineering Report (ER)** to the City detailing recycled water usage for review and approval by the City and the State. The review process for the ER is typically 3 months. City will coordinate the State's approval of the ER.
    - iii. For details, contact Cynthia Heredia-Torres at (909) 395-2647 or [ctorres@ontarioca.gov](mailto:ctorres@ontarioca.gov).
  - b. Prior to Occupancy Release/Finalizing:
    - i. Pass start-up and cross-connection test successfully.
    - ii. Provide evidence demonstrating the training of on-site supervisor or designee as determined in the ER.



# CITY OF ONTARIO

## MEMORANDUM

**TO:** Jeanie Irene Aguilo, Associate Planner  
Planning Department

**FROM:** Paul Ehrman, Sr. Deputy Fire Chief/Fire Marshal  
Fire Department

**DATE:** December 20, 2021

**SUBJECT:** PDEV21-042 - A Development Plan to construct a 174 single-family row townhomes on 13.4 acres of land generally located at the southeast corner of Mill Creek Avenue and Old Edison Road, within PA-1 (RD-7/Row Townhomes) of the Esperanza Specific Plan (APNs: 0218-252-07 and 0218-252-08). Related Files: PMTT18-002 (TTM 20157), PMTT18-003 (TTM 20158).

- 
- The plan **does** adequately address Fire Department requirements at this time.
- Standard Conditions of Approval apply, as stated below.

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### **SITE AND BUILDING FEATURES:**

- A. 2019 CBC Type of Construction: Type VB
- B. Type of Roof Materials: Ordinary
- C. Ground Floor Area(s): Varies, Multiple Units per Building
- D. Number of Stories: 2
- E. Total Square Footage: Varies
- F. 2019 CBC Occupancy Classification(s): R-2



## **CONDITIONS OF APPROVAL:**

### **1.0 GENERAL**

- ☒ 1.1 The following are the Ontario Fire Department (“Fire Department”) requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards (“Standards.”) It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at [www.ontarioca.gov/Fire/Prevention](http://www.ontarioca.gov/Fire/Prevention).
- ☒ 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

### **2.0 FIRE DEPARTMENT ACCESS**

- ☒ 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See Standard #B-004.
- ☒ 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25’) inside and forty-five feet (45’) outside turning radius per Standard #B-005.
- ☒ 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150’) in length shall have an approved turn-around per Standard #B-002.
- ☒ 2.4 Access drive aisles which cross property lines shall be provided with CC&Rs, access easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of building plan check.
- ☒ 2.5 "No Parking-Fire Lane" signs and /or red painted curbs with lettering are required to be installed in interior access roadways, in locations where vehicle parking would obstruct the minimum clear width requirement. Installation shall be per Standard #B-001.
- ☒ 2.6 Security gates or other barriers on fire access roadways shall be provided with a Knox brand key switch or padlock to allow Fire Department access. See Standards #B-003, B-004 and H-001.
- ☒ 2.7 Any time PRIOR to on-site combustible construction and/or storage, a minimum twenty-four (24) ft. wide circulating all weather access roads shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved by fire department and other emergency services.

### 3.0 WATER SUPPLY

- ☒ 3.1 The required fire flow per Fire Department standards, based on the 2019 California Fire Code, Appendix B, is 2500 gallons per minute (g.p.m.) for 2 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure (not all unit sizes were provided).
- ☒ 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300') apart, per Engineering Department specifications.
- ☒ 3.4 The water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

### 4.0 FIRE PROTECTION SYSTEMS

- ☒ 4.2 Underground fire mains which cross property lines shall be provided with CC & R, easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of fire department plan check. The shared use of private fire mains or fire pumps is allowable only between immediately adjacent properties and shall not cross any public street.
- ☒ 4.3 An automatic fire sprinkler system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 13. All new fire sprinkler systems, except those in single family dwellings, which contain twenty (20) sprinkler heads or more shall be monitored by an approved listed supervising station. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- ☒ 4.4 Wood frame buildings that are to be sprinkled shall have these systems in service (but not necessarily finalized) before the building is enclosed.
- ☒ 4.5 Fire Department Connections (FDC) shall be located on the address side of the building within one hundred fifty feet (150') of a public fire hydrant on the same side of the street. Provide identification for all fire sprinkler control valves and fire department connections per Standard #D-007. Raised curbs adjacent to Fire Department connection(s) shall be painted red, five feet either side, per City standards.
- ☒ 4.6 A fire alarm system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 72. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- ☒ 4.7 Portable fire extinguishers are required to be installed prior to occupancy per Standard #C-001. Please contact the Fire Prevention Bureau to determine the exact number, type and placement required.

## 5.0 BUILDING CONSTRUCTION FEATURES

- ☒ 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- ☒ 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.
- ☒ 5.3 Single station smoke alarms and carbon monoxide alarms are required to be installed per the California Building Code and the California Fire Code.
- ☒ 5.4 Multiple unit building complexes shall have building directories provided at the main entrances. The directories shall be designed to the requirements of the Fire Department, see Section 9-1 6.06 of the Ontario Municipal Code and Standard #H-003. .
- ☒ 5.5 All residential chimneys shall be equipped with an approved spark arrester meeting the requirements of the California Building Code.
- ☒ 5.6 Knox ® brand key-box(es) shall be installed in location(s) acceptable to the Fire Department. All Knox boxes shall be monitored for tamper by the building fire alarm system. See Standard #H-001 for specific requirements.
- ☒ 5.7 Placards shall be installed in acceptable locations on buildings that store, use or handle hazardous materials in excess of the quantities specified in the CFC. Placards shall meet the requirements of National Fire Protection Association (NFPA) Standard 704.
- ☒ 5.8 The building shall be provided with a Public Safety 800 MHZ radio amplification system per the Ontario Municipal Code Section 4-11.09 (n) and the CFC. The design and installation shall be approved by the Fire Department.



# CITY OF ONTARIO

## MEMORANDUM

**TO:** Jeanie Irene Aguilo, Associate Planner

**FROM:** Tony Galban, Police Officer

**DATE:** December 2, 2021

**SUBJECT:** PDEV21-042- A DEVELOPMENT PLAN TO CONSTRUCT 174 SINGLE-FAMILY ROW TOWNHOMES ON 13.4 ACRES OF LAND LOCATED AT THE SOUTHEAST CORNER OF MILL CREEK AVENUE AND OLD EDISON ROAD. RELATED FILES: PMTT18-002 (TTM 20157), PMTT 18-003 (TTM 20158).

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The “Standard Conditions of Approval” contained in Resolution No. 2017-027 for “Ontario ranch Projects” apply. The applicant shall read and be thoroughly familiar with these conditions, including but not limited to, the requirements listed below.

- Required lighting for all walkways, paseos, driveways, doorways, parking areas, parks, park walkways, playgrounds, recreation areas and other areas used by the public shall be provided and operate on photosensor at the prescribed foot-candle levels. Photometrics shall be provided to the Police Department. Photometrics shall include the types of fixtures proposed and demonstrate that such fixtures meet the vandal-resistant requirement. Planned landscaping shall not obstruct lighting.
- The Applicant shall install illuminated address numbers, powered by photocell, on each individual unit and shall not be controlled by the building occupants.
- The Applicant shall comply with all construction site security requirements as stated in the Standard Conditions. This includes the provisions for perimeter lighting, site lighting, fencing and/or uniformed security.

The Applicant is invited to contact Officer Tony Galban at (909) 408-1672 with any questions or concerns regarding these conditions.



# CITY OF ONTARIO MEMORANDUM

## ENGINEERING DEPARTMENT CONDITIONS OF APPROVAL

(Engineering Services Division [Land Development Section and Environmental Section], Traffic & Transportation Division, Ontario Municipal Utilities Company and Information Technology & Management Services Department Conditions incorporated)

**PROJECT ENGINEER:** Miguel Sotomayor, P.E., Senior Associate Engineer *MS*  
(909) 395-2108

**PROJECT PLANNER:** Jeanie Aguilo, Assistant Planner (909) 395-2418

**DAB MEETING DATE:** August 15, 2022

**PROJECT NAME/DESCRIPTION:** PDEV21-042- A Development Plan to construct a 174 single-family row townhomes on 13.4 acres of land within PA-1 (RD-7/Row Townhomes) of the Esperanza Specific Plan (APNs: 0218-252-07 and 0218-252-08). Related Files: PMTT18-002 (TTM 20157), PMTT18-003 (TTM 20158).

**LOCATION:** SEC of Mill Creek Avenue and Old Edison Road

**APPLICANT:** KB Home Coastal, Inc.

**REVIEWED BY:** *[Signature]* 8/11/22  
for Raymond Lee, P.E. Date  
Assistant City Engineer

**APPROVED BY:** *[Signature]* 8/11/22  
for Khoi Do, P.E. Date  
City Engineer

THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE GENERAL STANDARD CONDITIONS OF APPROVAL ADOPTED BY THE CITY COUNCIL (RESOLUTION NO. 2017-027) AND THE PROJECT SPECIFIC CONDITIONS OF APPROVAL SPECIFIED IN HEREIN. ONLY APPLICABLE CONDITIONS OF APPROVAL ARE LISTED BELOW. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL APPLICABLE CONDITIONS OF APPROVAL PRIOR TO ISSUANCE OF PERMITS AND/OR OCCUPANCY CLEARANCE, AS SPECIFIED IN THIS REPORT. SEE ATTACHED EXHIBIT 'A' FOR PLAN CHECK SUBMITTAL REQUIREMENTS.

1. All the required improvements for this tract shall be subject to completion of the required public improvements including public utilities beyond the tract limits as specified in Esperanza Specific Plan, the Development Agreement and the Conditions of Approval for TM-20157 (A-Map) and TM-20158 (B-Map).
2. The applicant/developer shall be responsible to design and construct the necessary pavement and striping transitions from existing roadway conditions to the widened roadway portions along Mill Creek Avenue beginning north of Bellegrave Avenue. Striping improvements shall include the removal existing interim signing and striping beyond the project frontage limits and the installation of ultimate signing and striping necessary to accommodate fully widened street improvements.

3. The applicant/developer shall be responsible to design and construct street knuckles per City Standard Drawing No. 1104.
4. Parking shall be restricted with signs along chokers per City Standard Drawing No. 1110.
5. Property frontage along Mill Creek Avenue shall be signed "No Stopping Anytime".
6. All landscaping, block walls, and other obstructions shall be compatible with the stopping sight distance requirements per City of Ontario Standard Drawing No. 1309.
7. The applicant/developer's engineer-of-record shall meet with City Engineering staff prior to designing and submitting for plan check the signing/stripping and street lighting design plans to define limits of improvements.
8. Public Utility Easements: Any City of Ontario Public Utilities that will not be installed within the public Right-of-Way (ROW), shall be installed within a Public Utility Easement (PUE) and shall comply with the following requirements (as applicable, these requirements also apply to utilities in Public ROW and Public ROW/PUE combinations):
  - a. The PUE shall be a minimum of 20 feet wide, centered on the utility main contained within it with 10 feet of PUE on each side of each main;
  - b. The PUE shall be a minimum of 10 feet wide, centered on the utility services/laterals contained within it with 5 feet of PUE on each side of each service/lateral;
  - c. The PUE shall be a minimum of 5 feet behind and 5 feet on each side of a water meter box, and 5 feet on each side of water appurtenances (fire hydrants, blowoffs, airvacs, etc.);
  - d. For any above ground public water appurtenances (fire hydrants, blowoffs, airvacs, etc) that are behind non-raised curbs (no curb, 0" curb, roll curb, v-curb, or non-raised curb) or far enough back from curb or in a curve return, install bollard protect posts per applicable City Standard Drawings as required by Ontario Municipal Utilities Company field staff.
  - e. The PUE shall not contain any storm water improvements (infiltration, detention, retention, bioswale, etc.), landscaping with thick or intrusive root structures, or any permanent structures or overhangs of permanent structures;
  - f. The PUE surface shall be improved and shall be designed to allow vehicle access over and along the full length and width of the utility main by any City maintenance vehicle;
  - g. Within a PUE, all Department of Drinking Water (DDW) Water Main Separations per California Code of Regulations (CCR) §64572 shall be met between all Public City Utilities, Non-City Utilities, and Private Utilities. Additionally, at minimum there shall be a 4 feet horizontal separation between each utility as measured between the outside walls of the utility pipelines, or in the case of a Joint Utility Trench, between the outside wall of the Joint Utility Trench and the outside wall of the utility pipeline.
9. Well Abandonment: All existing ground water wells within the Project's boundaries shall be abandoned per County and State requirements. A copy of the State of California Well Completion Report (Form DWR 188) shall be submitted prior to approval of the precise grading.
10. Septic Tank Abandonment: Abandon all existing septic tank(s) within the Project's boundaries per County standards.



# CITY OF ONTARIO MEMORANDUM



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**DATE:** April 27, 2022  
**TO:** Jeanie Irene Aguilo, Planning Department  
**FROM:** Blaine Ishii, Integrated Waste Department  
**SUBJECT:** DPR 1 (IW001) – Integrated Waste Comments  
**PROJECT NO.:** PDEV21-042 – Mill Creek Ave./Old Edison Rd.  
**ATTACHMENTS:**

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**BRIEF DESCRIPTION** *A Development Plan to construct 174 single-family row townhomes on 13.4 acres of land generally located at the southeast corner of Mill Creek Avenue and Old Edison Road*

**THIS SUBMITTAL IS COMPLETE.**

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**CORRECTION ITEMS:** *In order to be considered for approval by the Integrated Waste Department the applicant shall address all the correction items below and resubmit the application for further review. Please note that all design shall meet the City's Design Development Guidelines, Specifications Design Criteria, and City Standards.*

***Integrated Waste Comments:***

N/A



# Development Advisory Board Decision

August 15, 2022

**DECISION NO.:** DAB22-[insert #]

**FILE NO.:** PDEV21-043

**DESCRIPTION:** A Development Plan to construct 145 multiple-family motorcourt townhomes on 13.86 acres of land generally located at the southeast corner of Mill Creek Avenue and Old Edison Road, within PA-1 (RD-7/Row Townhomes and RD-8/Motorcourt Townhomes) of the Esperanza Specific Plan (APNs: 0218-252-08 and 0218-252-38); **submitted by KB Home Coastal, Inc. Planning Commission action is required.**

## Part I—BACKGROUND & ANALYSIS

KB HOME COASTAL INC., (herein after referred to as “Applicant”) has filed an application requesting Development Plan approval, File No. PDEV21-043, as described in the subject of this Decision (herein after referred to as “Application” or “Project”).

(1) **Project Setting:** The Project site is comprised of 13.86 acres of land located at generally located at the southeast corner of Mill Creek Avenue and Old Edison Road, and is depicted in Exhibit A—Project Location Map, attached. Existing land uses, Policy Plan (general plan) and zoning designations, and specific plan land uses on and surrounding the Project site are as follows:

	<i>Existing Land Use</i>	<i>Policy Plan Designation</i>	<i>Zoning Designation</i>	<i>Specific Plan Land Use</i>
<i>Site</i>	Vacant/Mass Graded	(MDR) Medium Density Residential (11.1 – 25 DU/AC) & (OS-R) Open Space – Parkland	Esperanza Specific Plan	PA-1 (RD-7 Row Townhomes and RD-8 Motorcourt Townhomes)
<i>North</i>	Vacant/Mass Graded	(MDR) Medium Density Residential (11.1 – 25 DU/AC)	Esperanza Specific Plan	PA-1 (RD-7 Row Townhomes and RD-8 Motorcourt Townhomes)
<i>South</i>	Vacant/Mass Graded	(LDR) Low Density Residential (2 – 5 DU/AC) & (OS-R) Open Space – Parkland	Esperanza Specific Plan	PA-2 (RD-4 / SFD Cottages and RD-6 / 6 Pack Courtyard) and Park
<i>East</i>	Vacant	(MDR) Medium Density Residential (11.1 – 25 DU/AC)	Esperanza Specific Plan	PA-4 (RD-6 / 6 Pack Courtyard and Row Townhomes)
<i>West</i>	Dairy Farm	(LDR) Low Density Residential (2 – 5 DU/AC)	SP (Specific Plan) / AG (Agricultural Overlay)	N/A

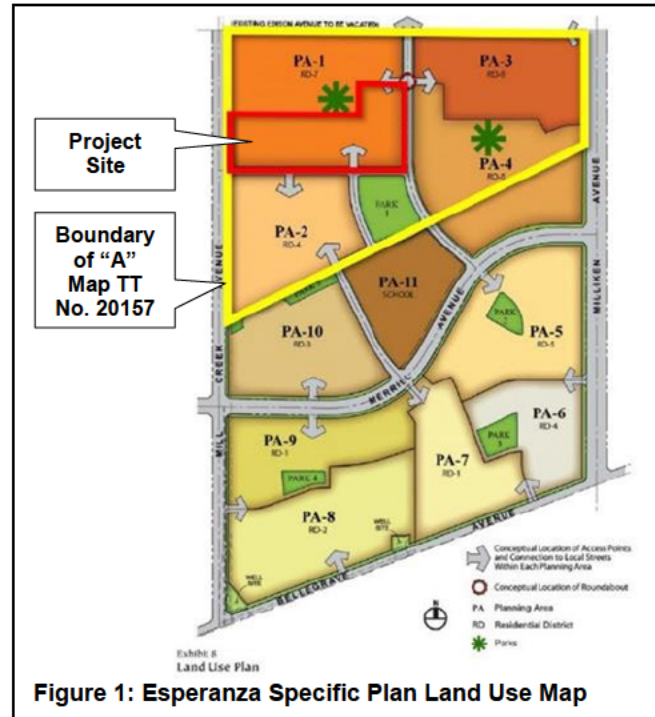
(2) **Project Description:**

(a) **Background** — The Esperanza Specific Plan and the related Environmental Impact Report (State Clearinghouse No. 2002061047) were approved by the City Council on February 6, 2007. The Specific Plan established the land use designations, development standards, and design guidelines



for the Esperanza Specific Plan, which included the potential development of 1,594 residential dwelling units and a 10.02-acre elementary school (Figure 1: Esperanza Specific Plan Land Use Map).

On August 27, 2019, the Planning Commission approved Tentative Tract Map No. 20157 (File No. PMTT18-002) for Planning Areas PA-1, PA-2, PA-3 and PA-4, which subdivided 81.35 gross acres of land into 6 numbered lots and 5 lettered lots for residential, public streets, landscaped neighborhood edges, and common open space purposes. The Tentative Map served as the “A” Map for all four planning areas. The “A” Map subdivided the parcel to facilitate future land uses, backbone infrastructure improvements (major streets, sewer, water, and storm drain facilities) and subsequent “B” Maps. Three “B” Maps were processed concurrently with the “A” Map for PA-1 and PA-2, which are further described below:



- **Tract Map No. 20158 (File No. PMTT18-003)** – The “B” Map for the northern portion of PA-1 subdivided 15.41 acres of land into 31 numbered lots and 15 lettered lots for residential (row townhomes), public streets, private lanes, landscape neighborhood edges, and common open space purposes.
- **Tract Map No. 20159 (File No. PMTT18-004)** – The “B” Map for the southern portion of PA-1 subdivided 13.94 acres of land into 15 numbered lots and 5 lettered lots for residential (motorcourt townhomes), public streets, private lanes, landscape neighborhood edges, and common open space purposes.
- **Tract Map No. 20160 (File No. PMTT18-005)** – The “B” Map for PA-2 subdivided 22.84 acres of land into 113 numbered lots and 32 lettered lots for residential (6-pack courtyard single family homes), public streets, private lanes, landscape neighborhood edges, and common open space purposes.

On September 17, 2019, the City Council approved a Development Agreement (File No. PDA19-002) to facilitate infrastructure improvements to serve the site, which will be completed in two phases. Phase 1 improvements will develop PA-1 and PA-2, and Phase 2 improvements will develop PA-3 and PA-4.

On October 29, 2021, the Applicant submitted the subject Development Plan (File No. PDEV21-043) to facilitate the development of Tract 20159 with 145 multiple-family motorcourt townhomes on 13.86 acres of land within PA-1 (RD-7 Row Townhomes and RD-8 Motorcourt Townhomes) of the Esperanza Specific Plan.

(b) **Site Design/Building Layout** — The proposed Motorcourt Townhome product is characterized as attached townhomes designed around a common motorcourt constructed with decorative pavers that provides garage access to each unit, with the main entrances of the units fronting the street, private drive aisle, or paseo. The paseos will be landscaped to provide visual interest and promote pedestrian mobility (see Exhibit B—Site Plan, attached).

The motorcourt townhome product proposes fourteen 10-unit complexes (Building A) and one 5-unit complex (Building B), for a total of 145 multiple-family units, that includes three floor plans and three architectural styles. The Esperanza Specific Plan requires a maximum 60 percent lot coverage and the proposed lot coverages range from 36 to 51 percent, with an average lot coverage of 46 percent. All plans incorporate various design features, such as a mix of one- and two-story massing, varied entries, second floor laundry facilities, loft, kitchen, open dining, and great room/living areas. The proposed building and floor plans consist of the following:

<b>Floor Plan Type</b>	<b>Building A (10-units)</b>	<b>Building B (5-units)</b>	<b>Subtotal</b>
Floor Plan 1	28	1	29
Floor Plan 2	56	2	58
Floor Plan 3	56	2	58
<b>TOTAL DUs</b>	<b>140</b>	<b>5</b>	<b>145</b>

<b>Floor Plan Type (No. of Units)</b>	<b>Gross Floor Area</b>	<b>Key Features</b>
<i>Floor Plan 1 (29 DUs)</i>	1,193 SF	2 bedrooms, 2 bathrooms
<i>Floor Plan 2 (58 DUs)</i>	1,880 SF	3 bedrooms, 2.5 bathrooms, loft
<i>Floor Plan 3 (58 DUs)</i>	2,111 SF	3 bedrooms, 2.5 bathrooms, loft

(c) **Site Access/Circulation** — Previously approved Tract Map Nos. 20157 (“A” Map) and 20159 (“B” Map) facilitated the construction of the backbone streets including the primary access points into the northwestern portion of the Esperanza Specific Plan from Mill Creek Avenue and Clifton Avenue, as well as the construction of all the interior neighborhood streets within the subdivision. Primary access into the subdivision will be from Sunset Street, which runs east-west along the Project’s southern boundary. A secondary access point will be from Rincon Street, which runs east-west along the northeast boundary. The Project developer is responsible for the construction of the Project’s interior neighborhood streets, including Huntington Street, Ventura Avenue, Carlsbad Paseo, Coronado Privado, and Hermosa Paseo.

(d) **Parking** — The Esperanza Specific Plan and the Ontario Development Code requires parking be based on bedroom count for multiple-family residential units along with required guest parking. The Project has provided a two-car garage for each unit. The Project requires a total of 384 parking spaces, and a total of 442 parking spaces will be provided, exceeding the minimum requirements by 58 parking spaces and providing an average of 3.05 spaces per unit, as summarized in Table 3, below. The additional parking spaces are distributed throughout the site as on-street parking and parking within the private drive aisles.

**Table 3: Summary of Parking Analysis Per Unit**

Type of Use	Parking Ratio	Spaces Required	Spaces Provided
Multiple-Family Residential	2 spaces per two-bedroom unit (including 1 in garage or carport) (Total of 29 units)	58	290 (private garage spaces)
	2.5 spaces per three or more-bedroom unit (including 2 in garage or carport) Total of 116 units)	290 (232 covered)	
Guest Spaces	1 space for every 4 units	36	
Private Drive Aisle Stalls			107
On-Street Parking Spaces			45
<b>TOTAL</b>		<b>384</b>	<b>442</b>
<b>Per Unit Average</b>		<b>3.05 spaces per unit</b>	
<b>+/- Parking</b>		<b>58 spaces</b>	

(e) Architecture — The architectural theme for the Esperanza Specific Plan is based upon historical styles found in Ontario. The proposed architectural styles include Spanish Colonial, Traditional, and Country French styles. These styles were chosen to complement one another through the overall scale, massing, proportions, details, and the ability to establish an attractive backdrop that will age gracefully over time.

The architectural styles proposed will include the following features (see Exhibit C—Building A (10-Unit): Front Elevations and Floor Plan and Exhibit D—Building B (5-Unit): Front Elevations and Floor Plan, attached):

- Spanish Colonial: Varying gable roofs with “S” type roof tiles, stucco exterior, deep recessed openings, arched entryways, decorative gable end details, decorative shutters, ceramic tiles, and decorative corbels.
- Traditional: Varying gable and shed roofs with concrete flat roof tiles; stucco exteriors with horizontal and vertical wood siding details, stone veneer base treatment, decorative shutters, and enhanced window trim details.
- Country French: Steep roof forms with gable end detailing, flat roof tiles, stucco exterior, decorative columns, stone treatment, corbels, decorative shutters, and decorative window framing.

(f) Landscaping/Open Space — Tract Map No. 20157 (“A” Map) will facilitate the construction of neighborhood parks, sidewalks, parkways, and open space areas for Planning Areas PA-1 through PA-4. TOP Policy PR1-1 requires new developments to provide a minimum of two acres of Private Park per 1,000 residents. The overall tract is required to provide 5.53 acres of parkland to meet the minimum TOP private park requirement and a total of 6.46 acres of parkland is being provided. PA-1 will provide a 0.69-acre recreation park and a 0.32-acre trellis park. PA-2 will provide a 3.4-acre central neighborhood park and a 0.27-acre garden park. PA-3 and PA-4 will provide 1.78-acre neighborhood park and 0.1-acre pocket park. The pedestrian circulation system provides connectivity to the parks, residential neighborhoods, and surrounding communities. Future park designs and amenities located within PA-3 and PA-4 will be addressed as part of the Development Plan entitlement process that will require consistency with the Esperanza Specific Plan. This Development Plan includes the development of the 0.32-acre trellis park within PA-1.

The 0.32-acre trellis park will be developed on the western portion of the site, south of Huntington Street, and will feature shade structures, picnic tables with trellises, play areas with bench seating, and open turf recreation areas (see Exhibit E—Trellis Park).

The Esperanza Specific Plan requires that all areas not used for buildings or hardscape shall be fully landscaped. The Project provides 26.7 percent landscape coverage, which consists of shade trees, shrubs, groundcovers, turf, and other plantings (see Exhibit F—Landscape Plan and Exhibit G—Typical Motorcourt Layout). Plantings include, but are not limited to, Camphor Tree, Coast Live Oak, Bay Laurel, Marina Strawberry Tree, Western Redbud, Bubba Desert Willow, Crape Myrtle, Golden Rain Tree, Cork Oak, Bottle Tree, Australian Willow, Holly Oak, Toyon, Drake Lacebark Elm, Agave, Silver Dollar Jade, Rosemary, Sage, and Lantana.

(g) Utilities (drainage, sewer) — All major backbone improvements and interior site improvements will be constructed in congruence with the related Tract Map. The Applicant will also obtain an encroachment permit to conduct work within the public rights-of-way. Furthermore, the Applicant has submitted a Preliminary Water Quality Management Plan (“PWQMP”), which establishes the Project’s compliance with storm water discharge/water quality requirements. The PWQMP includes site design measures that capture runoff and pollutant transport by minimizing impervious surfaces and maximizes low impact development (“LID”) best management practices (“BMPs”), such as retention and infiltration, biotreatment, and evapotranspiration. Additionally, the Project is consistent with the previously approved Development Agreement (File No. PDA19-002) that required all major backbone infrastructure improvements within the Esperanza Specific Plan.

(h) Covenants, Conditions and Restrictions (“CC&Rs”) — As a Condition of Approval, CC&Rs were previously required to be prepared and recorded with the Final Tract Map subdividing PA-1 (Tract No. 20159). The CC&Rs will outline the maintenance responsibilities for the open space areas, recreation amenities, drive aisles, utilities, and upkeep of the entire site, to ensure the on-going maintenance of the common areas and facilities.

## **Part II—RECITALS**

WHEREAS, the Application is a Project pursuant to the California Environmental Quality Act (Public Resources Code Section 21000 et seq.) (“CEQA”) and an initial study has been prepared to determine possible environmental impacts; and

WHEREAS, the environmental impacts of this Project were previously reviewed in conjunction with the Esperanza Specific Plan (File No. PSP05-002) Environmental Impact Report (State Clearinghouse No. 2002061047) certified by the City Council on February 6, 2007, and this Application introduces no new significant environmental impacts; and

WHEREAS, the City’s “Local Guidelines for the Implementation of the California Environmental Quality Act (CEQA)” provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board (hereinafter referred to as “DAB”) the responsibility and authority to review and make recommendation to the Planning Commission on the subject Application; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan (“ALUCP”), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, on August 15, 2022, the DAB of the City of Ontario conducted a hearing on the Application and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.

### **Part III—THE DECISION**

NOW, THEREFORE, IT IS HEREBY FOUND AND DETERMINED by the Development Advisory Board of the City of Ontario, as follows:

**SECTION 1: *Environmental Determination and Findings.*** As the recommending body for the Project, the DAB has reviewed and considered the information contained in the previous Certified EIR and supporting documentation. Based upon the facts and information contained in the previous Certified EIR and supporting documentation, the DAB finds as follows:

(1) The environmental impacts of this Project were previously reviewed in conjunction with the Esperanza Specific Plan (File No. PSP05-002) Environmental Impact Report (State Clearinghouse No. 2002061047) certified by the City Council on February 6, 2007; and

(2) The previous Certified EIR contains a complete and accurate reporting of the environmental impacts associated with the Project; and

(3) The previous Certified EIR was completed in compliance with CEQA and the Guidelines promulgated thereunder, and the City of Ontario Local CEQA Guidelines; and

(4) The previous Certified EIR reflects the independent judgment of the Planning Commission; and

(5) The proposed Project will introduce no new significant environmental impacts beyond those previously analyzed in the previous Certified EIR, and all mitigation measures previously adopted with the Certified EIR, are incorporated herein by this reference.

**SECTION 2: *Subsequent or Supplemental Environmental Review Not Required.*** Based on the information presented to the DAB, and the specific findings set forth in Section 1, above, the DAB finds that the preparation of a subsequent or supplemental Certified EIR is not required for the Project, as the Project:

(1) Does not constitute substantial changes to the Certified EIR that will require major revisions to the Certified EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and

(2) Does not constitute substantial changes with respect to the circumstances under which the Certified EIR was prepared, that will require major revisions to the Certified EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of the previously identified significant effects; and.

(3) Does not contain new information of substantial importance that was not known and could not have been known with the exercise of reasonable diligence at the time the Certified EIR was certified/adopted, that shows any of the following:

(a) The Project will have one or more significant effects not discussed in the Certified EIR; or

(b) Significant effects previously examined will be substantially more severe than shown in the Certified EIR; or

(c) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the Project, but the City declined to adopt such measures; or

(d) Mitigation measures or alternatives considerably different from those analyzed in the Certified EIR would substantially reduce one or more significant effects on the environment, but which the City declined to adopt.

**SECTION 3: Housing Element Compliance.** Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the recommending body for the Project, the DAB finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the Project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan. The Project site is one of the properties listed in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix, and the proposed Project is consistent with the number of dwelling units (145) and density (10.5 DU/AC) specified in the Available Land Inventory. Per the Available Land Inventory, the Esperanza Specific Plan is required to provide 1,594 dwelling units with an overall density of 5-21 DU/AC.

**SECTION 4: ALUCP Compliance.** The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land Use Compatibility Plan, establishing the Airport Influence Area for Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the recommending body for the Project, the DAB has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the DAB, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

**SECTION 5: Concluding Facts and Reasons.** Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the facts and information set forth in Parts I (Background and Analysis) and II (Recitals), above, and the determinations set forth in Sections 1 through 4, above, the DAB hereby concludes as follows:

(1) ***The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.*** The proposed Project is located within the (MDR) Medium Density Residential (11.1 – 25 DU/AC) and (OS-R) Open Space – Parkland land use districts of the Policy Plan Land Use Map, and the PA-1 (RD-7 Row Townhomes and RD-8 Motorcourt land use district of the Esperanza Specific Plan. The development standards and conditions under which the proposed Project will be constructed and maintained, is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (general plan), and City Council Priorities components of The Ontario Plan; and

(2) ***The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located.*** The Project has been designed consistent with the requirements of the City of Ontario Development Code and the PA-1 (RD-7 Row Townhomes and RD-8 Motorcourt land use district of the Esperanza Specific Plan, including standards relative to the particular land use proposed (multiple-family residential motorcourt townhomes), as-well-as building intensity, building and parking setbacks, building height, number of off-street parking and loading spaces, on-site and off-site landscaping, and fences, walls and obstructions; and

(3) ***The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the Project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed Project.*** The Development Advisory Board has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the Esperanza Specific Plan are maintained; [ii] the Project will not endanger the public health, safety or general welfare; [iii] the Project will not result in any significant environmental impacts; [iv] the Project will be in harmony with the area in which it is located; and [v] the Project will be in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan, and the Esperanza Specific Plan. Additionally, the environmental impacts of this Project were previously reviewed in conjunction with the Esperanza Specific Plan (File No. PSP05-002) Environmental Impact Report (State Clearinghouse No. 2002061047) certified by the City Council on February 6, 2007. This application is consistent with the previously adopted EIR and introduces no new significant environmental impacts; and

(4) ***The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.*** The proposed Project has been reviewed for consistency with the general development standards and guidelines of the Esperanza Specific Plan that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of off-street parking and loading spaces, parking lot dimensions, design and landscaping, bicycle parking, on-site landscaping, and fences and walls, as-well-as those development standards and guidelines specifically related to the particular land use being proposed (multiple-family residential motorcourt townhomes). As a result of this review, the Development Advisory Board has determined that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the development standards and guidelines described in the Esperanza Specific Plan.

**SECTION 6: Development Advisory Board Action.** Based on the findings and conclusions set forth in Sections 1 through 5, above, the DAB hereby recommends the Planning Commission APPROVES the Application subject to each and every condition set forth in the Department reports included as Attachment A of this Decision and incorporated herein by this reference.

**SECTION 7: Indemnification.** The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Ontario shall promptly notify the Applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**SECTION 8: Custodian of Records.** The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

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APPROVED AND ADOPTED this 15th day of August 2022.

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Development Advisory Board Chairman



Exhibit A—PROJECT LOCATION MAP



Exhibit B—SITE PLAN



**Exhibit C—BUILDING A (10-UNIT): FRONT ELEVATIONS**



Front Elevation 'Country French'

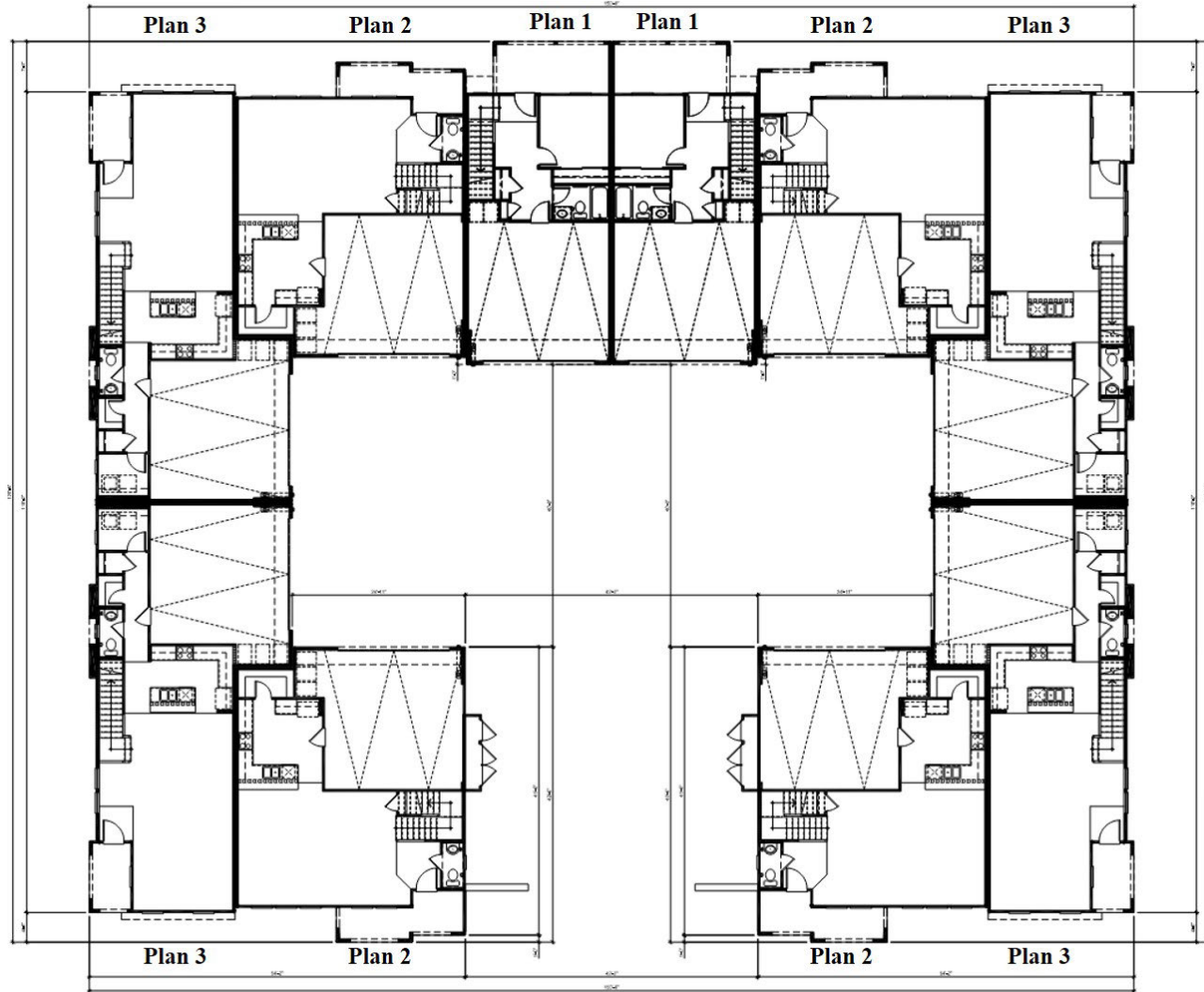


Front Elevation 'Traditional'



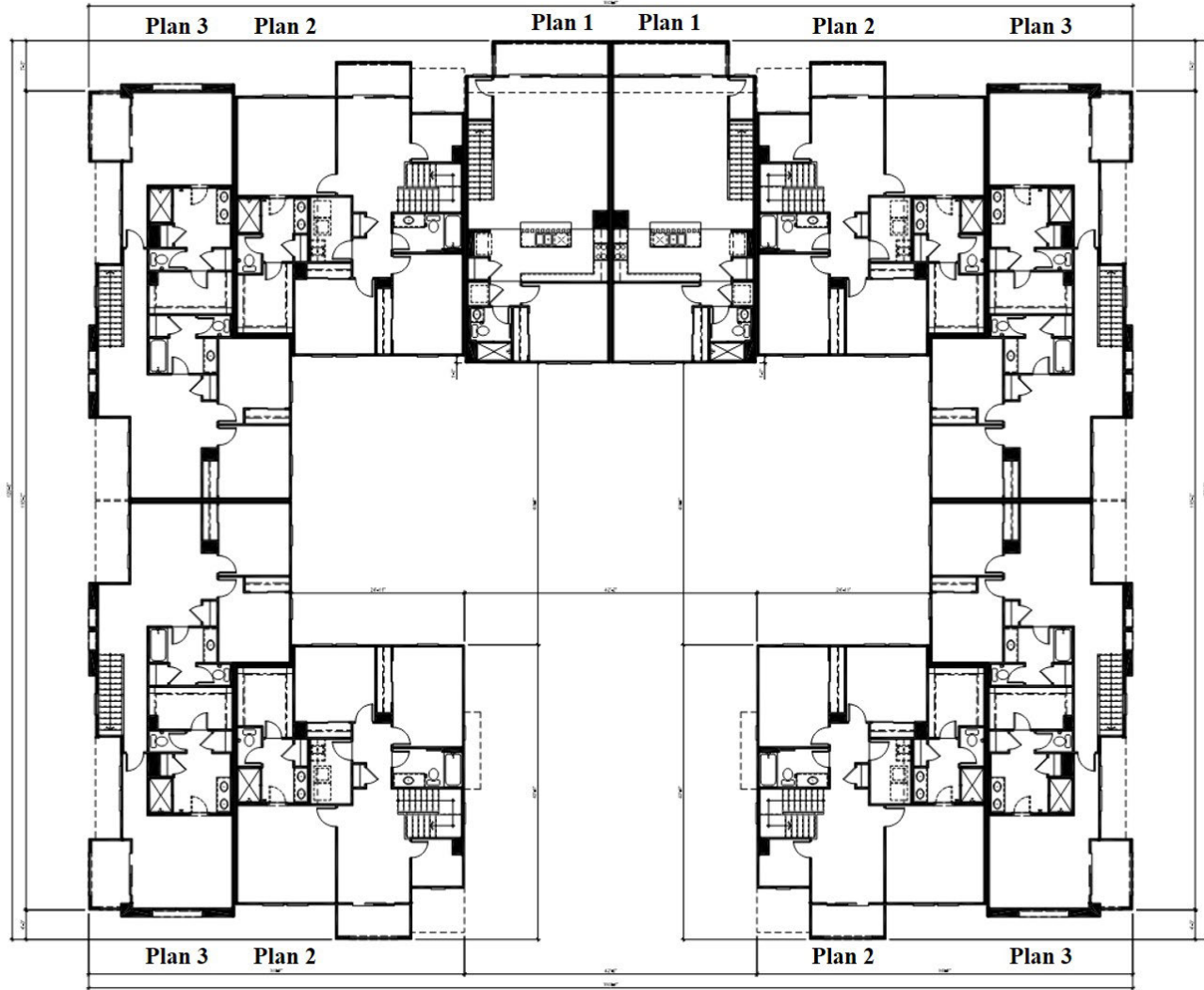
Front Elevation 'Spanish Colonial'

**Exhibit C—BUILDING A (10-UNIT): FLOOR PLANS (FIRST FLOOR)**



First Floor Plan 'Spanish Colonial'

**Exhibit C— BUILDING A (10-UNIT): FLOOR PLANS (SECOND FLOOR)**



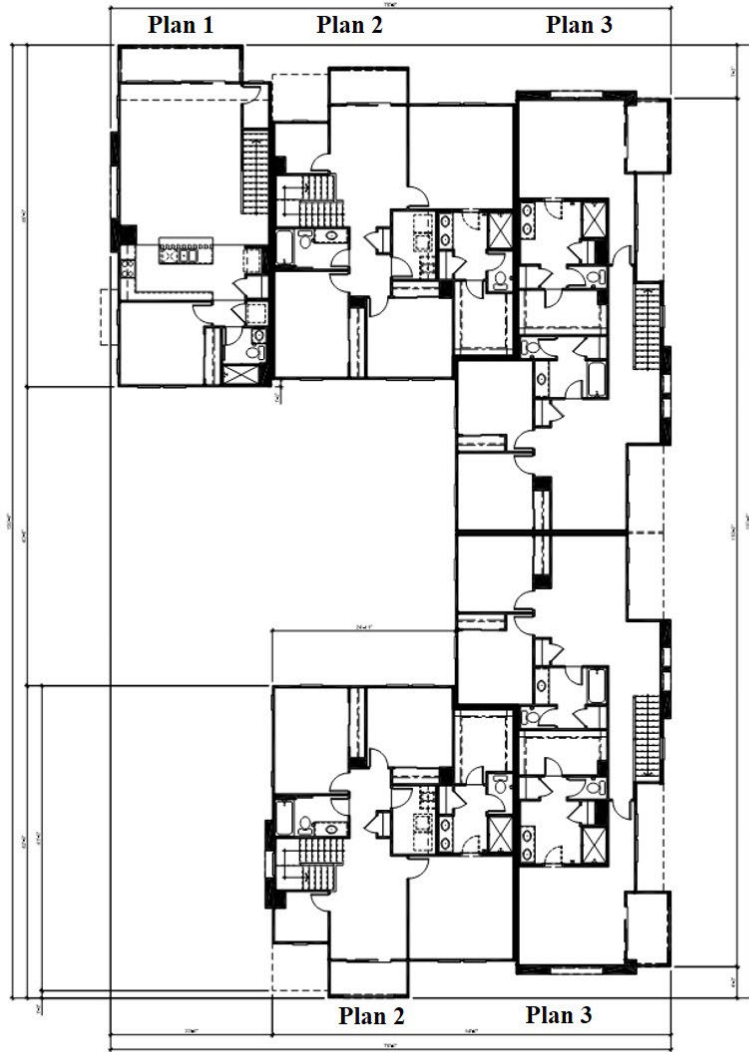
Second Floor Plan 'Spanish Colonial'

**Exhibit D—BUILDING B (5-UNIT): FRONT ELEVATIONS**

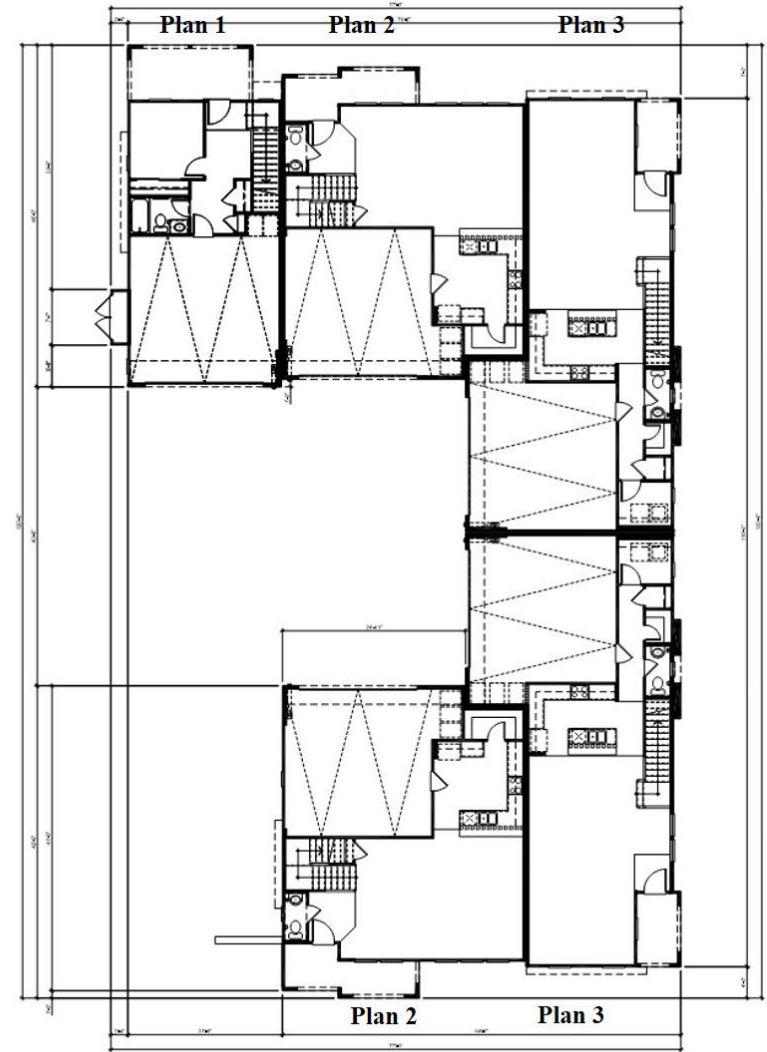


Front Elevation 'Spanish Colonial'

**Exhibit D—BUILDING B (5-UNIT): FLOOR PLANS**



Second Floor Plan 'Spanish Colonial'



First Floor Plan 'Spanish Colonial'

**Exhibit E—TRELLIS PARK**





**Exhibit F—LANDSCAPE PLAN**

BUILDING TYPICAL PLANTING - 20159							
SYMB.	SIZE SPACING	A - SPANISH COLONIAL	WUCOLS	B - AMERICAN TRADITIONAL	WUCOLS	C - FRENCH COUNTRY	WUCOLS
●	15 GAL 36" O.C.	CALLISTEMON CYRINUS CRIMSON BOTTLEBRUSH	LOW	ARBUTUS X 'MABINA' STRAWBERRY TREE	LOW	LAURUS X 'SARATOGA' STANDARD FORM SARATOGA SWEET BAY	LOW
●	15 GAL 36" O.C.	LAURUS NOBILIS 'MONIK' LITTLE RAGU SWEET BAY	LOW	PRUNUS CAROLINIANA 'MONIK' BRIGHT N TIGHT CAROLINA LAUREL	MOD	JUNPERUS CHINENSIS BLUE POINT BLUE POINT JUNPER	MOD
○	15 GAL 36" O.C.	CALLISTEMON VINNALIS 'SLIM SLIM WEeping BOTTLEBRUSH	LOW	HETEROMELES ARBUTIFOLIA TOYON	LOW	LAURUS NOBILIS - COLUMNAR FORM SWEET BAY	LOW
○	24" BOX 48" O.C.	FURCRAEA MACDOUGALLI MACDOUGALLS CENTURY PLANT	LOW	TECOMA STANS YELLOW BELLS	LOW	DRACAENA DRACO DRAGON TREE	LOW

NEIGHBORHOOD SHRUB and VINE LIST H.O.A. INSTALLED AND MAINTAINED			
SHRUB	COMMON NAME	SIZE	WUCOLS
AGAVE SP	AGAVE	5 GAL	LOW
ALICE SP	ALICE	5 GAL	LOW
ARCTOTIS X 'PINK SUGAR' TM	PINK SUGAR AFRICAN DAISY	5 GAL	LOW
ADIRADAZUS DENROFOLUS 'SPHERE'	FOXTAIL ADIRADAZUS	5 GAL	MOD
BACCHARIS PULCHRA 'POSEIDON POINT'	POSEIDON POINT COYOTE BRUSH	5 GAL	LOW
BULBINE FRUTICOSA 'TAY TANGERINE'	TAY TANGERINE STALKED BULBINE	5 GAL	LOW
CALLANDRA CALIFORNICA	REDBLUE FAWN GUSTED	5 GAL	LOW
CAREX DIVISA	EUROPEAN GREY BEARD	5 GAL	LOW
CARISSA W. 'GREEN CARPET'	GREEN CARPET NAXAL PLUM	5 GAL	MOD
CHONOPUS ALUM T. 'EL CAMPO'	CAPE BUSH	1 GAL	MOD
DIETIS SP	BOOK ROSE	5 GAL	LOW
ORANISULA A. BLUE WINEF	SILVER DOLLAR ARIZO	5 GAL	LOW
DANIELLA REVOLUTA 'LITTLE BEY'	LITTLE BEY FLAX LILY	5 GAL	LOW
DIETES X 'ORANGE DROP'	ORANGE DROP FORTNIGHT LILY	5 GAL	LOW
ECHINOPUS X 'PINK VORWÄRTS'	PINK VORWÄRTS ECHINOPUS	5 GAL	LOW
EREMOPHILA HYDRONANA BLUE BELLS	BLUE BELLS BAY BUSH	5 GAL	LOW
EROSIONUM 'WARRNER LITTLE'	WARRNER LITTLE BUCKWHEAT	1 GAL	LOW
GREVILLEA SP	GREVILLEA	5 GAL	LOW
JANUS PATERNS 'SLX BLUE'	SPREADING RUSH	5 GAL	LOW
LANTANA SP	LANTANA	1 GAL	LOW
LAURUS NOBILIS 'MONIK' TM	LITTLE RAGU SWEET BAY	5 GAL	LOW
LEOPOLDUS SP	TEXAN RANGER	5 GAL	LOW
LOMANDORA L. 'BREEZE' TM	BREEZE MAT FLUSH	5 GAL	MOD
MOLLEBRIDIA SP	BEELY GRAPE	5 GAL	LOW
MYOPORUM X 'PUTAH CREEK'	PUTAH CREEK MYOPORUM	1 GAL	LOW
OLIA EUROPAEA 'LITTLE OLIVE' TM	LADY'S SLIPPER	5 GAL	LOW
PELAEANATHUS MACDOUGALLI	JERUSALEM BASK	5 GAL	LOW
PHLOMIS PROTICIA	CALIFORNIA COFFEEBERRY	5 GAL	MOD
RHANKUS CALIFORNICA 'EVE CASE'	ROSE	5 GAL	MOD
ROSA SP	ROSEMARY	5 GAL	LOW
ROSMARINUS SP	SAGE	5 GAL	LOW
SALVIA SP	BLUE CHALK STICKS	5 GAL	LOW
SENNA MANDALUSICAE	SILVER SENNA	5 GAL	LOW
SPINARICLES AMBIGUA	DESERT GLOBEWALLOW	5 GAL	LOW
TARGETER LEMNORH	COPPER CANYON DAISY	5 GAL	LOW
TEUCORIUM CHAMADRYIS	GERMANDER	5 GAL	LOW
WESTINGHA SP	COAST ROSEMARY	5 GAL	LOW

NEIGHBORHOOD SHRUB and VINE LIST H.O.A. INSTALLED AND MAINTAINED			
LARGE SHRUB	COMMON NAME	SIZE	WUCOLS
CAESALPINA MEXICANA	MEXICAN BIRD OF PARADISE	24" BOX	LOW
CALLISTEMON VINNALIS 'SLIM' TM	SLIM WEeping BOTTLEBRUSH	15 GAL	LOW
ODONDA VISCOSA 'PURPUREA'	PURPLE HORSEDEE BUSH	15 GAL	MODERATE
FREMONTODENDRON X 'SAN GABRIEL'	SAN GABRIEL FLAMEL BUSH	24" BOX	LOW
FURCRAEA MACDOUGALLI	MACDOUGALLS CENTURY PLANT	24" BOX	LOW
HETEROMELES ARBUTIFOLIA	TOYON	15 GAL	LOW
JUNPERUS C. 'BLUE POINT'	BLUE POINT JUNPER	15 GAL	LOW
LAURUS NOBILIS	SWEET BAY - COLUMNAR	24" BOX	LOW
LAURUS NOBILIS 'MONIK' TM	LITTLE RAGU SWEET BAY	15 GAL	LOW
PRUNUS CAROLINIANA 'BRIGHT N TIGHT'	BRIGHT N TIGHT CAROLINA LAUREL	15 GAL	MODERATE
RHANKUS CALIFORNICA 'EVE CASE'	SUGAR BUSH	15 GAL	LOW
RHUS OVATA	ROSEBUD TREE ROSE	15 GAL	MODERATE
ROSA X 'ICEBERG'	ICEBERG TREE ROSE	15 GAL	MODERATE
TECOMA STANS	YELLOW BELLS	15 GAL	LOW
VAUGHANIA CALIFORNICA	ARIZONA ROSEWOOD	15 GAL	LOW

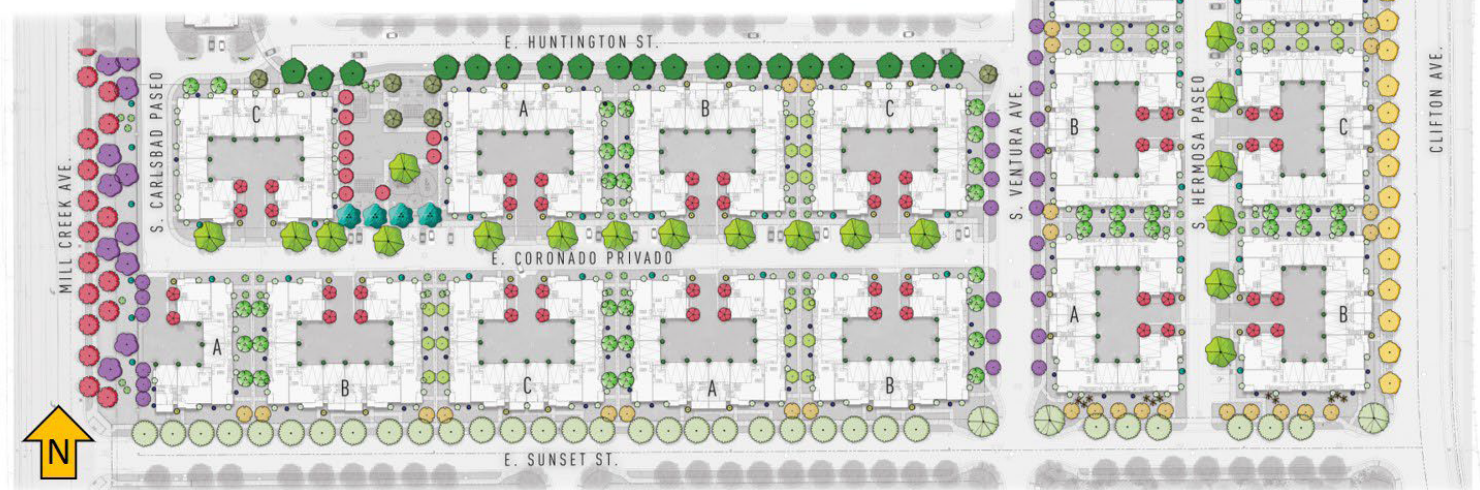
TURF (IN PARKWAYS & PARKS)			
TURF	COMMON NAME	SIZE	WUCOLS
TF GREEN	BERBERIDA GRASS TURF	800	MODERATE

PLANT SCHEDULE TRACT 20159					
SYMB.	COMMON NAME	SIZE	WUCOLS	CA NATIVE	QTY
●	ACACIA STENOPHYLLA BROOKERING ACACIA	36" BOX	LOW		30
●	ARBUTUS X 'MABINA' STANDARD FORM	48" BOX	LOW		9
●	BRACHYOTHEON POPULNEUS BOTTLE TREE	36" BOX	LOW		29
●	QUERCUS OCCIDENTALIS WESTERN REDBUD	24" BOX	LOW	YES	49
●	CHOLEPSIS LINEARIS 'SUGAR' SUGAR DESERT WILLOW	24" BOX	LOW	YES	37
●	DRYANASSA CALIFORNICA CAMPHOR TREE	36" BOX	MODERATE		22
●	CUPRESSUS SEMPERVIRENS 'STRICTA' COLUMNAR ITALIAN CYPRESS	24" BOX	LOW		96
●	HETEROMELES ARBUTIFOLIA TOYON	15 GAL	LOW	YES	35
●	KOELARUTERA PANICULATA OAKLEAF HAWK TREE	36" BOX	LOW		19
●	MELALEUCA QUANGUENARIA CASUARY TREE	24" BOX	MODERATE		49
●	OLIA EUROPAEA 'LITTLE OLIVE' TM LITTLE OLIVE - STANDARD FORM	48" BOX	LOW		6
●	PRINCEPS CHINENSIS 'WEST-DAVEY' WEST-DAVEY CHINESE PRISTACHE	24" BOX	MODERATE		16
●	QUERCUS AGRIFOLIA COAST LIVE OAK	48" BOX	LOW	YES	9
●	QUERCUS LEX HOLLY OAK	24" BOX	LOW	YES	25
●	QUERCUS RUBER COYOTE OAK	36" BOX	LOW		19
●	ULMUS PARVIFOLIA 'ORANGE' ORANGE LACEBARK ELM	36" BOX	LOW		32
●	UMBELLIFERA CALIFORNICA BAY ANISEL	48" BOX	MODERATE	YES	4
●	WARRNERIA CALIFORNICA WARRNER FAN PALM	18" B 7 1/2"	LOW		23

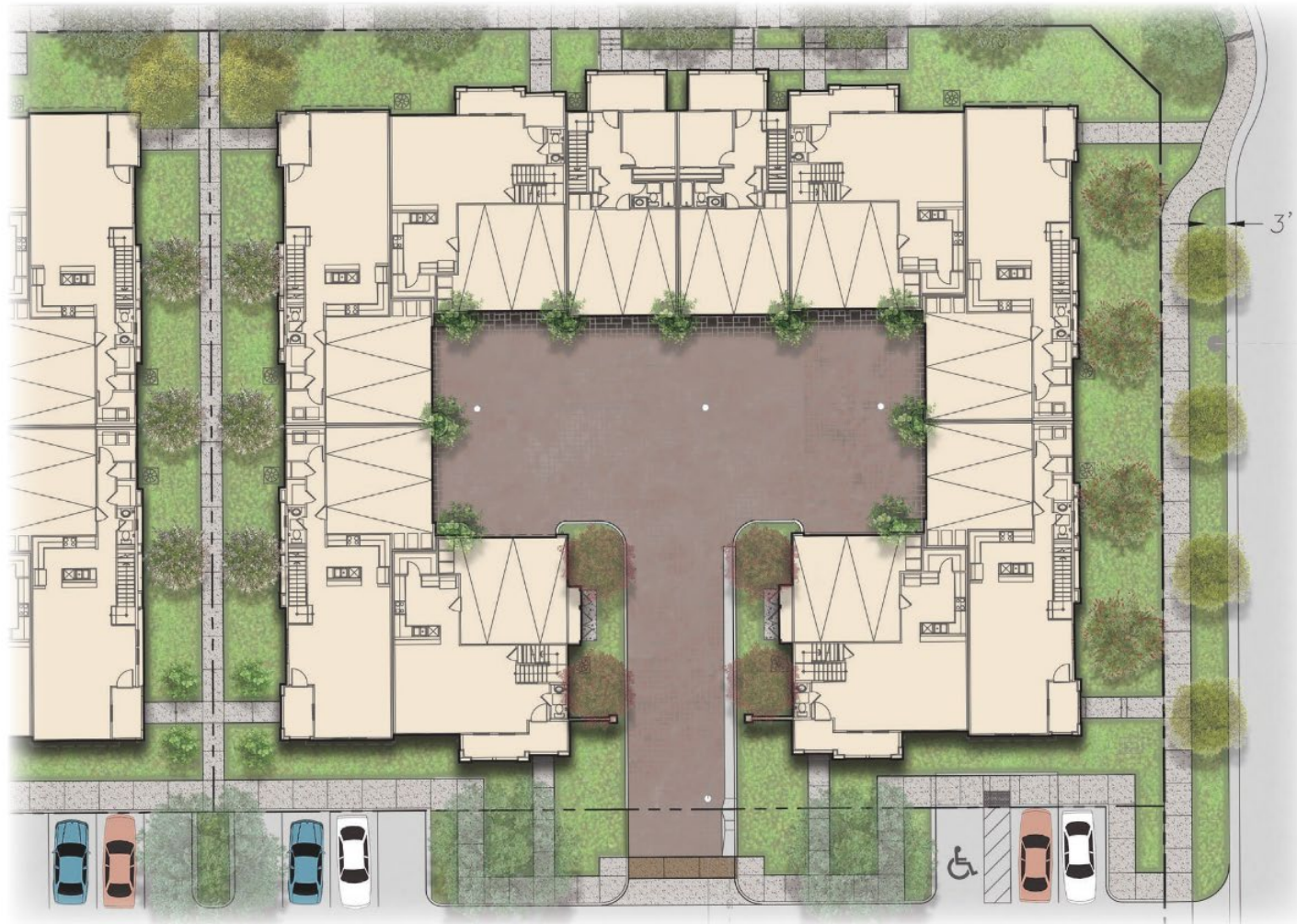
PLANT SCHEDULE TRACT 20159					
SYMB.	COMMON NAME	SIZE	WUCOLS	CA NATIVE	QTY
○	ACCENT PLANTING REFER TO TYPICAL LEGEND, THIS SHEET	24" BOX			58
○	COURTYARD ENTRY TREE REFER TO TYPICAL LEGEND, THIS SHEET	36" BOX			16
○	VERTICAL ACCENT AT BUILDING FACADE REFER TO TYPICAL LEGEND, THIS SHEET	24" BOX			209
○	VERTICAL ACCENT AT DRIVEWAY REFER TO TYPICAL LEGEND, THIS SHEET	15 GAL			151

TREE COUNT:	
STREET, PASEO, LAINE, and FRONT YARD TREES	
TREES (PALMS NOT INCLUDED)	463
NATIVE TREES	130
25% CA NATIVE TREES REQUIRED	25% CA NATIVE TREES PROVIDED

MINIMUM TREE QUANTITY AND SIZE SPECIFICATIONS			
PALMS ARE NOT INCLUDED (PER CITY OF CHANDRO LANDSCAPE DEVELOPMENT GUIDELINES)			
MIN. ON-SITE TREES	SIZE	PROPOSED ON-SITE TREES	
5% OF 483: 23 REQ	48" BOX	24 (8%)	
10% OF 483: 48 REQ	36" BOX	142 (29%)	
30% OF 483: 139 REQ	24" BOX	267 (57%)	
50% OF 483: 255 REQ	15 GALLON	35 (7%)	



**Exhibit G—TYPICAL MOTORCOURT LAYOUT**



## **Attachment A—Elevations and Floor Plans**

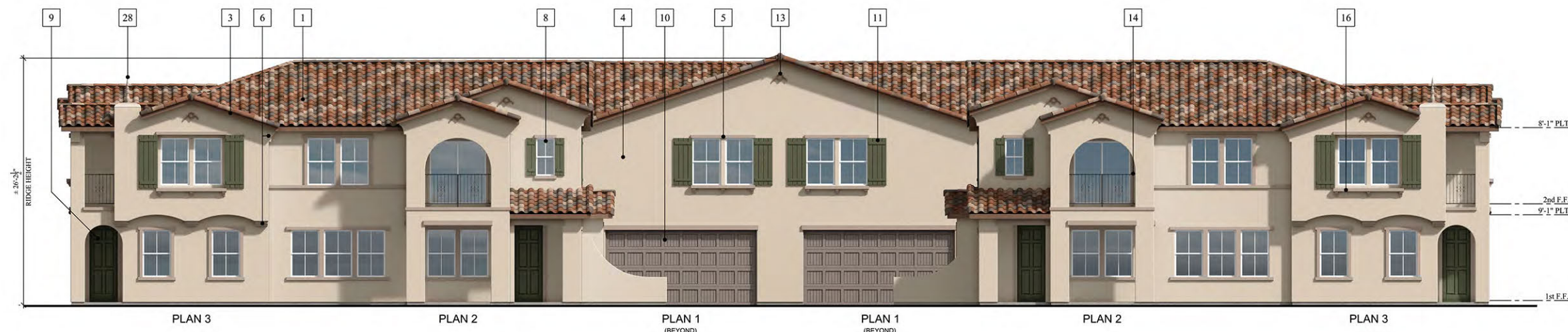
*(Full set of Elevation and Floor Plans to follow this page)*



Front Elevation 'Country French'



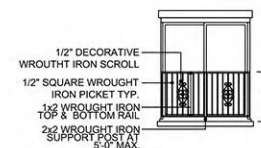
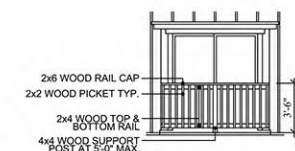
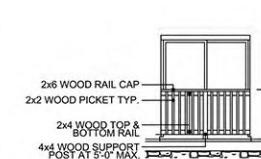
Front Elevation 'Traditional'

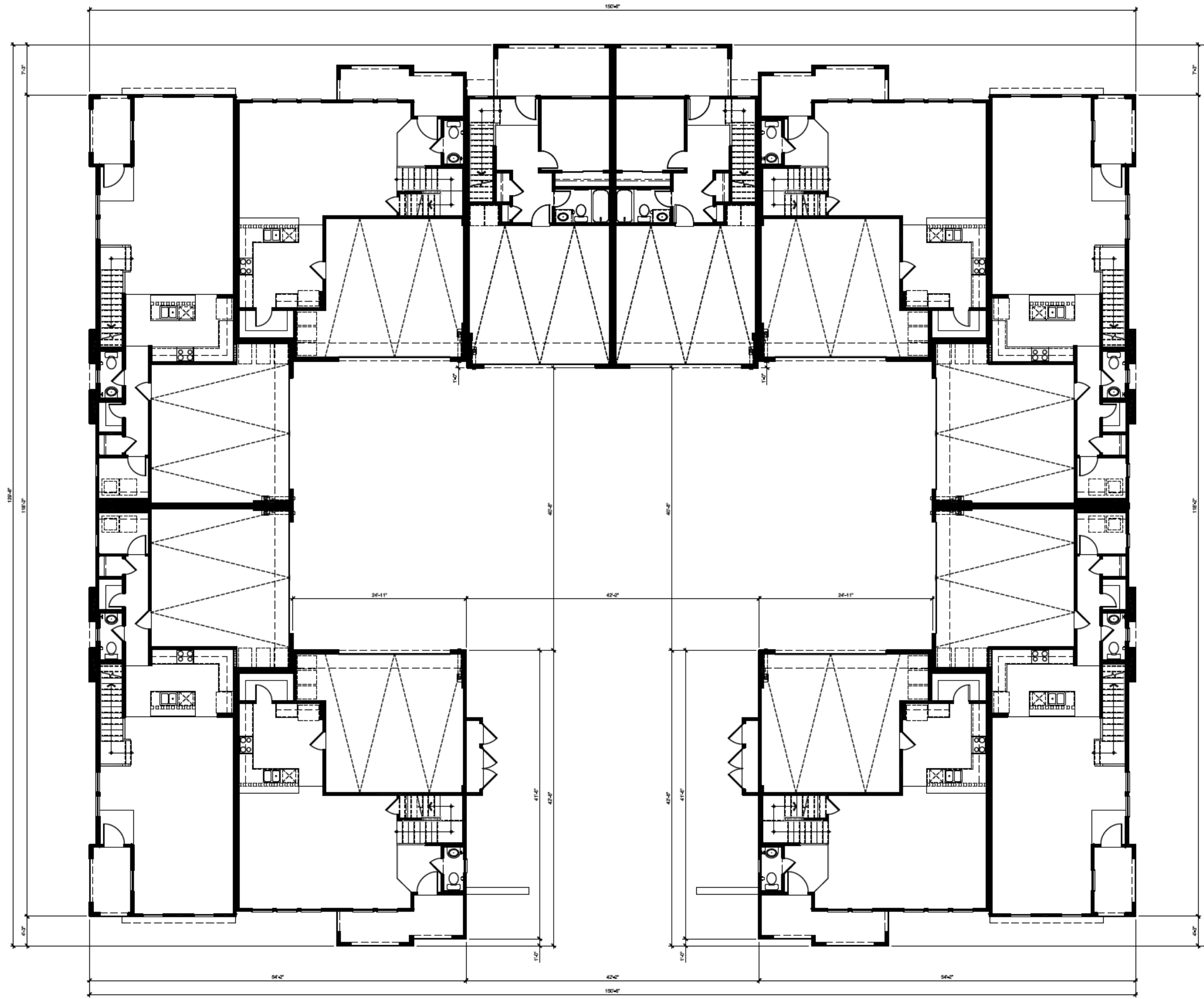


Front Elevation 'Spanish Colonial'

**ELEVATION LEGEND**

- 1 CONCRETE 'S' TILE ROOFING
- 2 CONCRETE FLAT TILE ROOFING
- 3 WOOD FASCIA BOARD
- 4 STUCCO FINISH (16/20 SAND)
- 5 STUCCO OVER FOAM TRIM
- 6 STUCCO OVER FOAM CORBELS/SHAPED FOAM TRIM WITH SAND FINISH
- 7 DECORATIVE STUCCO COLUMNS (STUCCO OVER WOOD FRAMING WITH SMOOTH FINISH)
- 8 VINYL WINDOW SYSTEM
- 9 COMPOSITE ENTRY DOOR - THERMA-TRU SMOOTH-STAR SERIES
- 10 METAL SECTIONAL GARAGE DOOR - WAYNE DALTON MODEL NO. 9100
- 11 DECORATIVE FOAM SHUTTERS
- 12 DECORATIVE GABLE END DETAIL
- 13 DECORATIVE CLAY PIPE
- 14 DECORATIVE WROUGHT IRON GUARD RAIL
- 15 STUCCO POT SHELF
- 16 POLYURETHANE, FOAM OR WOOD POT SHELF
- 17 DECORATIVE OUTLOOKER
- 18 STONE VENEER
- 19 FIBER CEMENT SIDING WITH VERTICAL BATTENS SPACED 18" O.C.
- 20 FIBER CEMENT LAP SIDING
- 21 FIBER CEMENT TRIM
- 22 DECORATIVE OUTLOOKER WITH KNEEBRACE
- 23 DECORATIVE VENT
- 24 WOOD POST
- 25 WOOD CORBEL
- 26 COACH LIGHTS
- 27 ILLUMINATED ADDRESS SIGN
- 28 DECORATIVE FINIAL
- 29 BRICK VENEER
- 30 DECORATIVE WOOD GUARD RAIL





First Floor Plan 'Spanish Colonial'

ESPERANZA MOTORCOURT TOWNHOMES  
TENTATIVE TRACT MAP 20160



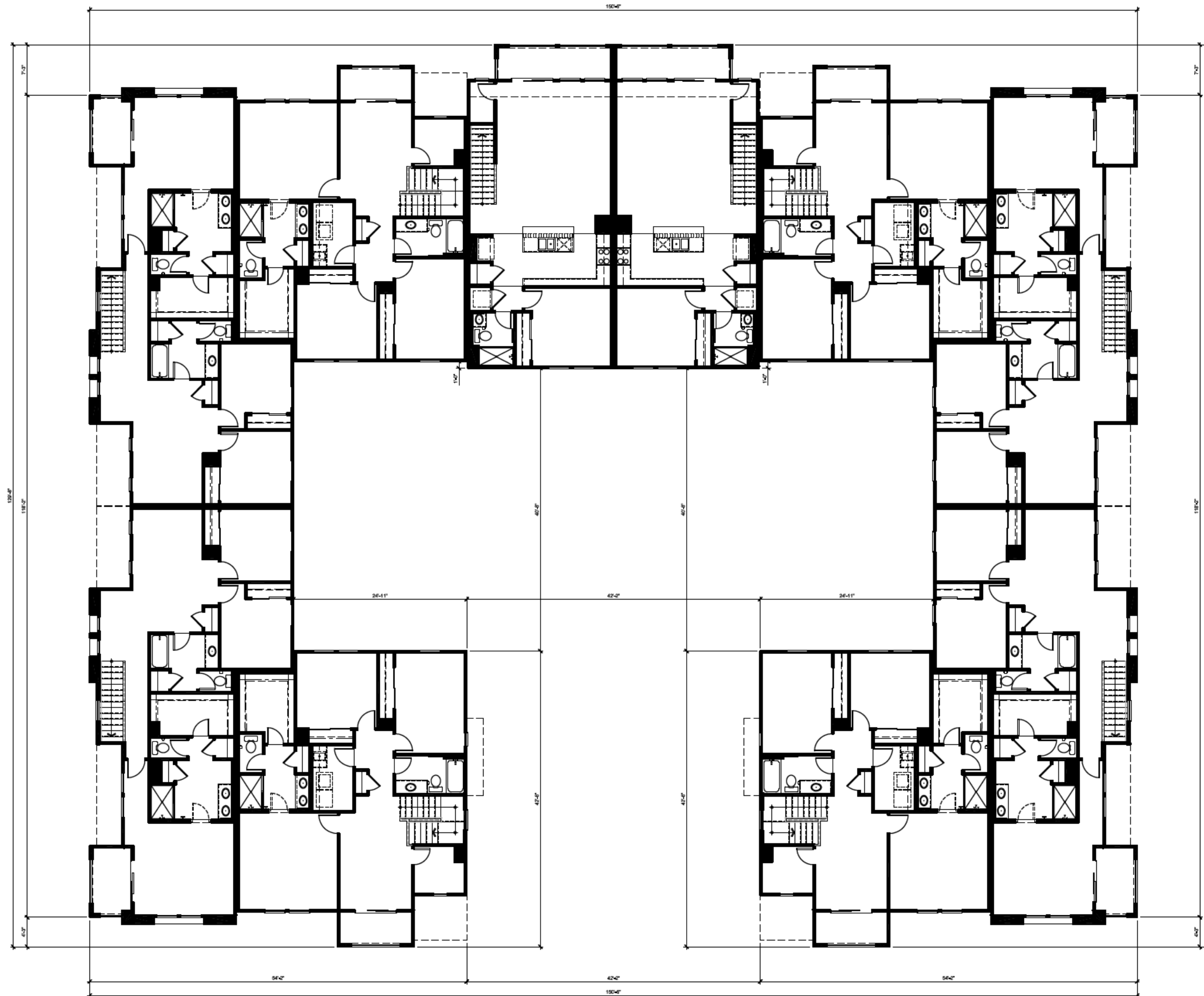
KB Home Southern California/Inland Empire  
36310 Inland Valley Drive  
Wildomar, CA 92595  
(951) 691-5300  
ONTARIO, CA

BUILDING TYPE 01

JOB No. : 350999

STORY: Two

Rev. May 16, 2022



Second Floor Plan 'Spanish Colonial'

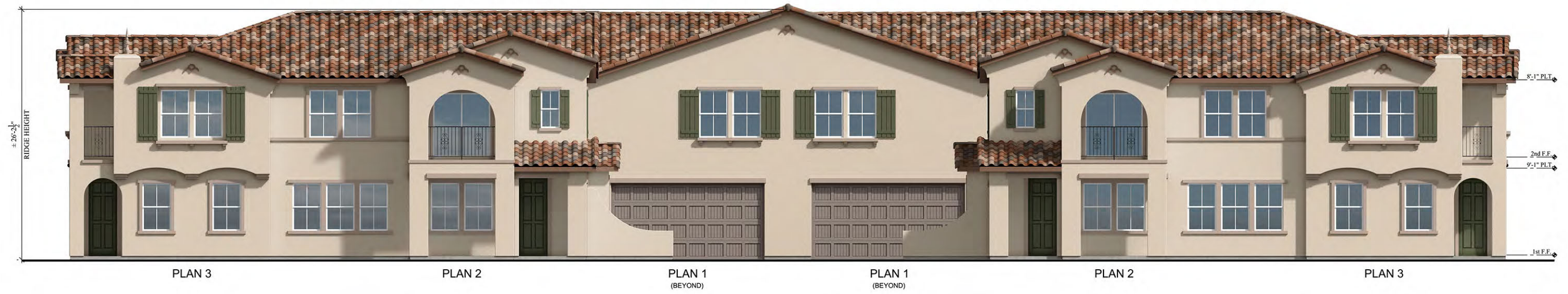
ESPERANZA MOTORCOURT TOWNHOMES  
TENTATIVE TRACT MAP 20160



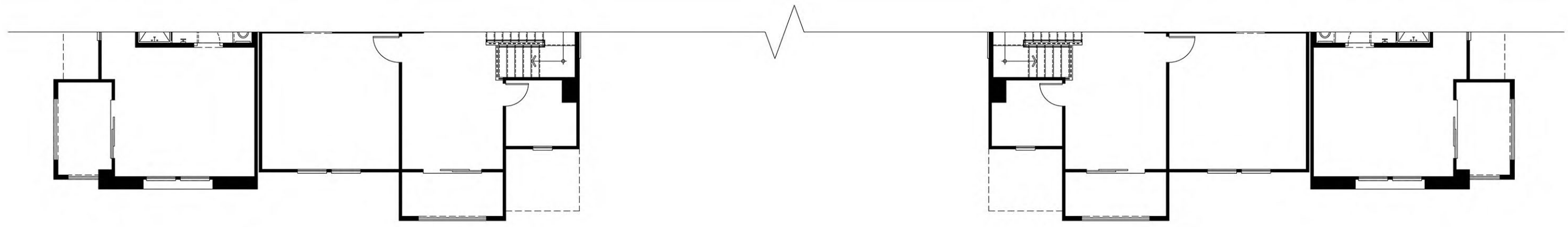
KB Home Southern California/Inland Empire  
36310 Inland Valley Drive  
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(951) 691-5300  
ONTARIO, CA

BUILDING TYPE 01

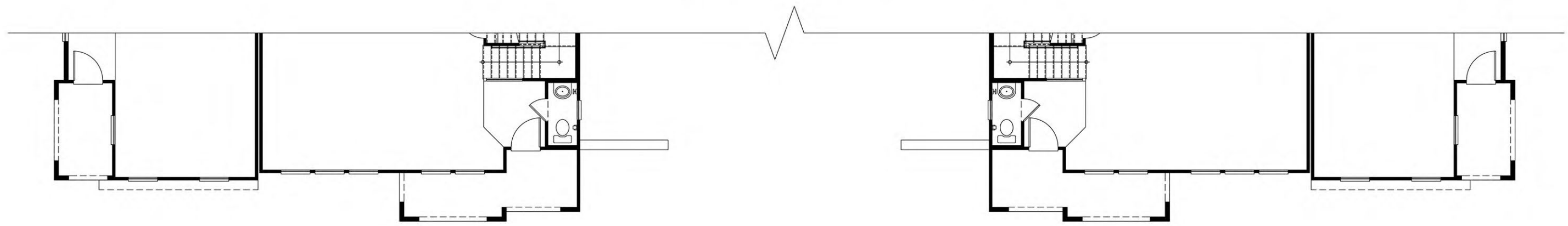
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STORY: Two  
Rev. May 16, 2022



Front Elevation 'Spanish Colonial'



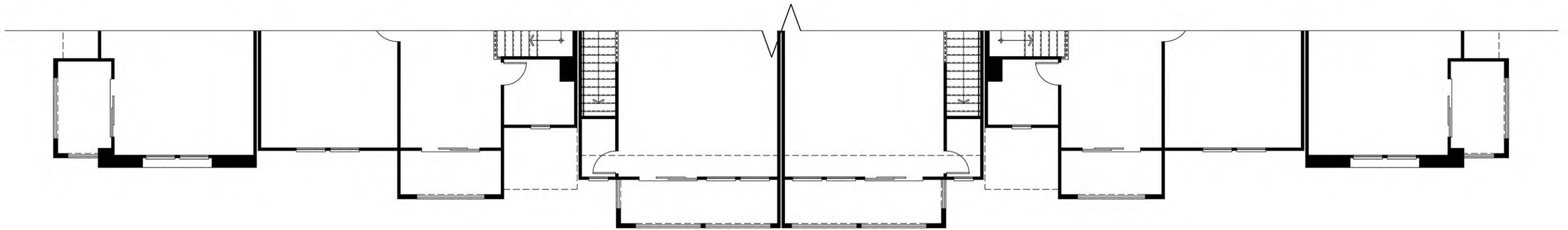
Partial Second Floor Plan



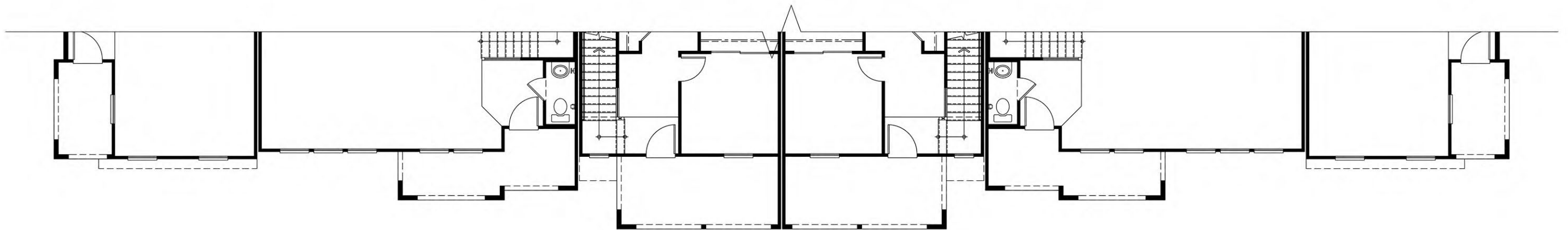
Partial First Floor Plan



Rear Elevation 'Spanish Colonial'

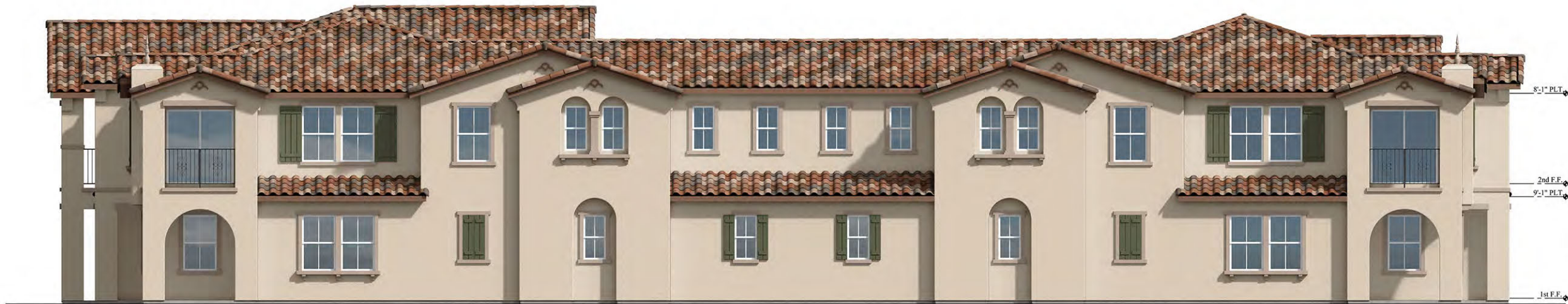


Partial Second Floor Plan



Partial First Floor Plan

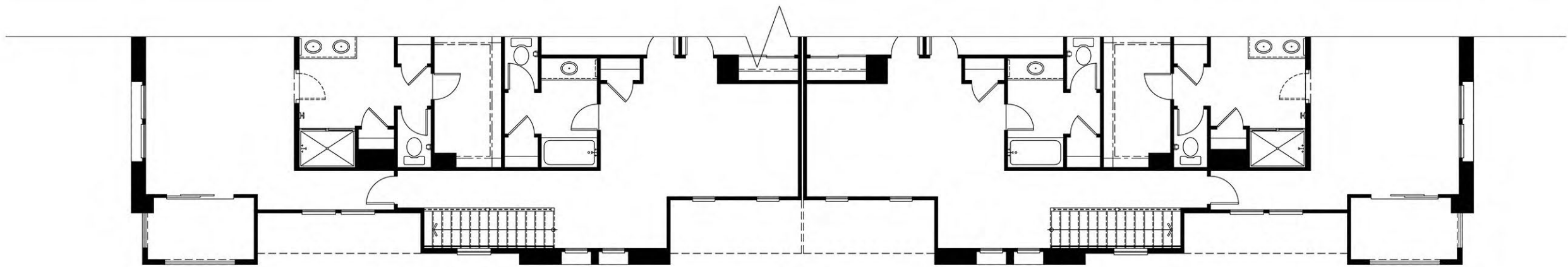




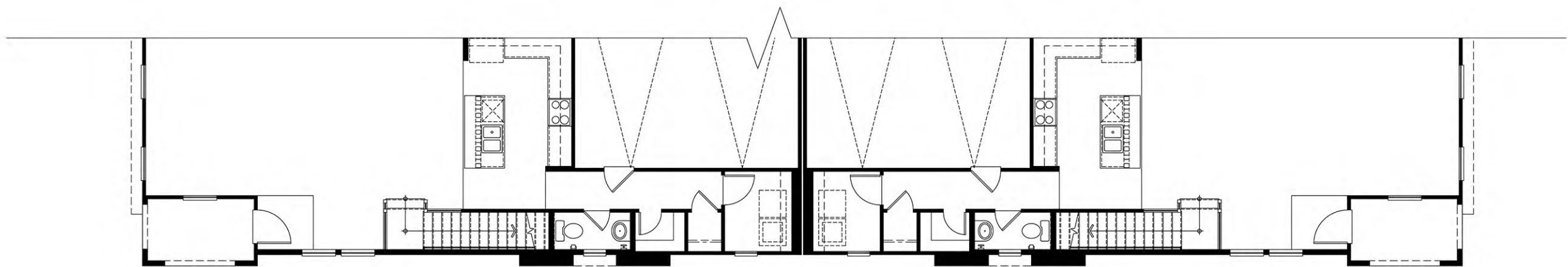
PLAN 3

PLAN 3

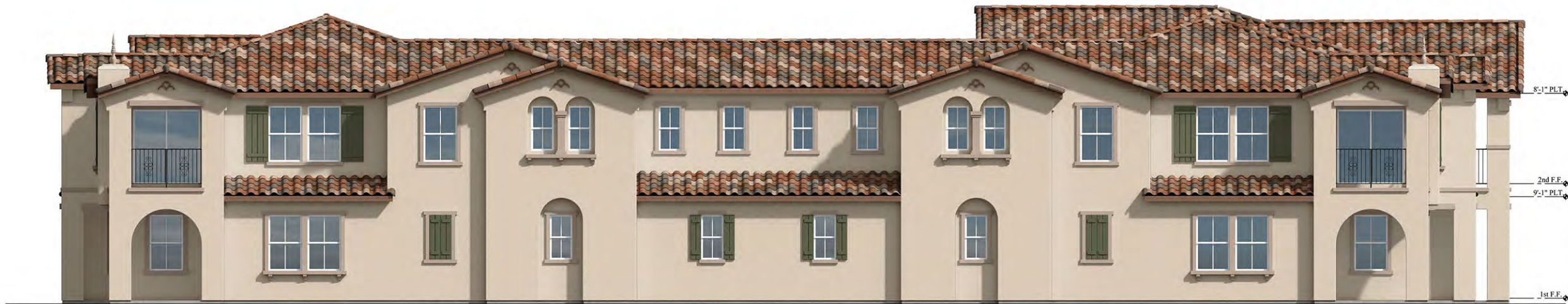
Left Elevation 'Spanish Colonial'



Partial Second Floor Plan



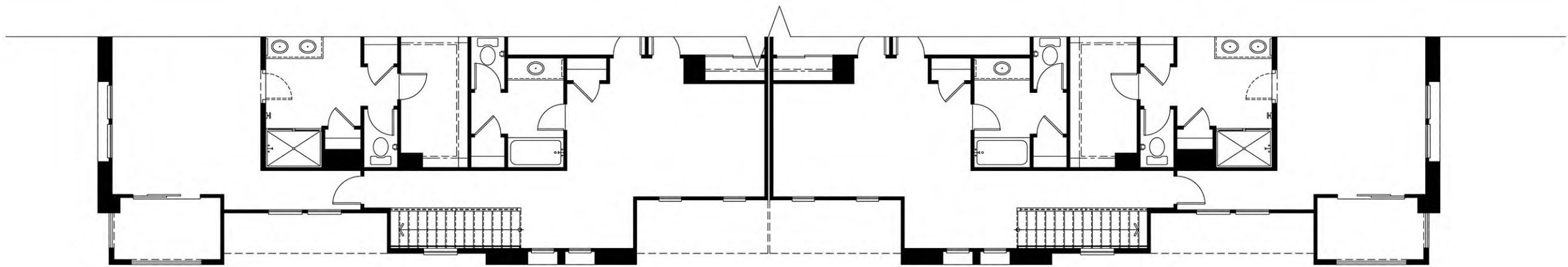
Partial First Floor Plan



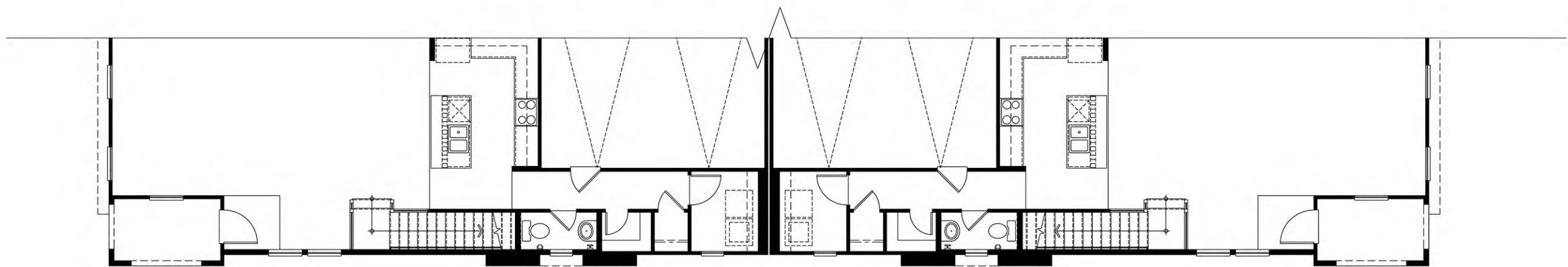
PLAN 3

PLAN 3

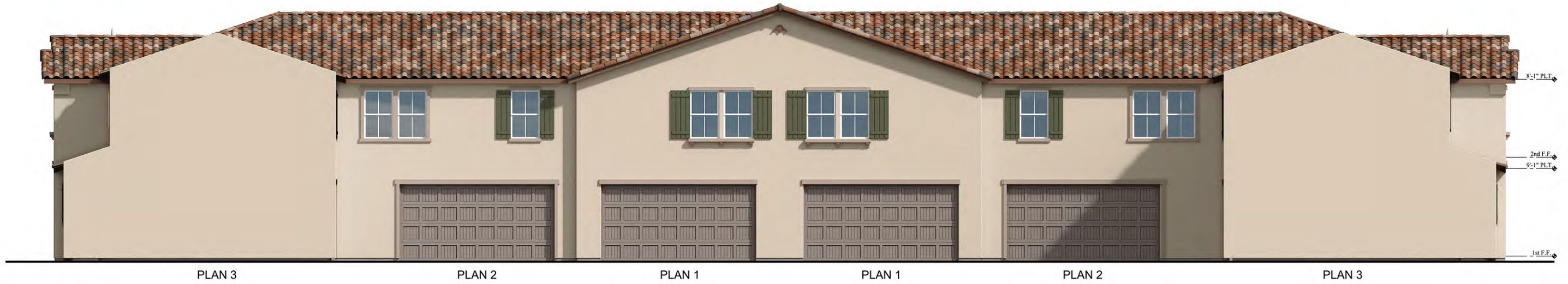
Right Elevation 'Spanish Colonial'



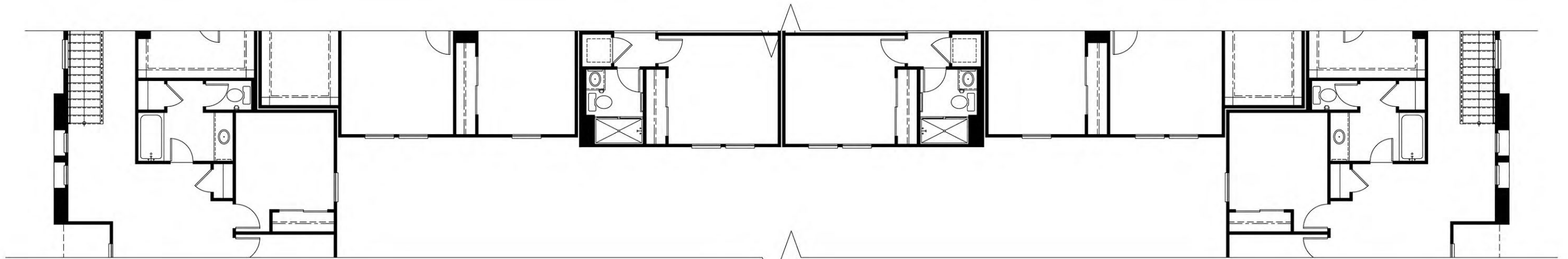
Partial Second Floor Plan



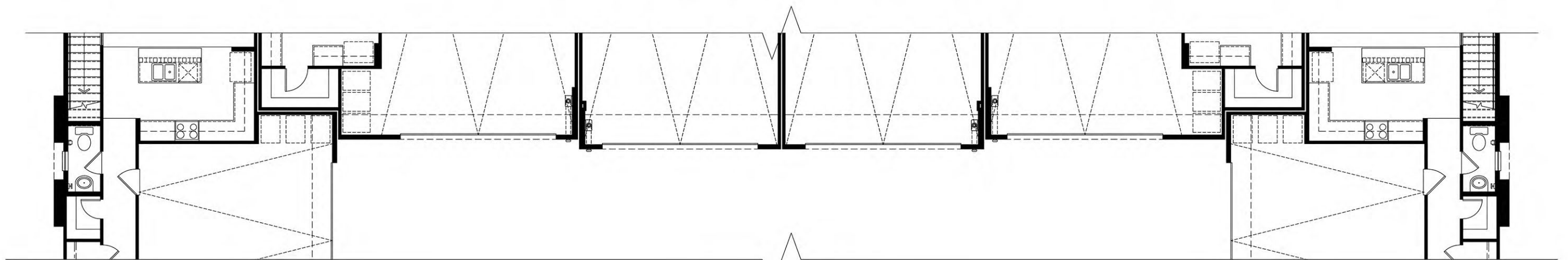
Partial First Floor Plan



Front Courtyard Elevation 'Spanish Colonial'



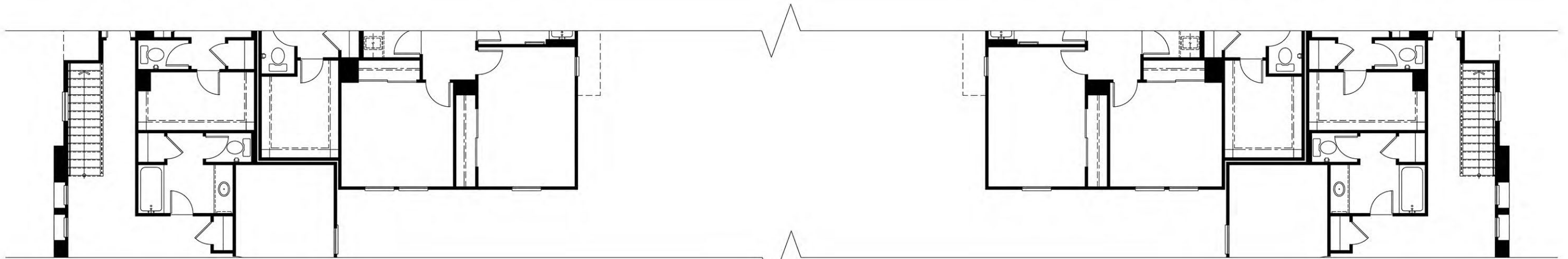
Partial Second Floor Plan



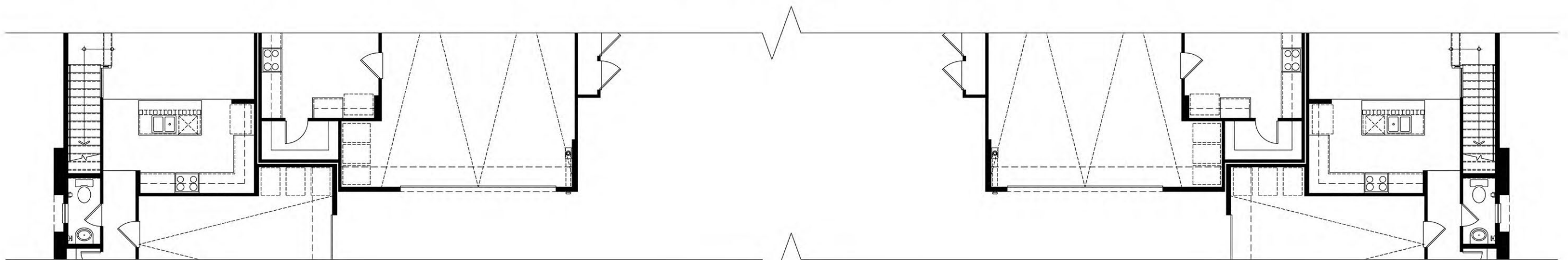
Partial First Floor Plan



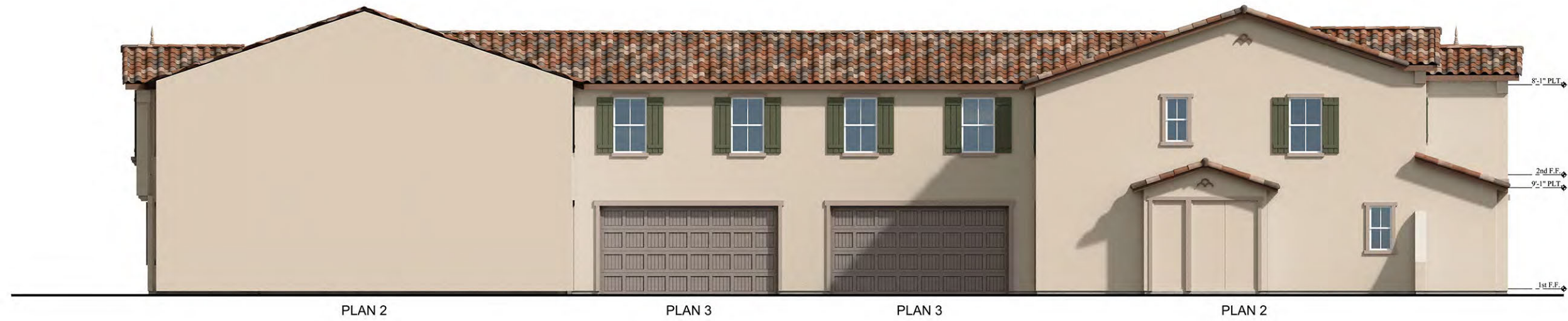
Rear Courtyard Elevation 'Spanish Colonial'



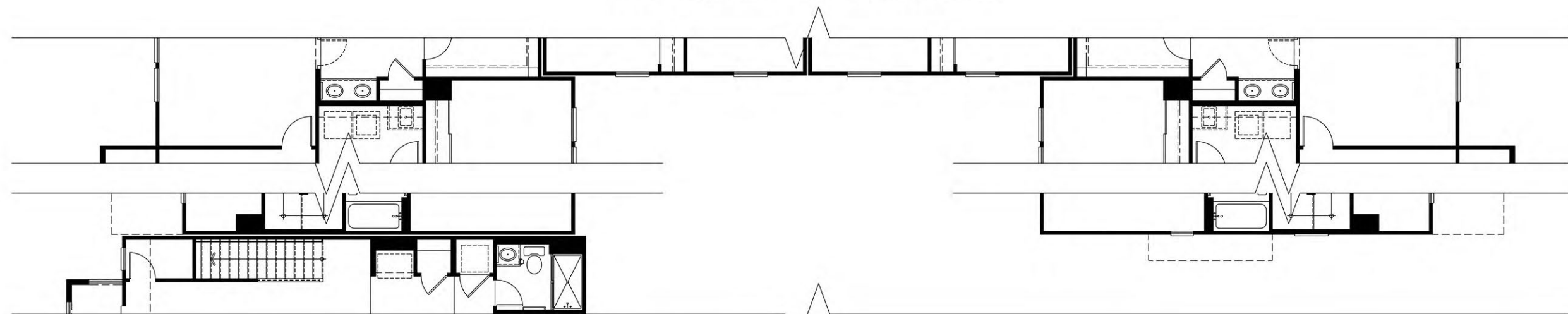
Partial Second Floor Plan



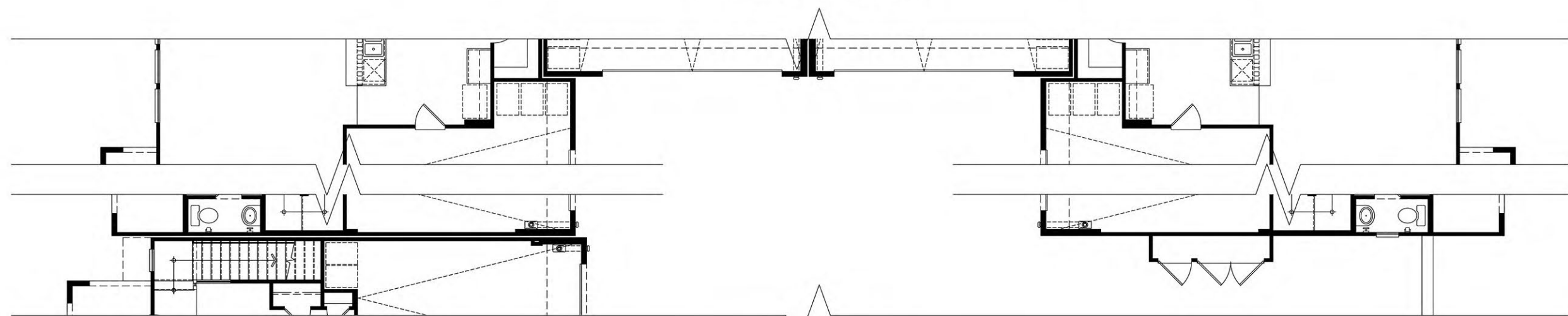
Partial First Floor Plan



Left Courtyard Elevation 'Spanish Colonial'



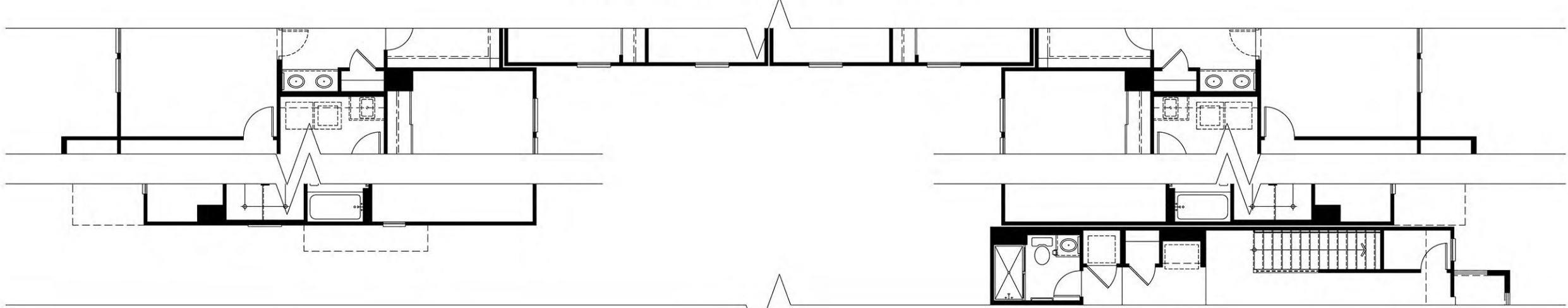
Partial Second Floor Plan



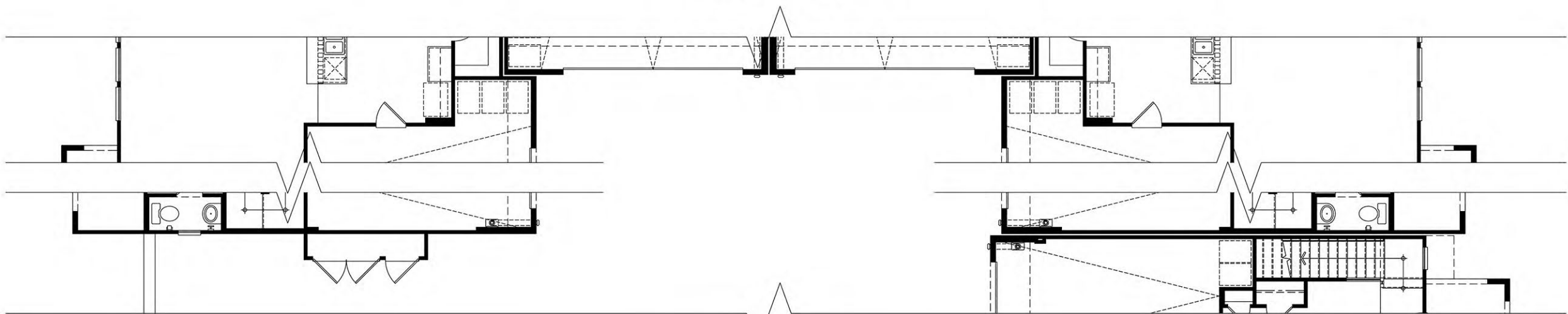
Partial First Floor Plan



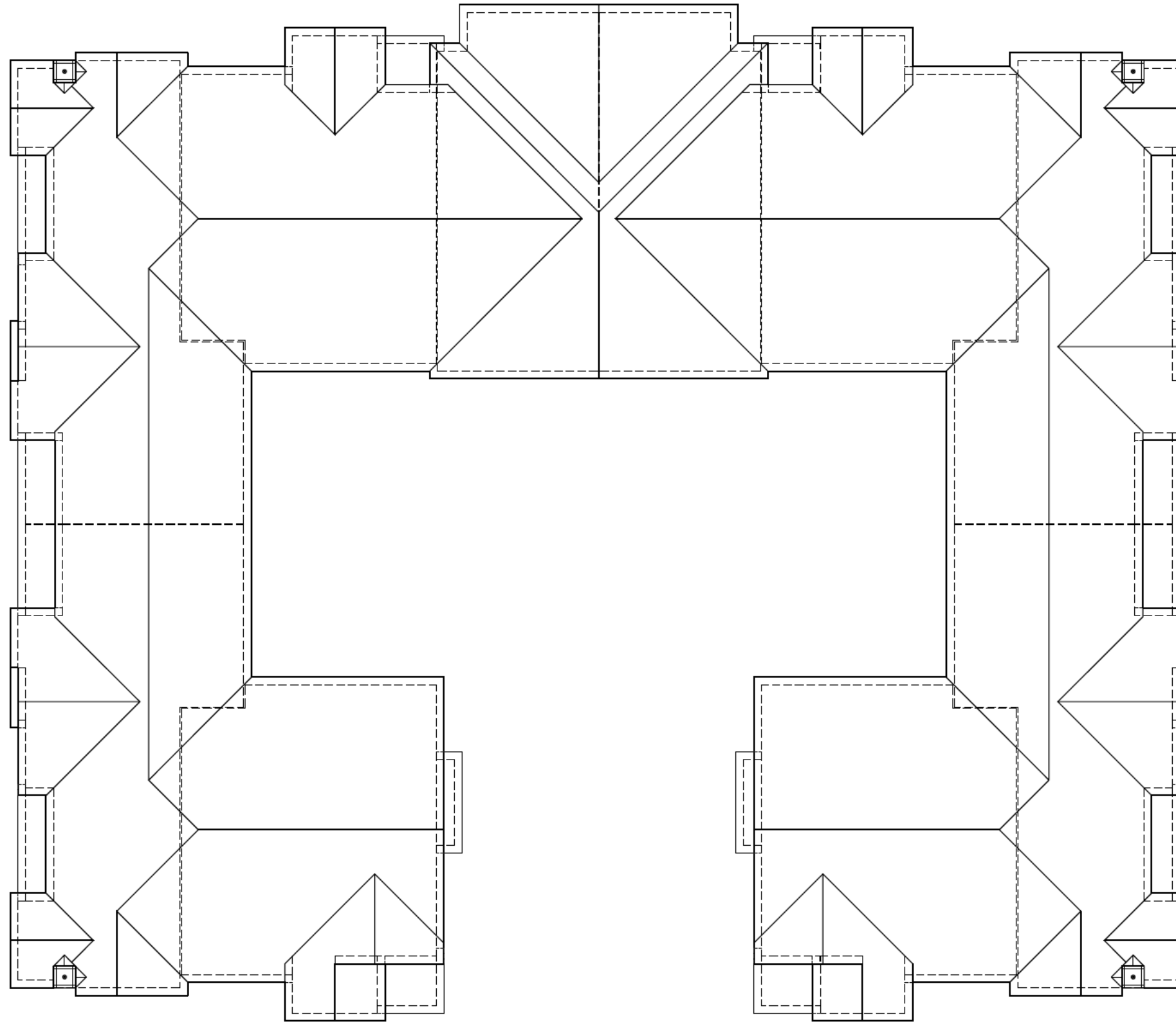
Right Courtyard Elevation 'Spanish Colonial'



Partial Second Floor Plan



Partial First Floor Plan



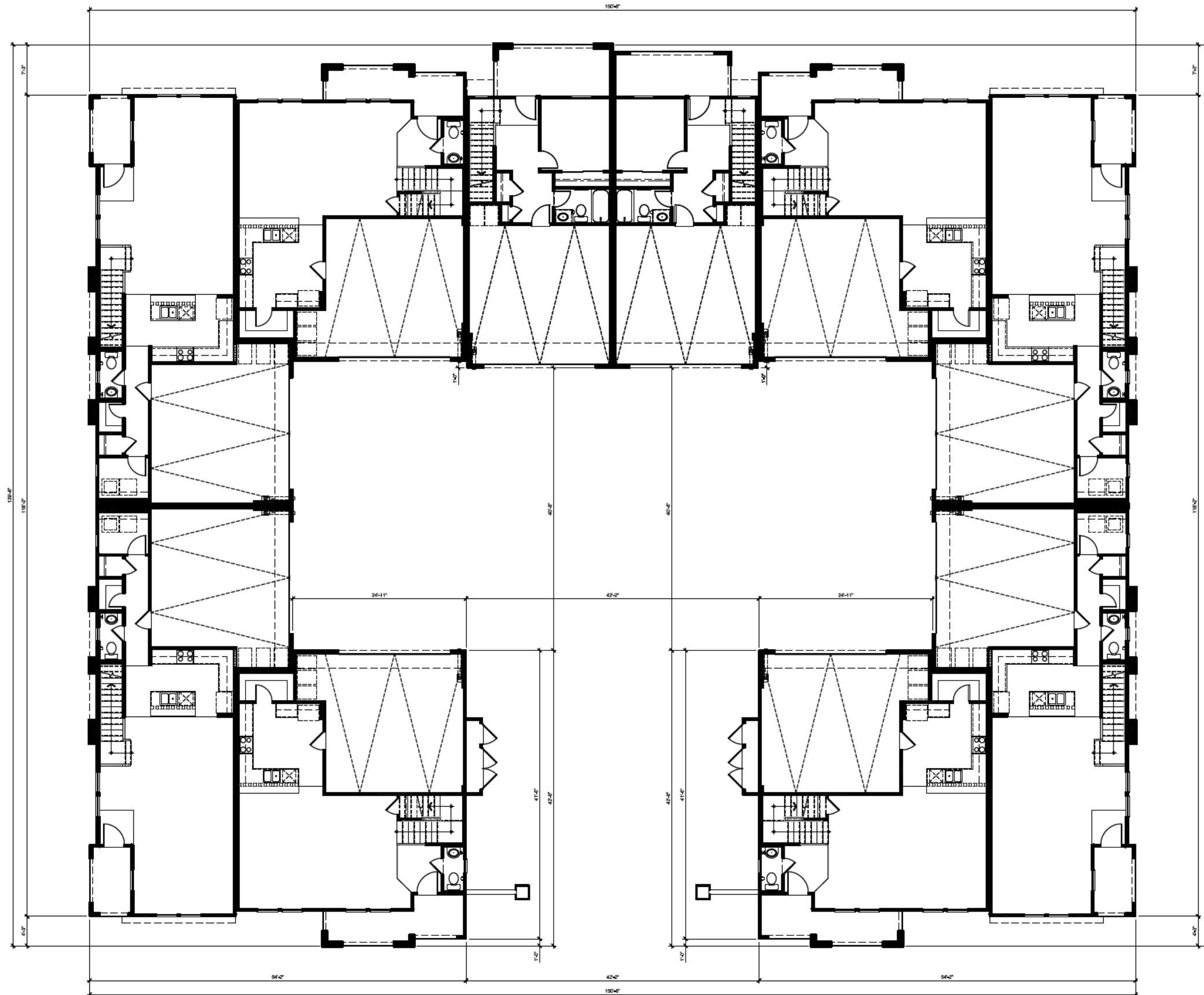
Roof Plan 'Spanish Colonial'  
4:12

ESPERANZA MOTORCOURT TOWNHOMES  
TENTATIVE TRACT MAP 20160



KB Home Southern California/Inland Empire  
36310 Inland Valley Drive  
Wildomar, CA 92595  
(951) 691-5300  
ONTARIO, CA

BUILDING TYPE 01  
JOB No. : 350999  
STORY: Two  
Rev. May 16, 2022  
Item J - 32 of 99



First Floor Plan 'Traditional'

ESPERANZA MOTORCOURT TOWNHOMES  
TENTATIVE TRACT MAP 20160



KB Home Southern California/Inland Empire  
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Wildomar, CA 92595  
(951) 691-5300  
ONTARIO, CA

BUILDING TYPE 01

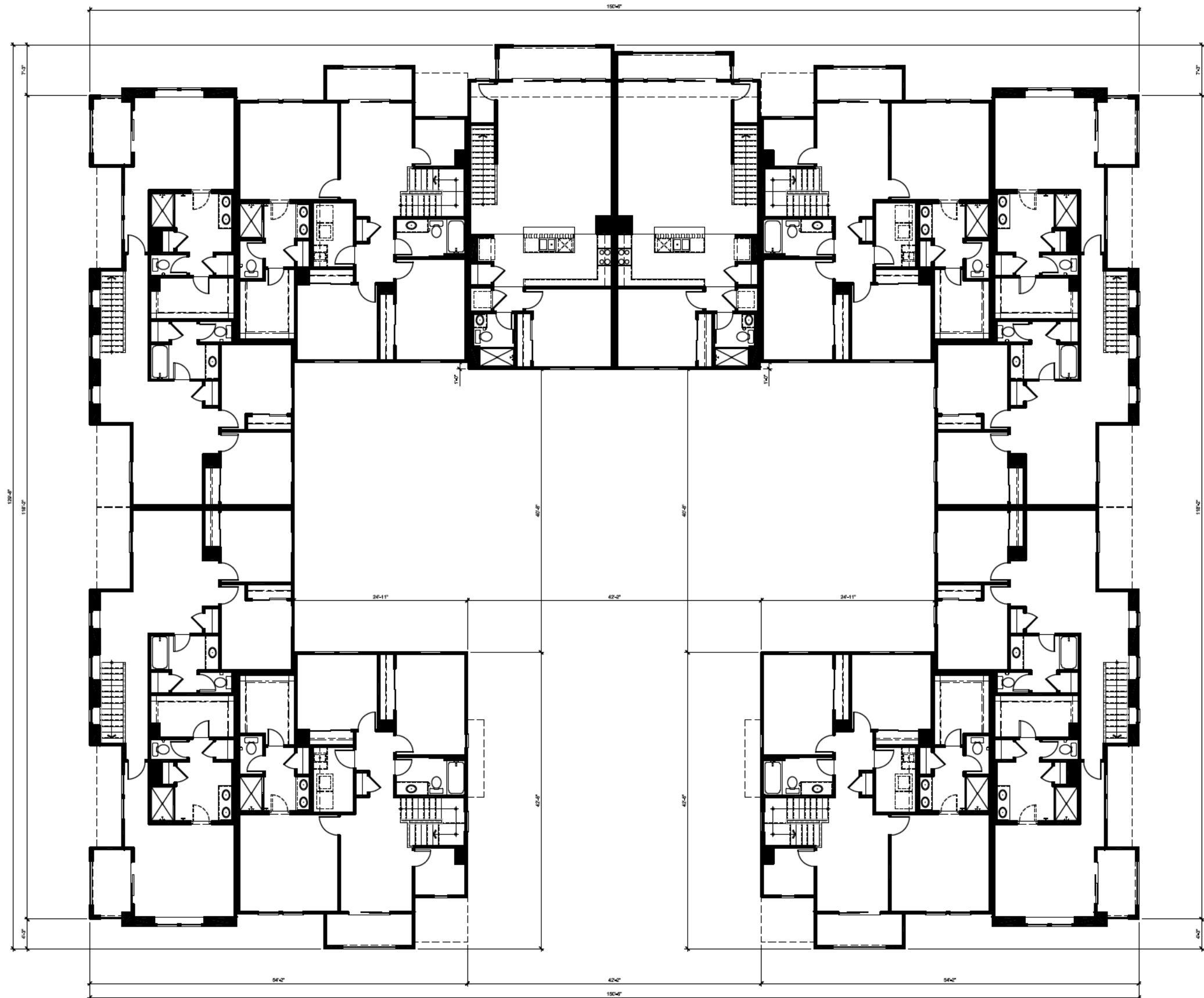
JOB No. : 350999

STORY: Two

Rev. May 16, 2022

Item J - 33 of 99





Second Floor Plan 'Traditional'

ESPERANZA MOTORCOURT TOWNHOMES  
TENTATIVE TRACT MAP 20160



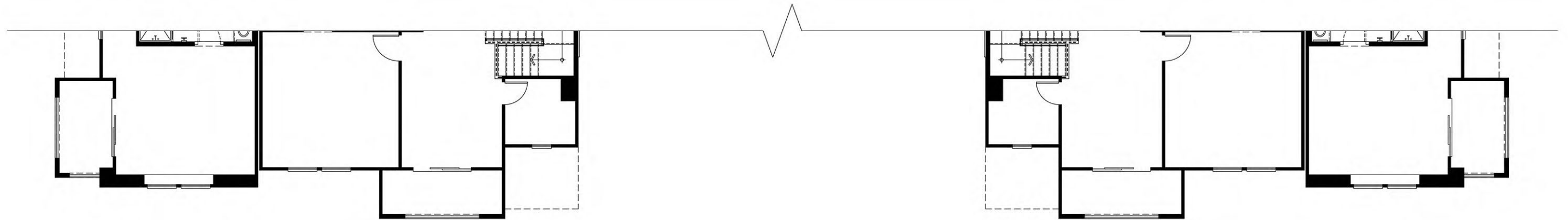
KB Home Southern California/Inland Empire  
36310 Inland Valley Drive  
Wildomar, CA 92595  
(951) 691-5300  
ONTARIO, CA

BUILDING TYPE 01

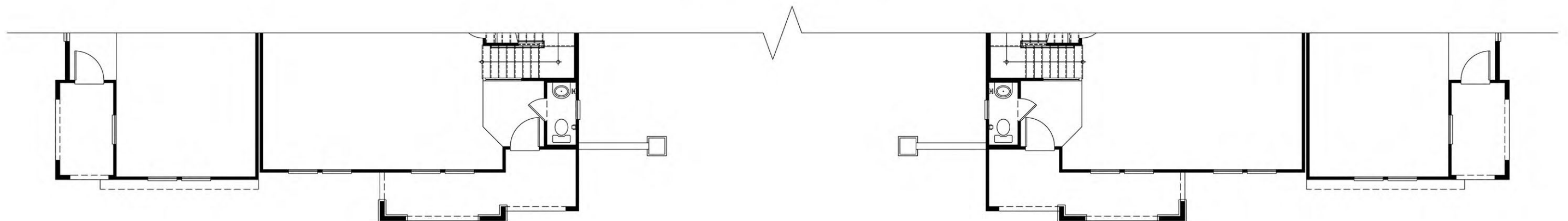
JOB No. : 350999  
STORY: Two  
Rev. May 16, 2022



Front Elevation 'Traditional'



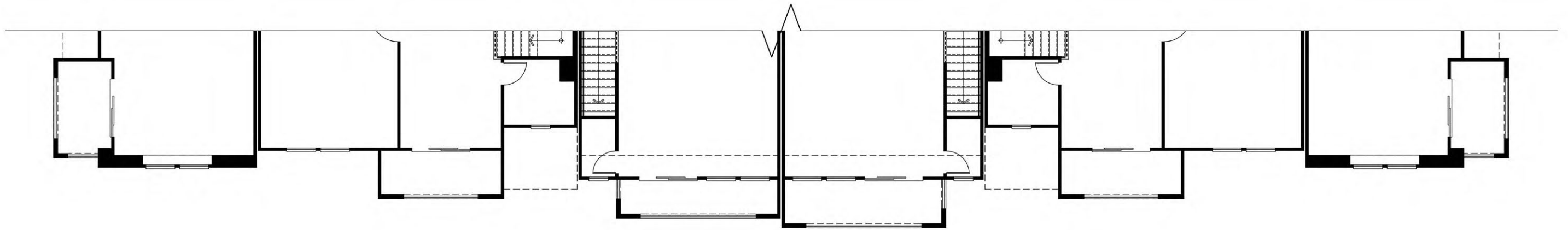
Partial Second Floor Plan



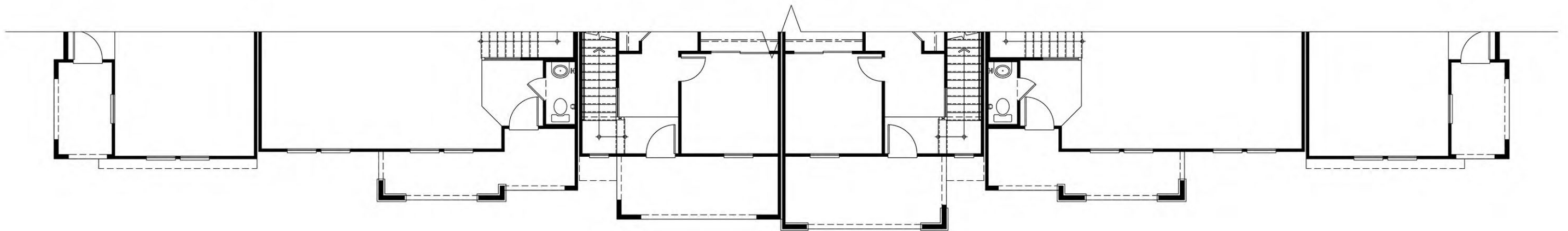
Partial First Floor Plan



Rear Elevation 'Traditional'



Partial Second Floor Plan



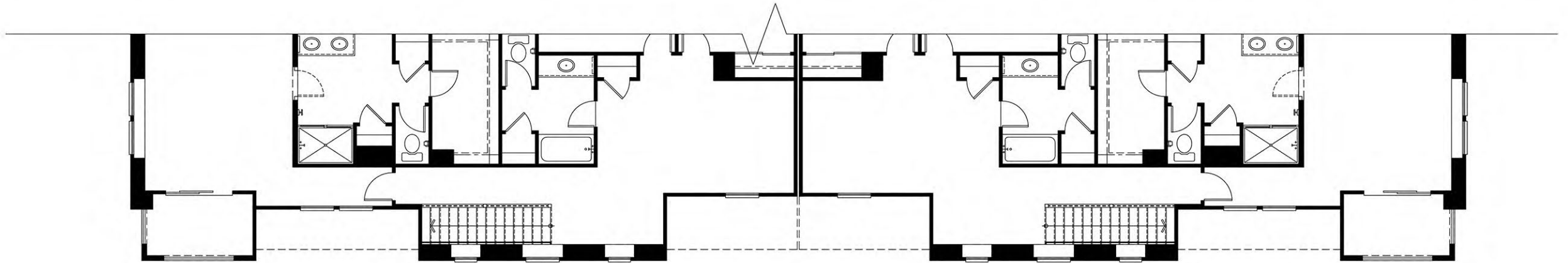
Partial First Floor Plan



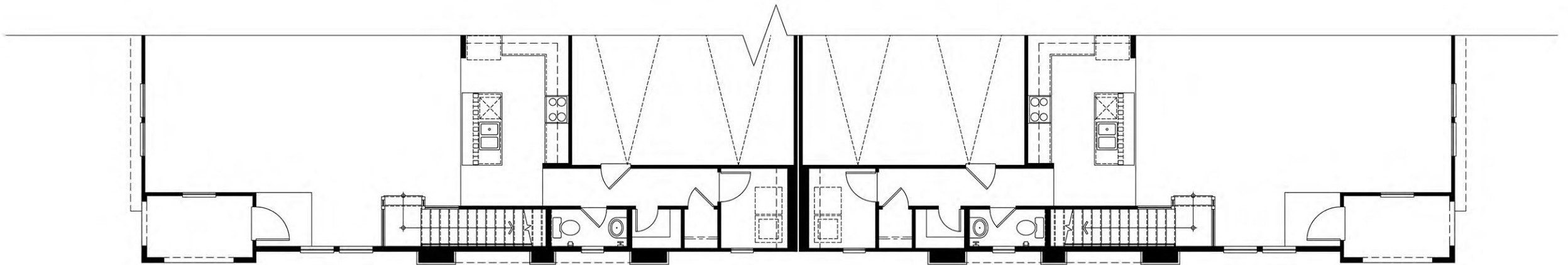
PLAN 3

PLAN 3

Left Elevation 'Traditional'



Partial Second Floor Plan



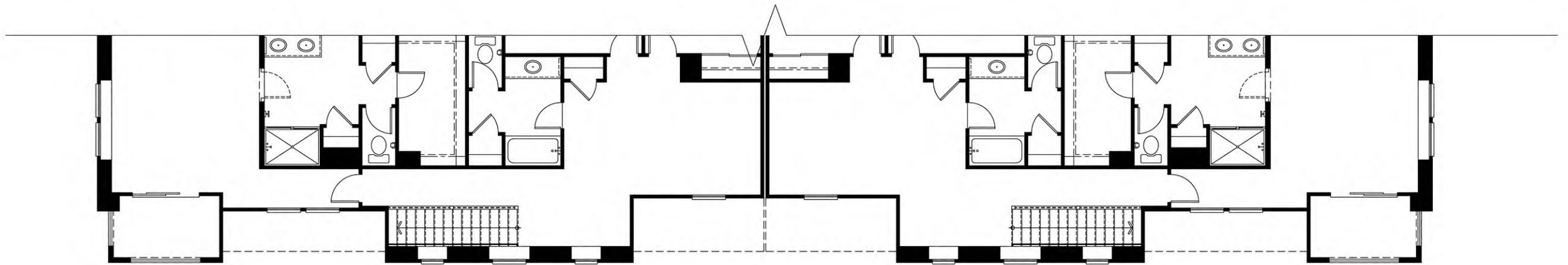
Partial First Floor Plan



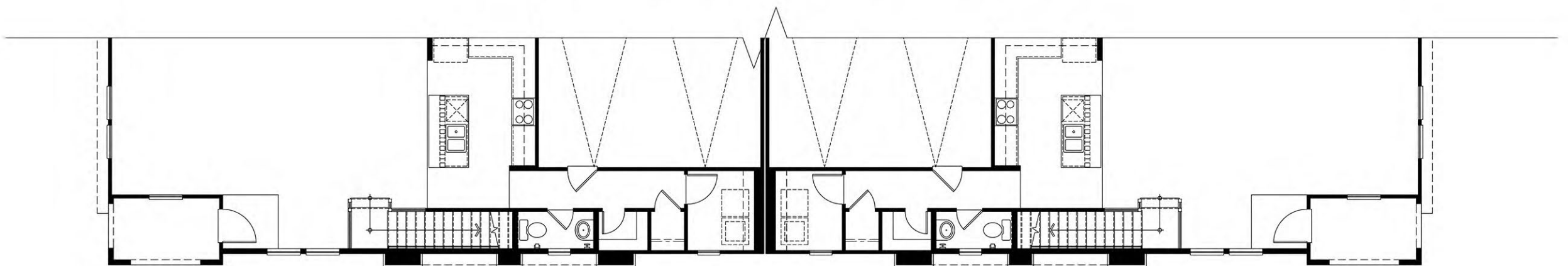
PLAN 3

PLAN 3

Right Elevation 'Traditional'



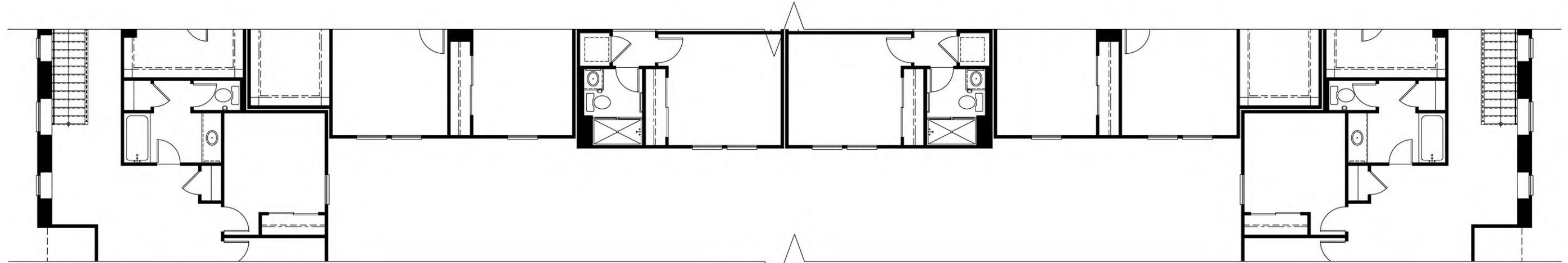
Partial Second Floor Plan



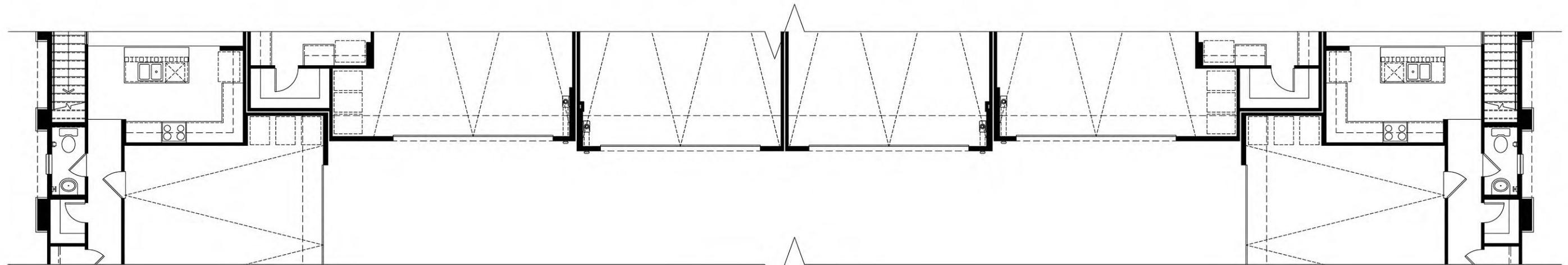
Partial First Floor Plan



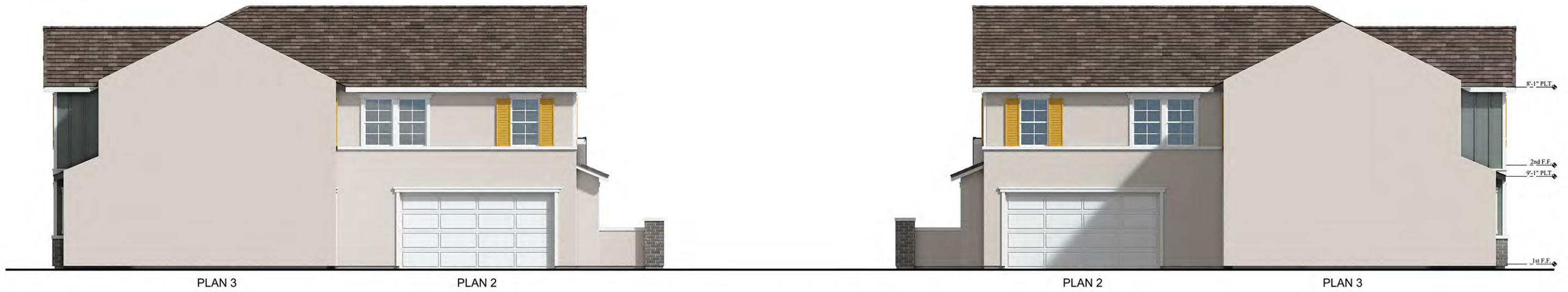
Front Courtyard Elevation 'Traditional'



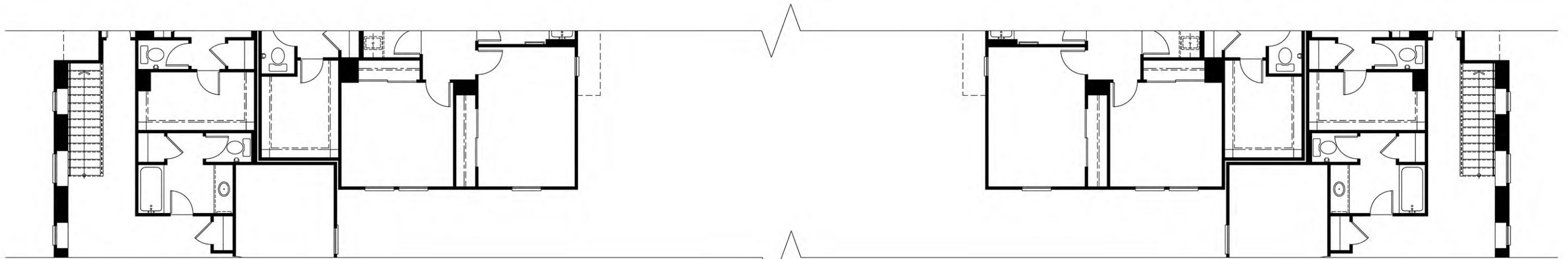
Partial Second Floor Plan



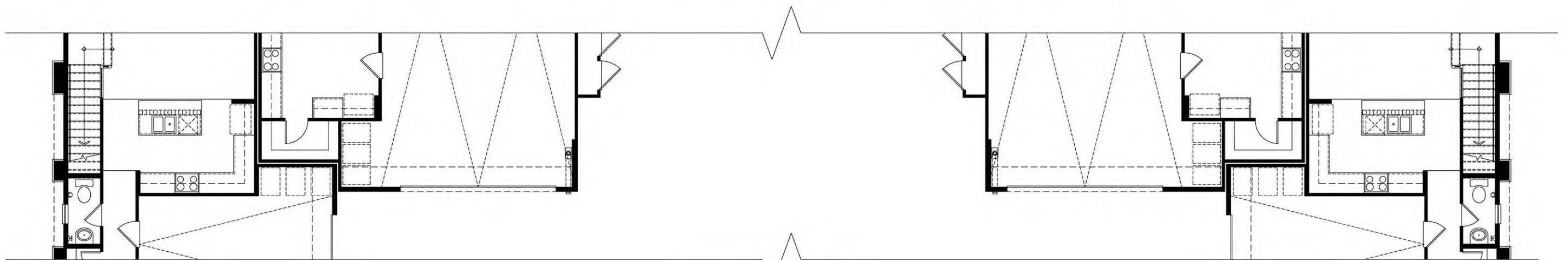
Partial First Floor Plan



Rear Courtyard Elevation 'Traditional'



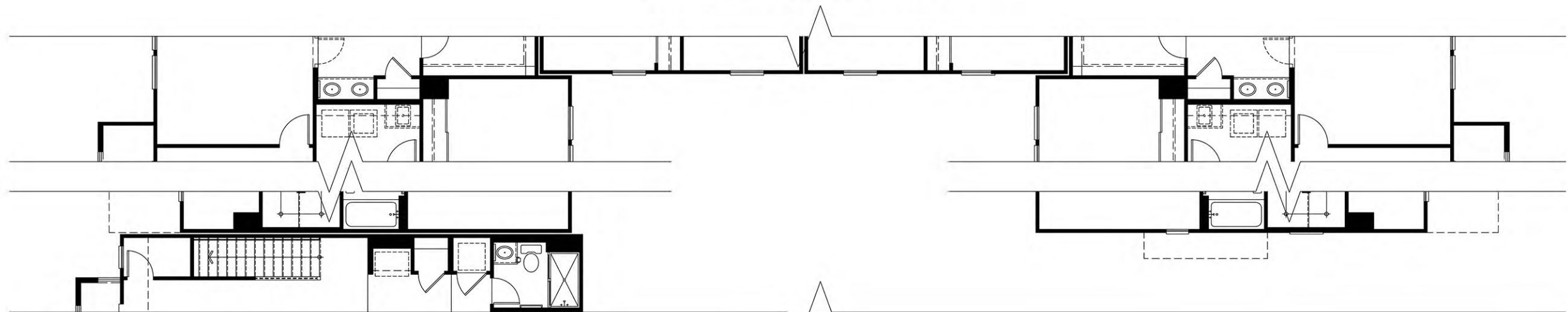
Partial Second Floor Plan



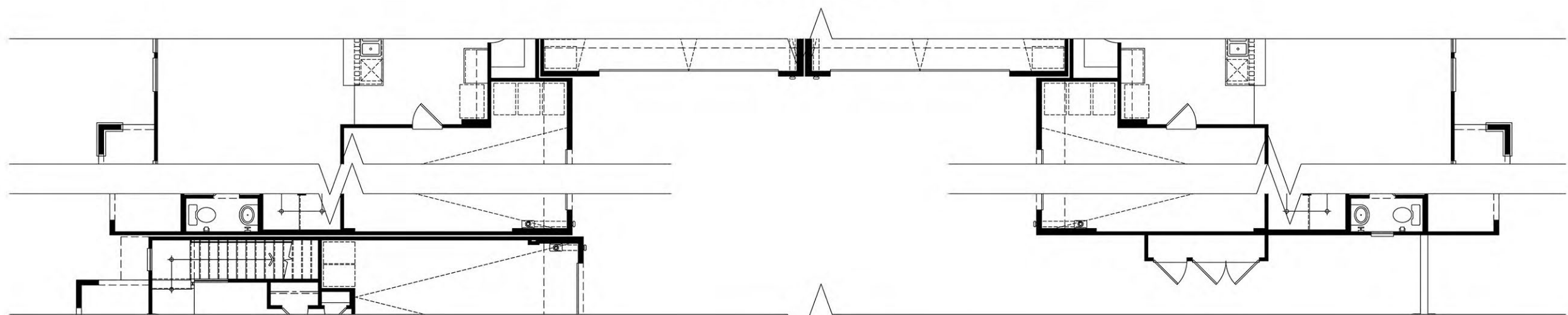
Partial First Floor Plan



Left Courtyard Elevation 'Traditional'



Partial Second Floor Plan

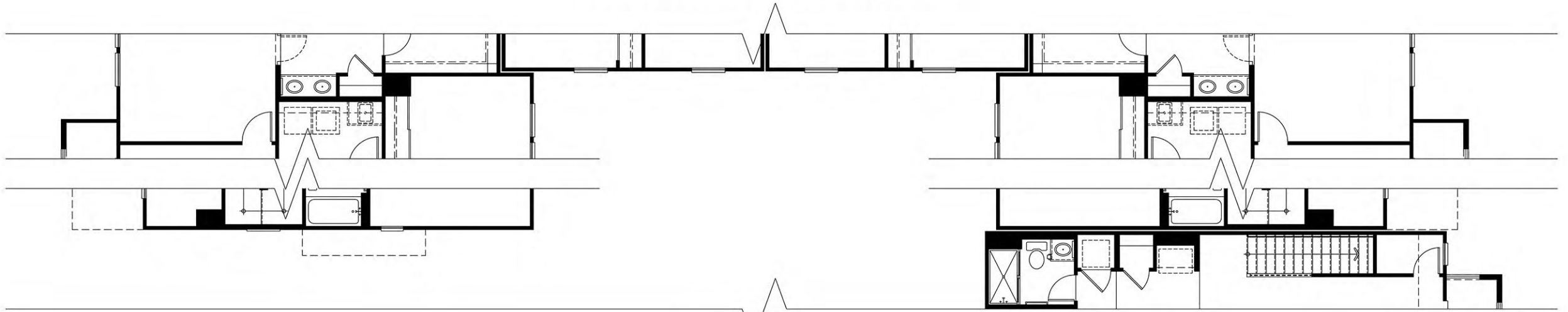


Partial First Floor Plan

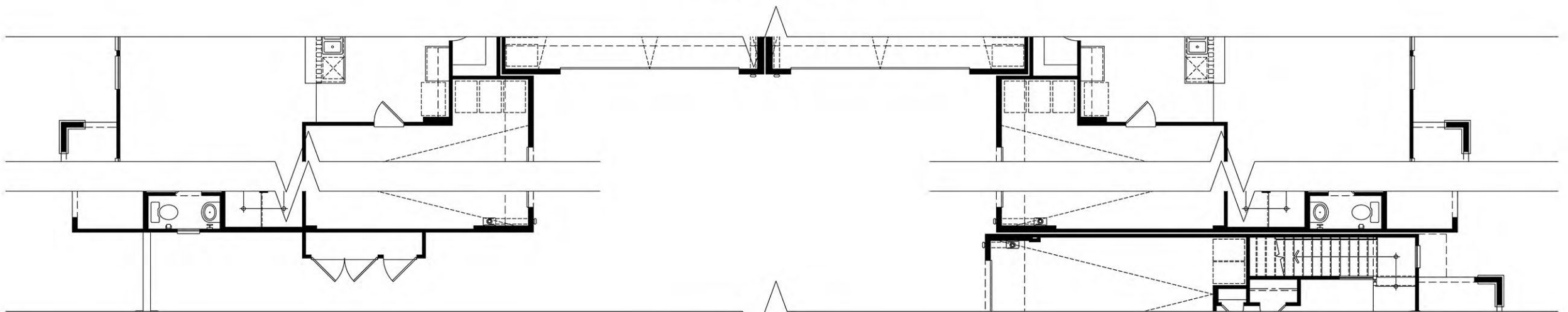




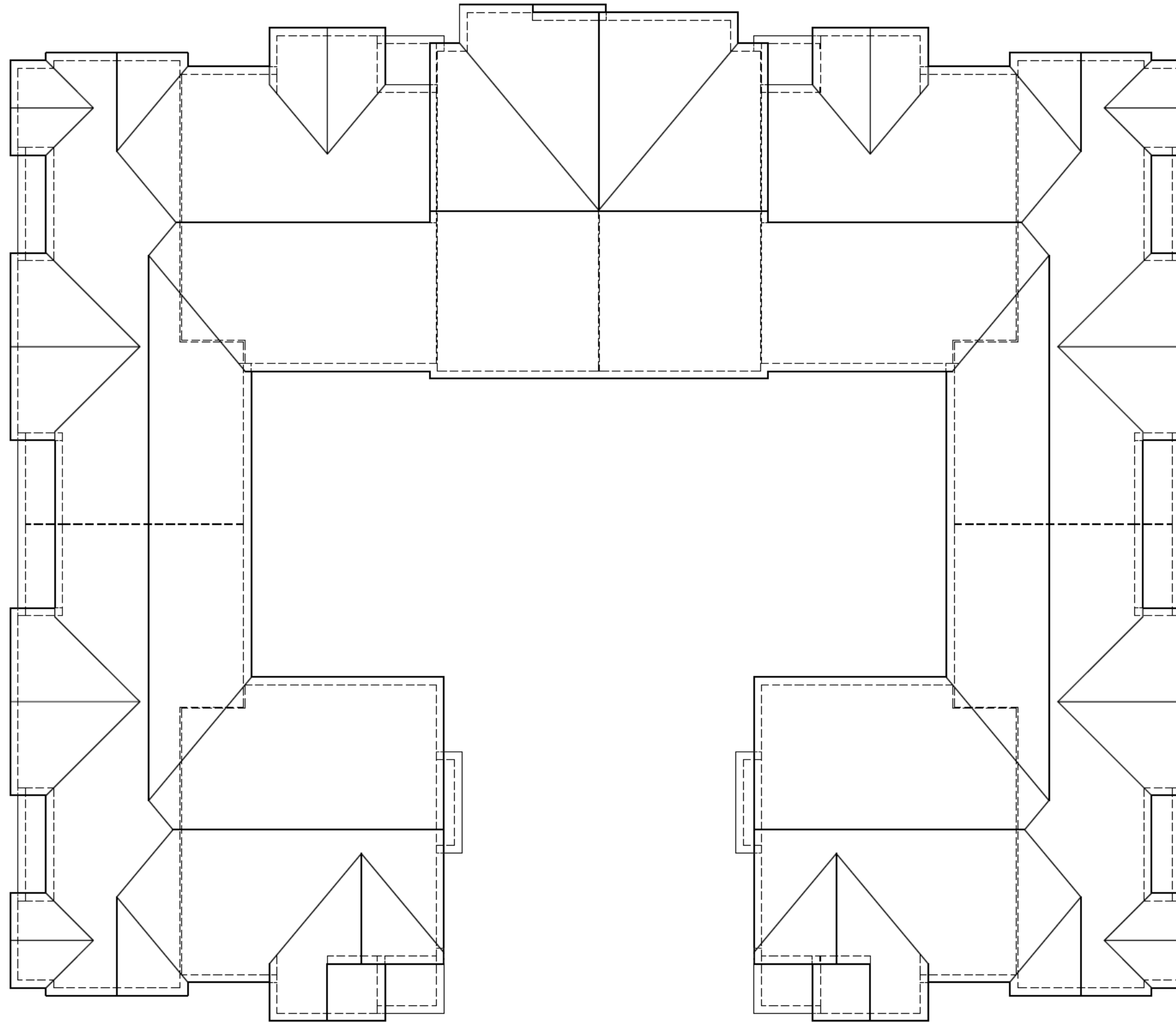
Right Courtyard Elevation 'Traditional'



Partial Second Floor Plan



Partial First Floor Plan



Roof Plan 'Traditional'  
5:12 / 6:12

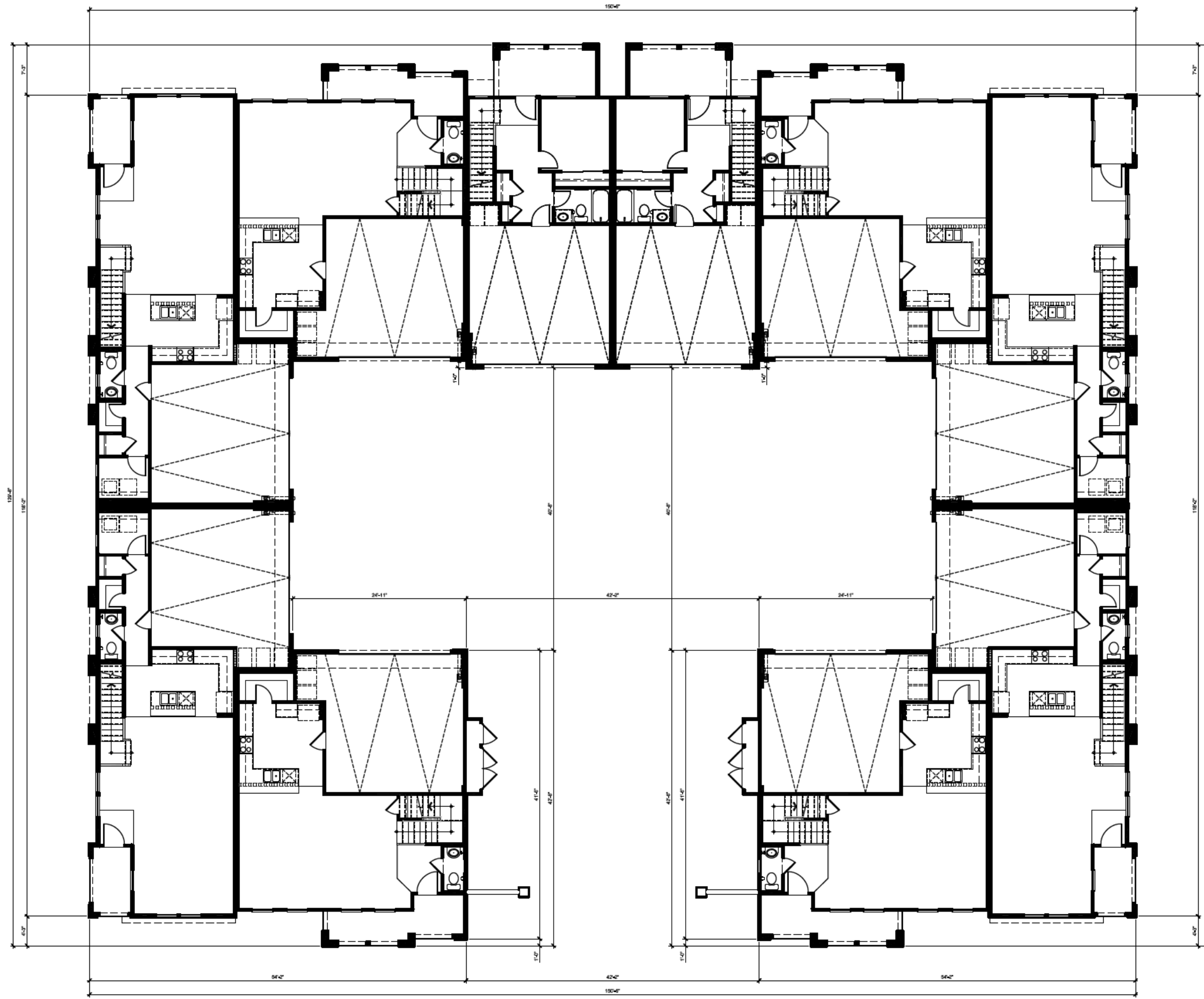
ESPERANZA MOTORCOURT TOWNHOMES  
TENTATIVE TRACT MAP 20160



KB Home Southern California/Inland Empire  
36310 Inland Valley Drive  
Wildomar, CA 92595  
(951) 691-5300  
ONTARIO, CA

BUILDING TYPE 01

JOB No. : 350999  
STORY: Two  
Rev. May 16, 2022



First Floor Plan 'Country French'

ESPERANZA MOTORCOURT TOWNHOMES  
TENTATIVE TRACT MAP 20160



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(951) 691-5300  
ONTARIO, CA

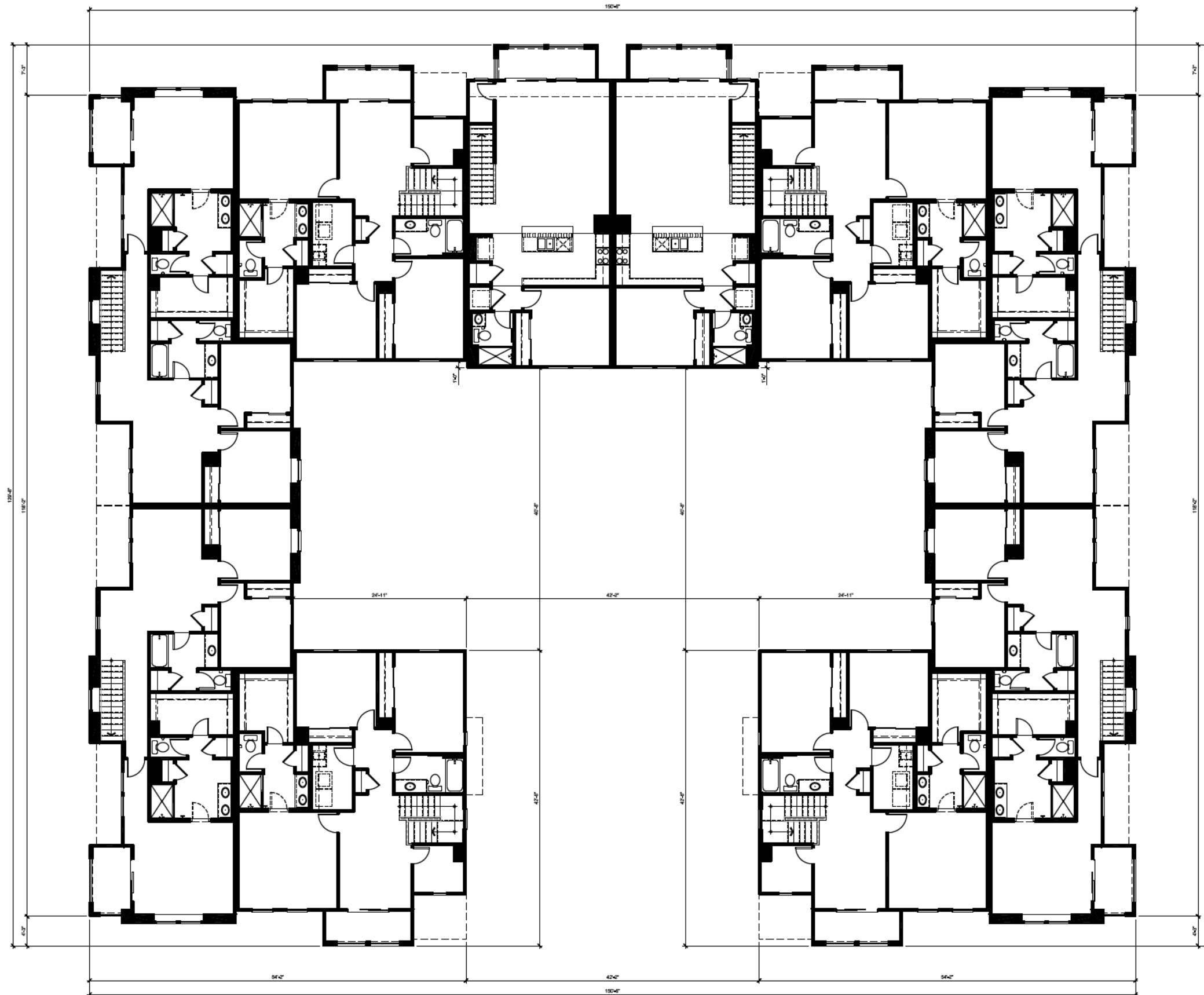
BUILDING TYPE 01

JOB No. : 350999

STORY: Two

Rev. May 16, 2022

Item J - 44 of 99



Second Floor Plan 'Country French'

ESPERANZA MOTORCOURT TOWNHOMES  
TENTATIVE TRACT MAP 20160



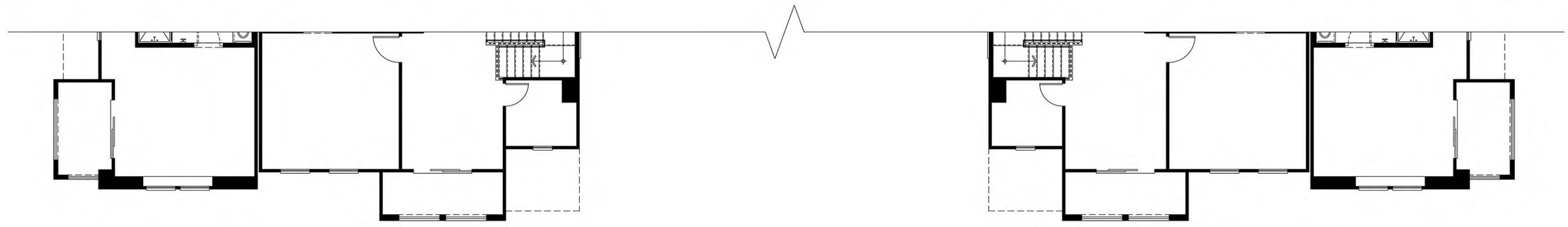
KB Home Southern California/Inland Empire  
36310 Inland Valley Drive  
Wildomar, CA 92595  
(951) 691-5300  
ONTARIO, CA

BUILDING TYPE 01

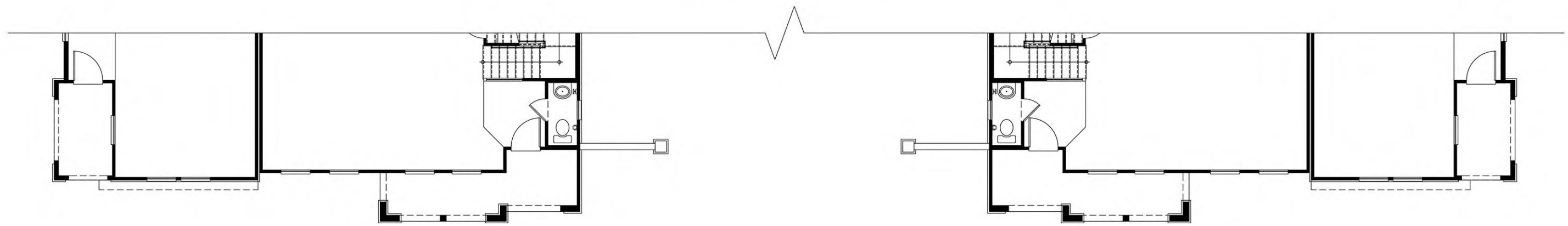
JOB No. : 350999  
STORY: Two  
Rev. May 16, 2022



Front Elevation 'Country French'



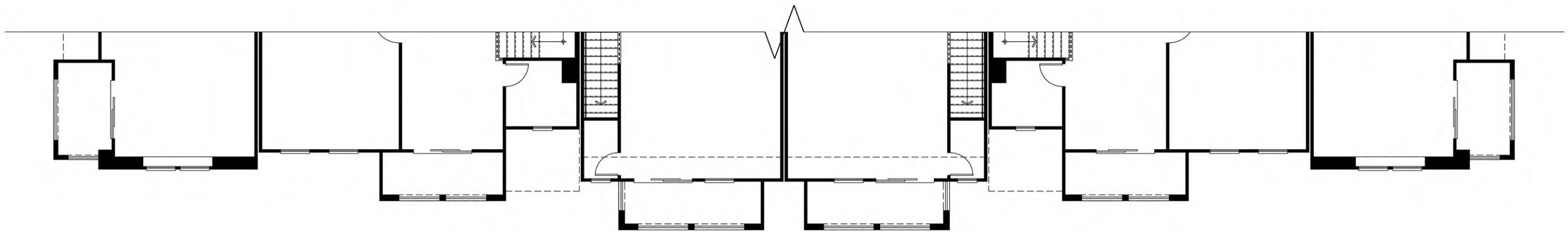
Partial Second Floor Plan



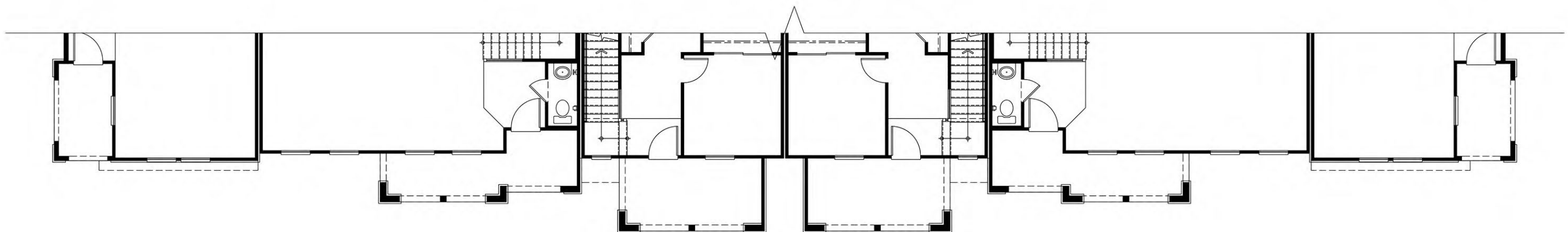
Partial First Floor Plan



Rear Elevation 'Country French'



Partial Second Floor Plan



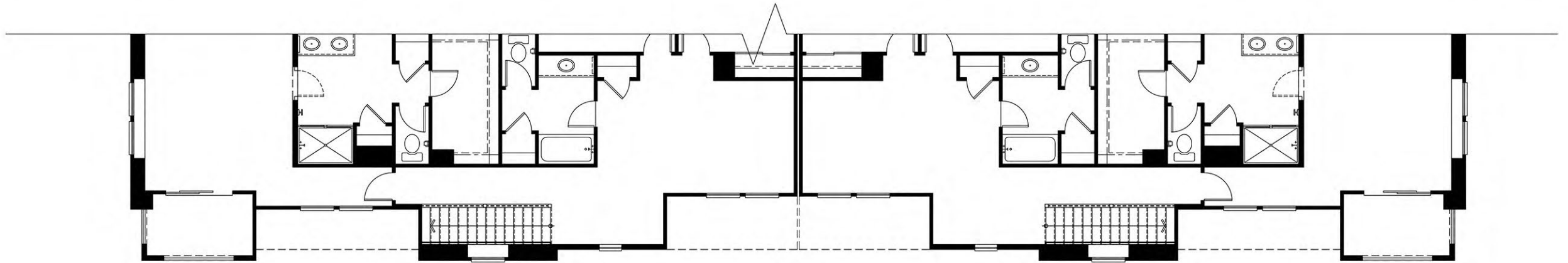
Partial First Floor Plan



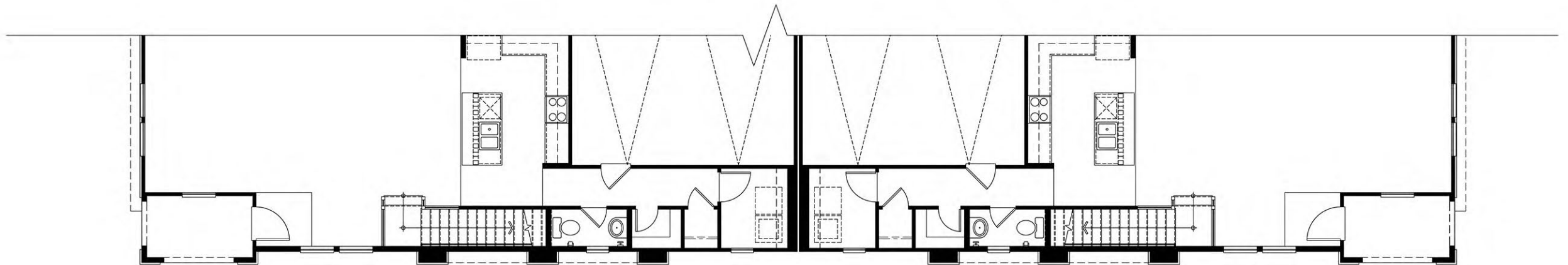
PLAN 3

PLAN 3

Left Elevation 'Country French'



Partial Second Floor Plan



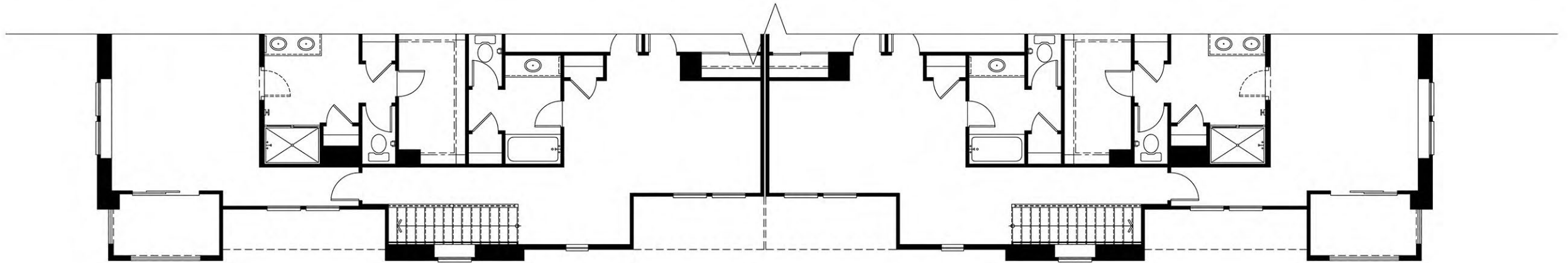
Partial First Floor Plan



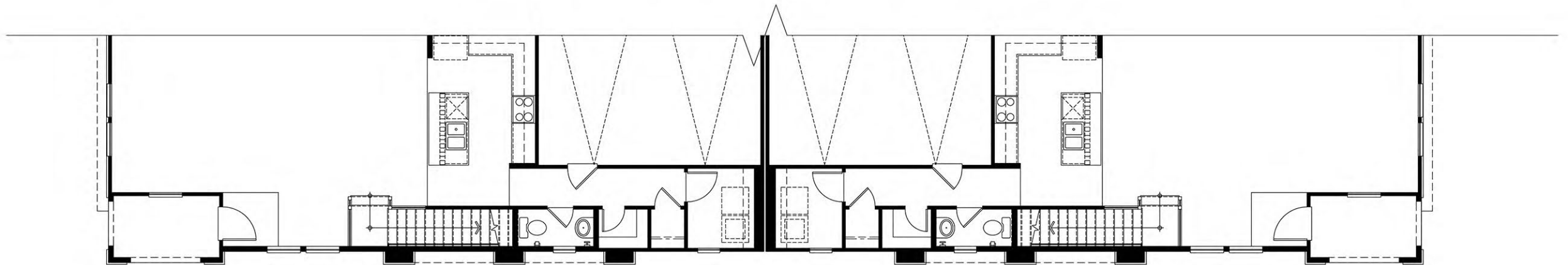
PLAN 3

PLAN 3

Right Elevation 'Country French'

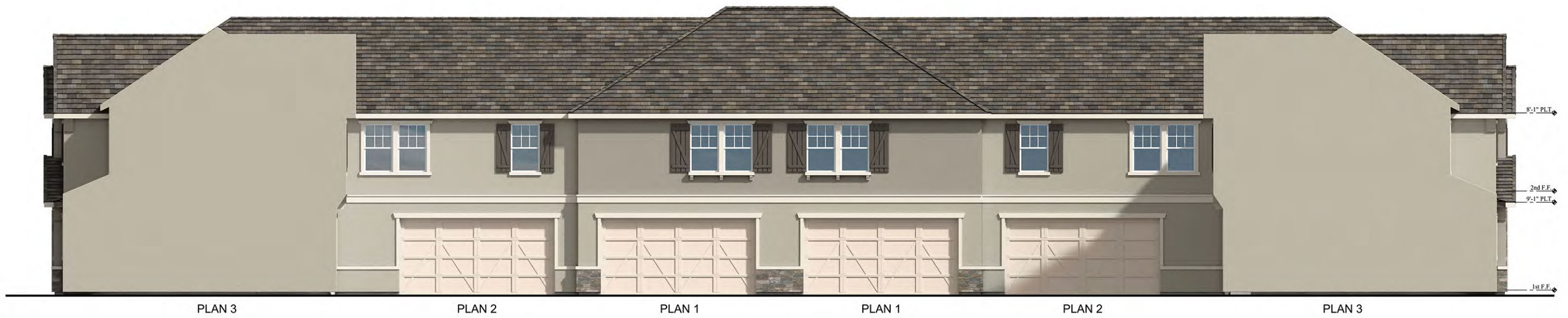


Partial Second Floor Plan

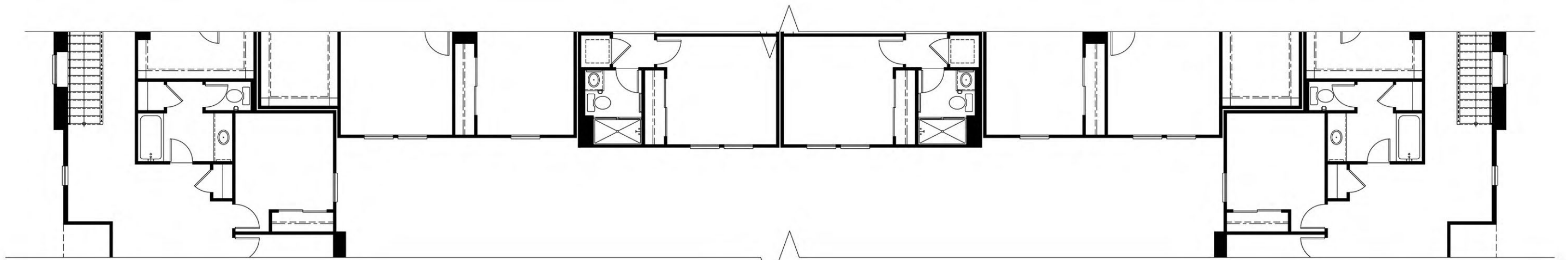


Partial First Floor Plan

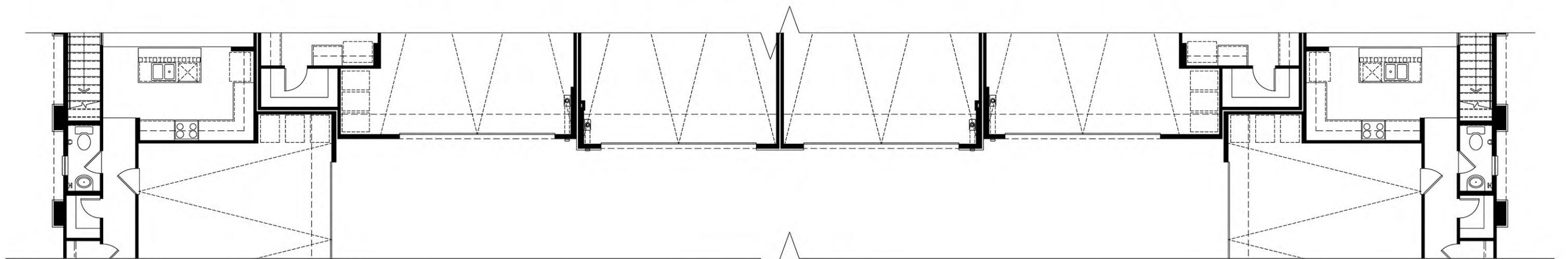




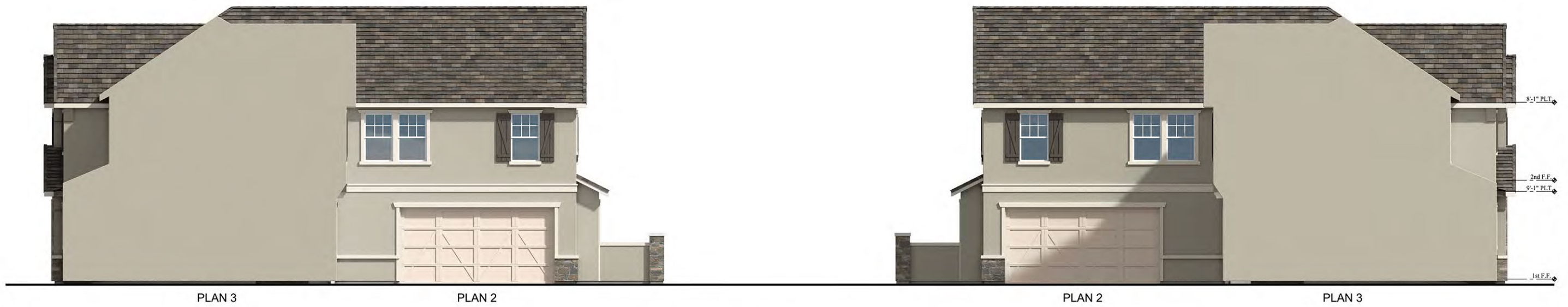
Front Courtyard Elevation 'Country French'



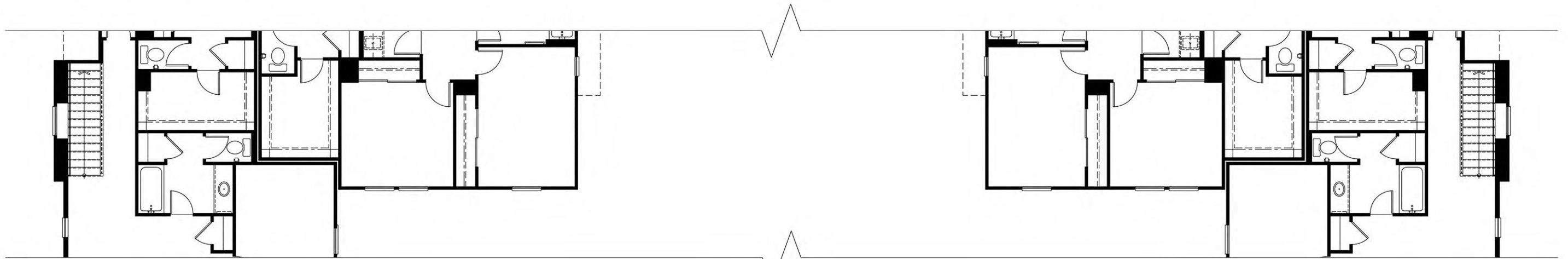
Partial Second Floor Plan



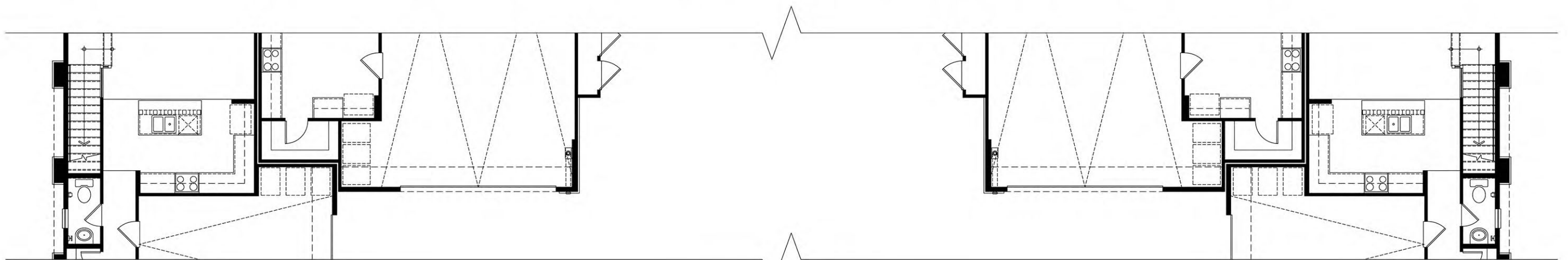
Partial First Floor Plan



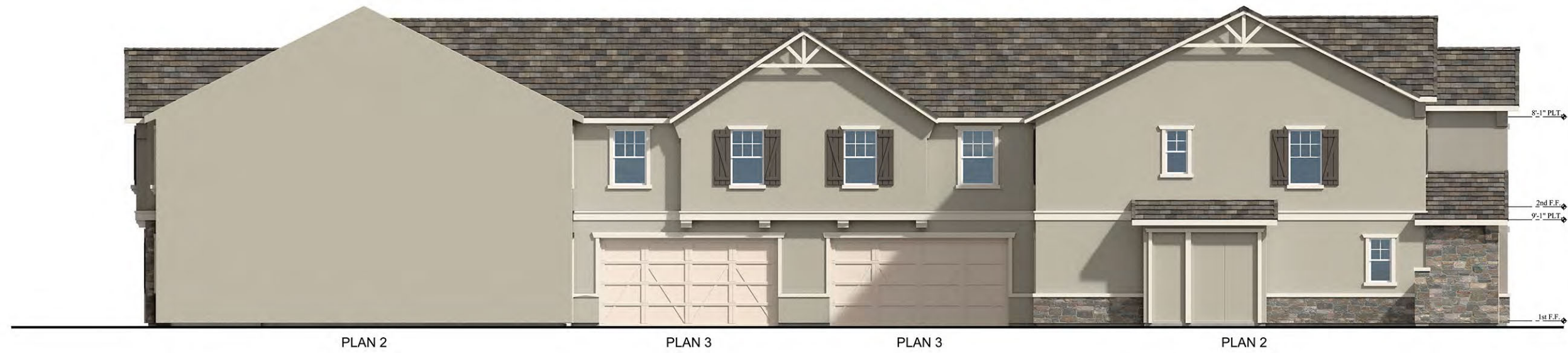
Rear Courtyard Elevation 'Country French'



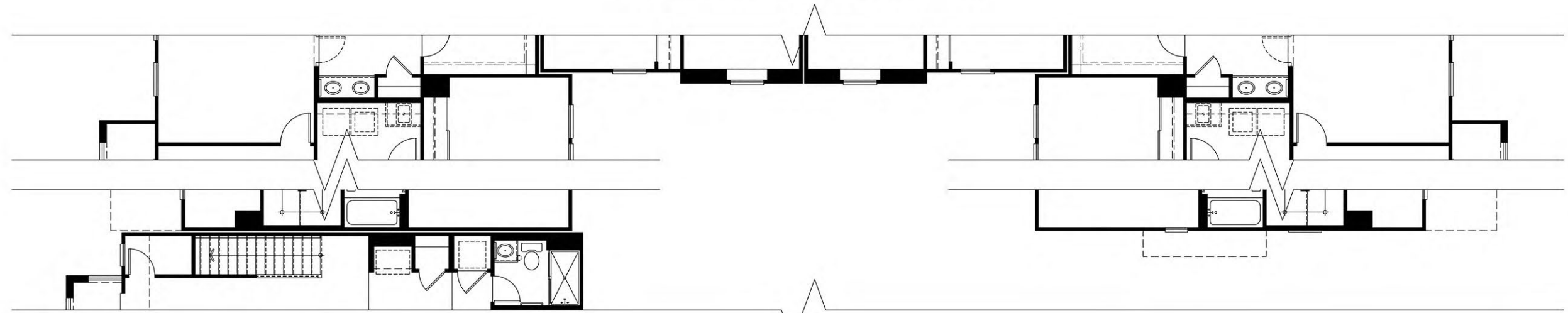
Partial Second Floor Plan



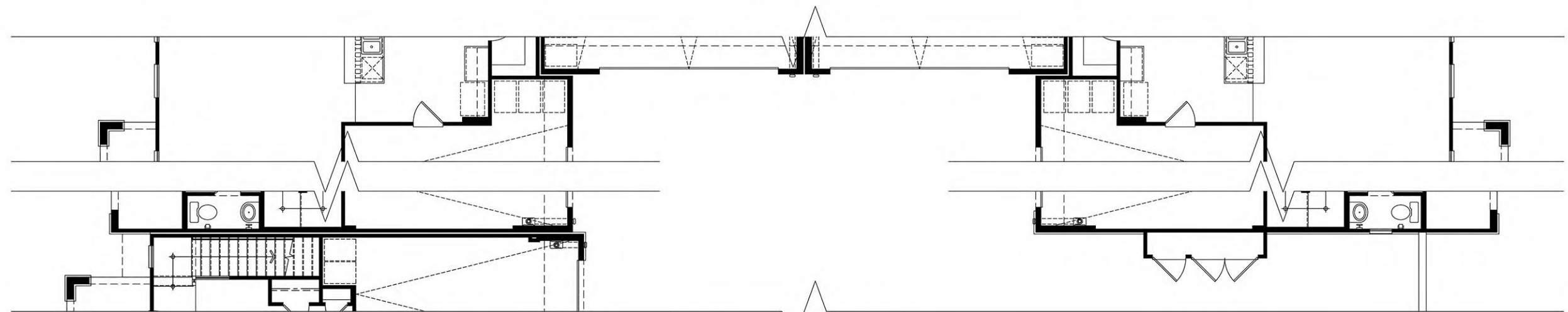
Partial First Floor Plan



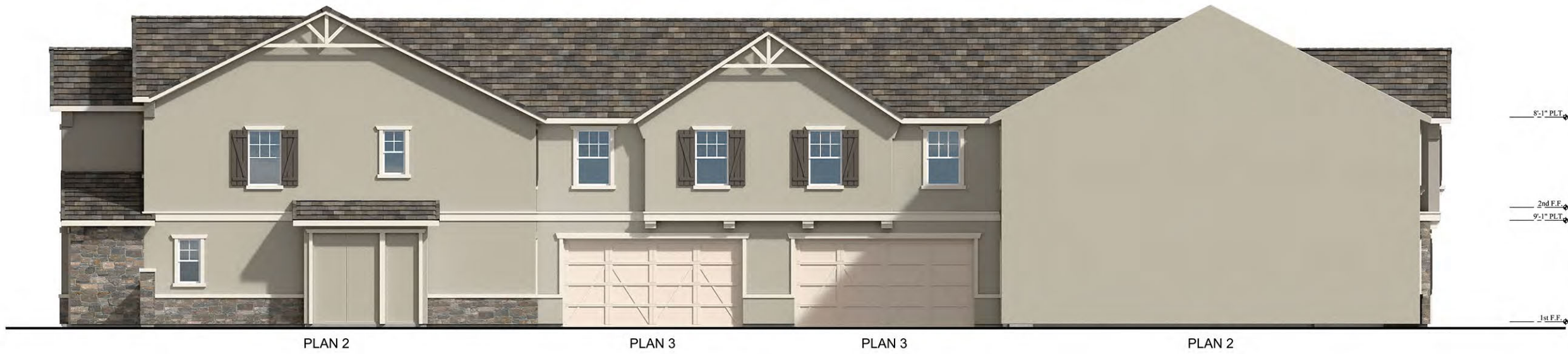
Left Courtyard Elevation 'Country French'



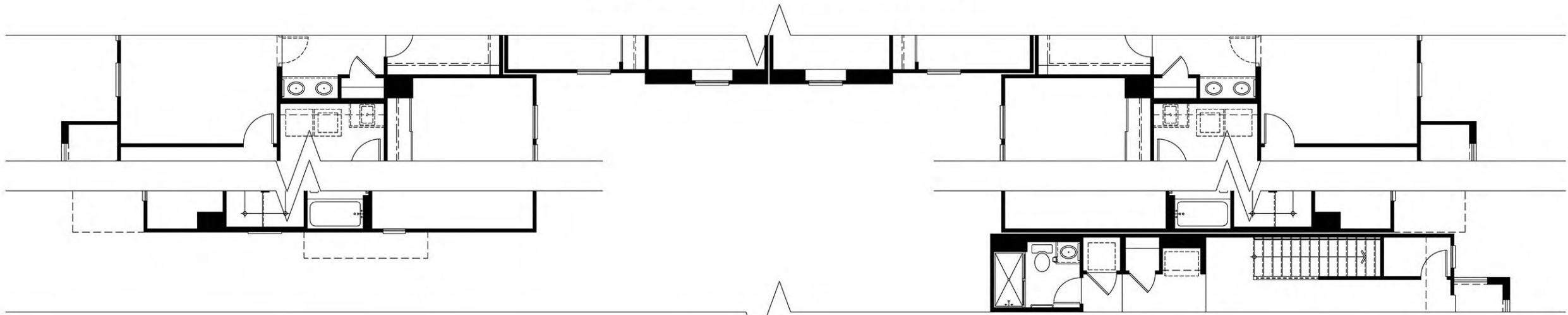
Partial Second Floor Plan



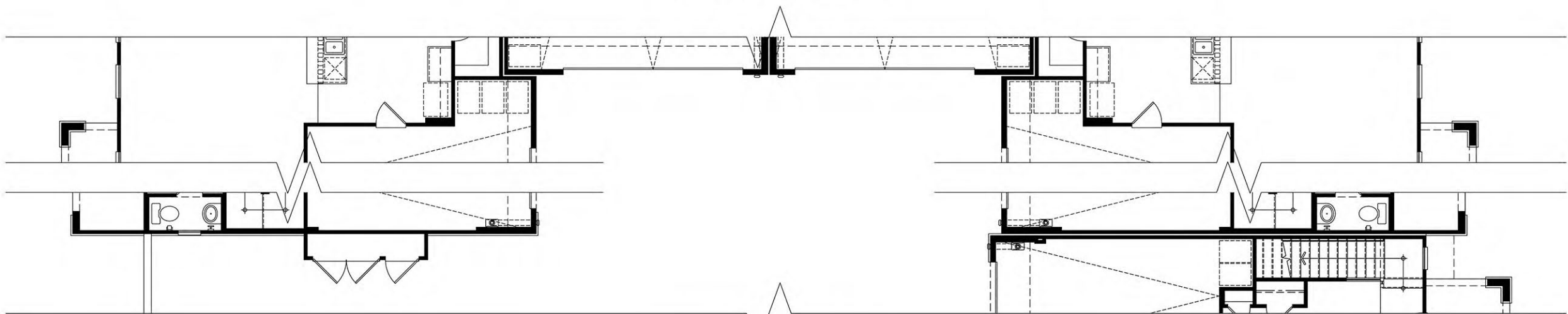
Partial First Floor Plan



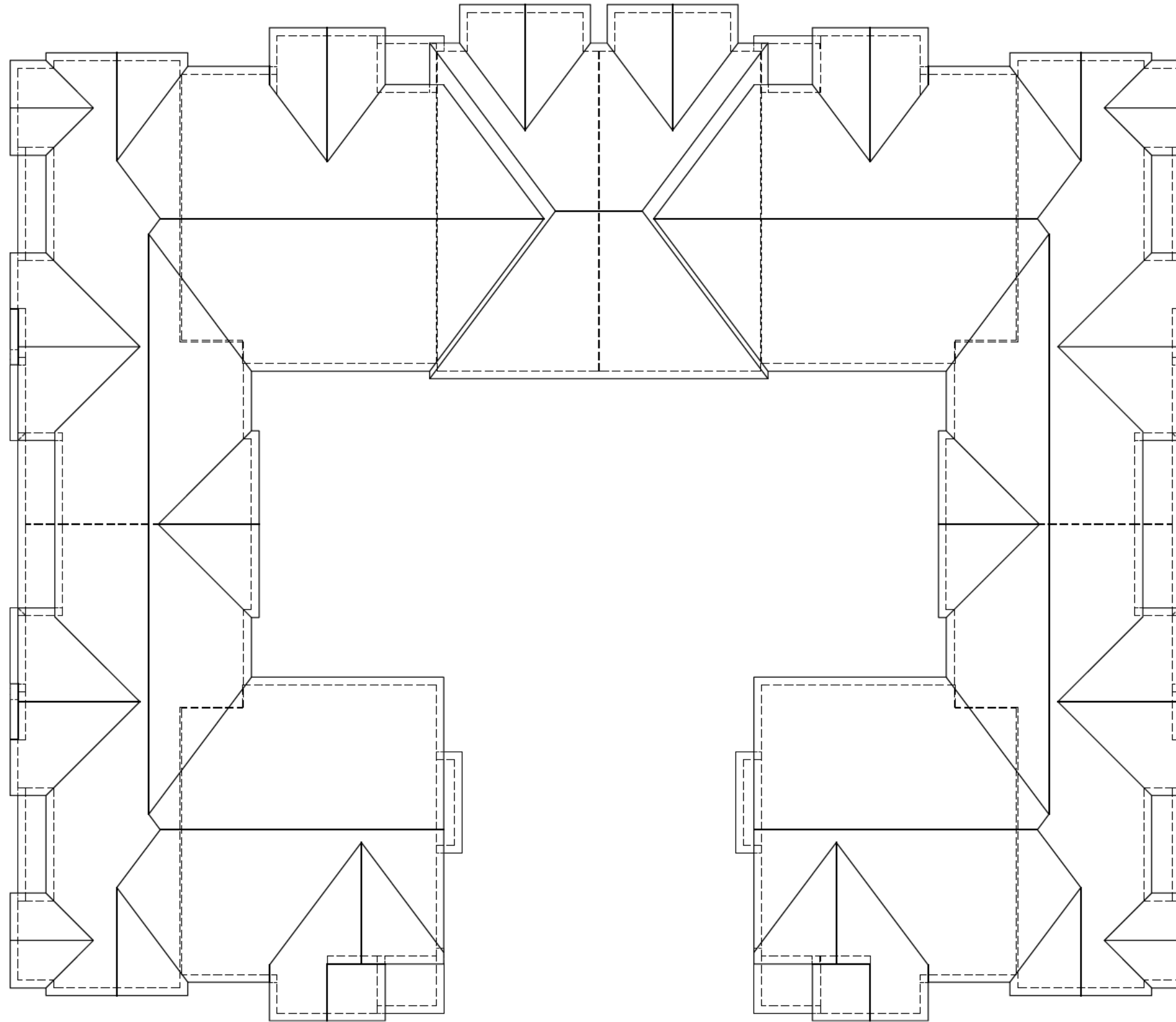
Right Courtyard Elevation 'Country French'



Partial Second Floor Plan



Partial First Floor Plan



Roof Plan 'Country French'  
6:12 / 8:12

ESPERANZA MOTORCOURT TOWNHOMES  
TENTATIVE TRACT MAP 20160



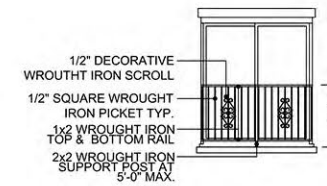
KB Home Southern California/Inland Empire  
36310 Inland Valley Drive  
Wildomar, CA 92595  
(951) 691-5300  
ONTARIO, CA

BUILDING TYPE 01

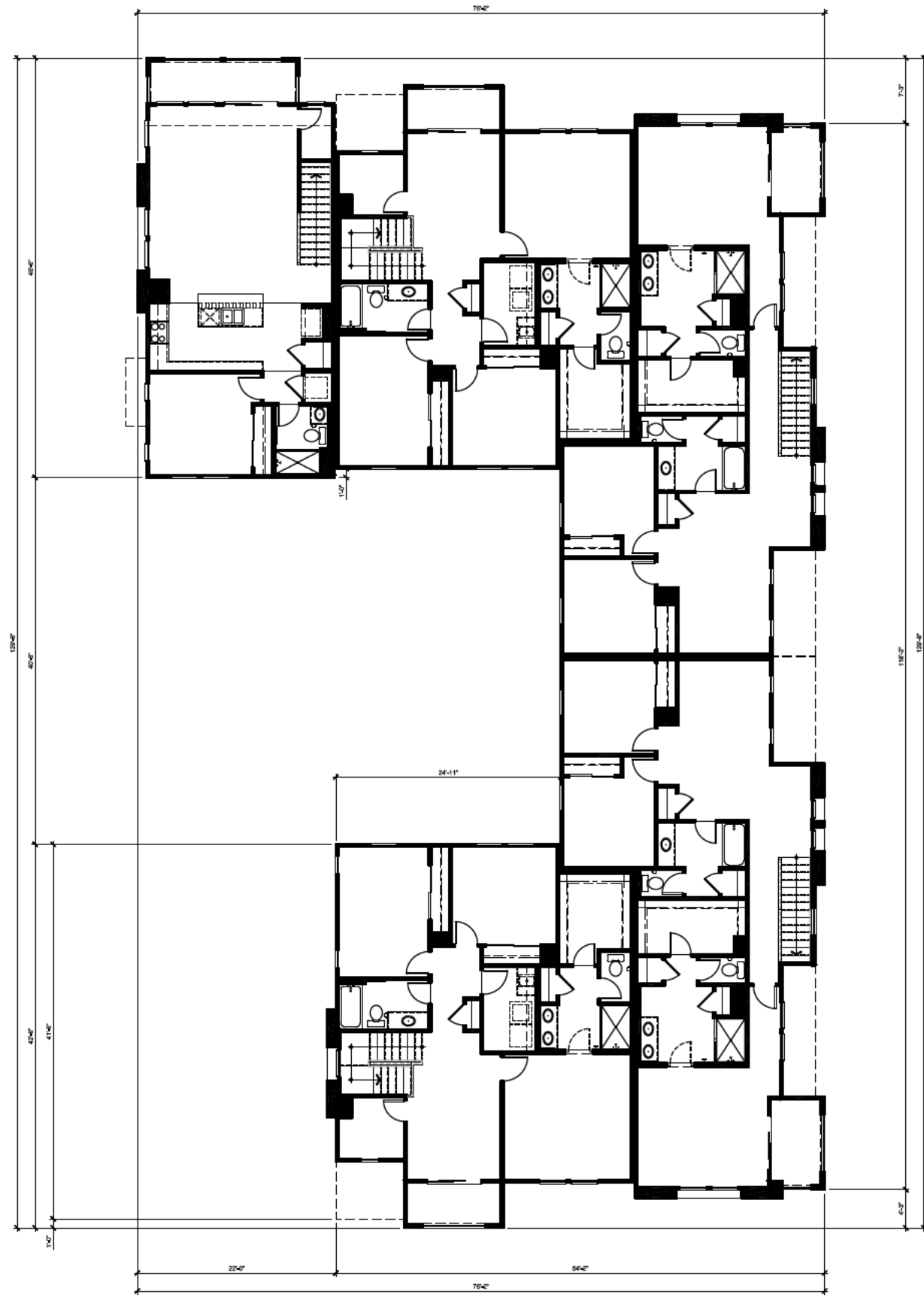
JOB No. : 350999  
STORY: Two  
Rev. May 16, 2022

**ELEVATION LEGEND**

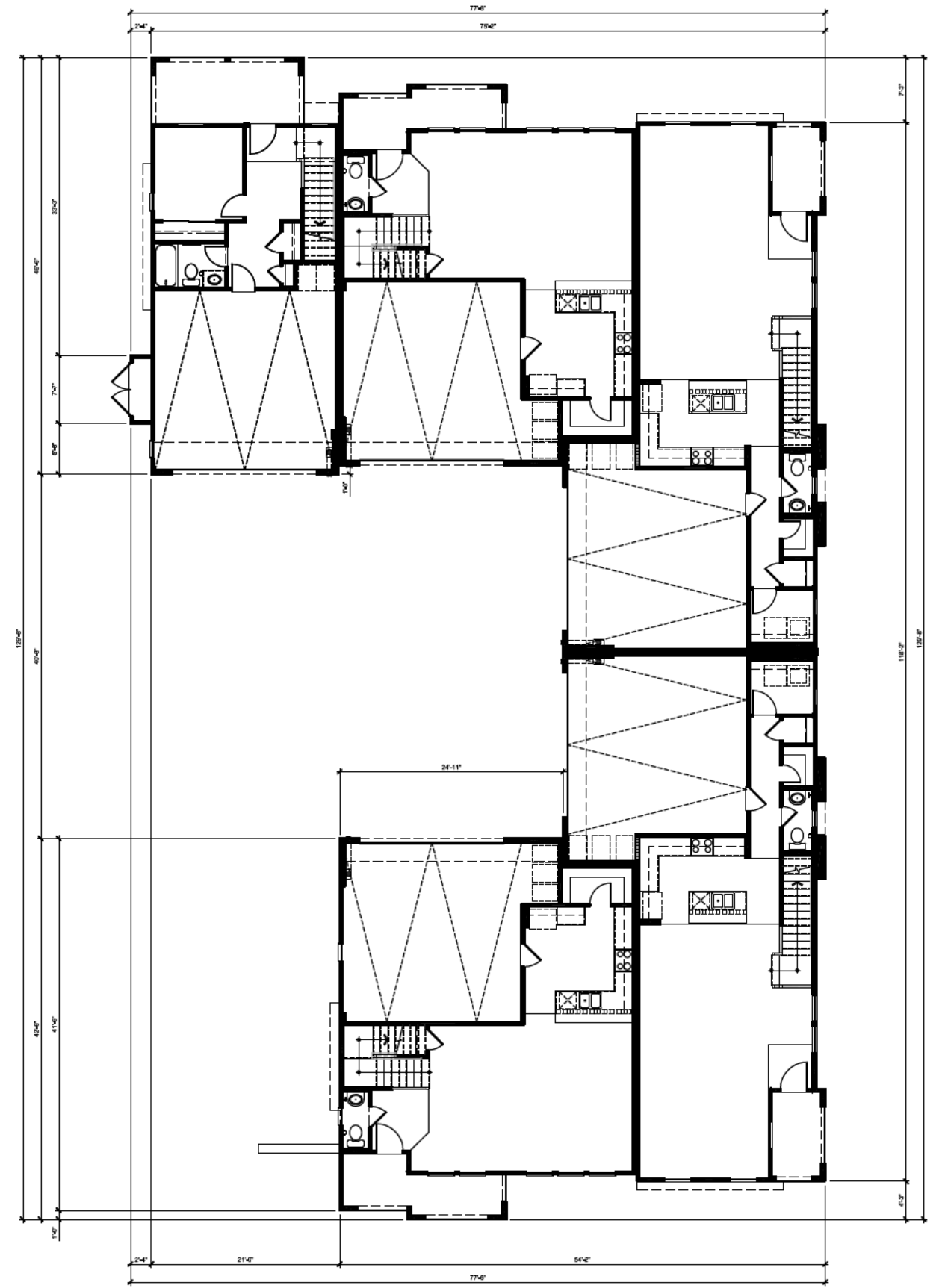
- 1 CONCRETE 'S' TILE ROOFING
- 2 CONCRETE FLAT TILE ROOFING
- 3 WOOD FASCIA BOARD
- 4 STUCCO FINISH (16/20 SAND)
- 5 STUCCO OVER FOAM TRIM
- 6 STUCCO OVER FOAM CORBELS/SHAPED FOAM TRIM WITH SAND FINISH
- 7 DECORATIVE STUCCO COLUMNS (STUCCO OVER WOOD FRAMING WITH SMOOTH FINISH)
- 8 VINYL WINDOW SYSTEM
- 9 COMPOSITE ENTRY DOOR - THERMA-TRU SMOOTH-STAR SERIES
- 10 METAL SECTIONAL GARAGE DOOR - WAYNE DALTON MODEL NO. 9100
- 11 DECORATIVE FOAM SHUTTERS
- 12 DECORATIVE GABLE END DETAIL
- 13 DECORATIVE CLAY PIPE
- 14 DECORATIVE WROUGHT IRON GUARD RAIL
- 15 STUCCO POT SHELF
- 16 POLYURETHANE, FOAM OR WOOD POT SHELF
- 17 DECORATIVE OUTLOOKER
- 18 STONE VENEER
- 19 FIBER CEMENT SIDING WITH VERTICAL BATTENS SPACED 18" O.C.
- 20 FIBER CEMENT LAP SIDING
- 21 FIBER CEMENT TRIM
- 22 DECORATIVE OUTLOOKER WITH KNEEBRACE
- 23 DECORATIVE VENT
- 24 WOOD POST
- 25 WOOD CORBEL
- 26 COACH LIGHTS
- 27 ILLUMINATED ADDRESS SIGN
- 28 DECORATIVE FINIAL
- 29 BRICK VENEER
- 30 DECORATIVE WOOD GUARD RAIL



Front Elevation 'Spanish Colonial'



Second Floor Plan 'Spanish Colonial'

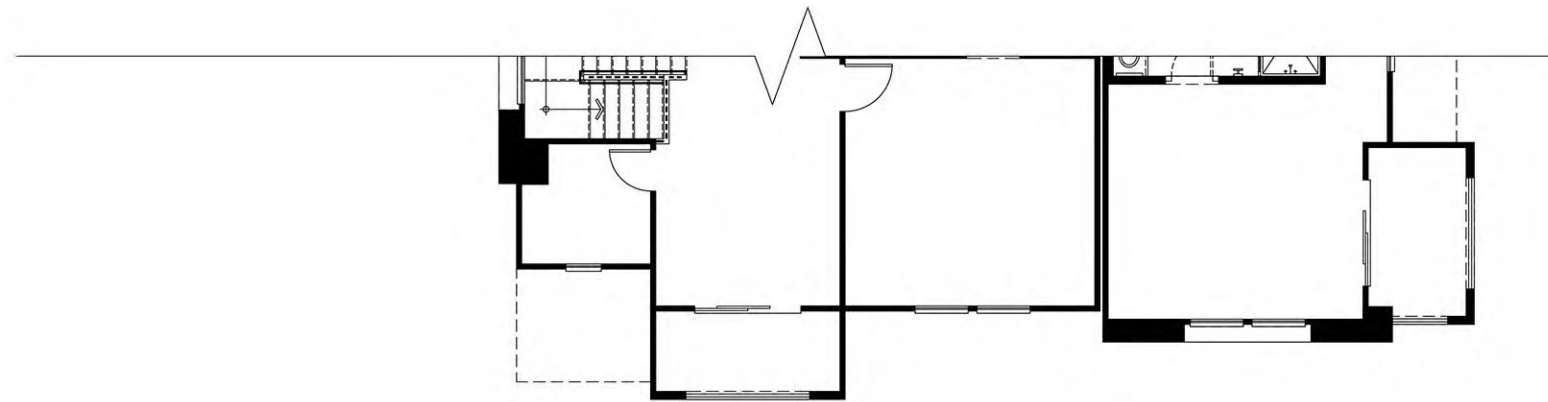


First Floor Plan 'Spanish Colonial'

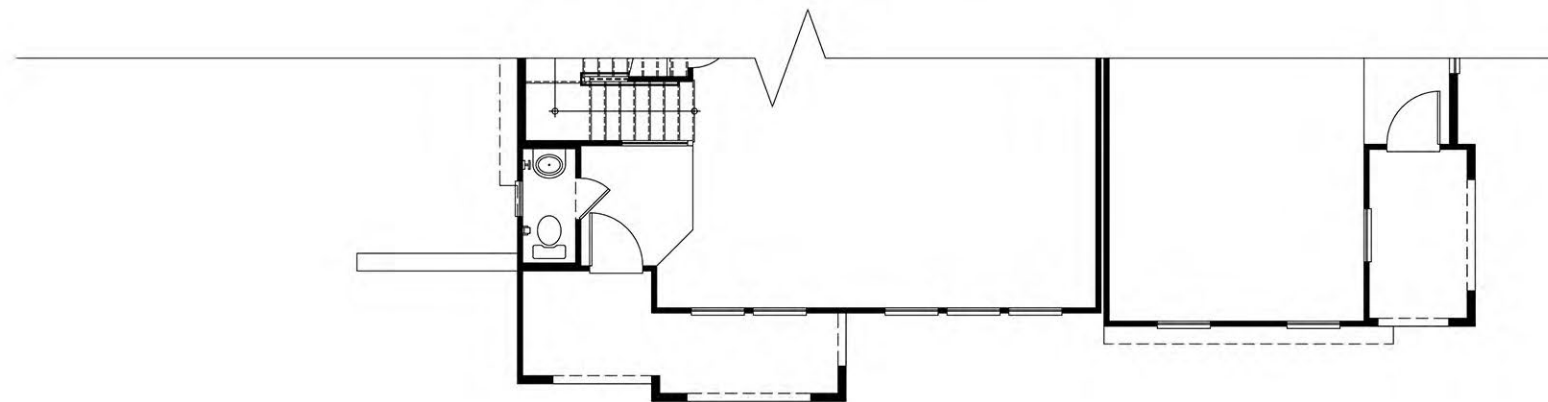




Front Elevation 'Spanish Colonial'



Partial Second Floor Plan

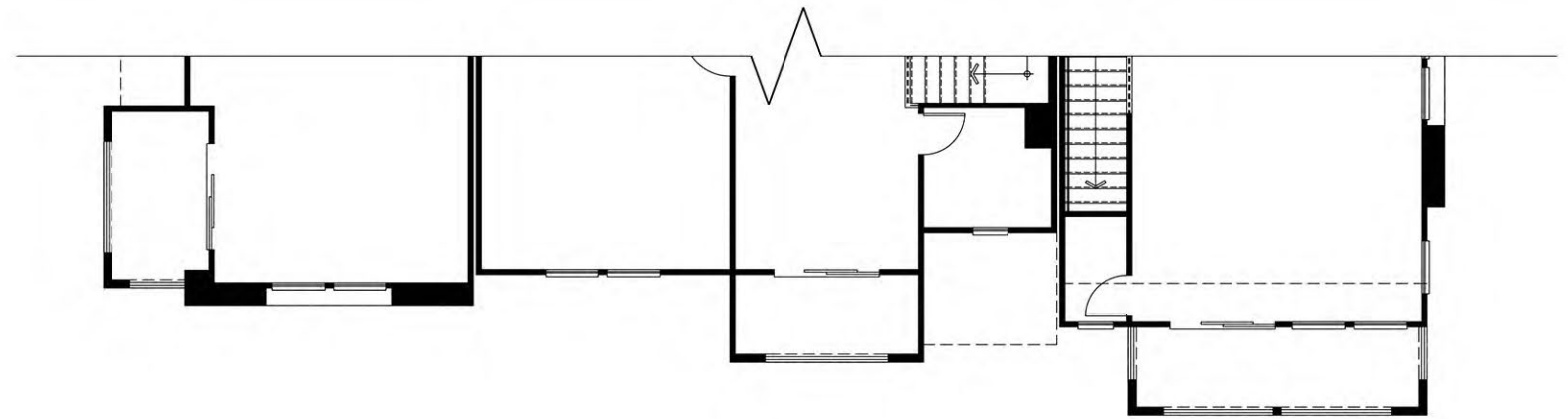


Partial First Floor Plan

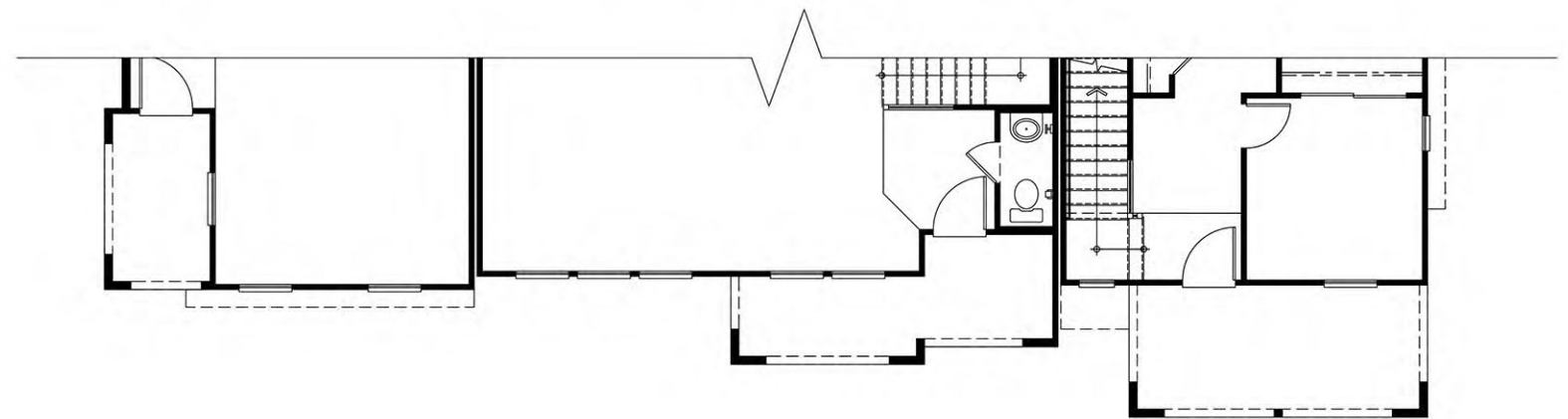




Rear Elevation 'Spanish Colonial'



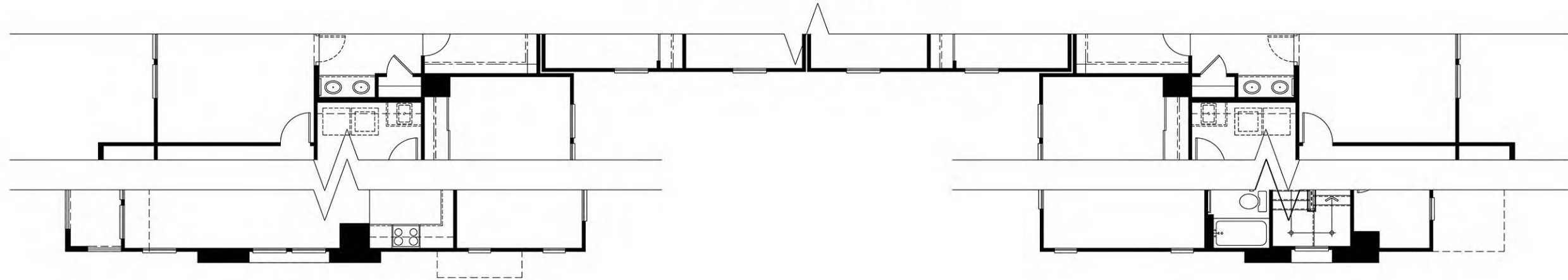
Partial Second Floor Plan



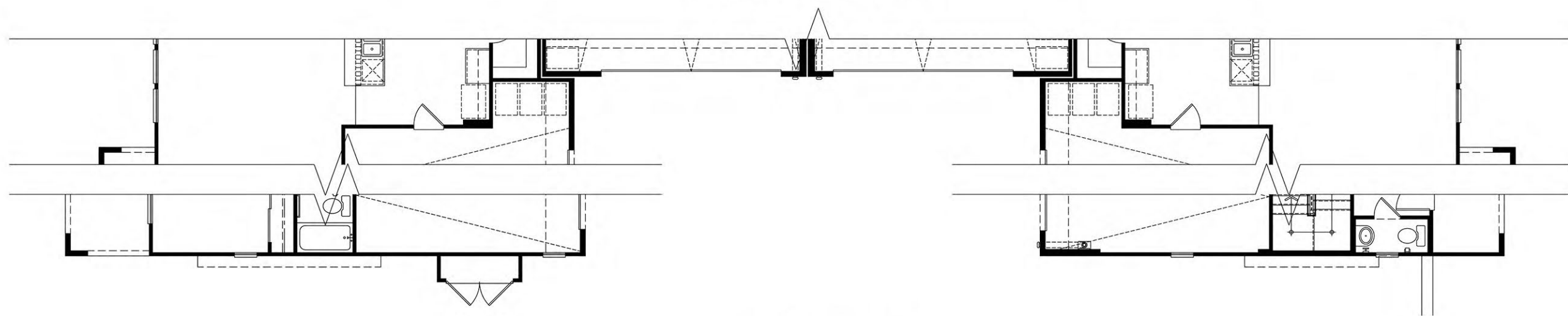
Partial First Floor Plan



Left Elevation 'Spanish Colonial'



Partial Second Floor Plan



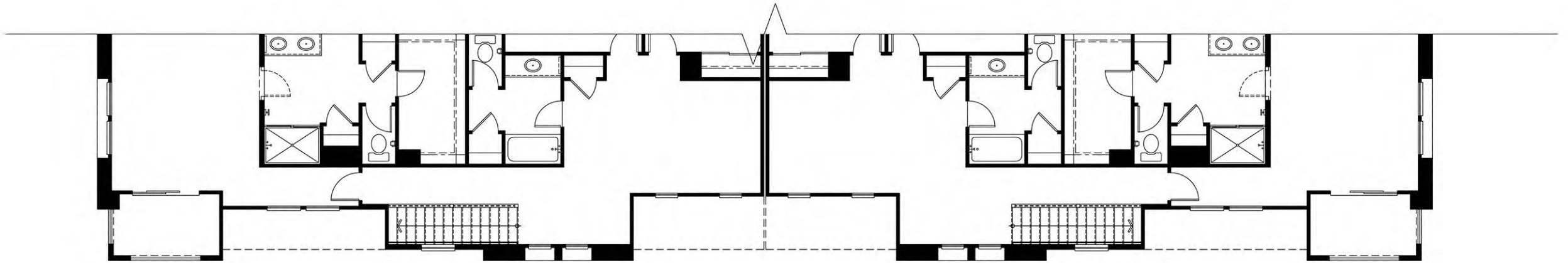
Partial First Floor Plan



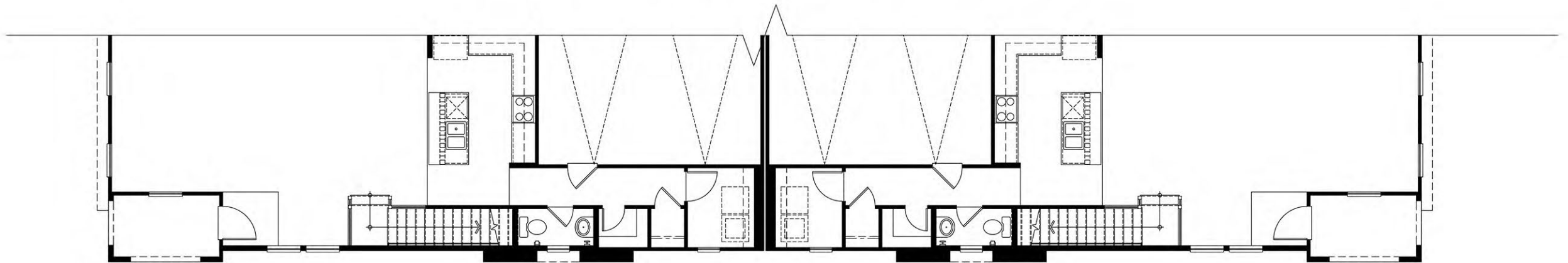
PLAN 3

PLAN 3

Right Elevation 'Spanish Colonial'



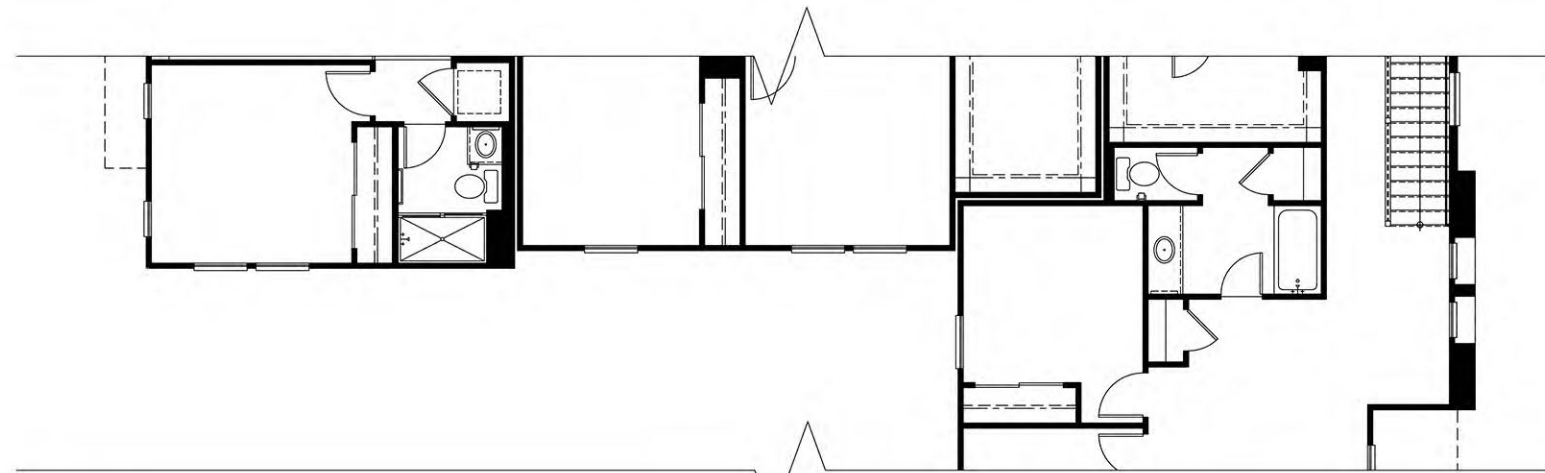
Partial Second Floor Plan



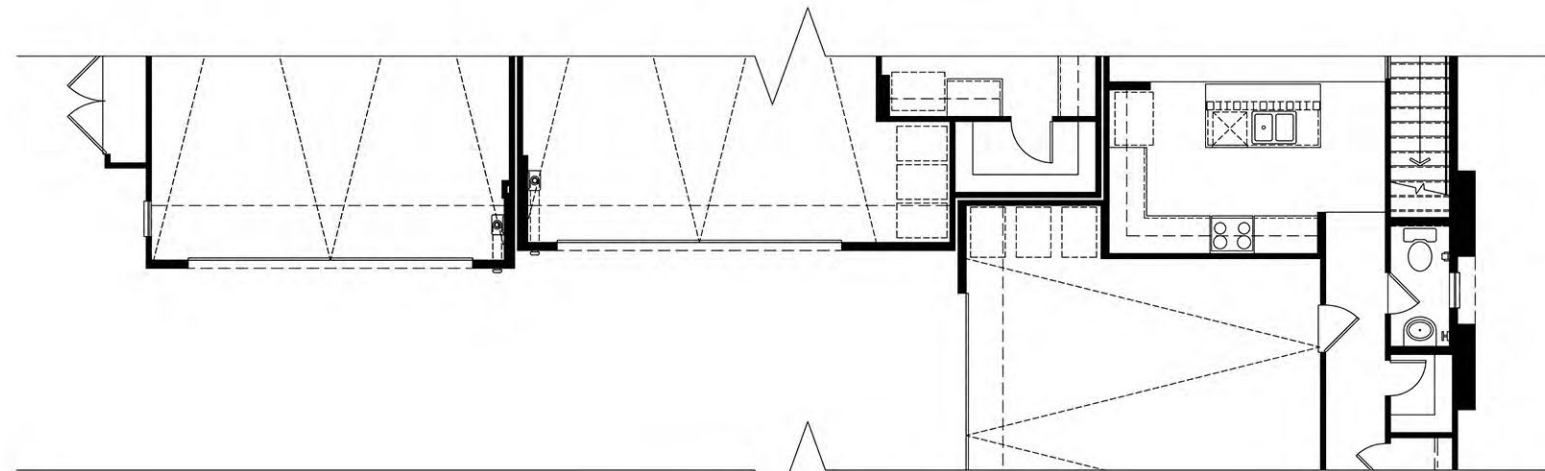
Partial First Floor Plan



Front Courtyard Elevation 'Spanish Colonial'



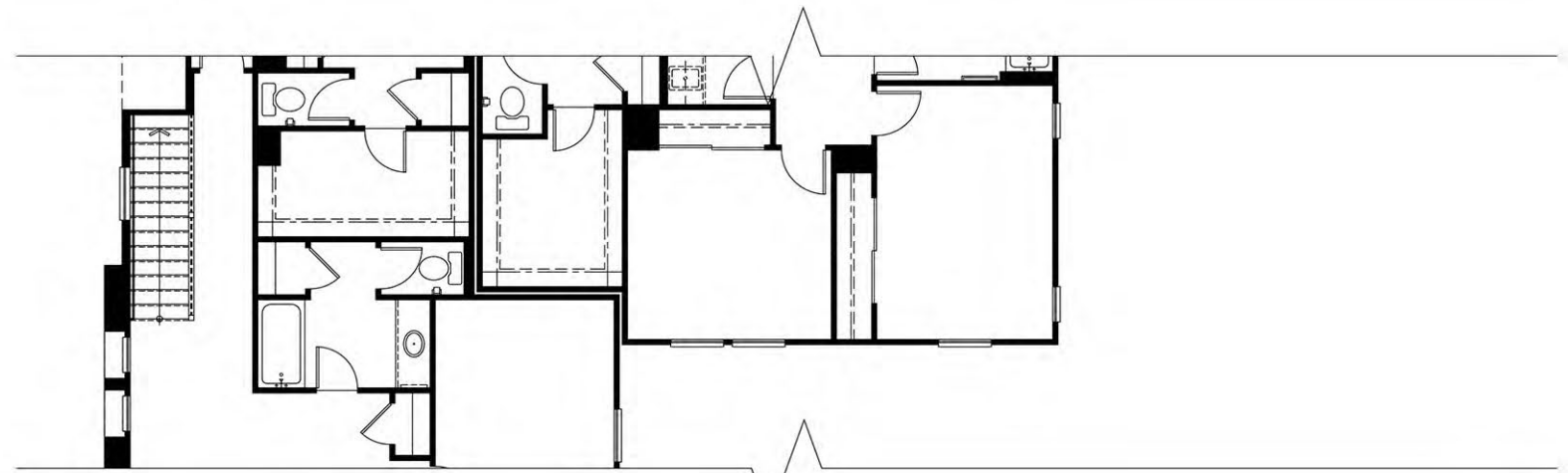
Partial Second Floor Plan



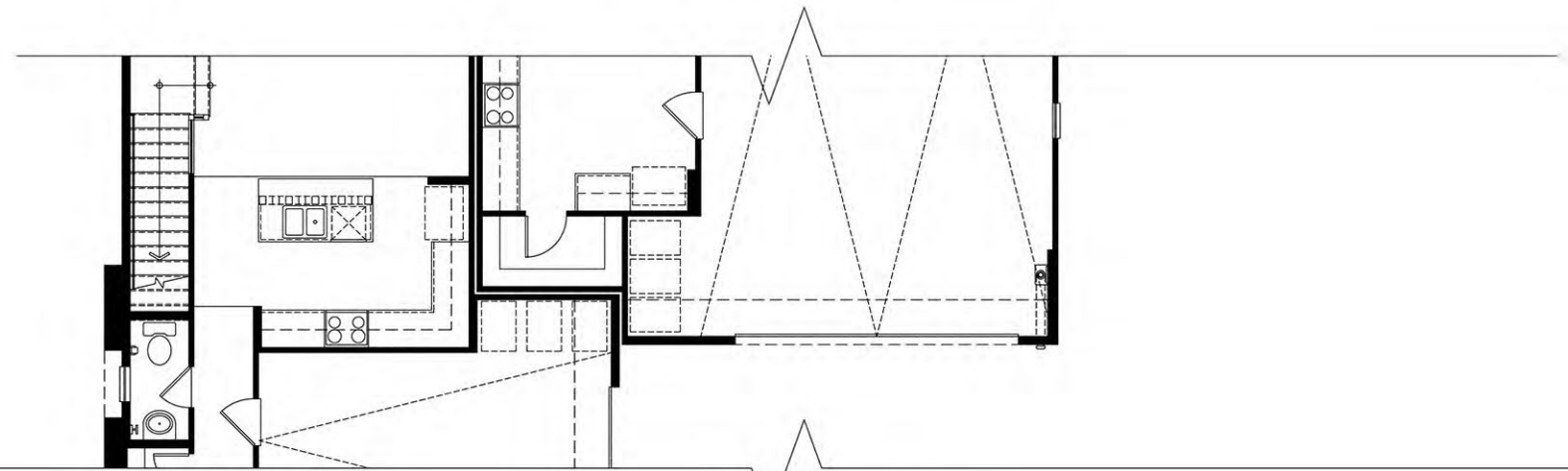
Partial First Floor Plan



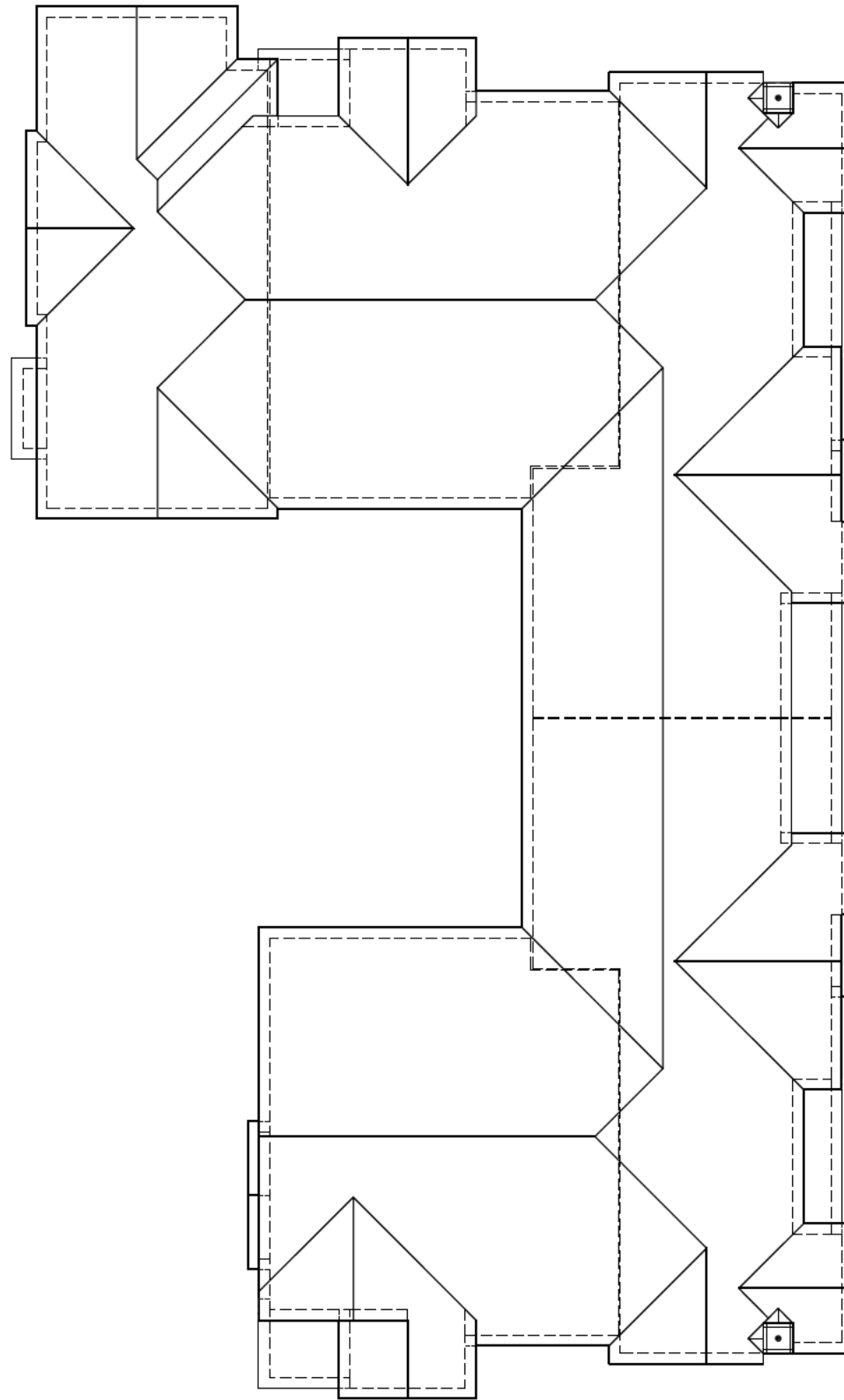
Rear Courtyard Elevation 'Spanish Colonial'



Partial Second Floor Plan



Partial First Floor Plan



Roof Plan 'Spanish Colonial'  
4:12

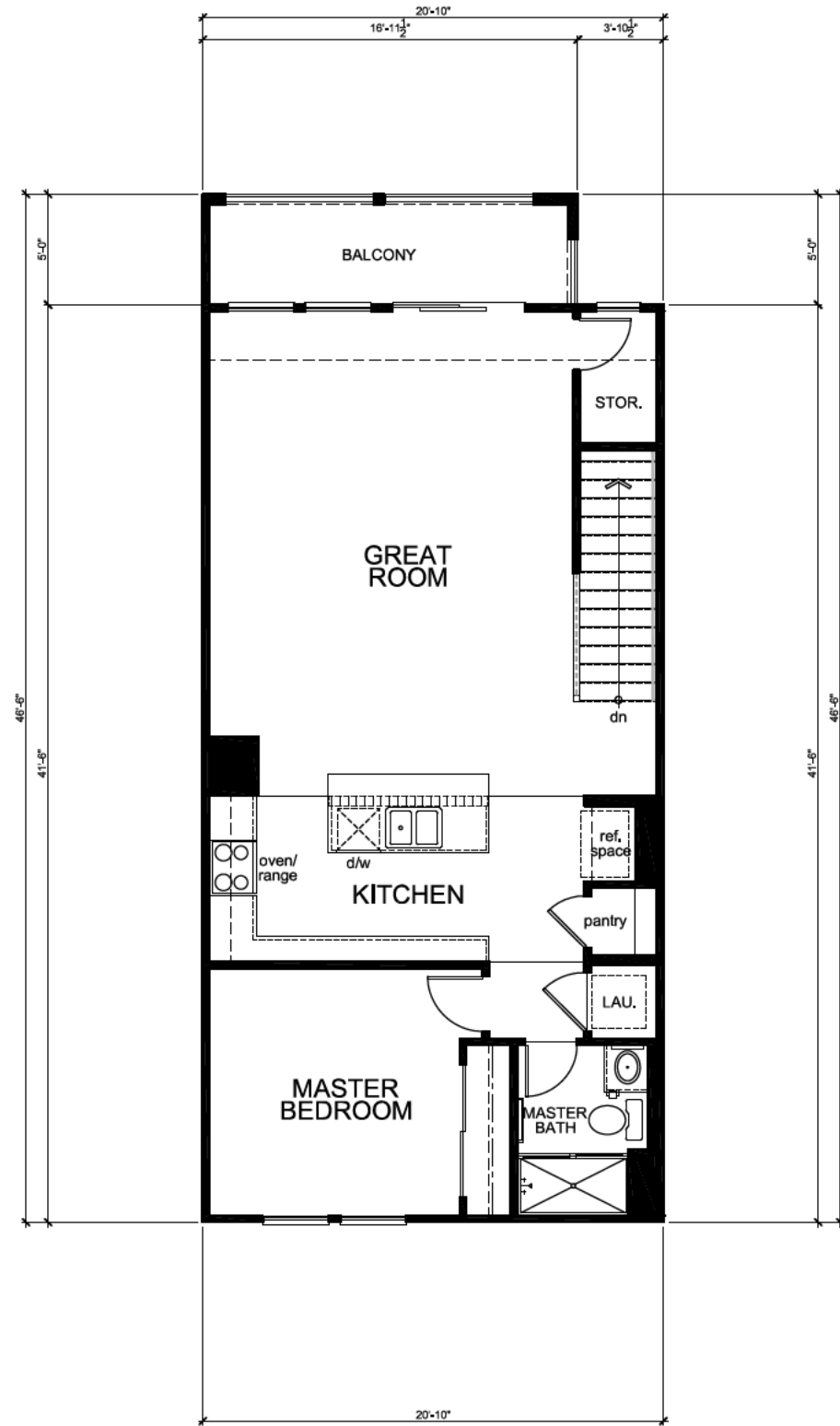
ESPERANZA MOTORCOURT TOWNHOMES  
TENTATIVE TRACT MAP 20160



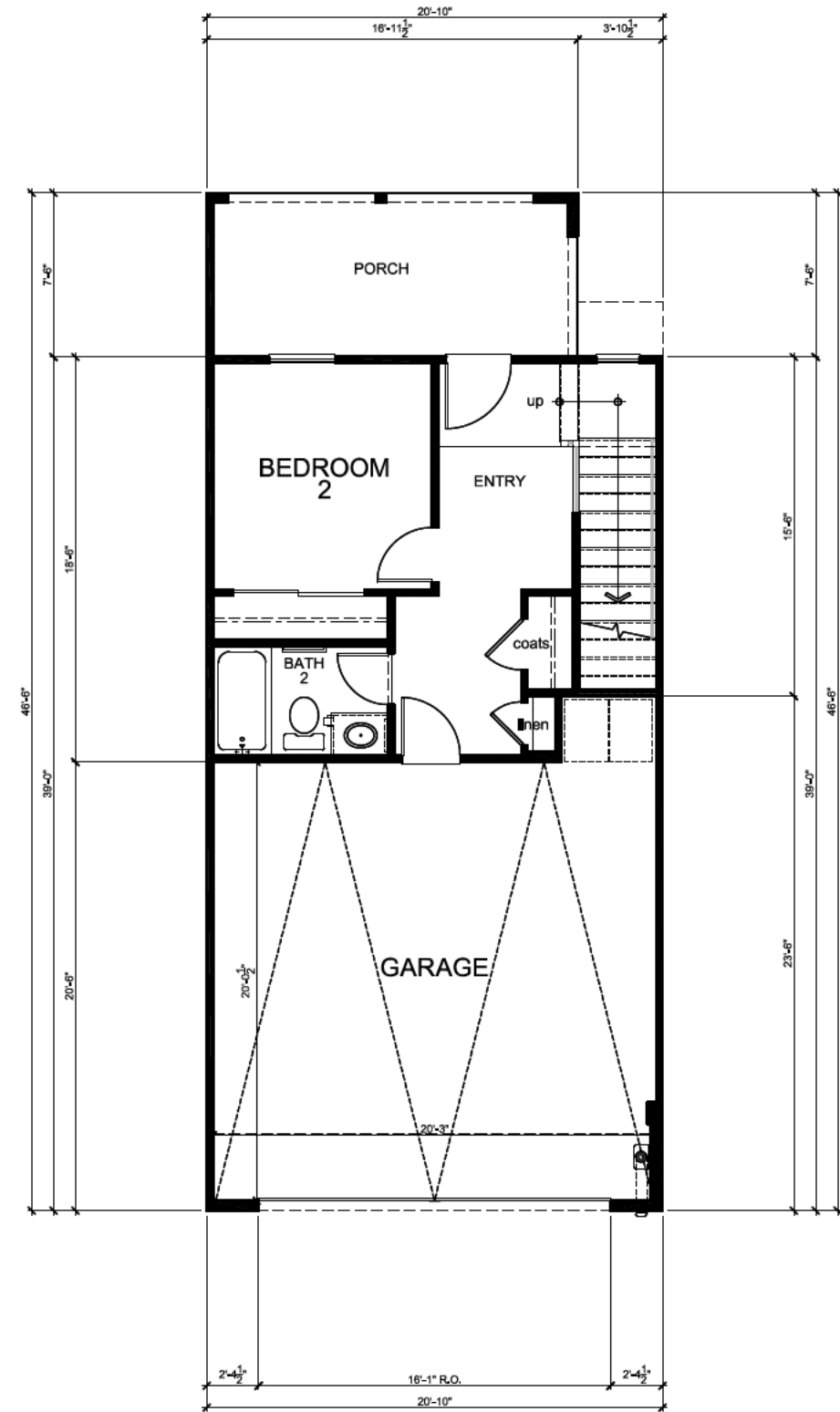
KB Home Southern California/Inland Empire  
36310 Inland Valley Drive  
Wildomar, CA 92595  
(951) 691-5300  
ONTARIO, CA

BUILDING TYPE 02  
JOB No. : 350999  
STORY: Two  
Rev. May 16, 2022  
Item J - 63 of 99

SQUARE FOOTAGE		
PLAN 1 221.1193		
FIRST FLOOR AREA	812	SQ. FT.
SECOND FLOOR AREA	822	SQ. FT.
TOTAL AREA	1193	SQ. FT.
GARAGE AREA	441	SQ. FT.
PORCH AREA	ELEVATION 'A'	121
		SQ. FT.



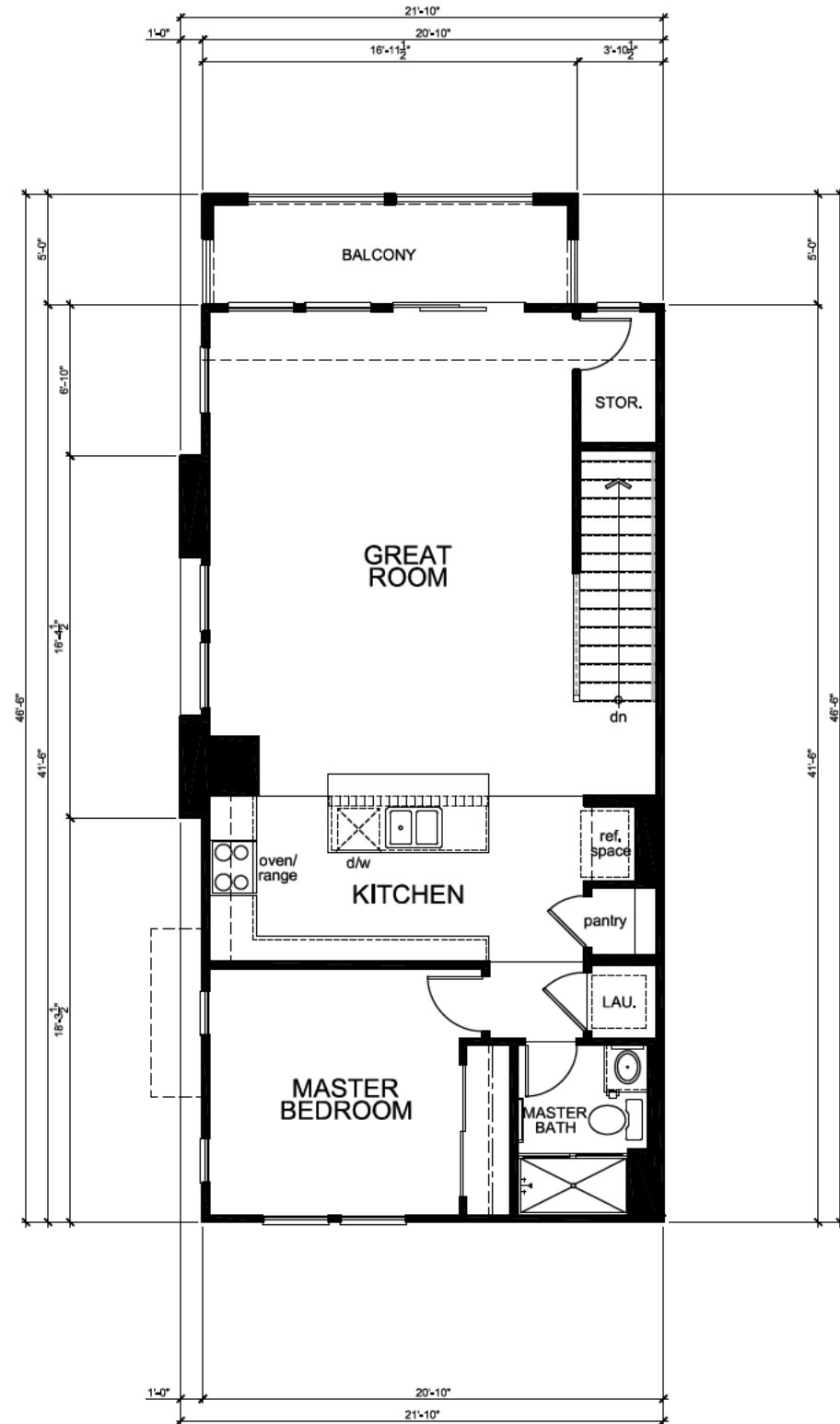
Second Floor Plan 'A'  
(Building Type 01)



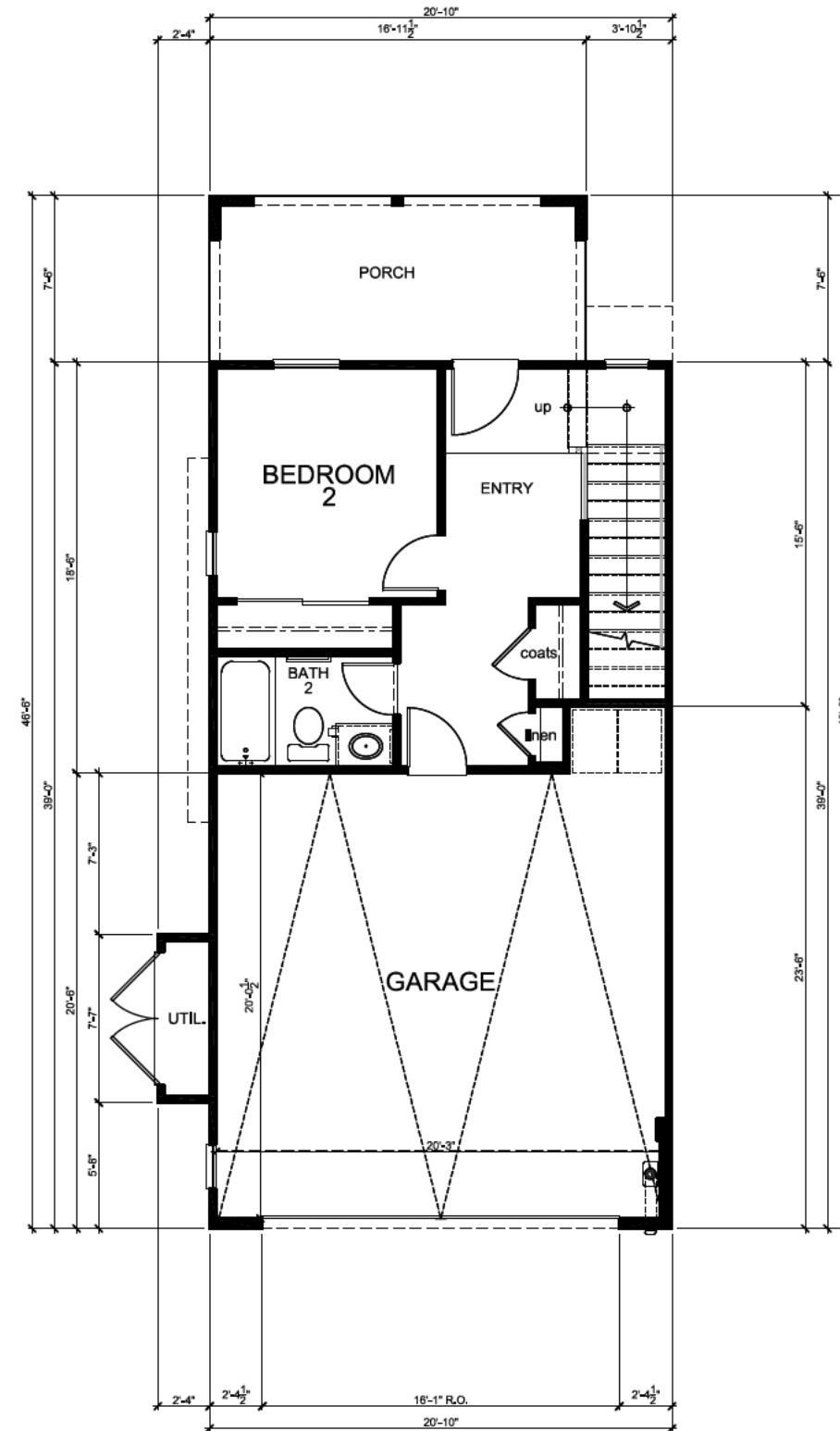
First Floor Plan 'A'  
(Building Type 01)



SQUARE FOOTAGE		
PLAN 1 221.1193		
FIRST FLOOR AREA	812	SQ. FT.
SECOND FLOOR AREA	822	SQ. FT.
TOTAL AREA	1193	SQ. FT.
GARAGE AREA	441	SQ. FT.
PORCH AREA	ELEVATION 'A'	121
		SQ. FT.



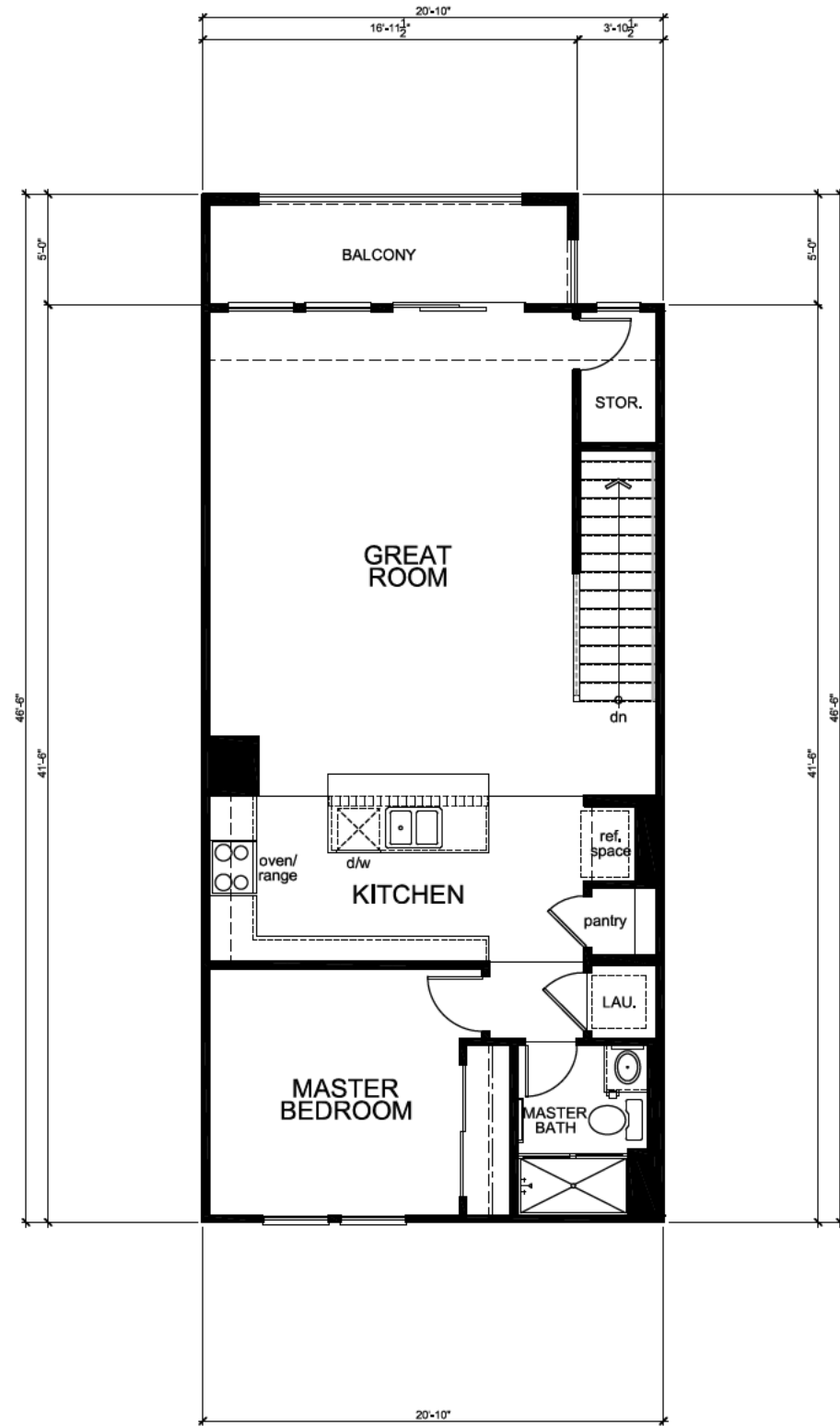
Second Floor Plan 'A'  
(Building Type 02)



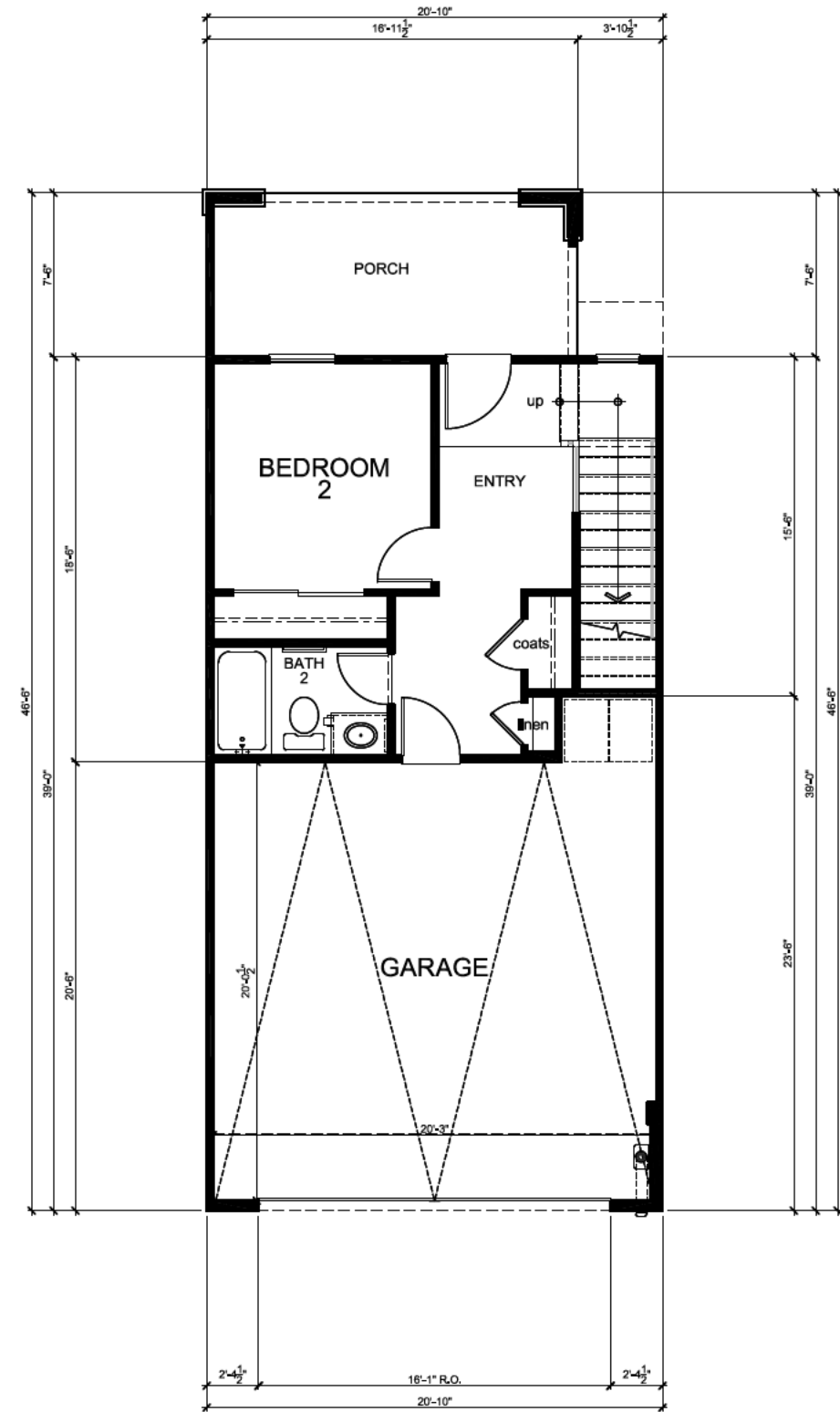
First Floor Plan 'A'  
(Building Type 02)



SQUARE FOOTAGE		
PLAN 1 221.1193		
FIRST FLOOR AREA	512	SQ. FT.
SECOND FLOOR AREA	822	SQ. FT.
TOTAL AREA	1193	SQ. FT.
GARAGE AREA	441	SQ. FT.
PORCH AREA	ELEVATION 'A'	121
		SQ. FT.



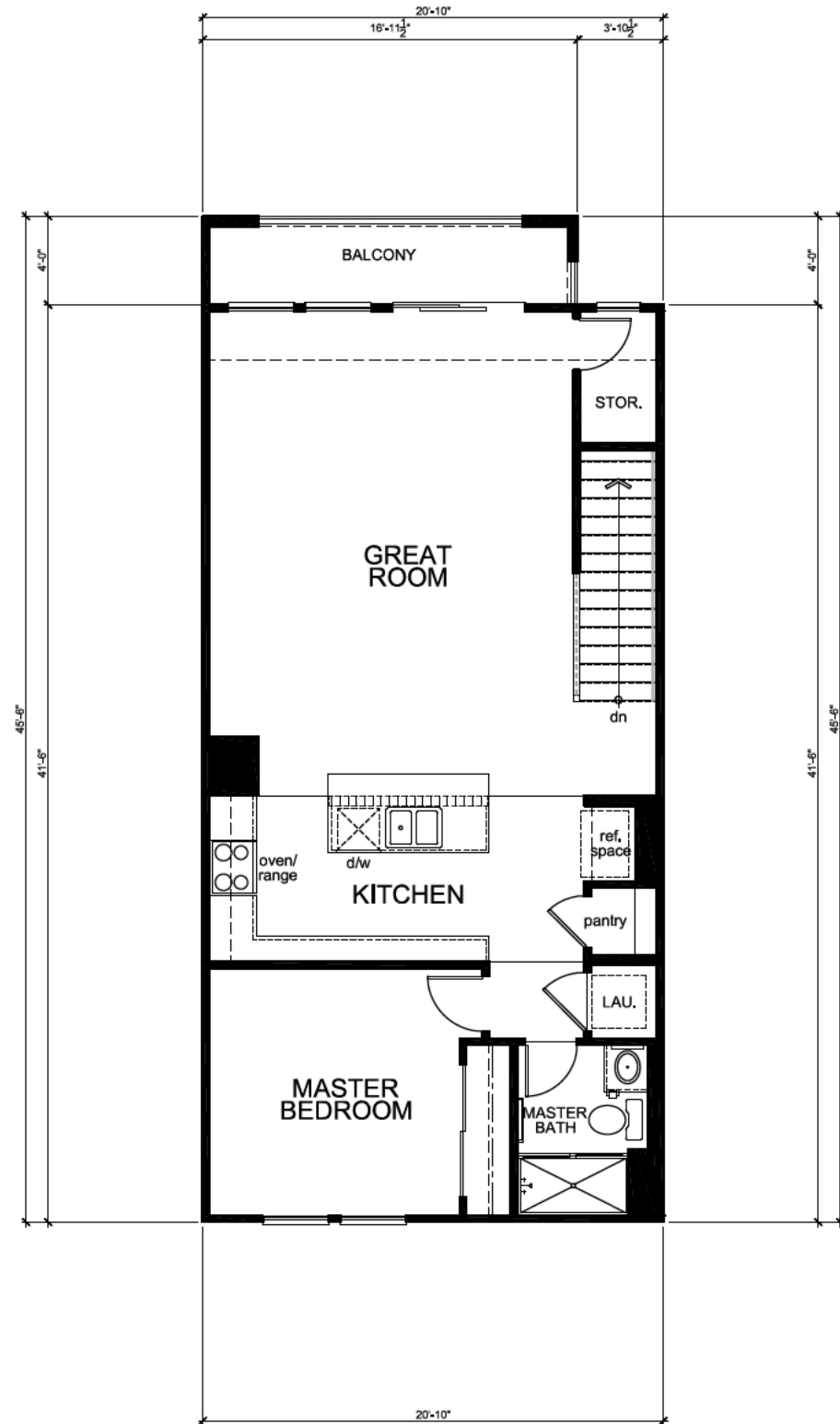
Second Floor Plan 'B'  
(Building Type 01)



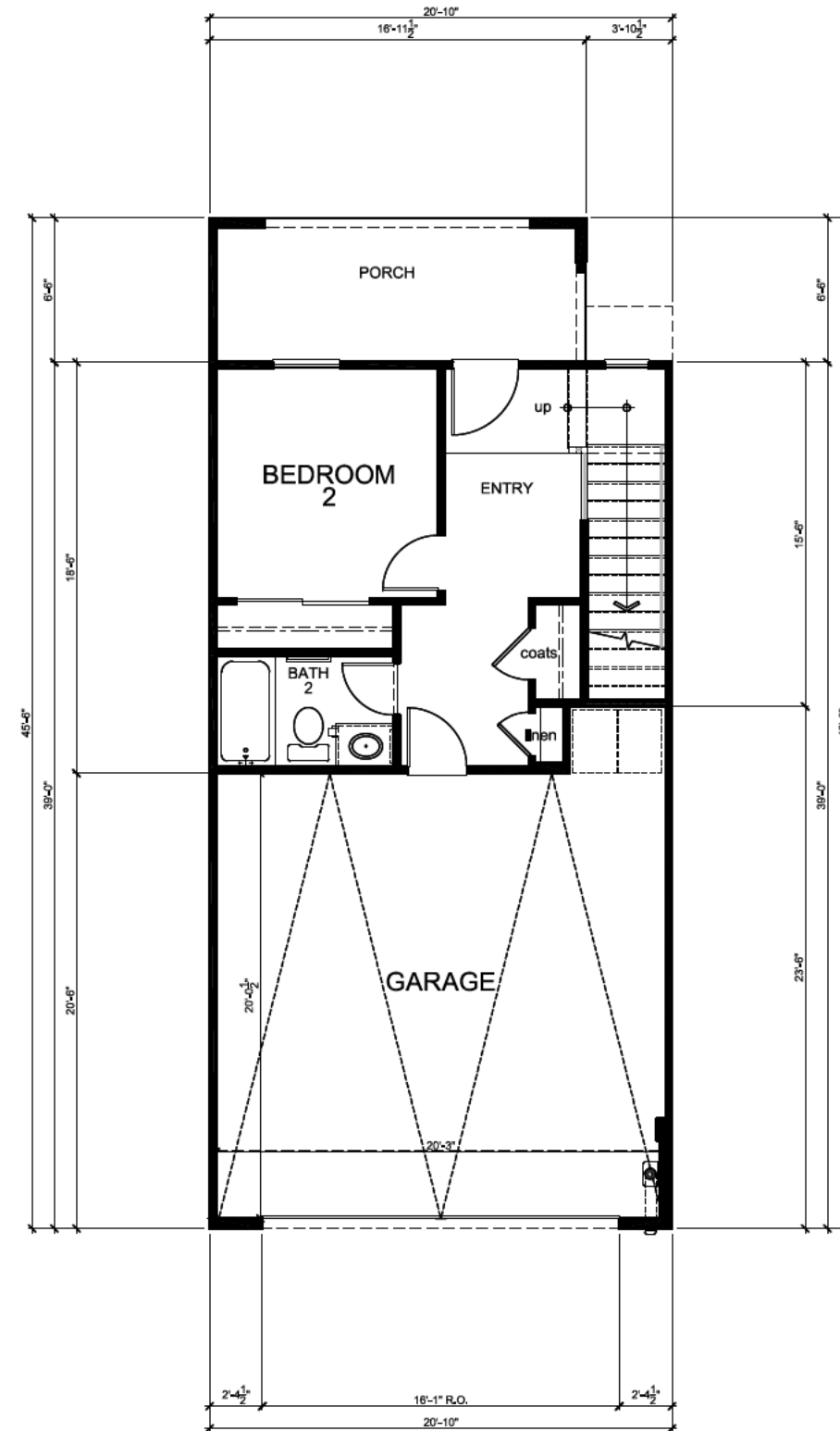
First Floor Plan 'B'  
(Building Type 01)



SQUARE FOOTAGE		
PLAN 1 221.1193		
FIRST FLOOR AREA	812	SQ. FT.
SECOND FLOOR AREA	822	SQ. FT.
TOTAL AREA	1193	SQ. FT.
GARAGE AREA	441	SQ. FT.
PORCH AREA	ELEVATION 'A'	121
		SQ. FT.



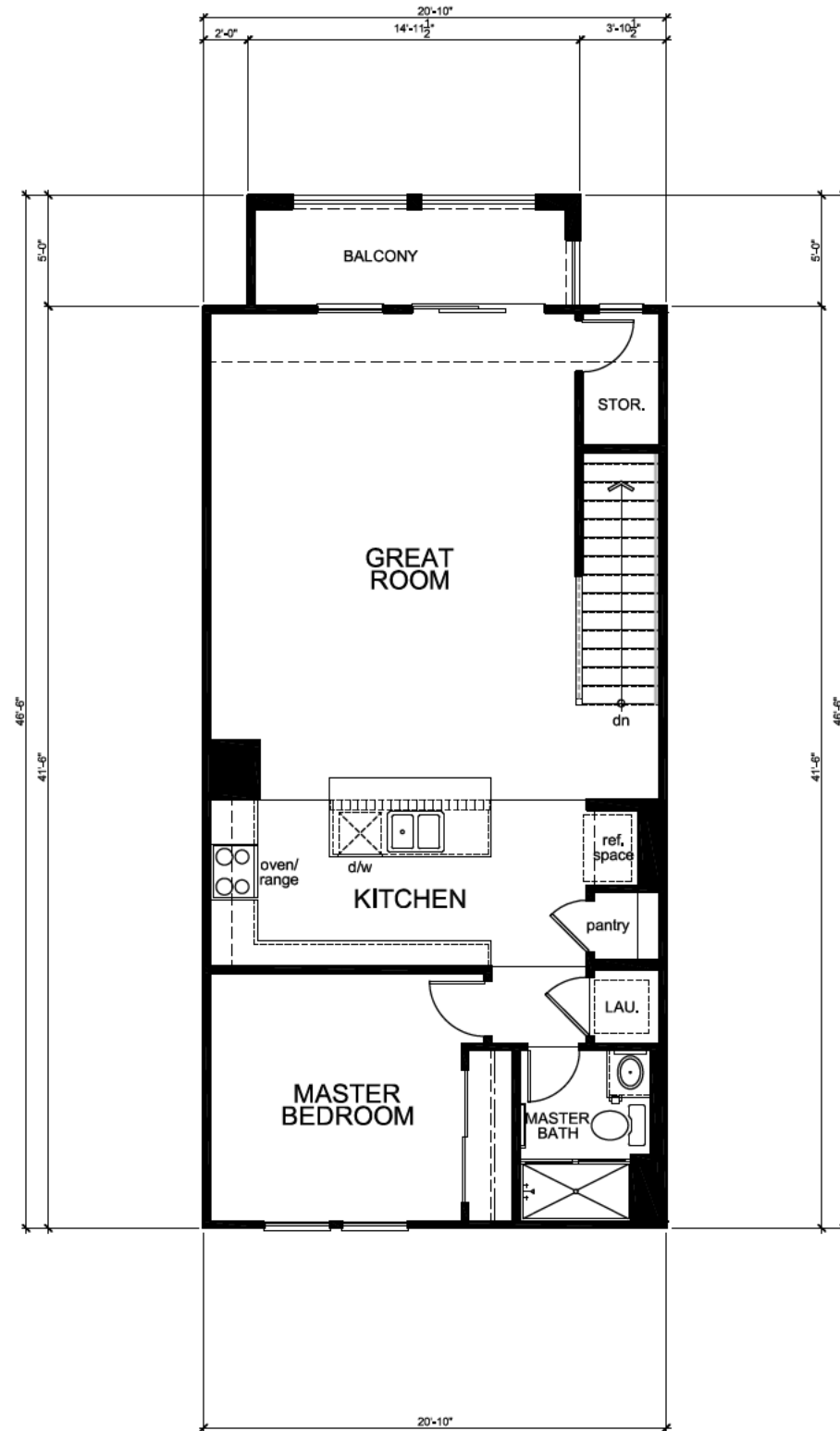
Second Floor Plan 'B1'  
(Building Type 01)



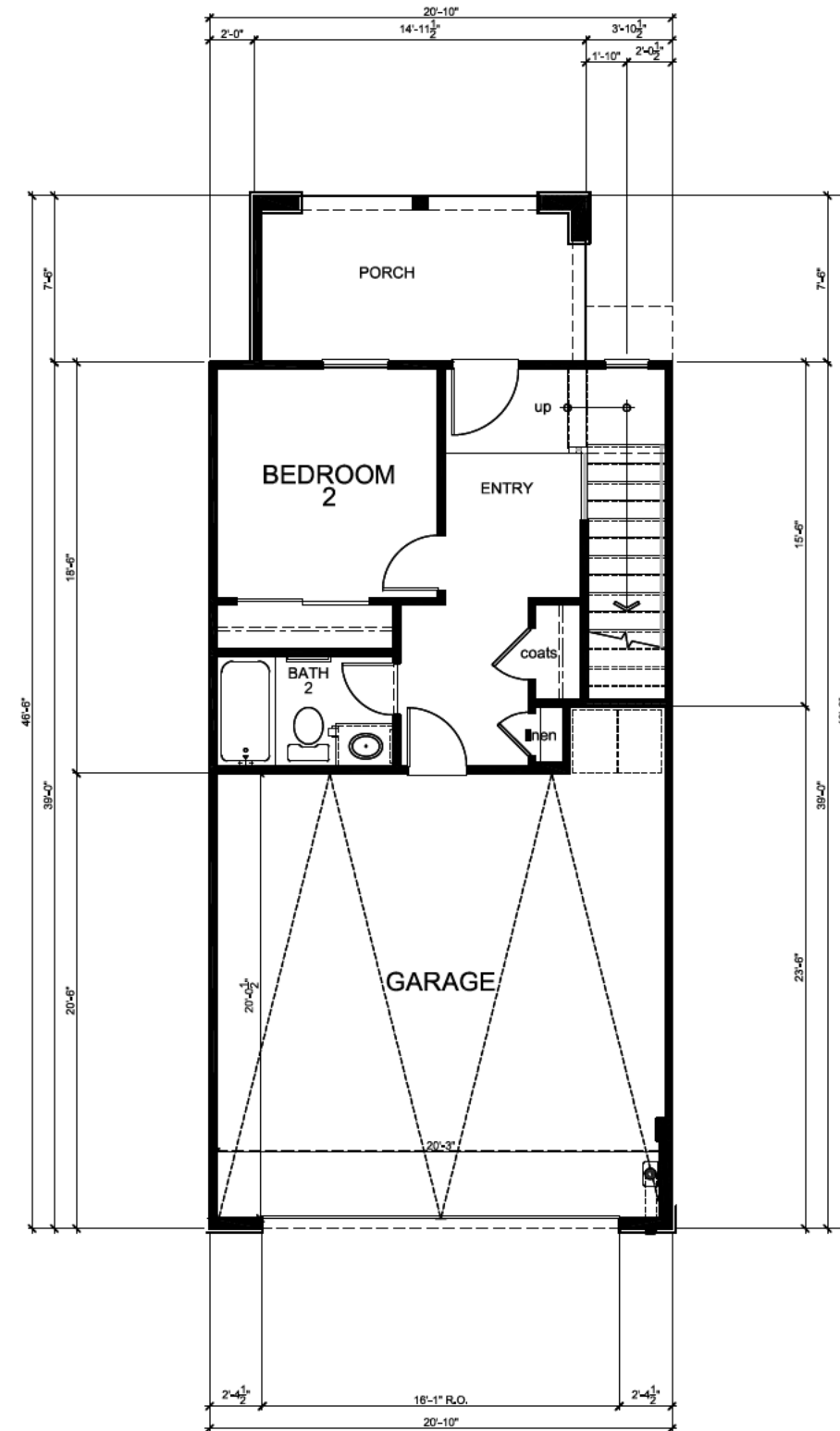
First Floor Plan 'B1'  
(Building Type 01)



SQUARE FOOTAGE		
PLAN 1 221.1193		
FIRST FLOOR AREA	812	SQ. FT.
SECOND FLOOR AREA	822	SQ. FT.
TOTAL AREA	1193	SQ. FT.
GARAGE AREA	441	SQ. FT.
PORCH AREA	ELEVATION 'A'	121
		SQ. FT.



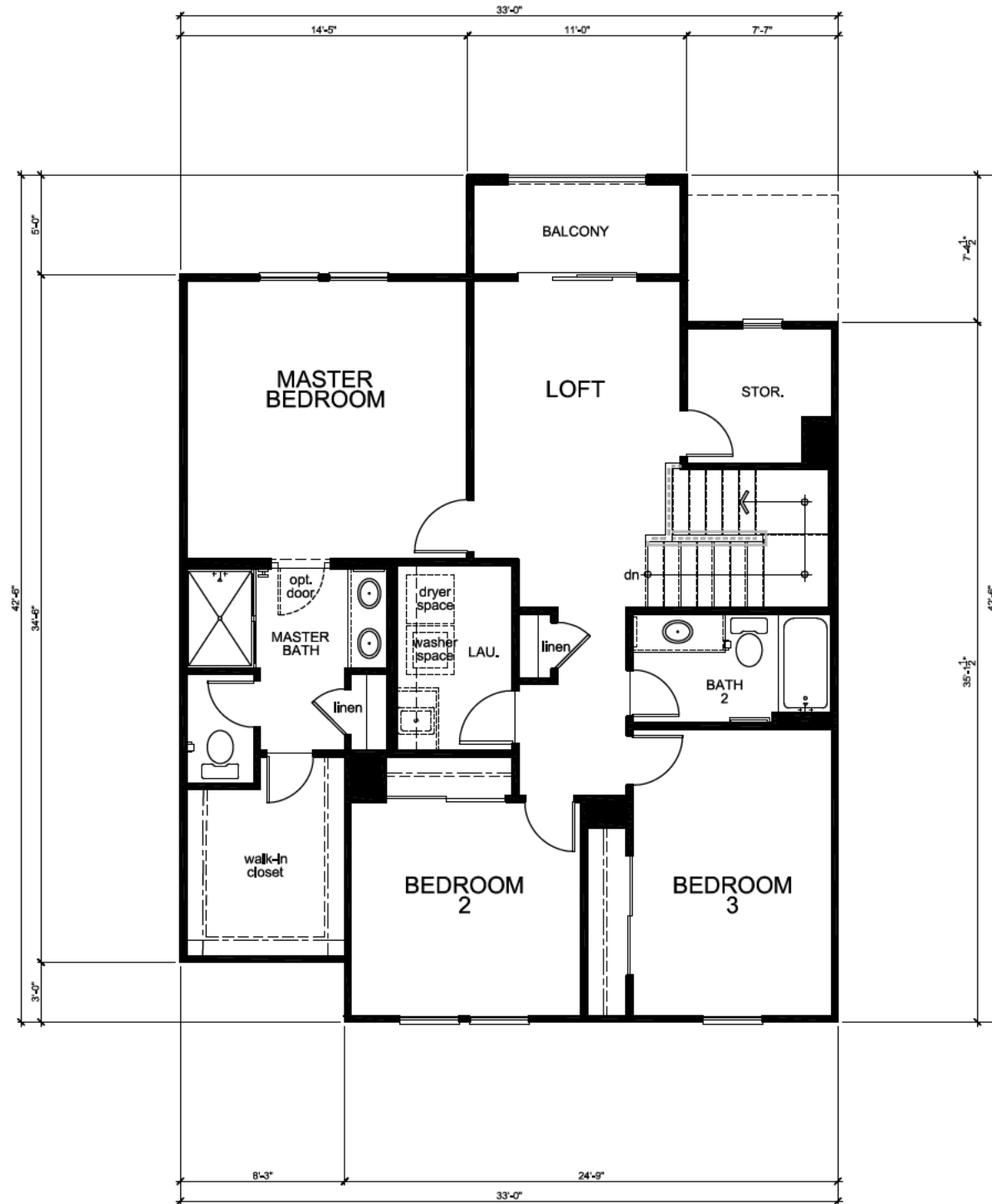
Second Floor Plan 'C'  
(Building Type 01)



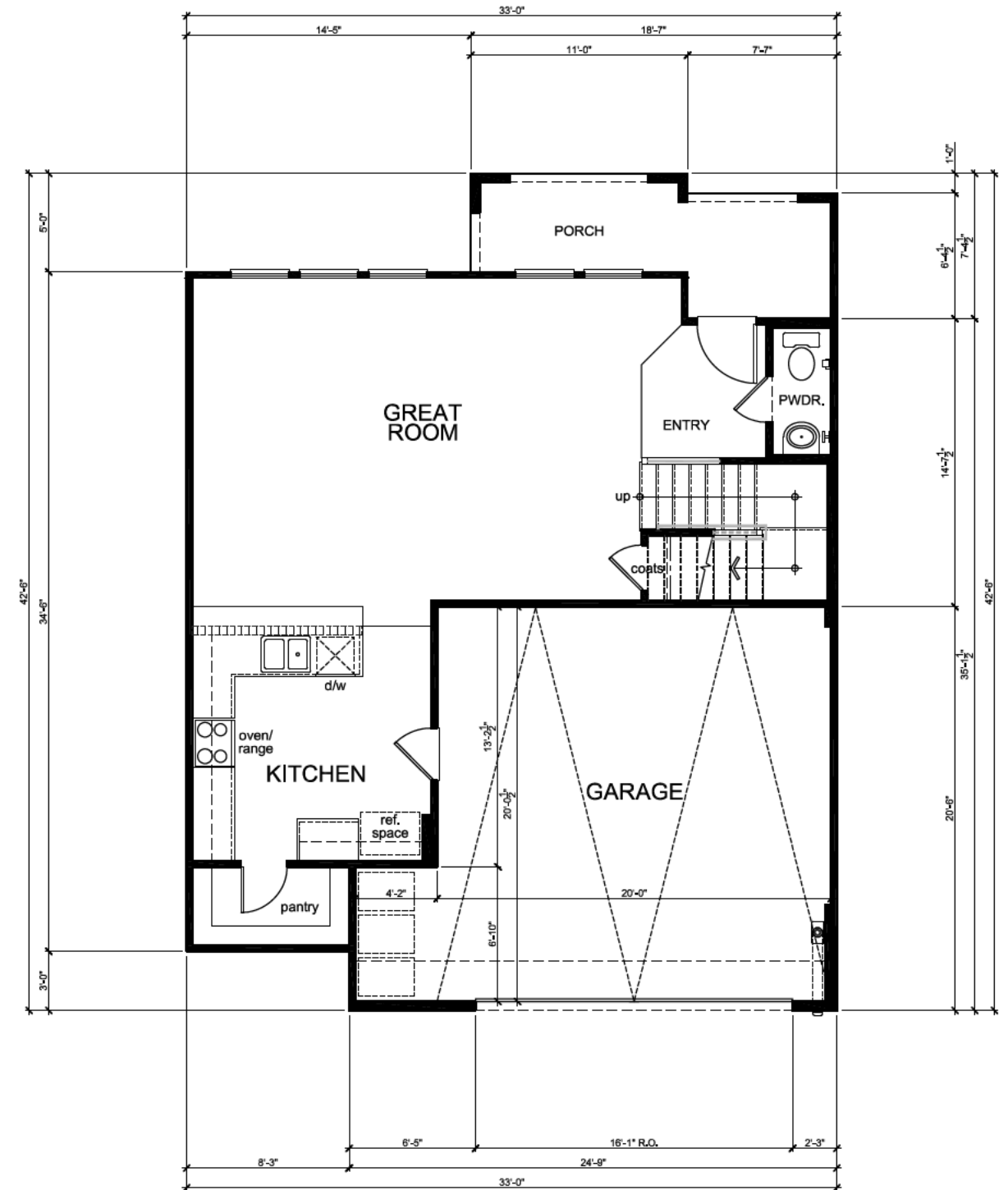
First Floor Plan 'C'  
(Building Type 01)



SQUARE FOOTAGE		
PLAN 2 233.1880		
FIRST FLOOR AREA	147	SQ. FT.
SECOND FLOOR AREA	1188	SQ. FT.
TOTAL AREA	1335	SQ. FT.
GARAGE AREA	448	SQ. FT.
PORCH AREA	108	SQ. FT.
ELEVATION 'A'		



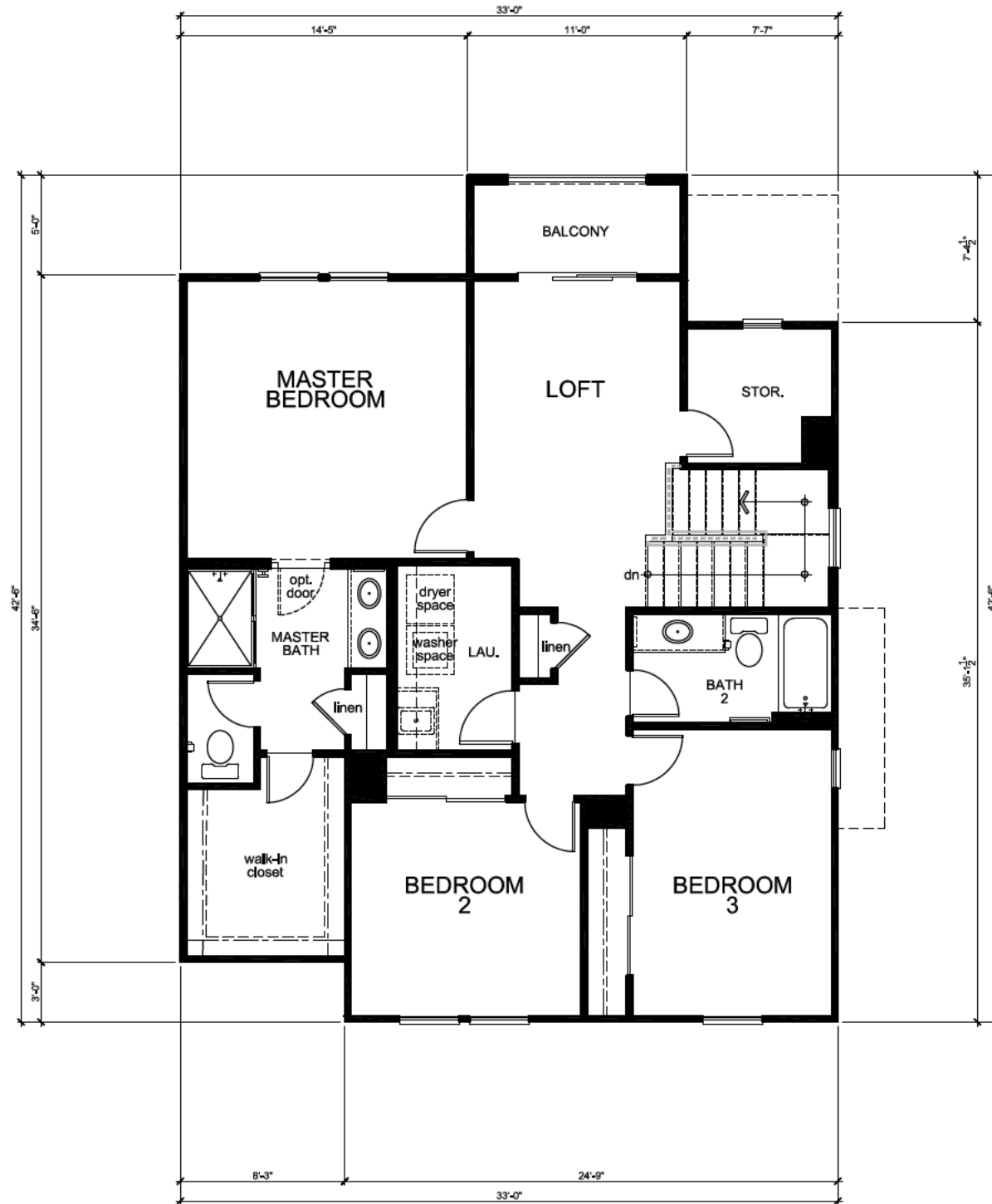
Second Floor Plan 'A'  
(Building Type 01 & 02)



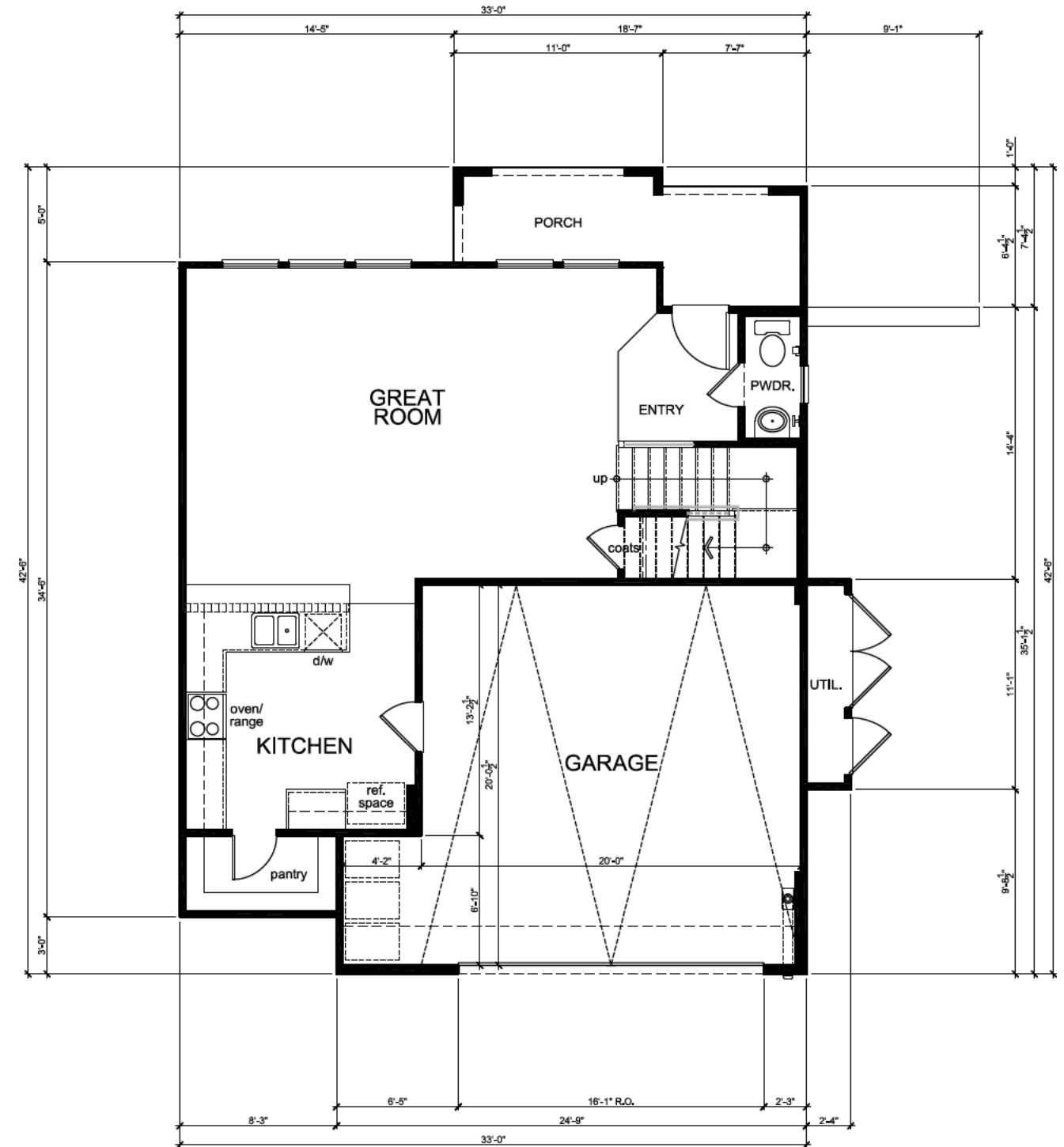
First Floor Plan 'A'  
(Building Type 01 & 02)



SQUARE FOOTAGE		
PLAN 2 233.1880		
FIRST FLOOR AREA	1471	SQ. FT.
SECOND FLOOR AREA	1188	SQ. FT.
TOTAL AREA	1880	SQ. FT.
GARAGE AREA	448	SQ. FT.
PORCH AREA	108	SQ. FT.
ELEVATION 'A'		



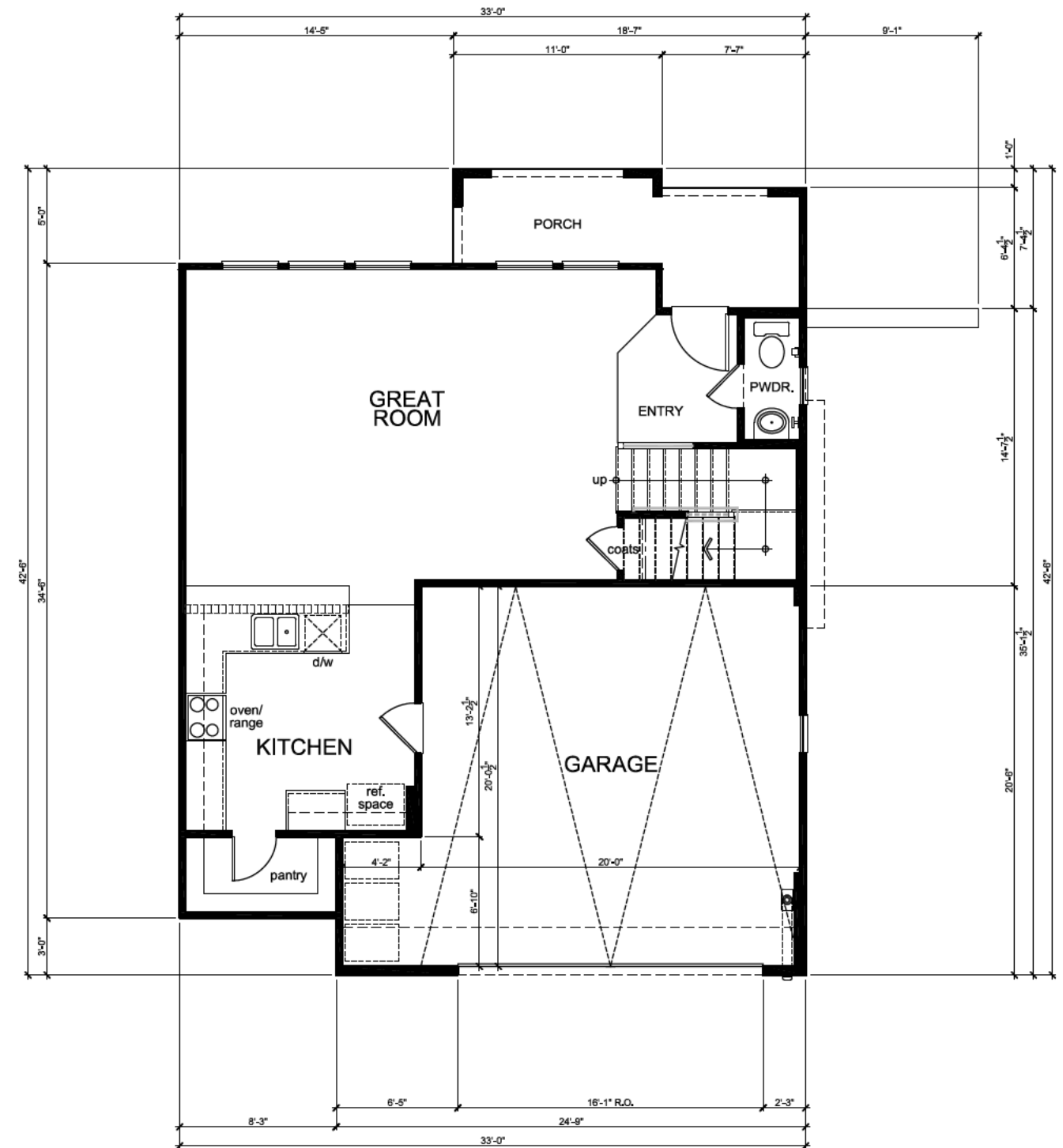
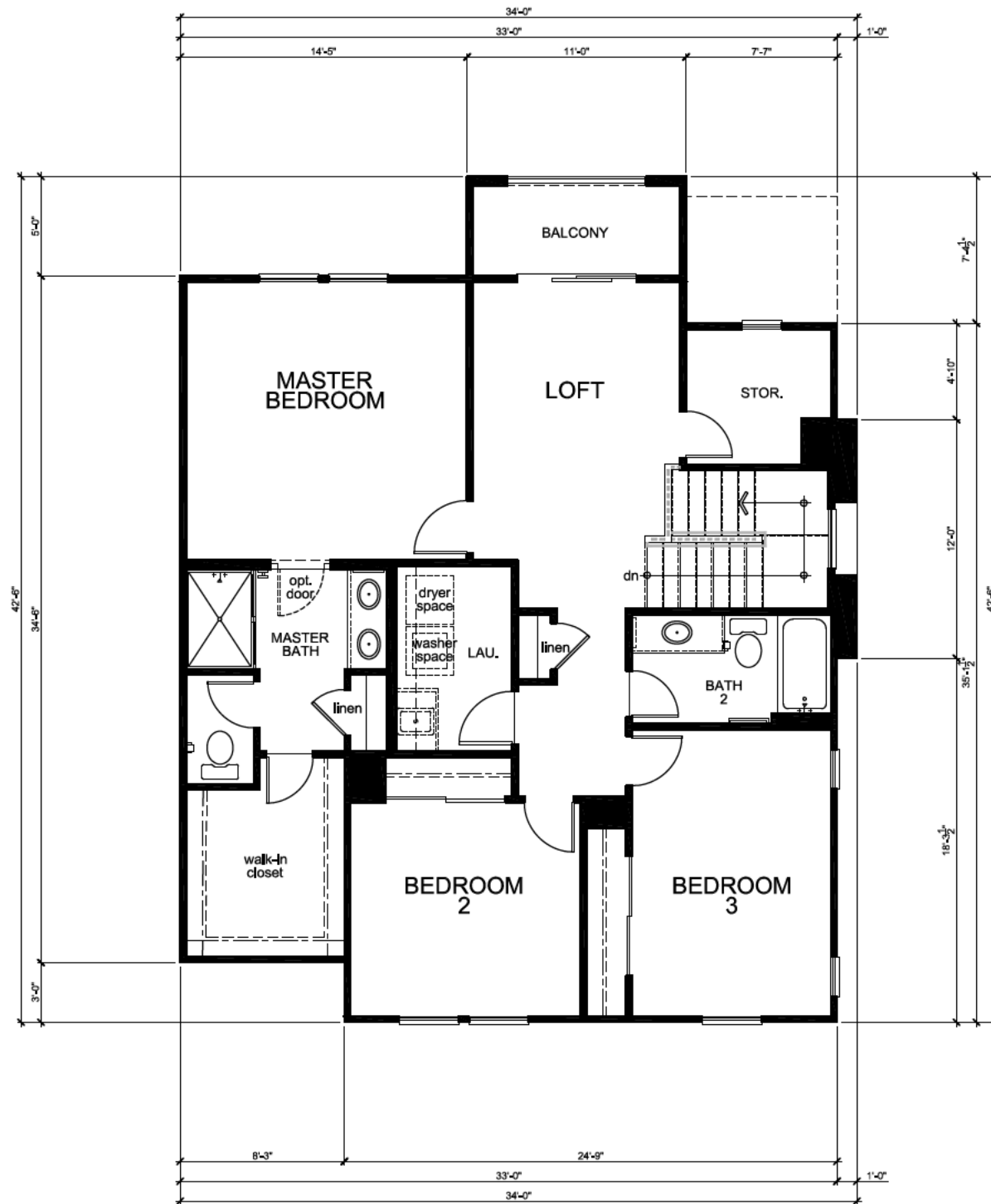
Second Floor Plan 'A'  
(Building Type 01 - End Condition)



First Floor Plan 'A'  
(Building Type 01 - End Condition)



SQUARE FOOTAGE		
PLAN 2 233.1880		
FIRST FLOOR AREA	1471	SQ. FT.
SECOND FLOOR AREA	1188	SQ. FT.
TOTAL AREA	1880	SQ. FT.
GARAGE AREA	448	SQ. FT.
PORCH AREA	108	SQ. FT.
ELEVATION 'A'		



Second Floor Plan 'A'  
(Building Type 02 - End Condition)

First Floor Plan 'A'  
(Building Type 02 - End Condition)



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ONTARIO, CA

ESPERANZA MOTORCOURT TOWNHOMES  
TENTATIVE TRACT MAP 20160

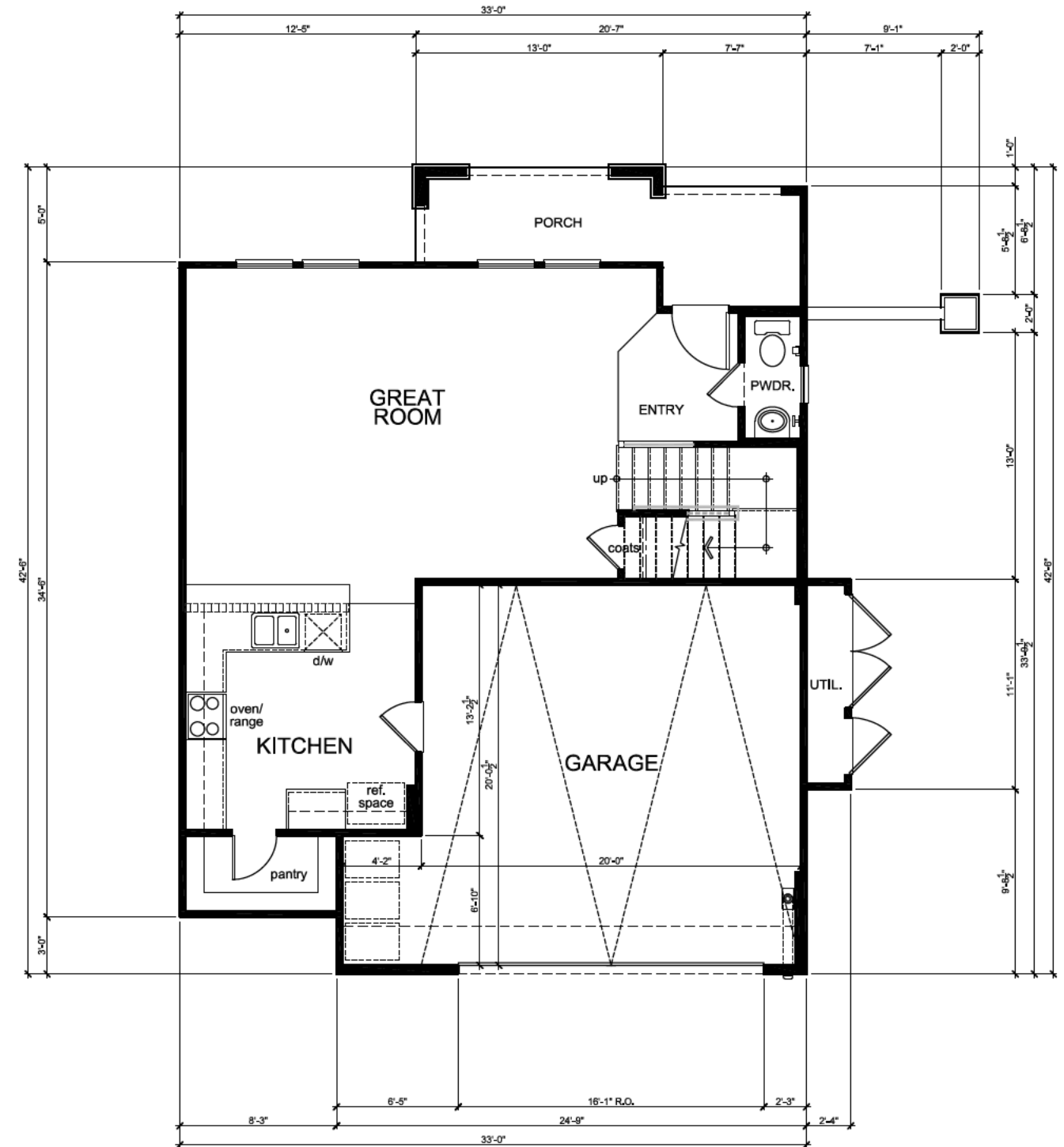
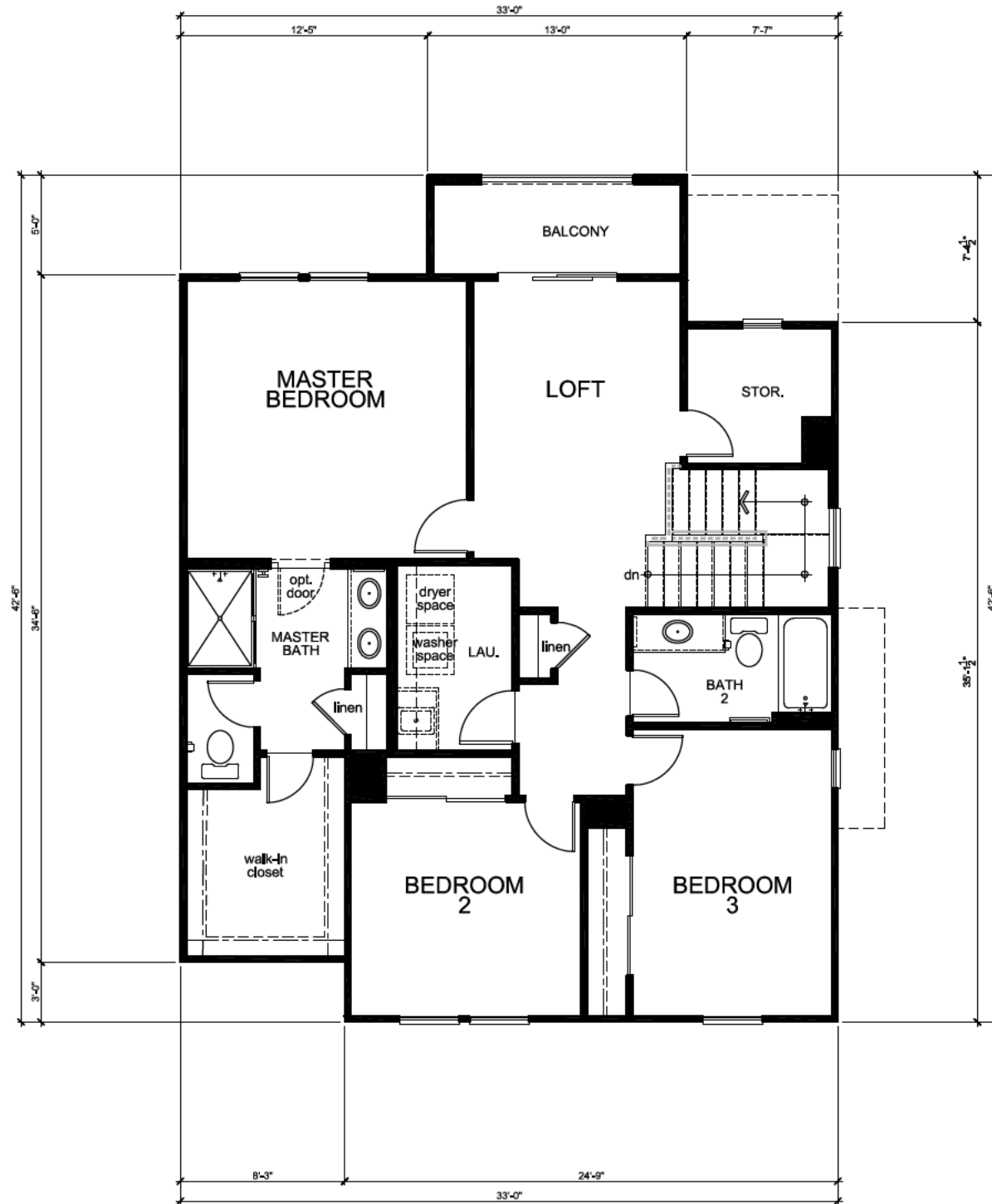
PLAN 2

233.1880

JOB No. : 350999  
STORY: Two  
Rev. May 16, 2022

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SQUARE FOOTAGE		
PLAN 2 233.1880		
FIRST FLOOR AREA	1471	SQ. FT.
SECOND FLOOR AREA	1188	SQ. FT.
TOTAL AREA	1880	SQ. FT.
GARAGE AREA	448	SQ. FT.
PORCH AREA	ELEVATION 'A'	108
		SQ. FT.



Second Floor Plan 'B'  
(Building Type 01 - End Condition)

First Floor Plan 'B'  
(Building Type 01 - End Condition)

PLAN 2



KB Home Southern California/Inland Empire  
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ONTARIO, CA

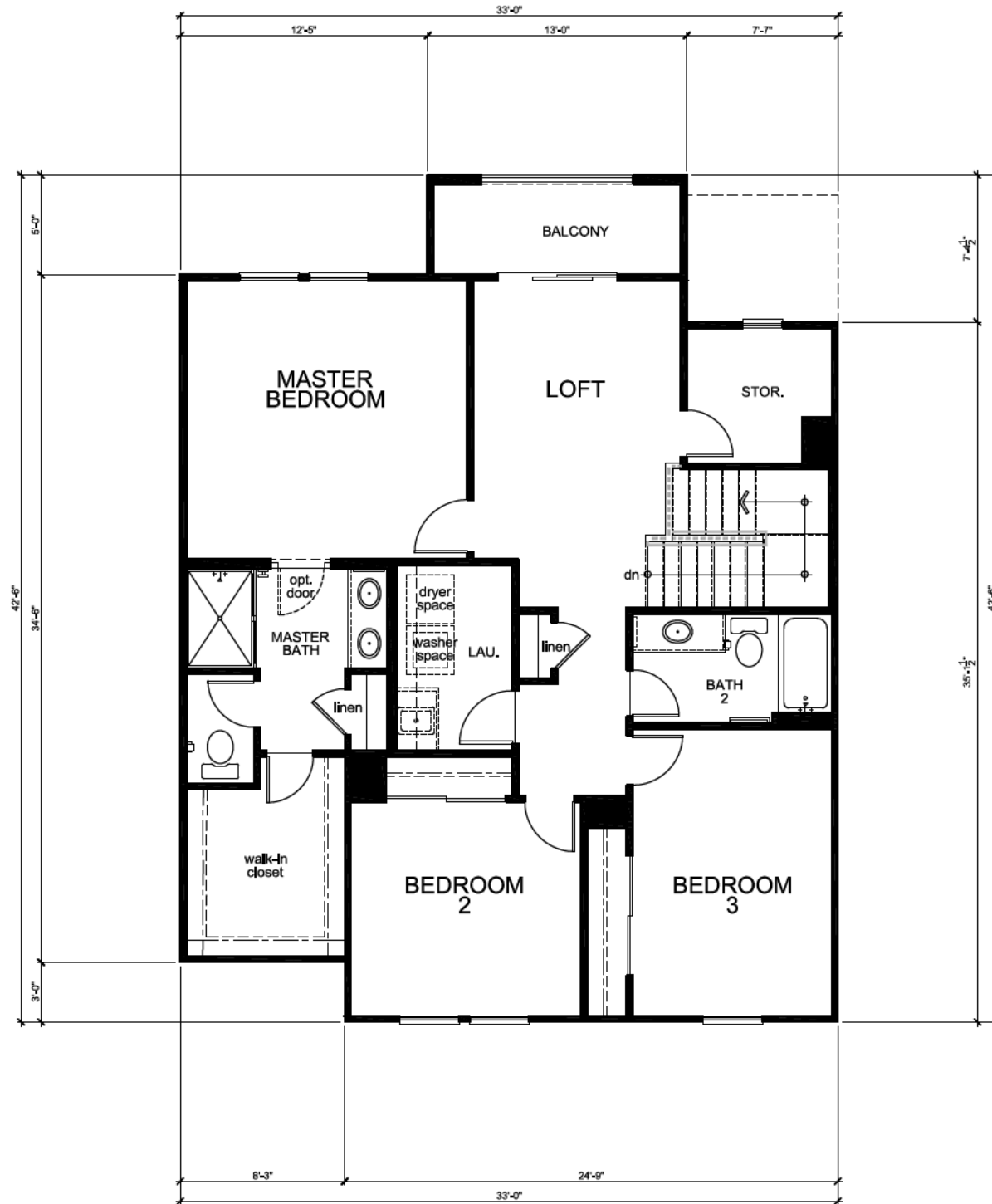
ESPERANZA MOTORCOURT TOWNHOMES  
TENTATIVE TRACT MAP 20160

233.1880

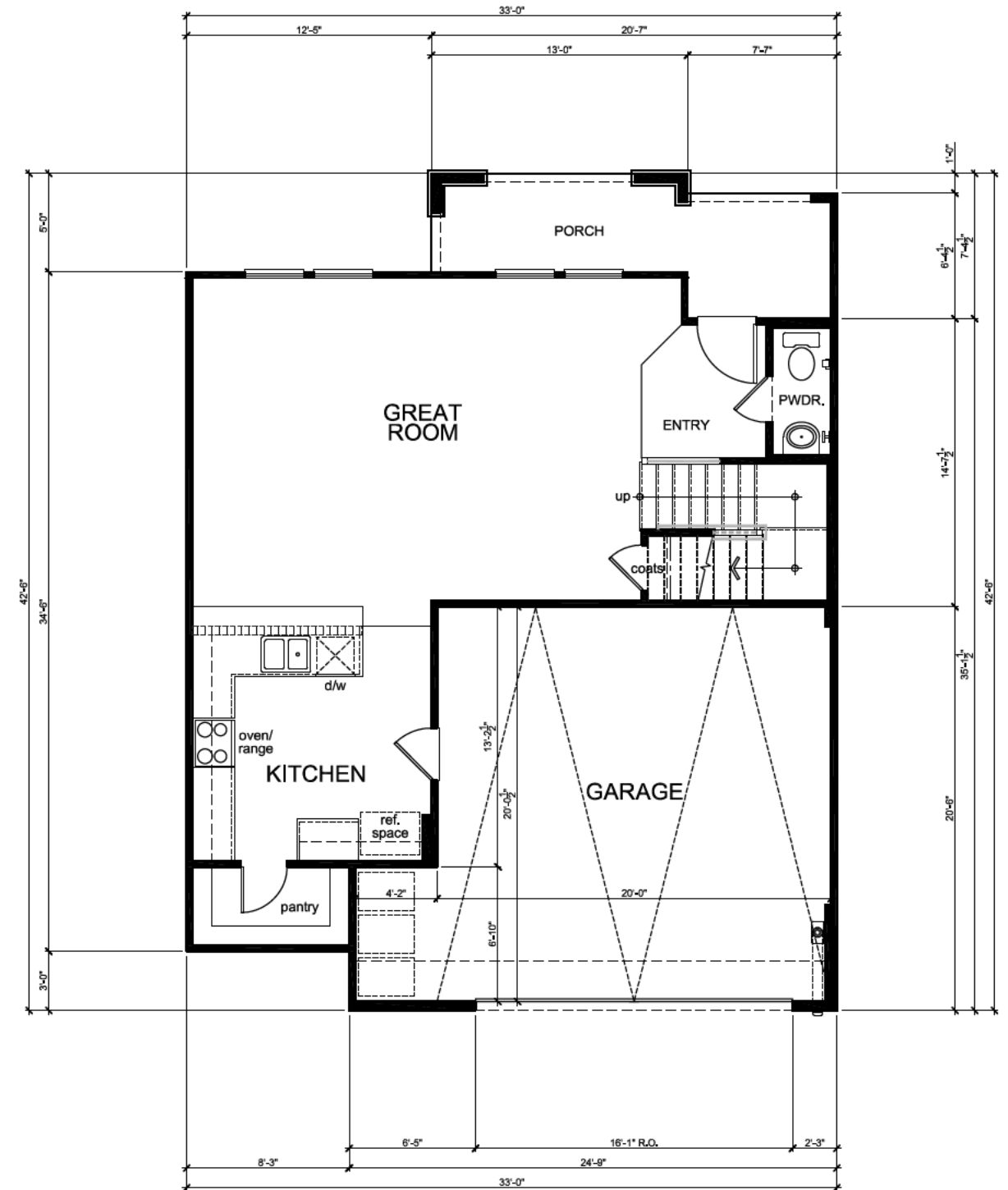
JOB No. : 350999  
STORY: Two  
Rev. May 16, 2022

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SQUARE FOOTAGE		
PLAN 2 233.1880		
FIRST FLOOR AREA	147	SQ. FT.
SECOND FLOOR AREA	188	SQ. FT.
TOTAL AREA	335	SQ. FT.
GARAGE AREA	448	SQ. FT.
PORCH AREA	108	SQ. FT.
ELEVATION 'A'		



Second Floor Plan 'B'  
(Building Type 01)

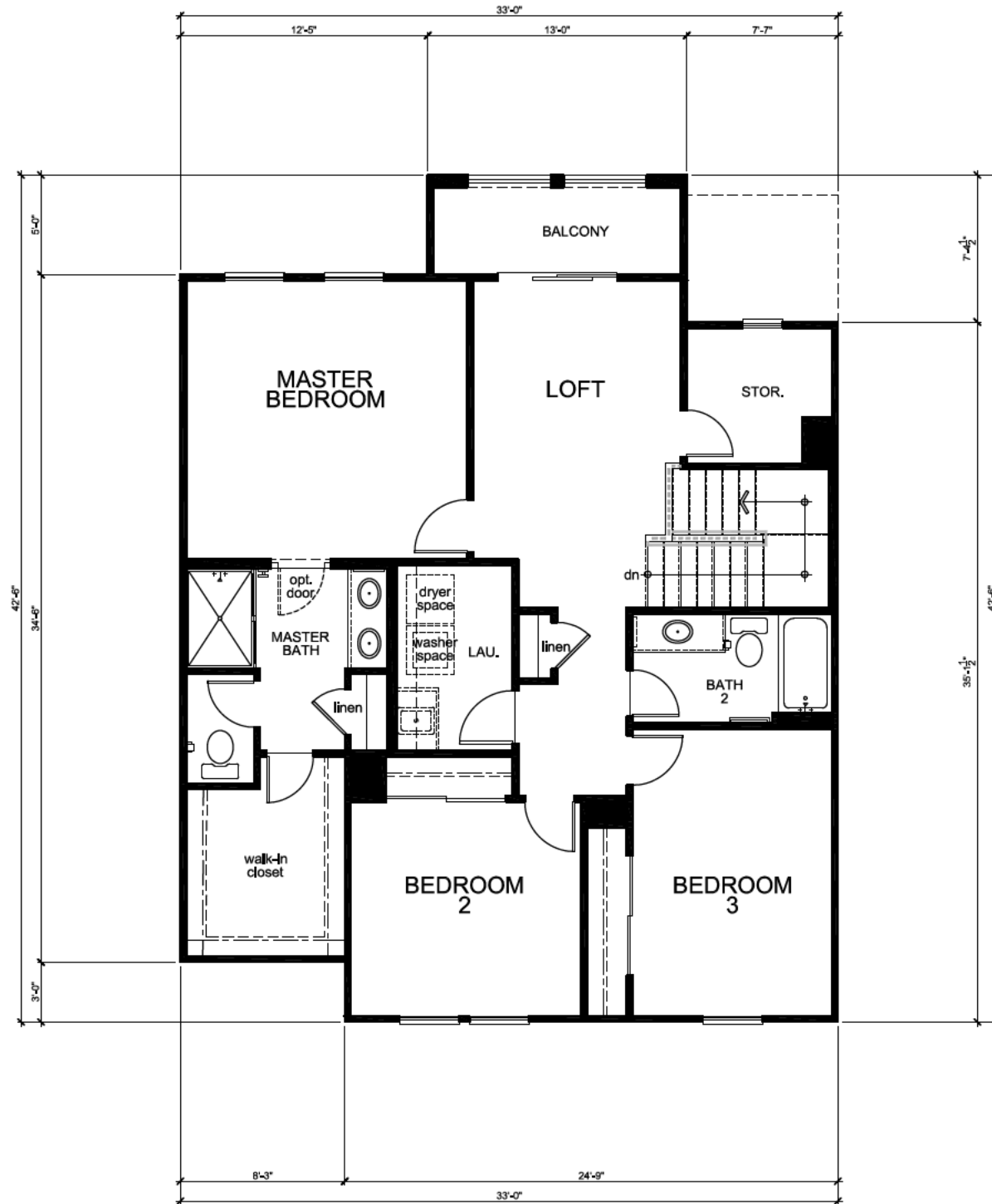


First Floor Plan 'B'  
(Building Type 01)

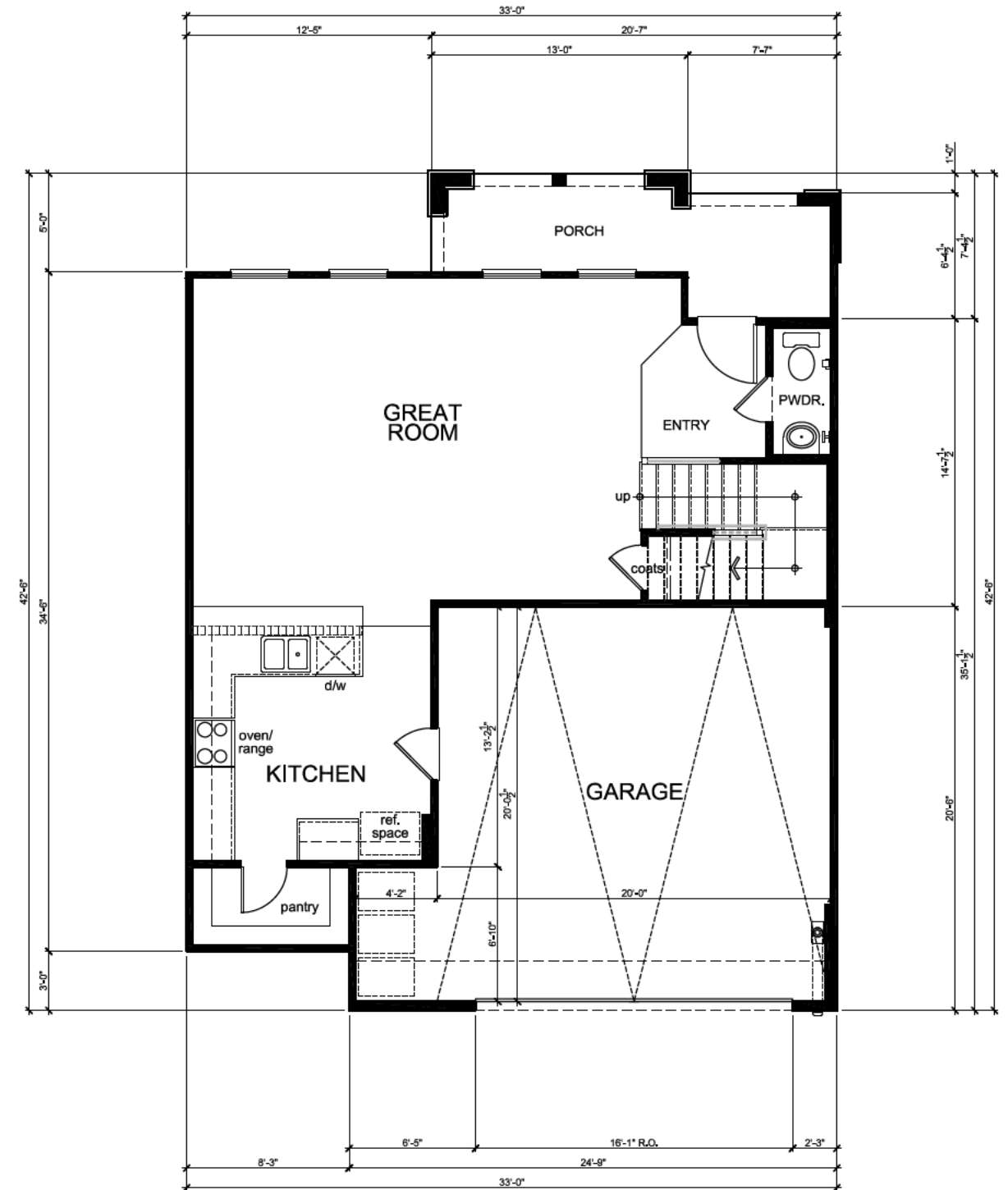




SQUARE FOOTAGE		
PLAN 2 233.1880		
FIRST FLOOR AREA	147	SQ. FT.
SECOND FLOOR AREA	188	SQ. FT.
TOTAL AREA	335	SQ. FT.
GARAGE AREA	448	SQ. FT.
PORCH AREA	108	SQ. FT.
ELEVATION 'A'		



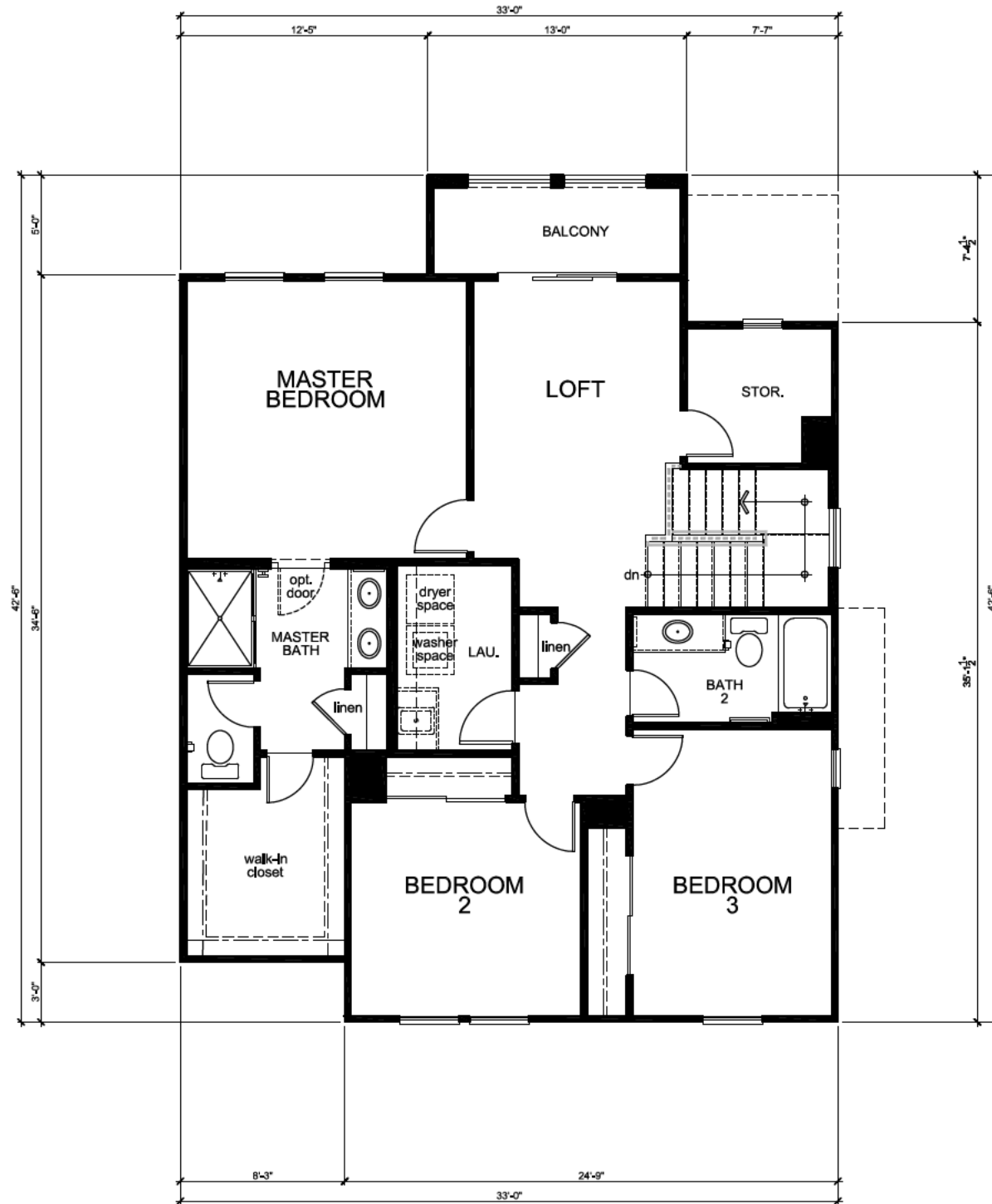
Second Floor Plan 'C'  
(Building Type 01 & 02)



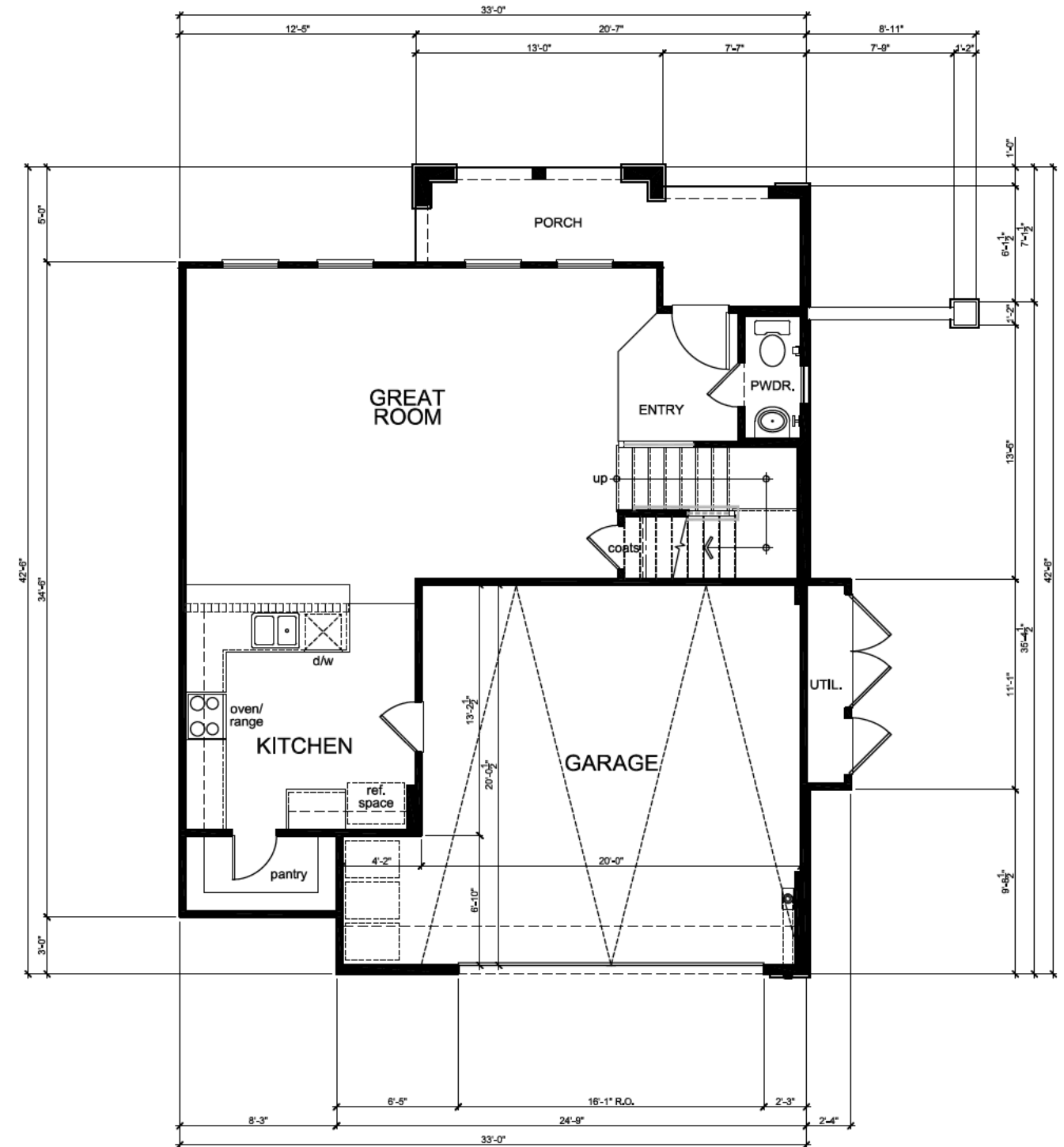
First Floor Plan 'C'  
(Building Type 01 & 02)



SQUARE FOOTAGE		
PLAN 2 233.1880		
FIRST FLOOR AREA	1471	SQ. FT.
SECOND FLOOR AREA	1188	SQ. FT.
TOTAL AREA	1880	SQ. FT.
GARAGE AREA	448	SQ. FT.
PORCH AREA	108	SQ. FT.
ELEVATION 'A'		



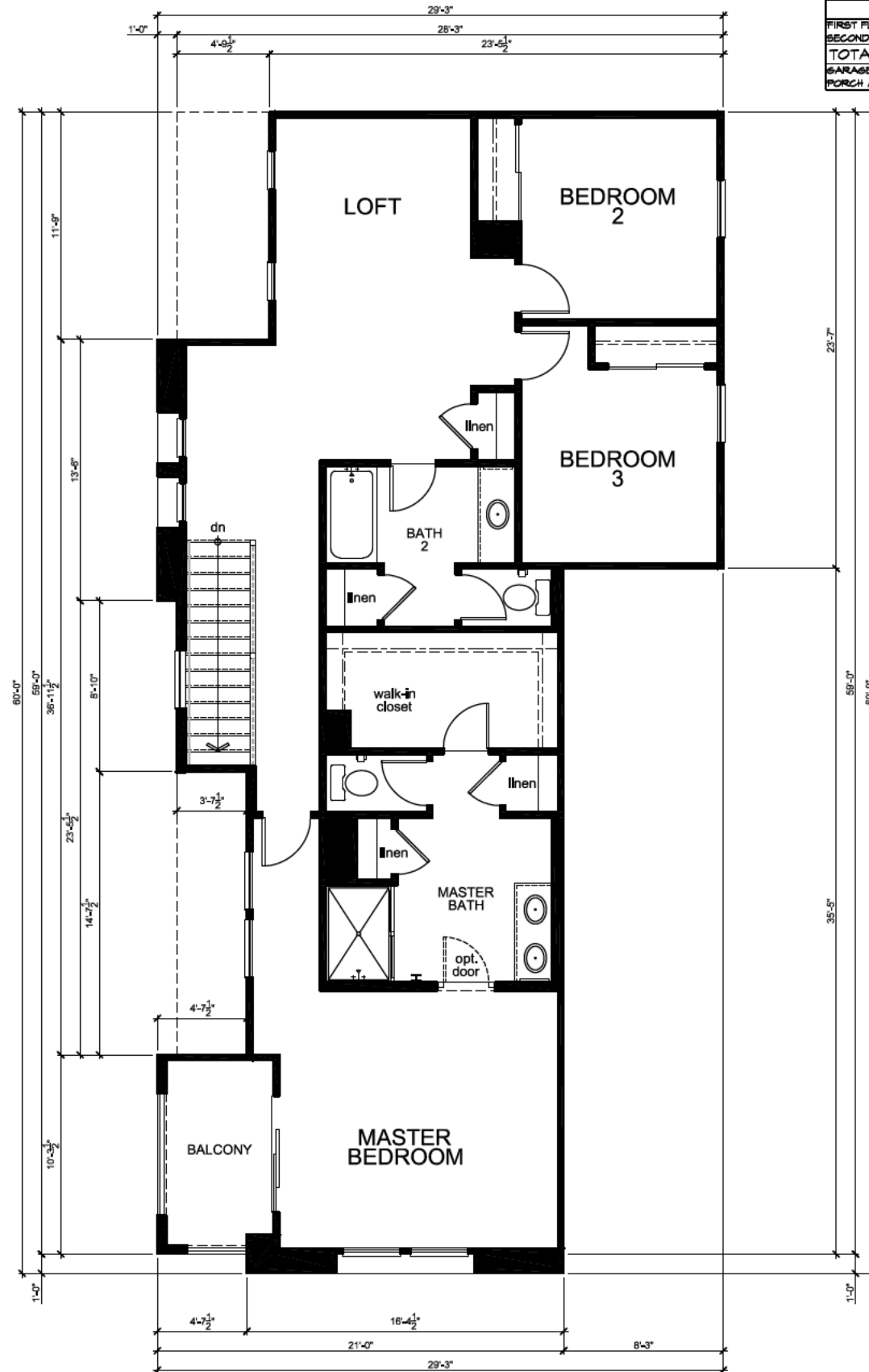
Second Floor Plan 'C'  
(Building Type 01 - End Condition)



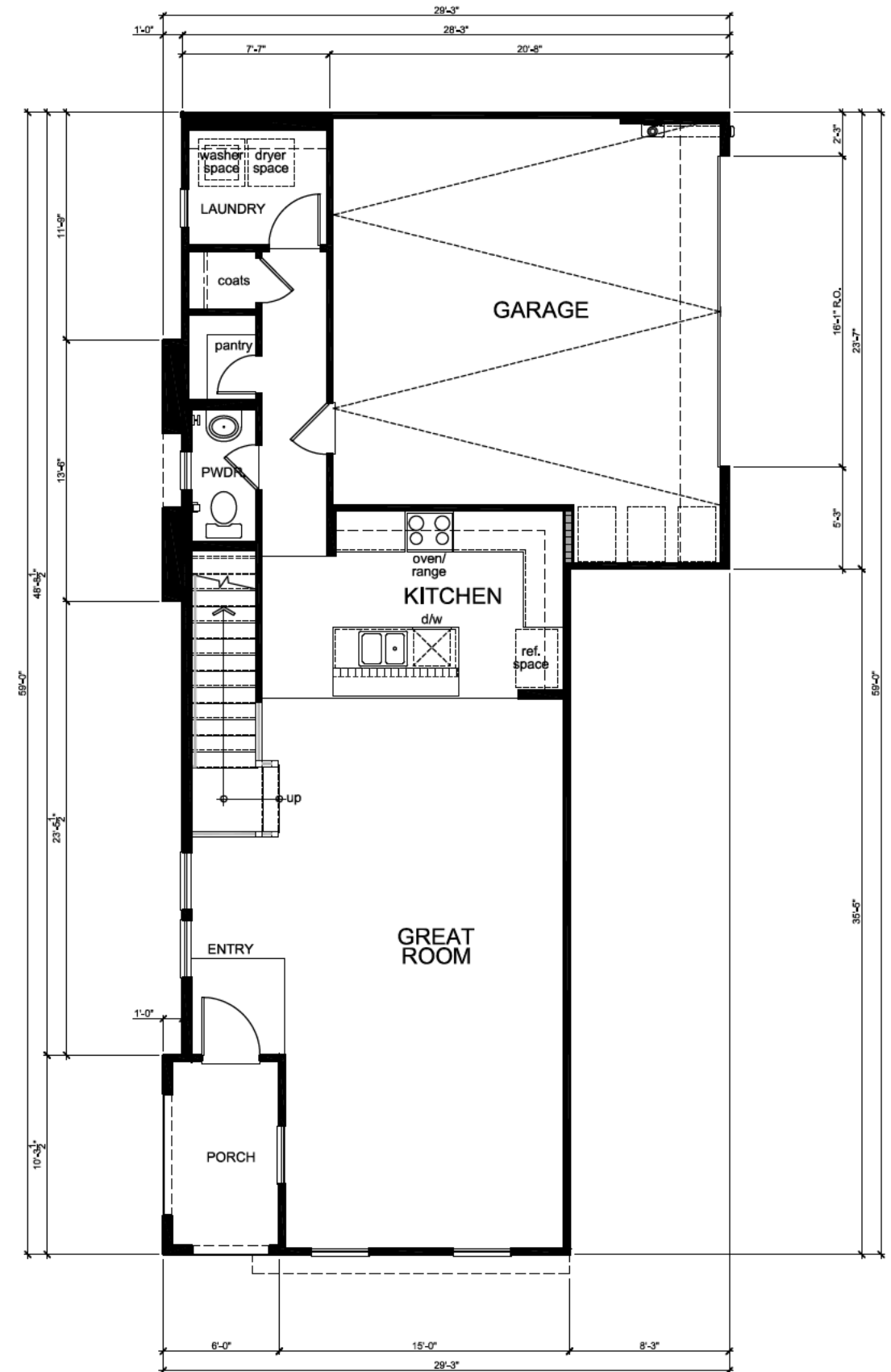
First Floor Plan 'C'  
(Building Type 01 - End Condition)



SQUARE FOOTAGE			
PLAN 3 229.2111			
FIRST FLOOR AREA	442	SQ. FT.	
SECOND FLOOR AREA	1164	SQ. FT.	
TOTAL AREA	2111	SQ. FT.	
GARAGE AREA	448	SQ. FT.	
PORCH AREA	ELEVATION 'A'	60	SQ. FT.

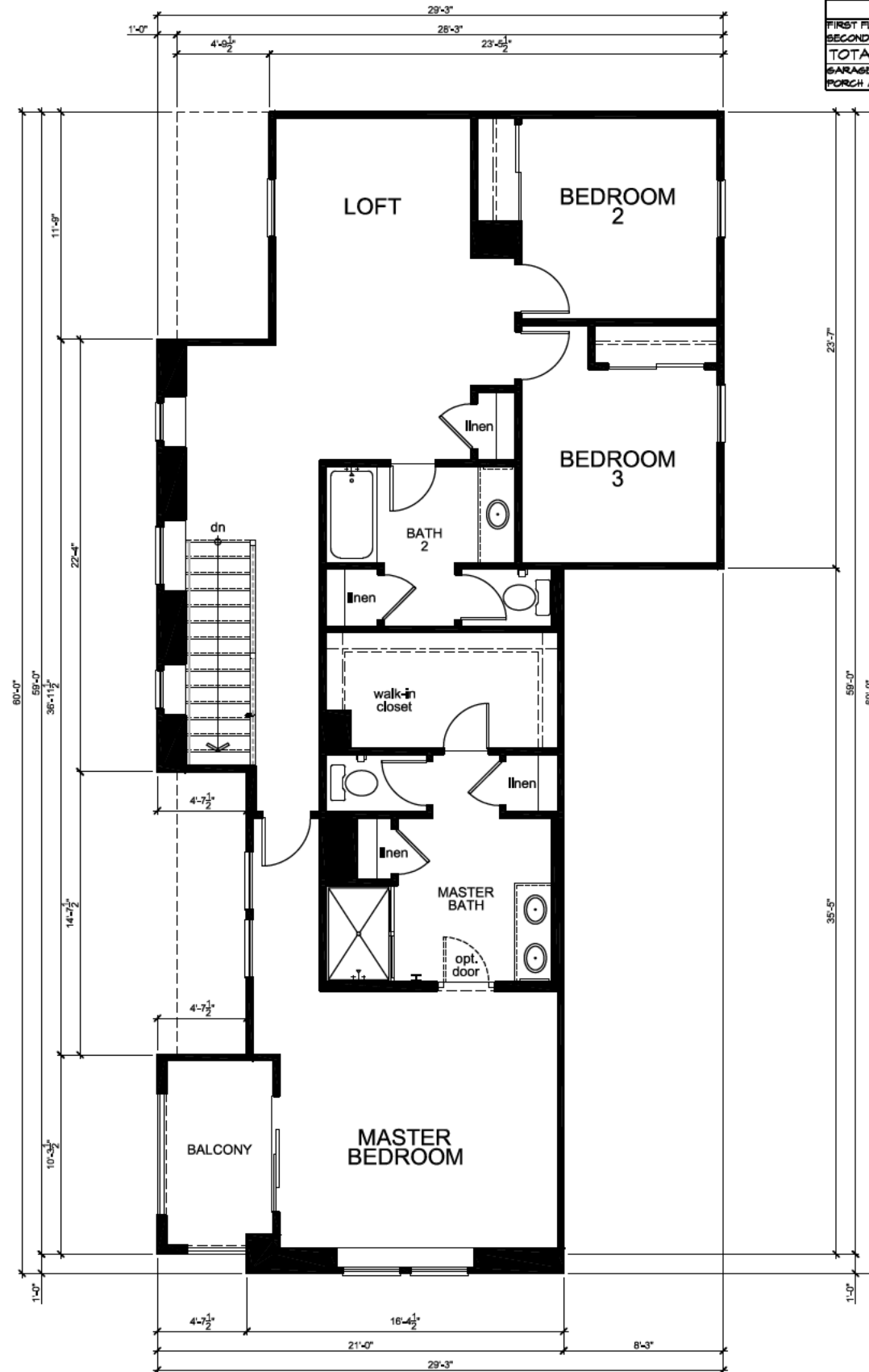


Second Floor Plan 'A'  
(Building Type 01 & 02)

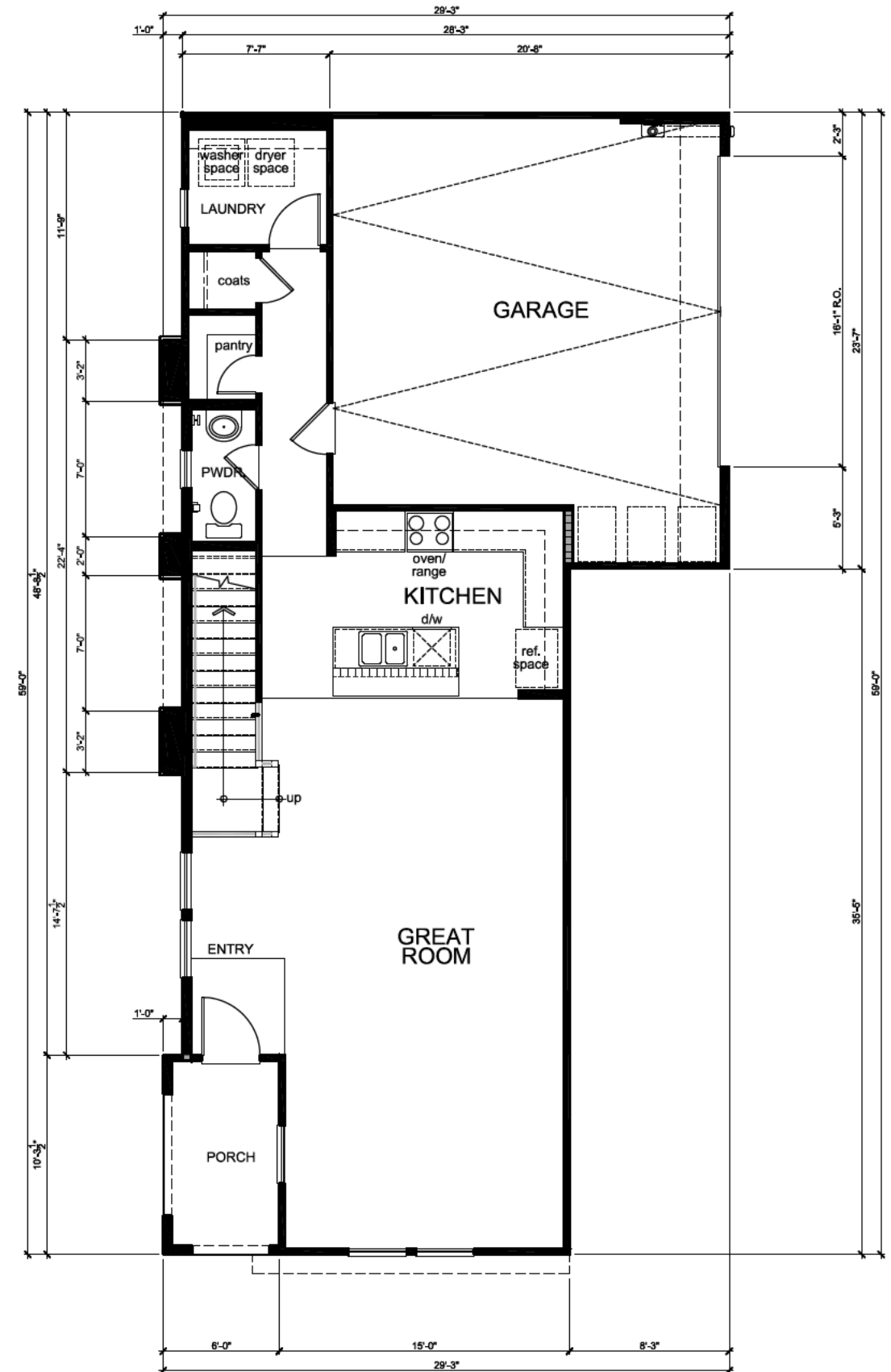


First Floor Plan 'A'  
(Building Type 01 & 02)

SQUARE FOOTAGE			
PLAN 3 229.2111			
FIRST FLOOR AREA	442	SQ. FT.	
SECOND FLOOR AREA	1164	SQ. FT.	
TOTAL AREA	2111	SQ. FT.	
GARAGE AREA	448	SQ. FT.	
PORCH AREA	ELEVATION 'A'	60	SQ. FT.

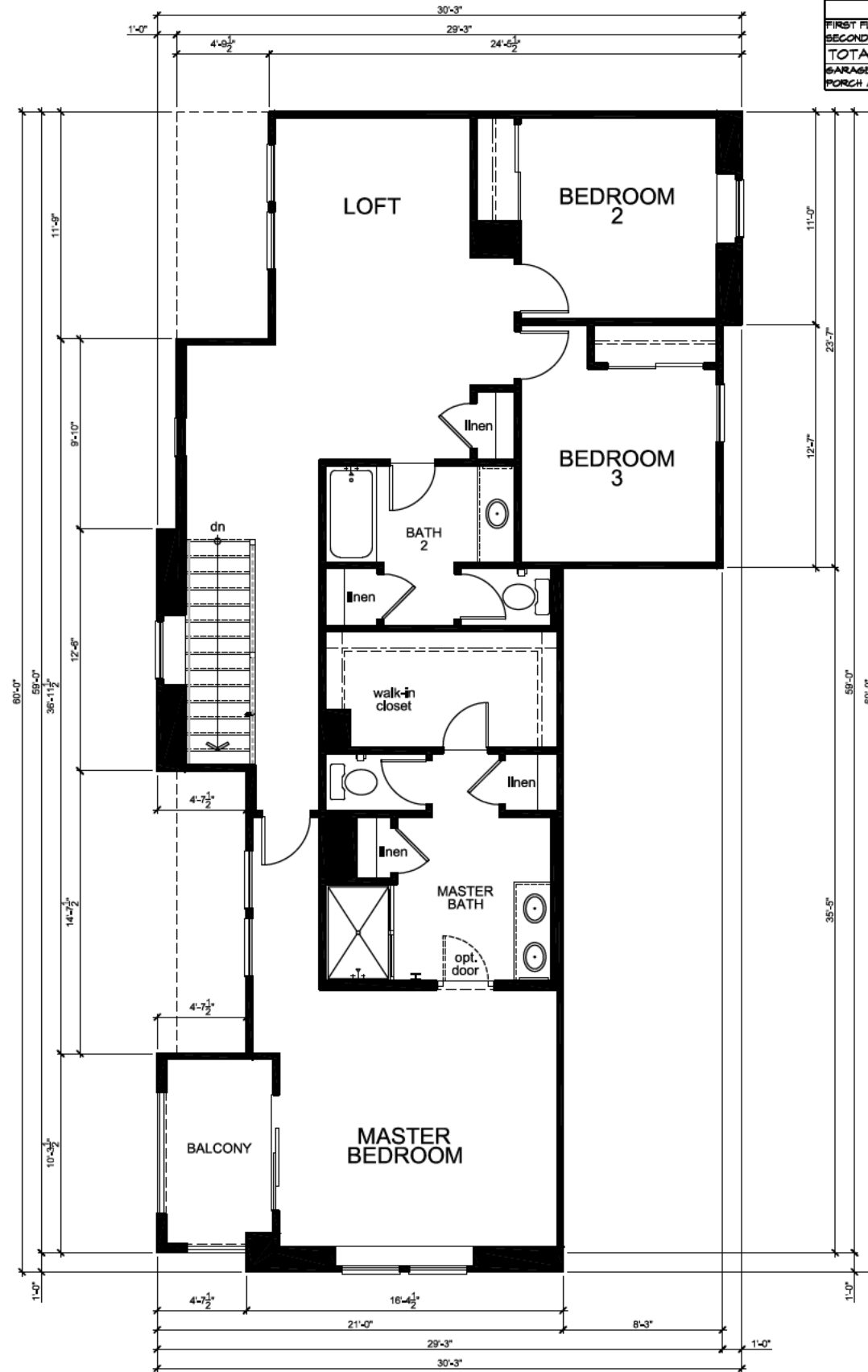


Second Floor Plan 'B'  
(Building Type 01 & 02)

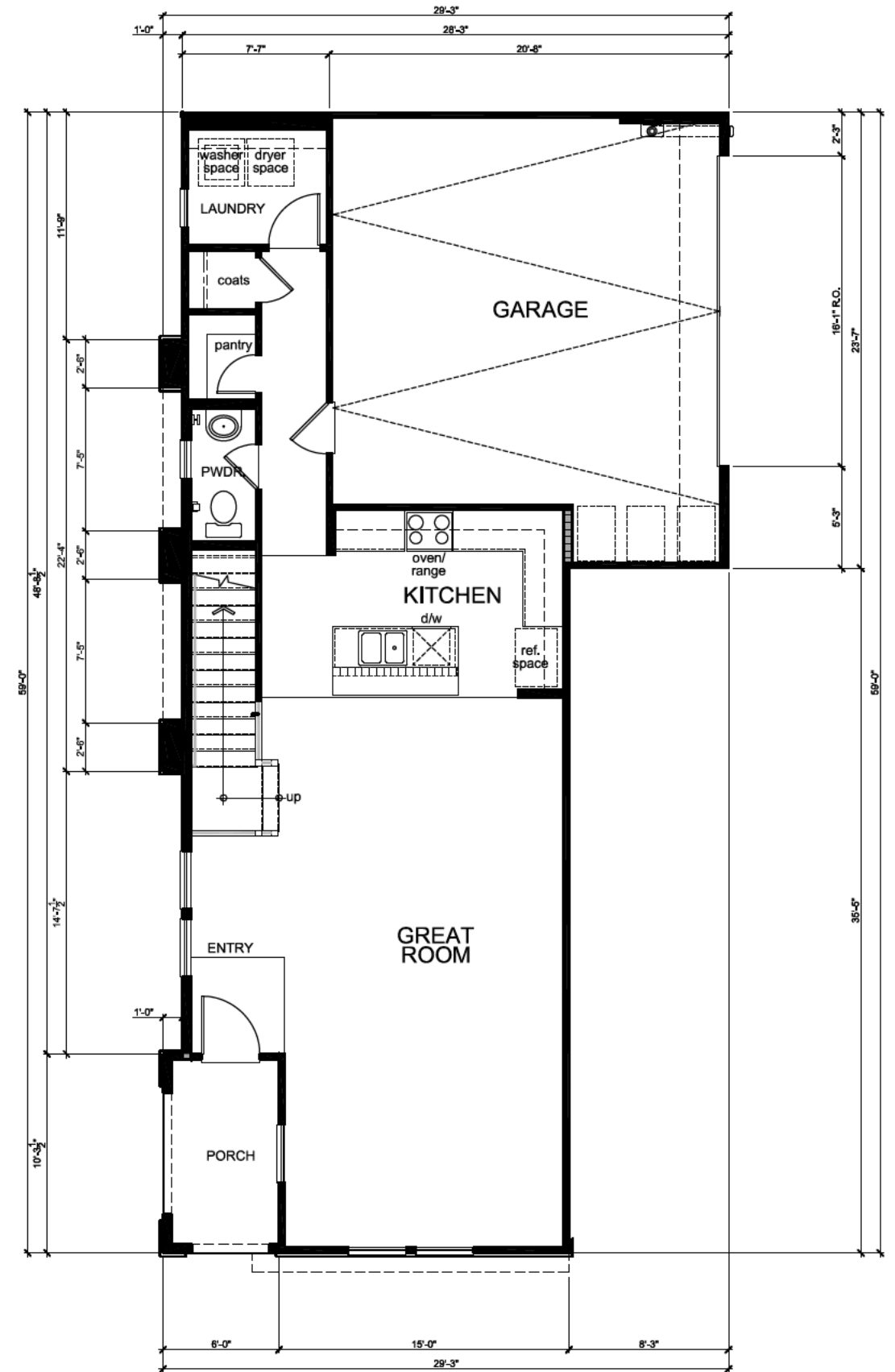


First Floor Plan 'B'  
(Building Type 01 & 02)

SQUARE FOOTAGE			
PLAN 3 229.2111			
FIRST FLOOR AREA	442	SQ. FT.	
SECOND FLOOR AREA	1164	SQ. FT.	
TOTAL AREA	2111	SQ. FT.	
GARAGE AREA	448	SQ. FT.	
PORCH AREA	ELEVATION 'A'	60	SQ. FT.



Second Floor Plan 'C'  
(Building Type 01 & 02)



First Floor Plan 'C'  
(Building Type 01 & 02)

## **Attachment B—Conditions of Approval**

*(Conditions of Approval to follow this page)*



## LAND DEVELOPMENT DIVISION CONDITIONS OF APPROVAL

303 East B Street, Ontario, California 91764 Phone: 909.395.2036 / Fax: 909.395.2420

**Date Prepared:** 7/29/2022

**File No:** PDEV21-043

**Related Files:** PMTT18-002 (TM 20157), PMTT18-004 (TM 20159)

**Project Description:** A Development Plan to construct 145 multiple-family motorcourt townhomes on 13.86 acres of land generally located at the southeast corner of Mill Creek Avenue and Old Edison Road, within PA-1 (RD-7/Row Townhomes and RD-8/Motorcourt Townhomes) of the Esperanza Specific Plan. (APNs: 0218-252-08 and 0218-252-38); **submitted by KB Home Coastal, Inc.**

**Prepared By:** Jeanie Irene Aguilo, Associate Planner  
Phone: 909.395.2418 (direct)  
Email: jaguilo@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

**1.0 Standard Conditions of Approval.** The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

**2.0 Special Conditions of Approval.** In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

**2.1 Time Limits.** Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

**2.2 General Requirements.** The Project shall comply with the following general requirements:

**(a)** All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility, and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

**(b)** The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

**(c)** The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

### **2.3** Landscaping.

**(a)** The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

**(b)** Comply with the conditions of approval of the Planning Department; Landscape Planning Division.

**(c)** Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

**(d)** Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

**2.4** Walls and Fences. All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

### **2.5** Parking, Circulation and Access.

**(a)** The Project shall comply with the applicable off-street parking, loading and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

**(b)** All drive approaches shall be provided with an enhanced pavement treatment. The enhanced paving shall extend from the back of the approach apron, into the site, to the first intersecting drive aisle or parking space.

**(c)** Areas provided to meet the City's parking requirements, including off-street parking and loading spaces, access drives, and maneuvering areas, shall not be used for the outdoor storage of materials and equipment, nor shall it be used for any other purpose than parking.

**(d)** The required number of off-street parking spaces and/or loading spaces shall be provided at the time of site and/or building occupancy. All parking and loading spaces shall be maintained in good condition for the duration of the building or use.



**(e)** Parking spaces specifically designated and conveniently located for use by the physically disabled shall be provided pursuant to current accessibility regulations contained in State law (CCR Title 24, Part 2, Chapters 2B71, and CVC Section 22507.8).

**(f)** Bicycle parking facilities, including bicycle racks, lockers, and other secure facilities, shall be provided in conjunction with development projects pursuant to current regulations contained in CALGreen (CAC Title 24, Part 11).

## **2.6** Site Lighting.

**(a)** All off-street parking facilities shall be provided with nighttime security lighting pursuant to Ontario Municipal Code Section 4-11.08 (Special Residential Building Provisions) and Section 4-11.09 (Special Commercial/Industrial Building Provisions), designed to confine emitted light to the parking areas. Parking facilities shall be lighted from sunset until sunrise, daily, and shall be operated by a photocell switch.

**(b)** Unless intended as part of a master lighting program, no operation, activity, or lighting fixture shall create illumination on any adjacent property.

## **2.7** Mechanical and Rooftop Equipment.

**(a)** All exterior roof-mounted mechanical, heating and air conditioning equipment, and all appurtenances thereto, shall be completely screened from public view by parapet walls or roof screens that are architecturally treated so as to be consistent with the building architecture.

**(b)** All ground-mounted utility equipment and structures, such as tanks, transformers, HVAC equipment, and backflow prevention devices, shall be located out of view from a public street, or adequately screened through the use of landscaping and/or decorative low garden walls.

**2.8** Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

## **2.9** Signs.

**(a)** All Project signage shall comply with the requirements of Ontario Development Code Division 8.1 (Sign Regulations).

**2.10** Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noised levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

**2.11** Disclosure Statements. A copy of the Public Report from the Department of Real Estate, prepared for the subdivision pursuant to Business and Professions Code Section 11000 et seq., shall be provided to each prospective buyer of the residential units and shall include a statement to the effect that:

**(a)** This tract is subject to noise from the Ontario International Airport and may be more severely impacted in the future.

**(b)** Some of the property adjacent to this tract is zoned for agricultural uses and there could be fly, odor, or related problems due to the proximity of animals.

**(c)** The area south of Riverside Drive lies within the San Bernardino County Agricultural Preserve. Dairies currently existing in that area are likely to remain for the foreseeable future.

**(d)** This tract is part of a Landscape Maintenance District. The homeowner(s) will be assessed through their property taxes for the continuing maintenance of the district.

#### **2.12** Environmental Review.

**(a)** The environmental impacts of this Project were previously reviewed in conjunction with the Esperanza Specific Plan (File No. PSP05-002) Environmental Impact Report (State Clearinghouse No. 2002061047) certified by the City Council on February 6, 2007. This application introduces no new significant environmental impacts. The City's "Guidelines for the Implementation of the California Environmental Quality Act ("CEQA")" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed. The previously adopted mitigation measures shall be a condition of project approval and are incorporated herein by this reference.

**(b)** If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

**(c)** If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

**2.13** Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

#### **2.14** Additional Fees.

**(a)** Within 5 days following final application approval, the Notice of Determination ("NOD") filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act ("CEQA"). Failure to provide said fee within the time specified will result in the extension of the statute of limitations for the filing of a CEQA lawsuit from 30 days to 180 days.

**(b)** After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

**2.15** Additional Requirements.

**(a)** Final sets of plans shall be provided after project approval per the directions to be provided by the Planning Department.

**(b)** Final project details, including but not limited to, architecture, grading, landscaping, and recreation facilities shall be subject to review and approval as part of the Plan Check process.

**(c)** The model sales office shall require review and approval of a Temporary Use Permit, to be submitted prior to Planning approval of building plan checks pertaining to model sales units.

**(d)** The applicant shall contact the Ontario Post Office to determine the size and location of mailboxes for this project. The location of the mailboxes shall be submitted to the Planning Department for review and approval prior to the issuance of building permits.

**(e)** All conditions of approval from all other City agencies and departments shall be complied with.

# AIRPORT LAND USE COMPATIBILITY PLANNING

## CONSISTENCY DETERMINATION REPORT



Project File No.: PDEV21-043  
 Address: SEC Mill Creek & Old Edison Road  
 APN: 0218-252-07 & 08  
 Existing Land Use: Vacant  
 Proposed Land Use: Development Plan to construct 145 Single family motorcourt townhomes  
 Site Acreage: 13.94 Proposed Structure Height: 35 FT  
 ONT-IAC Project Review: n/a  
 Airport Influence Area: ONT

Reviewed By: Lorena Mejia  
 Contact Info: 909-395-2276  
 Project Planner: Jeanie Aguilo  
 Date: 6/7/2022  
 CD No.: 2021-070  
 PALU No.: n/a

### The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input type="checkbox"/> High Terrain Zone	<input type="checkbox"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input type="checkbox"/> FAA Notification Surfaces	<input type="checkbox"/> Recorded Overflight Notification
<input type="radio"/> Zone 2	<input type="checkbox"/> 65 - 70 dB CNEL	<input type="checkbox"/> Airspace Obstruction Surfaces	<input checked="" type="checkbox"/> Real Estate Transaction Disclosure
<input type="checkbox"/> Zone 3	<input type="checkbox"/> 60 - 65 dB CNEL	<input type="checkbox"/> Airspace Avigation Easement Area	
<input type="radio"/> Zone 4		Allowable Height: 200 FT +	
<input type="radio"/> Zone 5			

### The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1   
  Zone 2   
  Zone 3   
  Zone 4   
  Zone 5   
  Zone 6

Allowable Height: \_\_\_\_\_

## CONSISTENCY DETERMINATION

This proposed Project is:  Exempt from the ALUCP   
 Consistent   
 Consistent with Conditions   
 Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

See Attached Conditions

Airport Planner Signature: \_\_\_\_\_

# AIRPORT LAND USE COMPATIBILITY PLANNING

## CONSISTENCY DETERMINATION REPORT

CD No.: 2021-070  
PALU No.: \_\_\_\_\_

### PROJECT CONDITIONS

The applicant is required to meet the Real Estate Transaction Disclosure in accordance with California Codes (Business and Professions Code Section 11010-11024). New residential subdivisions within an Airport Influence Area are required to file an application for a Public Report consisting of a Notice of Intention (NOI) and a completed questionnaire with the Department of Real Estate and include the following language within the NOI:

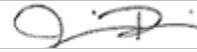
#### NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you.

**CITY OF ONTARIO**  
**LANDSCAPE PLANNING DIVISION**  
 303 East "B" Street, Ontario, CA 91764

**CONDITIONS OF APPROVAL**

**Sign Off**



06/10/2022

Jamie Richardson, Sr. Landscape Planner

Date

Reviewer's Name:

**Jamie Richardson, Sr. Landscape Planner**

Phone:

**(909) 395-2615**

D.A.B. File No.:

PDEV21-043

Case Planner:

Jeanie Aguilo

Project Name and Location:

Esperanza – 145 single-family Motorcourt Townhomes  
 TM20157 & TM20159

Applicant/Representative:

KB Home Coastal Inc. (909) 991-9369 [ctsutsui@kbhome.com](mailto:ctsutsui@kbhome.com)  
 36310 Inland Valley Drive  
 Wildomar, CA 92595



**Preliminary Plans (dated 07/5/22) meet the Standard Conditions for New Development and have been approved considering that the following conditions below be met upon submittal of the landscape construction documents.**



**Preliminary Plans (dated) have not been approved. Corrections noted below are required before Preliminary Landscape Plan approval.**

**A RESPONSE SHEET IS REQUIRED WITH RESUBMITTAL OR PLANS WILL BE RETURNED AS INCOMPLETE.**

Landscape construction plans with plan check number may be emailed to:

[landscapeplancheck@ontarioca.gov](mailto:landscapeplancheck@ontarioca.gov)

Civil/ Site Plans

1. Before permit issuance, stormwater infiltration devices located in landscape areas shall be reviewed and plans approved by the Landscape Planning Division. Any stormwater devices in parkway areas shall not displace street trees.
2. Show transformers set back 5' from paving all sides. Coordinate with landscape plans.
3. Show backflow devices set back 4' from paving all sides. Locate on level grade.
4. Show corner ramp and sidewalk per city standard drawing 1213 with max 10' or 13' of ramp and sidewalk behind corners.
5. Note for compaction to be no greater than 85% at landscape areas. All finished grades at 1 1/2" below finished surfaces. Slopes to be maximum 3:1.
6. Typical lot drainage shall include a catch basin with gravel sump below each before exiting the property if no other water quality infiltration is provided.
7. Add Note to Grading Plans: Landscape areas where compaction has occurred due to grading activities and where trees or stormwater infiltration areas are located shall be loosened by soil fracturing. For trees, a 12'x12'x18" deep area; for stormwater infiltration, the entire area shall be loosened. Add the following information on the plans: The backhoe method of soil fracturing shall be used to break up compaction. A 4" layer of Compost is spread over the soil surface before fracturing is begun. The backhoe shall dig into the soil lifting and then drop the soil immediately back into the hole. The bucket then moves to the adjacent soil and repeats. The Compost falls into the spaces between the soil chunks created. Fracturing shall leave the soil surface quite rough with large soil clods. These must be broken by additional tilling. Tilling in more Compost to the surface after fracturing per the soil report will help create an A horizon soil. Imported or reused Topsoil can be added on top of the fractured soil as needed for

grading. The Landscape Architect shall be present during this process and provide certification of the soil fracturing. For additional reference, see Urban Tree Foundation – Planting Soil Specifications.

8. Show a mountable curb at the roundabout with a 24” area of enhanced paving.

#### Landscape Plans

9. During plan check, coordinate with Ontario Municipal Utilities Company (OMUC) to submit irrigation plans for recycled water systems to [omucwaterquality@ontarioca.gov](mailto:omucwaterquality@ontarioca.gov). OMUC shall review and approve irrigation systems utilizing recycled water prior to final landscape approval. Submit an electronic approval letter or memo from OMUC with resubmittal of the landscape package.
10. Locate light standards, fire hydrants, water, and sewer lines to not conflict with required tree locations. Coordinate civil plans with landscape plans. Show utilities on landscape plans.
11. Show all utilities on the landscape plans. Coordinate so utilities are clear of tree locations.
12. Show corner ramp and sidewalk per city standard drawing 1213.
13. Overhead spray systems shall be designed for plant material less than the height of the spray head.
14. Show concrete mowstrips to identify property lines along open areas or to separate ownership or between maintenance areas.
15. Residential projects shall include a stub-out for future backyard irrigation systems with anti-siphon valves. All single-family and multi-family residential front yards shall have landscape and irrigation.
16. Landscape construction plans shall meet the requirements of the Landscape Development Guidelines. See <http://www.ontarioca.gov/landscape-planning/standards>
17. After a project’s entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council. Landscape construction plans with building permit number for plan check may be emailed to: [landscapeplancheck@ontarioca.gov](mailto:landscapeplancheck@ontarioca.gov)



# CITY OF ONTARIO MEMORANDUM



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**DATE:** July 22, 2022  
**TO:** Miguel Sotomayor, Engineering Department  
**CC:** Jeanie Aguilo, Planning Department  
**FROM:** Heather Young, Utilities Engineering Department  
Christy Stevens, Utilities Engineering Department  
**SUBJECT:** DPR#3 - Utilities Conditions of Approval (COA) (#8439)  
**PROJECT NO.:** PDEV21-043

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## **BRIEF DESCRIPTION:**

*A Development Plan to construct 145 single-family Motorcourt Townhomes generally located at the southeast corner of Mill Creek Avenue and Old Edison Road, within PA-1 (RD-8 / Motorcourt Townhomes) of the Esperanza Specific Plan (APN(s): 0218-252-07 and 0218-252-08). Related Files: PMTT18-002 (TTM 20157), PMTT18-004 (TTM 20159).*

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## **THIS SUBMITTAL IS COMPLETE AND RECOMMENDED FOR APPROVAL.**

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**CONDITIONS OF APPROVAL:** *The Ontario Municipal Utilities Company (OMUC) Utilities Engineering Division recommends this application for approval subject to the Conditions of Approval outlined below and compliance with the City's Design Development Guidelines, Specifications Design Criteria, and City Standards. The Applicant shall be responsible for the compliance with and the completion of all the following applicable Conditions of Approval prior to the following milestones and subject to compliance with City's Design Development Guidelines, Specifications Design Criteria, and City Standards:*

1. Standard Conditions of Approval: Project shall comply with the requirements set forth in the Amendment to the Standard Conditions of Approval for New Development Projects adopted by the City Council (Resolution No. 2017-027) on April 18, 2017, or as amended or superseded by Council Resolution; as well as project-specific conditions/requirements as outlined below.

***Prior to Issuance of Any Permits (Grading, Building, Demolition and Encroachment), unless other timeline milestones are specified by individual conditions below, the Applicant Shall:***

***General Conditions (Section 2.A, Other conditions): The Applicant shall comply with the following:***

2. Inherited Requirements and Conditions of Approval: This project is subject to all the requirements and Conditions of Approval set forth in the: Esperanza Specific Plan, PMTT18-002 (TTM 20157), PMTT18-004 (TTM 20159), and PDA19-002, as amended. Any conflict in Conditions of Approval and requirements, the Conditions of Approval below for this Project will supersede.
3. Note the following definitions and concepts for Public Utility Improvements and Private Utility Improvements: Public Improvements shall be designed per City Public Design Guidelines and City Standards and constructed through a City Encroachment Permit; and, Private Onsite Improvements shall be designed per Building Code and Plumbing Code and constructed through a City Building Permit.
  - a. Public Utility Improvements include the following: water main pipelines and sewer main pipelines; sewer laterals connecting to a Public Sewer Main up to the Cleanout (or Manhole) at PL/RoW; water services and connected appurtenances (Meters/Meter Boxes, Fire Hydrants, Airvacs, Blowoffs, etc.) connecting to a Public Water Main per City Standards; and, Fire Services connecting to a Public Water Main from the Main up to the DCDA. Public Water Improvements and Public Sewer Improvements are required to be designed and constructed through Public Improvement Plans with Plan View and Profile View per City Standards, Guidelines, and Requirements.
  - b. Private Utility Improvements include the following: onsite water plumbing lines after a Public Meter, or after the Fire DCDA and including the DCDA; Backflow Devices and other Cross-Connection



Prevention; onsite sewer upstream of the Public Sewer Lateral, including the Cleanout (or Manhole) at PL/RoW/PUE Edge; Monitoring Manholes and other Wastewater Pretreatment Facilities. Private Onsite Utility Improvements are required to be designed and constructed per Building and Plumbing Plans with: the Backflows, DCDAs, Cleanout (or Manhole) at PL/RoW/PUE Edge, and Monitoring Manholes being designed and constructed through a Precise Grading Plan; and, the other Pretreatment Devices (Grease Interceptor, Sand, Oil Interceptors, etc.) and the connections to the buildings and structures through a building Plumbing Plan.

4. **Public Utility Easements:** Any City of Ontario Public Utilities that will not be installed within the public Right-of-Way (RoW), shall be installed within a Public Utility Easement (PUE) and shall comply with the following requirements (as applicable, these requirements also apply to utilities in Public RoW and Public RoW/PUE combinations):
  - a. The PUE shall be a minimum of 20 feet wide, centered on the utility main contained within it with 10 feet of PUE on each side of each main;
  - b. The PUE shall be a minimum of 10 feet wide, centered on the utility services/laterals contained within it with 5 feet of PUE on each side of each service/lateral;
  - c. The PUE shall be a minimum of 5 feet behind and 5 feet on each side of a water meter box, and 5 feet on each side of water appurtenances (fire hydrants, blowoffs, airvacs, etc.);
  - d. For any above ground public water appurtenances (fire hydrants, blowoffs, airvacs, etc) that are behind non-raised curbs (no curb, 0" curb, roll curb, v-curb, or non-raised curb) or far enough back from curb or in a curve return, install bollard protect posts per applicable City Standard Drawings as required by Ontario Municipal Utilities Company field staff.
  - e. The PUE shall not contain any storm water improvements (infiltration, detention, retention, bioswale, etc.), landscaping with thick or intrusive root structures, or any permanent structures or overhangs of permanent structures;
  - f. The PUE surface shall be improved and shall be designed to allow vehicle access over and along the full length and width of the utility main by any City maintenance vehicle;
  - g. Within a PUE, all Department of Drinking Water (DDW) Water Main Separations per California Code of Regulations (CCR) §64572 shall be met between all Public City Utilities, Non-City Utilities, and Private Utilities. Additionally, at minimum there shall be a 4 feet horizontal separation between each utility as measured between the outside walls of the utility pipelines, or in the case of a Joint Utility Trench, between the outside wall of the Joint Utility Trench and the outside wall of the utility pipeline.

**Potable Water Conditions (Section 2.D): The Applicant shall comply with the following:**

5. **Potable Water Service:**
  - a. **Backflow Prevention:**
    - i. Each Meter connected to the Public Potable Water System that serves any use that is more than one (1) single family residential unit or any non-residential use requires a backflow prevention device.
  - b. **Domestic Service:** For domestic water uses:
    - i. Each Building shall have a its own domestic water service and meter connected to the Public Potable Water System.
  - c. **Fire Water Service:** For onsite private Fire System uses:
    - i. Where the domestic water service and meters connected to the Public Potable Water System that serves any use that is more than one (1) single family detached residential unit, or any non-residential use: if an onsite private fire system is required, then a separate Fire Service with Double Check Detector Assembly (DCDA) per City Standard #4208 connected to the Public Potable Water System is required, to serve the onsite private fire system. The onsite fire system and onsite domestic water plumbing system shall be separate.
      1. In certain residential cases where a separate fire service with DCDA connected to the Public Potable Water System is not required by above the requirement, and approved by the City Fire Department and the City Building Department, then the California Residential Code must be followed for the residential buildings; if the

California Residential Code is not followed for the residential buildings; then a separate fire service with DCDA is required.

2. The submitted Conceptual Utilities Systems Map dated 6/24/2022 proposed no separate fire services for the residential units. If separate fire services with DCDA's are required, a delta on the approved water improvement plans shall be submitted for review and approval.

***Recycled Water Conditions (Section 2.E): The Applicant shall comply with the following:***

6. City Ordinance 2689: This development shall comply with City Ordinance 2689 and make use of recycled water for all approved uses, including but not limited to landscape irrigation. Appropriately sized public and private mains shall be installed throughout the Project to meet this requirement, as approved by the City.
7. RW Program Requirements: In order to receive RW service, the applicant shall comply with each of the following:
  - a. Prior to Precise Grading Plan Approval and Building Permits Issuance:
    - i. Provide two hard copies and the digital files (in PDF and AutoCAD format) for both on-site and off-site utility plans, including landscape and irrigation improvements.
    - ii. Submit an **Engineering Report (ER)** to the City detailing recycled water usage for review and approval by the City and the State. The review process for the ER is typically 3 months. City will coordinate the State's approval of the ER.
    - iii. For details, contact Cynthia Heredia-Torres at (909) 395-2647 or [ctorres@ontarioca.gov](mailto:ctorres@ontarioca.gov).
  - b. Prior to Occupancy Release/Finalizing:
    - i. Pass start-up and cross-connection test successfully.
    - ii. Provide evidence demonstrating the training of on-site supervisor or designee as determined in the ER.



# CITY OF ONTARIO

## MEMORANDUM

**TO:** Jeanie Irene Aguilo, Associate Planner  
Planning Department

**FROM:** Paul Ehrman, Sr. Deputy Fire Chief/Fire Marshal  
Fire Department

**DATE:** December 20, 2021

**SUBJECT:** PDEV21-043 - A Development Plan to construct 145 single-family Motorcourt Townhomes generally located at the southeast corner of Mill Creek Avenue and Old Edison Road, within PA-1 (RD-8 / Motorcourt Townhomes) of the Esperanza Specific Plan. APNs: 0218-252-07 and 0218-252-08, Related Files: PMTT18-002 (TTM 20157), PMTT18-004 (TTM 20159).

- 
- The plan **does** adequately address Fire Department requirements at this time.
- Standard Conditions of Approval apply, as stated below.
- 

### **SITE AND BUILDING FEATURES:**

- A. 2019 CBC Type of Construction: Type VB
- B. Type of Roof Materials: Ordinary
- C. Ground Floor Area(s): Varies
- D. Number of Stories: 2
- E. Total Square Footage: Varies
- F. 2019 CBC Occupancy Classification(s): R2

## **CONDITIONS OF APPROVAL:**

### **1.0 GENERAL**

- ☒ 1.1 The following are the Ontario Fire Department (“Fire Department”) requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards (“Standards.”) It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at [www.ontarioca.gov/Fire/Prevention](http://www.ontarioca.gov/Fire/Prevention).
- ☒ 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

### **2.0 FIRE DEPARTMENT ACCESS**

- ☒ 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See Standard #B-004.
- ☒ 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25’) inside and forty-five feet (45’) outside turning radius per Standard #B-005.
- ☒ 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150’) in length shall have an approved turn-around per Standard #B-002.
- ☒ 2.4 Access drive aisles which cross property lines shall be provided with CC&Rs, access easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of building plan check.
- ☒ 2.5 "No Parking-Fire Lane" signs and /or red painted curbs with lettering are required to be installed in interior access roadways, in locations where vehicle parking would obstruct the minimum clear width requirement. Installation shall be per Standard #B-001.
- ☒ 2.6 Security gates or other barriers on fire access roadways shall be provided with a Knox brand key switch or padlock to allow Fire Department access. See Standards #B-003, B-004 and H-001.
- ☒ 2.7 Any time PRIOR to on-site combustible construction and/or storage, a minimum twenty-four (24) ft. wide circulating all weather access roads shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved by fire department and other emergency services.

### **3.0 WATER SUPPLY**

- ☒ 3.1 The required fire flow per Fire Department standards, based on the 2019 California Fire Code, Appendix B, is 2500 gallons per minute (g.p.m.) for 2 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure (not all unit sizes were provided).
- ☒ 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300') apart, per Engineering Department specifications.
- ☒ 3.4 The water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

### **4.0 FIRE PROTECTION SYSTEMS**

- ☒ 4.2 Underground fire mains which cross property lines shall be provided with CC & R, easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of fire department plan check. The shared use of private fire mains or fire pumps is allowable only between immediately adjacent properties and shall not cross any public street.
- ☒ 4.3 An automatic fire sprinkler system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 13. All new fire sprinkler systems, except those in single family dwellings, which contain twenty (20) sprinkler heads or more shall be monitored by an approved listed supervising station. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- ☒ 4.4 Wood frame buildings that are to be sprinkled shall have these systems in service (but not necessarily finalized) before the building is enclosed.

### **5.0 BUILDING CONSTRUCTION FEATURES**

- ☒ 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- ☒ 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.
- ☒ 5.3 Single station smoke alarms and carbon monoxide alarms are required to be installed per the California Building Code and the California Fire Code.

- ☒ 5.5 All residential chimneys shall be equipped with an approved spark arrester meeting the requirements of the California Building Code.



# CITY OF ONTARIO

## MEMORANDUM

**TO:** Jeanie Irene Aguilo, Associate Planner

**FROM:** Tony Galban, Police Officer

**DATE:** December 2, 2021

**SUBJECT:** PDEV21-043- A DEVELOPMENT PLAN TO CONSTRUCT 145 SINGLE-FAMILY MOTORCOURT TOWNHOMES GENERALLY LOCATED AT THE SOUTHEAST CORNER OF MILL CREEK AVENUE AND OLD EDISON ROAD. RELATED FILES: PMTT18-002 (TTM 20157), PMTT 18-004 (TTM 20159).

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The “Standard Conditions of Approval” contained in Resolution No. 2017-027 for “Ontario ranch Projects” apply. The applicant shall read and be thoroughly familiar with these conditions, including but not limited to, the requirements listed below.

- Required lighting for all walkways, paseos, driveways, doorways, parking areas, parks, park walkways, playgrounds, recreation areas and other areas used by the public shall be provided and operate on photosensor at the prescribed foot-candle levels. Photometrics shall be provided to the Police Department. Photometrics shall include the types of fixtures proposed and demonstrate that such fixtures meet the vandal-resistant requirement. Planned landscaping shall not obstruct lighting.
- The Applicant shall install illuminated address numbers, powered by photocell, on each individual unit and shall not be controlled by the building occupants.
- The Applicant shall comply with all construction site security requirements as stated in the Standard Conditions. This includes the provisions for perimeter lighting, site lighting, fencing and/or uniformed security.

The Applicant is invited to contact Officer Tony Galban at (909) 408-1672 with any questions or concerns regarding these conditions.



# CITY OF ONTARIO MEMORANDUM

## ENGINEERING DEPARTMENT CONDITIONS OF APPROVAL

(Engineering Services Division [Land Development Section and Environmental Section], Traffic & Transportation Division, Ontario Municipal Utilities Company and Information Technology & Management Services Department Conditions incorporated)

**PROJECT ENGINEER:** Miguel Sotomayor, P.E., Senior Associate Engineer *MS*  
(909) 395-2108


**PROJECT PLANNER:** Jeanie Aguilo, Associate Planner (909) 395-2418


**DAB MEETING DATE:** August 15, 2022

**PROJECT NAME/DESCRIPTION:** PDEV21-043 - A Development Plan to construct 145 single-family Motorcourt Townhomes generally located within PA-1 (RD-8 / Motorcourt Townhomes) of the Esperanza Specific Plan. APNs: 0218-252-07 and 0218-252-08, Related Files: PMTT18-002 (TTM 20157), PMTT18-004 (TTM 20159).

**LOCATION:** SEC of Mill Creek Avenue and Old Edison Road

**APPLICANT:** KB Home Coastal, Inc.

**REVIEWED BY:** *for*   
Raymond Lee, P.E.  
Assistant City Engineer 8/11/22  
Date

**APPROVED BY:** *for*   
Khoi Do, P.E.  
City Engineer 8/11/22  
Date

**THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE GENERAL STANDARD CONDITIONS OF APPROVAL ADOPTED BY THE CITY COUNCIL (RESOLUTION NO. 2017-027) AND THE PROJECT SPECIFIC CONDITIONS OF APPROVAL SPECIFIED IN HEREIN. ONLY APPLICABLE CONDITIONS OF APPROVAL ARE LISTED BELOW. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL APPLICABLE CONDITIONS OF APPROVAL PRIOR TO ISSUANCE OF PERMITS AND/OR OCCUPANCY CLEARANCE, AS SPECIFIED IN THIS REPORT. SEE ATTACHED EXHIBIT 'A' FOR PLAN CHECK SUBMITTAL REQUIREMENTS.**

1. All the required improvements for this tract shall be subject to completion of the required public improvements including public utilities beyond the tract limits as specified in Esperanza Specific Plan, the Development Agreement and the Conditions of Approval for TM-20157 (A-Map) and TM-20159 (B-Map).
2. The applicant/developer shall be responsible to design and construct the necessary pavement and striping transitions from existing roadway conditions to the widened roadway portions along Mill Creek Avenue beginning north of Bellegrave Avenue. Striping improvements shall include the removal existing interim signing and striping beyond the project frontage limits and the installation of ultimate signing and striping necessary to accommodate fully widened street improvements.



3. The applicant/developer shall be responsible to design and construct street knuckles per City Standard Drawing No. 1104.
4. Parking shall be restricted with signs along chokers per City Standard Drawing No. 1110.
5. Property frontage along Mill Creek Avenue shall be signed "No Stopping Anytime".
6. All landscaping, block walls, and other obstructions shall be compatible with the stopping sight distance requirements per City of Ontario Standard Drawing No. 1309.
7. The applicant/developer's engineer-of-record shall meet with City Engineering staff prior to designing and submitting for plan check the signing/stripping and street lighting design plans to define limits of improvements.
8. Public Utility Easements: Any City of Ontario Public Utilities that will not be installed within the public Right-of-Way (ROW), shall be installed within a Public Utility Easement (PUE) and shall comply with the following requirements (as applicable, these requirements also apply to utilities in Public ROW and Public ROW/PUE combinations):
  - a. The PUE shall be a minimum of 20 feet wide, centered on the utility main contained within it with 10 feet of PUE on each side of each main;
  - b. The PUE shall be a minimum of 10 feet wide, centered on the utility services/laterals contained within it with 5 feet of PUE on each side of each service/lateral;
  - c. The PUE shall be a minimum of 5 feet behind and 5 feet on each side of a water meter box, and 5 feet on each side of water appurtenances (fire hydrants, blowoffs, airvac, etc.);
  - d. For any above ground public water appurtenances (fire hydrants, blowoffs, airvac, etc) that are behind non-raised curbs (no curb, 0" curb, roll curb, v-curb, or non-raised curb) or far enough back from curb or in a curve return, install bollard protect posts per applicable City Standard Drawings as required by Ontario Municipal Utilities Company field staff.
  - e. The PUE shall not contain any storm water improvements (infiltration, detention, retention, bioswale, etc.), landscaping with thick or intrusive root structures, or any permanent structures or overhangs of permanent structures;
  - f. The PUE surface shall be improved and shall be designed to allow vehicle access over and along the full length and width of the utility main by any City maintenance vehicle;
  - g. Within a PUE, all Department of Drinking Water (DDW) Water Main Separations per California Code of Regulations (CCR) §64572 shall be met between all Public City Utilities, Non-City Utilities, and Private Utilities. Additionally, at minimum there shall be a 4 feet horizontal separation between each utility as measured between the outside walls of the utility pipelines, or in the case of a Joint Utility Trench, between the outside wall of the Joint Utility Trench and the outside wall of the utility pipeline.



# CITY OF ONTARIO MEMORANDUM



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**DATE:** April 27, 2022  
**TO:** Jeanie Irene Aguilo, Planning Department  
**FROM:** Blaine Ishii, Integrated Waste Department  
**SUBJECT:** DPR1– Integrated Waste Comments  
**PROJECT NO.:** PDEV21-043 – Mill Creek Ave./Old Edison Rd.  
**ATTACHMENTS:**

---

**BRIEF DESCRIPTION** *A Development Plan to construct 145 single-family Motorcourt Townhomes generally located at the southeast corner of Mill Creek Avenue and Old Edison Road*

## THIS SUBMITTAL IS COMPLETE.

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**CORRECTION ITEMS:** *In order to be considered for approval by the Integrated Waste Department the applicant shall address all the correction items below and resubmit the application for further review. Please note that all design shall meet the City's Design Development Guidelines, Specifications Design Criteria, and City Standards.*

***Integrated Waste Comments:***

N/A