

CITY OF ONTARIO PLANNING COMMISSION/ HISTORIC PRESERVATION MEETING AGENDA

November 27, 2018

Ontario City Hall
303 East "B" Street, Ontario, California 91764

6:30 PM

WELCOME to a meeting of the Ontario Planning/Historic Preservation Commission.

All documents for public review are on file in the Planning Department located at 303 E. B Street, Ontario, CA 91764.

- *Anyone wishing to speak during public comment or on a particular item should fill out a green slip and submit it to the Secretary.*
- *Comments will be limited to 5 minutes. Speakers will be alerted when their time is up. Speakers are then to return to their seats and no further comments will be permitted.*
- *In accordance with State Law, remarks during public comment are to be limited to subjects within the Commission's jurisdiction. Remarks on other agenda items will be limited to those items.*
- *Remarks from those seated or standing in the back of the chambers will not be permitted. All those wishing to speak including Commissioners and Staff need to be recognized by the Chair before speaking.*
- *The City of Ontario will gladly accommodate disabled persons wishing to communicate at a public meeting. Should you need any type of special equipment or assistance in order to communicate at a public meeting, please inform the Planning Department at (909) 395-2036, a minimum of 72 hours prior to the scheduled meeting.*
- *Please turn off all communication devices (phones and beepers) or put them on non-audible mode (vibrate) so as not to cause a disruption in the Commission proceedings.*

ROLL CALL

DeDiemar __ Delman __ Downs __ Gage __ Gregorek __ Reyes __ Willoughby __

PLEDGE OF ALLEGIANCE TO THE FLAG

ANNOUNCEMENTS

- 1) Agenda Items
- 2) Commissioner Items

PUBLIC COMMENTS

Citizens wishing to address the Planning/Historic Preservation Commission on any matter that is not on the agenda may do so at this time. Please state your name and address clearly for the record and limit your remarks to five minutes.

Please note that while the Planning/Historic Preservation Commission values your comments, the Commission cannot respond nor take action until such time as the matter may appear on the forthcoming agenda.

CONSENT CALENDAR ITEMS

All matters listed under CONSENT CALENDAR will be enacted by one summary motion in the order listed below. There will be no separate discussion on these items prior to the time the Commission votes on them, unless a member of the Commission or public requests a specific item be removed from the Consent Calendar for a separate vote. In that case, the balance of the items on the Consent Calendar will be voted on in summary motion and then those items removed for separate vote will be heard.

A-01. MINUTES APPROVAL

Planning/Historic Preservation Commission Minutes of October 23, 2018, approved as written.

A-02. ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW

FOR FILE NO. PDEV18-009: A Development Plan (File No. PDEV18-009) to construct 51 single-family dwellings on 9.26 acres of land located north of Chino Avenue and approximately 280 feet west of Archibald Avenue, within Neighborhood 4 (RD-5,000) of the Countryside Specific Plan. The environmental impacts of this project were previously reviewed in conjunction with the Countryside Specific Plan (PSP04-001) Environmental Impact Report (SCH# 2004071001) certified by the City Council on April 18, 2006. This project introduces no new significant environmental impacts, and all previously-adopted mitigation measures are a condition of project approval. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP). (APNs: 0218-111-54 and 0218-111-55) **submitted by KB Home.**

PUBLIC HEARING ITEMS

For each of the items listed under PUBLIC HEARING ITEMS, the public will be provided an opportunity to speak. After a staff report is provided, the chairperson will open the public hearing. At that time the applicant will be allowed five (5) minutes to make a presentation on the case. Members of the public will then be allowed five (5) minutes each to speak. The Planning Commission may ask the speakers questions relative to the case and the testimony provided. The question period will not count

against your time limit. After all persons have spoken, the applicant will be allowed three minutes to summarize or rebut any public testimony. The chairperson will then close the public hearing portion of the hearing and deliberate the matter.

PLANNING COMMISSION ITEMS

B. ENVIRONMENTAL ASSESSMENT, VARIANCE, AND DEVELOPMENT PLAN REVIEW FOR FILE NOS. PVAR18-004 AND PDEV18-001:

A Variance (File No. PVAR18-004) to: [1] reduce the parking setbacks along an arterial street from 20 feet to 16 feet; [2] reduce the drive aisle setbacks along an arterial street from 20 feet to 11 feet; and [3] deviate from the number of required parking spaces, from 47 to 41 spaces; in conjunction with a Development Plan (File No. PDEV18-001) to reconstruct a 4,950 square-foot McDonald’s drive-thru restaurant on 0.81 acres of land located at 1107 East Fourth Street, within the CN (Neighborhood Commercial) zoning district. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15302 (Class 2, Replacement or Reconstruction) of the CEQA Guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP). (APN: 1047-461-20) **submitted by McDonald’s USA, LLC.**

1. CEQA Determination

No action necessary – Exempt: CEQA Guidelines Section § 15302

2. File No. PVAR18-004 (Variance)

Motion to Approve/Deny

3. File No. PDEV18-001 (Development Plan)

Motion to Approve/Deny

C. ENVIRONMENTAL ASSESSMENT, DEVELOPMENT PLAN AND CONDITIONAL USE PERMIT REVIEW FOR FILE NOS. PDEV18-024 AND PCUP18-003:

A Development Plan (File No. PDEV18-024) to construct a 23,952 square foot office/industrial building in conjunction with a Conditional Use Permit (File No. PCUP18-003) to establish a contractor’s storage yard on 2.4 acres, located at 901 South Sultana Avenue, within the (IL) Light Industrial zoning district. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, In-Fill Development) of the CEQA Guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the ONT Airport Land Use Compatibility Plan (ALUCP); (APN: 1049-353-14) **submitted by Ferreira Construction, Co, Inc.**

1. CEQA Determination

No action necessary – Exempt: CEQA Guidelines Section § 15332

2. **File No. PCUP18-003** (Conditional Use Permit)

Motion to Approve/Deny

3. **File No PDEV18-024** (Development Plan)

Motion to Approve/Deny

D. **ENVIRONMENTAL ASSESSMENT, TENTATIVE PARCEL MAP AND DEVELOPMENT PLAN REVIEW FOR FILE NOS., PMTT18-006 AND PDEV18-014:**

A Tentative Parcel Map No. 19904 (**File No. PMTT18-006**) to subdivide approximately 85 acres of land into nine (9) parcels and six (6) letter lots, and a Development Plan (**File No. PDEV18-014**) to construct nine (9) industrial buildings totaling 1,685,420 square feet, for property located along the southwest corner of Merrill Avenue and Archibald Avenue within the Business Park (Planning Area 1) and Industrial (Planning Area 2) land use designations of the Colony Commerce Center East Specific Plan. The environmental impacts of this project were previously reviewed in conjunction with the Colony Commerce Center East Specific Plan (File No. PSP16-003) Environmental Impact Report (SCH# 2017031048) certified by City Council on May 1, 2018. This project introduces no new significant environmental impacts, and all previously-adopted mitigation measures are a condition of project approval. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with both policies and criteria of the Ontario International Airport Land Use Compatibility Plans (ALUCP). The project site is also located within the Airport Influence area of Chino Airport and is consistent with policies and criteria set forth within the 2011 California Airport Land Use Planning Handbook published by the California Department of Transportation, Division of Aeronautics. (APNs: 0218-311-02, 0218-311-03, 0218-311-08, 0218-311-10) **submitted by Colony Commerce Ontario East LP, a Delaware Limited Partnership.** This item was continued from the October 23, 2018 Planning Commission meeting.

1. **CEQA Determination**

No action necessary – use of previous EIR

2. **File Nos. PMTT18-006** (Tentative Parcel Map) & **PDEV18-014** (Development Plan)

Motion to Approve/Deny continuance to the December 17, 2018 meeting

E. **ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT AGREEMENT REVIEW FOR FILE NO. PDA18-002:**

A Development Agreement (**File No. PDA18-002**) between the City of Ontario and Colony Commerce Ontario East LP, a Delaware Limited Partnership, to establish the terms and conditions for the development of a Tentative Parcel Map No. 19904 (**File No. PMTT18-006**), for property located along the southwest corner of Merrill Avenue and Archibald Avenue within the Business Park (Planning Area 1) and Industrial (Planning Area 2) land use designations of the Colony Commerce Center East Specific Plan. The environmental impacts of this project were previously reviewed in conjunction with the Colony Commerce Center East Specific Plan

(File No. PSP16-003) Environmental Impact Report (SCH# 2017031048) certified by City Council on May 1, 2018. This application introduces no new significant environmental impacts, and all previously-adopted mitigation measures are a condition of project approval. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with both policies and criteria of the Ontario International Airport Land Use Compatibility Plans (ALUCP). The project site is also located within the Airport Influence area of Chino Airport and is consistent with policies and criteria set forth within the 2011 California Airport Land Use Planning Handbook published by the California Department of Transportation, Division of Aeronautics. (APNs: 0218-311-02, 0218-311-03, 0218-311-08, 0218-311-10) **submitted by Colony Commerce Ontario East LP, a Delaware Limited Partnership.** This item was continued from the October 23, 2018 Planning Commission meeting. **City Council Action is required.**

1. CEQA Determination

No action necessary – use of previous EIR

2. File No. PDA18-002 (Development Agreement)

Motion to Approve/Deny continuance to the December 17, 2018 meeting

MATTERS FROM THE PLANNING/HISTORIC PRESERVATION COMMISSION

- 1) Old Business
 - Reports From Subcommittees
 - Historic Preservation (Standing): Did not meet this month
- 2) New Business
- 3) Nominations for Special Recognition

DIRECTOR'S REPORT

- 1) Monthly Activity Report

If you wish to appeal any decision of the Planning/Historic Preservation Commission, you must do so within ten (10) days of the Commission action. Please contact the Planning Department for information regarding the appeal process.

If you challenge any action of the Planning/Historic Preservation Commission in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning/Historic Preservation Commission at, or prior to, the public hearing.



I, Gwen Berendsen, Administrative Assistant, of the City of Ontario, or my designee, hereby certify that a true, accurate copy of the foregoing agenda was posted on **November 21, 2018**, at least 72 hours prior to the meeting per Government Code Section 54954.2 at 303 East “B” Street, Ontario.

Gwen Berendsen, Secretary Pro Tempore

Cathy Wahlstrom, Planning Director
Planning/Historic Preservation
Commission Secretary

**CITY OF ONTARIO PLANNING COMMISSION/
HISTORIC PRESERVATION MEETING**

MINUTES

October 23, 2018

CONTENTS	PAGE
PLEDGE OF ALLEGIANCE.....	2
ANNOUNCEMENTS.....	2
PUBLIC COMMENTS.....	2
CONSENT CALENDAR	
A-01. Minutes of September 25, 2018.....	2
A-02. File No. PSGN18-012	3
PUBLIC HEARINGS	
B. File No. PHP18-027.....	4
C. File No. PCUP15-014.....	5
D. File Nos. PMTT18-006, PDEV18-014 and PDA18-002	5
E. File Nos. PGPA18-005 and PZC18-002	6
F. File No. PGPA18-006	7
G. File Nos. PDCA18-004	8
MATTERS FROM THE PLANNING COMMISSION.....	9
DIRECTOR’S REPORT.....	10
ADJOURNMENT	10

**CITY OF ONTARIO PLANNING COMMISSION/
HISTORIC PRESERVATION MEETING**

MINUTES

October 23, 2018

REGULAR MEETING: City Hall, 303 East B Street
Called to order by Chairman Delman at 6:30 PM

COMMISSIONERS

Present: Chairman Delman, Vice-Chairman Willoughby, DeDiemar,
Downs, Gregorek, and Reyes

Absent: Gage

OTHERS PRESENT: Planning Director Wahlstrom, Assistant Planning Director
Zeledon, City Attorney Duran, Principal Planner Mercier, Senior
Planner Mejia, Associate Planner Burden, Assistant Planner
Antuna, Assistant Planner Vaughn, Assistant Building Official
Rico, Assistant City Engineer Do, and Planning Secretary
Berendsen

PLEDGE OF ALLEGIANCE TO THE FLAG

The Pledge of Allegiance was led by Commissioner Willoughby.

ANNOUNCEMENTS

Ms. Wahlstrom stated there are a few minor resolution revisions for Item B and Item G and also an updated monthly report, before them.

PUBLIC COMMENTS

No one responded from the audience.

CONSENT CALENDAR ITEMS

Mr. Reyes requested Agenda Item A-02 be pulled for separate discussion.

A-01. MINUTES APPROVAL

Planning/Historic Preservation Commission Minutes of September 25, 2018, approved as written.

*It was moved by Willoughby, seconded by Gregorek, to approve the Planning
Commission Minutes of September 25, 2018, as written. The motion was*

carried 6 to 0.

PUBLIC HEARING ITEMS

- A-02. ENVIRONMENTAL ASSESSMENT AND SIGN PLAN REVIEW FOR FILE NO. PSGN18-112:** A Sign Plan to construct a Freeway Identification Sign for the Meredith International Centre Specific Plan, generally located at the southerly terminus of QVC Way, within the Urban Commercial land use district of the Meredith International Centre Specific Plan. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15311 (Class 11, Accessory Structures) of the CEQA Guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP); (APNs: portion 0110-321-72 and portion 0110-321-79) **submitted by Craig Development Corporation.**

Senior Planner, Chuck Mercier, presented the staff report. He described the location and the design of the sign. He stated that staff is recommending the Planning Commission approve File No. PSGN18-112, pursuant to the facts and reasons contained in the staff report and attached resolution, and subject to the conditions of approval.

Mr. Reyes wanted clarification as to what would be illuminated on the sign.

Mr. Mercier stated the “M” and the letters identifying the City of Ontario would be illuminated.

Mr. Reyes wanted clarification on what would be proposed on the art side of the sign.

Mr. Mercier stated it has been discussed that it would have a historical aspect, but that nothing specific has been looked at.

Mr. Reyes wanted to know if it could be brought to the commission for review, or maybe the Historic Preservation Subcommittee.

Mr. Mercier stated that it could be, if that was the desire of the commission.

Mr. Willoughby wanted clarification that the north facing panel that shows the City of Ontario, would be the panel that displays the designed artwork and that no advertisement will be there. He stated he would be good with staff approval.

Mr. Mercier stated yes that is the correct location for the artwork.

Mr. Willoughby wanted clarification if the panels along the bottom will be illuminated.

Mr. Mercier stated they will be.

Mr. Willoughby wanted clarification if there would be one sign per panel.

Mr. Mercier stated yes, that there would be a total of six businesses advertised.

PUBLIC TESTIMONY

No one responded.

As there was no one wishing to speak, Chairman Delman closed the public testimony

Mr. Reyes stated he thinks historic preservation should have a weigh-in on the artwork. He stated he likes the sign in general and knows the importance of Meredith in Ontario. He stated he would rather see something other than an M.

Mr. Willoughby stated that this is not a historic sign, so the Historic Preservation Subcommittee would not be looking at it. He stated he is comfortable with staff reviewing the artwork and thinks the sign will fit in, once everything around it is in place.

Ms. Wahlstrom stated that the artwork could be presented to the commissioners at briefing.

Mr. Gregorek stated he would like to look at something at the briefing.

Mr. Reyes agreed with Mr. Gregorek that a quick view at briefing would be great.

Planning Commissioners agreed that bringing the artwork before them at briefing would be sufficient.

PLANNING COMMISSION ACTION

It was moved by Willoughby, seconded by Downs, to adopt a resolution to approve the Sign Plan, File No., PSGN18-112, subject to conditions of approval. Roll call vote: AYES, DeDiemar, Delman, Downs, Gregorek, Reyes, and Willoughby; NOES, none; RECUSE, none; ABSENT, Gage. The motion was carried 6 to 0.

- B. MILLS ACT CONTRACT REVIEW FOR FILE NO. PHP18-027:** A Mills Act Contract for a 1,618 square foot Prairie style residential building, a Contributor within the El Morado Court Historic District, located at 122 East El Morado Court, within the LDR5 (Low Density Residential-2.1 to 5.0 DU/Acre) Zoning District. The Contract is not considered a project pursuant to Section 21065 of the CEQA Guidelines. (APN: 1048-242-02); **submitted by Tara Jessup. City Council action is required.**

Assistant Planner Antuna, presented the staff report. She explained Mills Act Contracts and the Condition of Approval for this property regarding the landscaping and driveway. She reviewed the improvements and the tax reduction and city revenue reduction. She stated that staff is recommending the Planning Commission recommend approval of File No. PHP18-027, pursuant to the facts and reasons contained in the staff report and attached resolution, and subject to the conditions of approval.

No one responded.

PUBLIC TESTIMONY

No one responded.

As there was no one wishing to speak, Chairman Delman closed the public testimony

Mr. Delman stated he likes the house and the project.

Mr. Gregorek stated it is always good that this program keeps interest in the historical properties within the city.

PLANNING / HISTORIC PRESERVATION COMMISSION ACTION

Acting as the Historic Preservation Commission, it was moved by Gregorek, seconded by DeDiemar, to recommend adoption of a resolution to approve the Mills Act Contract, File No., PHP18-027, subject to conditions of approval. Roll call vote: AYES, DeDiemar, Delman, Downs, Gregorek, Reyes, and Willoughby; NOES, none; RECUSE, none; ABSENT, Gage. The motion was carried 6 to 0.

- C. **MILLS ACT CONTRACT REVIEW FOR FILE NO. PHP18-031:** A Mills Act Contract for a historic olive processing plant and associated buildings on 1.66 acres of land, a Contributor within the College Park Historic District, located at 315 East Fourth Street, within the LDR5 (Low Density Residential-2.1 to 5.0 DU/Acre) Zoning District. The Contract is not considered a project pursuant to Section 21065 of the CEQA Guidelines. (APN: 1047-543-31); **submitted by Clifford C. Graber. City Council action is required.**

Ms. Wahlstrom stated this application has been withdrawn and no action is needed.

- D. **ENVIRONMENTAL ASSESSMENT, DEVELOPMENT AGREEMENT, TENTATIVE PARCEL MAP & DEVELOPMENT PLAN REVIEW FOR FILE NOS. PDA18-002, PMTT18-006 & PDEV18-014:** A Development Agreement (**File No. PDA18-002**) between the City of Ontario and Colony Commerce Ontario East LP, a Delaware limited partnership, to establish the terms and conditions for the development of a Tentative Parcel Map No. 19904 (**File No. PMTT18-006**) which proposes to subdivide approximately 85 acres of land into nine (9) parcels and two (2) letter lots, and a Development Plan (**File No. PDEV18-014**) to construct nine (9) industrial buildings totaling 1,685,420 square feet, for property located along the southwest corner of Merrill Avenue and Archibald Avenue within the Business Park and Industrial land use designations of the Colony Commerce Center East Specific Plan. The environmental impacts of this project were previously analyzed in conjunction with the Colony Commerce Center East Specific Plan (File No. PSP16-003) Environmental Impact Report (SCH# 2017031048) certified by City Council on May 1, 2018. This project introduces no new significant environmental impacts, and all previously-adopted mitigation measures shall be a condition of project approval. The proposed project is located within the Airport Influence Area of Ontario International Airport and Chino Airport, and was evaluated and found to be consistent with both policies and criteria of the Ontario International Airport and Chino Airport Land Use Compatibility Plans (ALUCP); (APNs: 0218-311-02, 0218-311-03, 0218-311-08, 0218-311-10) **submitted by CapRock Partners. Development Agreement requires City Council action.**

Ms. Wahlstrom stated this item is being recommended to be continued to the November 27, 2018 Planning Commission meeting.

PUBLIC TESTIMONY

No one responded.

There was no Planning Commission deliberation.

PLANNING COMMISSION ACTION

It was moved by Gregorek, seconded by Willoughby, to continue the Tentative Parcel Map, File No., PMTT18-006, the Development Plan, File No., PDEV18-014 and the Development Agreement, File No., PDA18-002 to the November 27, 2018 Planning Commission meeting. The motion was carried 6 to 0.

E. ENVIRONMENTAL ASSESSMENT, GENERAL PLAN AMENDMENT REVIEW FOR FILE NO. PGPA18-005, AND ZONE CHANGE REVIEW FOR FILE NO. PZC-18-002:

A General Plan (Policy Plan) Amendment (PGPA18-005) and Zone Change (File No. PZC-18-002) for 2.4 acres of land to [1] modify The Ontario Plan (TOP) Exhibit LU-01- Land Use Plan to establish a land use designation of Industrial (0.55 FAR); [2] modify the Future Buildout Table (Exhibit LU-03) to be consistent with the land use designation changes; and [3] establish a zoning designation of IG (General Industrial) to bring the property zoning into consistency with the Policy Plan. The project site is located within North Loop Circle, generally west of Etiwanda Avenue and south of the Interstate 10 Freeway, and currently does not have a land use designation, zoning designation, or APN assigned to the parcel. Staff is recommending the adoption of an Addendum to The Ontario Plan (File No. PGPA06-001) Environmental Impact Report (SCH# 2008101140) certified by City Council on January 27, 2010. This project introduces no new significant environmental impacts, and all previously-adopted mitigation measures are a condition of project approval. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP); (APNs: N/A) **City-initiated. City Council action is required.**

Assistant Planner Vaughn, presented the staff report. She described the location, history and surrounding area. She stated that staff is recommending the Planning Commission recommend approval the Addendum and File Nos. PGPA18-005 and PZC18-002, pursuant to the facts and reasons contained in the staff report and attached resolutions, and subject to the conditions of approval.

No one responded.

PUBLIC TESTIMONY

No one responded.

As there was no one wishing to speak, Chairman Delman closed the public testimony

There was no Planning Commission deliberation.

PLANNING COMMISSION ACTION

It was moved by Willoughby, seconded by Downs, to recommend adoption of a resolution to approve the Addendum. Roll call vote: AYES, DeDiemar, Delman, Downs, Gregorek, Reyes, and Willoughby; NOES, none; RECUSE, none; ABSENT, Gage. The motion was carried 6 to 0.

It was moved by Willoughby, seconded by Downs, to recommend adoption of a resolution to approve the General Plan Amendment, File No., PGPA18-005, subject to conditions of approval. Roll call vote: AYES, DeDiemar, Delman, Downs, Gregorek, Reyes, and Willoughby; NOES, none; RECUSE, none; ABSENT, Gage. The motion was carried 6 to 0.

It was moved by Willoughby, seconded by Downs, to recommend adoption of a resolution to approve the Zone Change, File No., PZC18-002, subject to conditions of approval. Roll call vote: AYES, DeDiemar, Delman, Downs, Gregorek, Reyes, and Willoughby; NOES, none; RECUSE, none; ABSENT, Gage. The motion was carried 6 to 0.

F. ENVIRONMENTAL ASSESSMENT AND GENERAL PLAN AMENDMENT REVIEW FOR FILE NO. PGPA18-006:

A General Plan Amendment to add text to The Ontario Plan (TOP) Exhibit LU-01 - Land Use Plan regarding parkland in the Ontario Ranch area. The environmental impacts of this project were previously analyzed in conjunction with The Ontario Plan (File No. PGPA06-001) Environmental Impact Report (SCH# 2008101140) certified by City Council on January 27, 2010. This project introduces no new significant environmental impacts, and all previously-adopted mitigation measures are a condition of project approval. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP). The project site is also located within the Airport Influence area of Chino Airport and is consistent with policies and criteria set forth within the 2011 California Airport Land Use Planning Handbook published by the California Department of Transportation, Division of Aeronautics. (APNs: N/A) **City initiated. City Council action is required.**

Associate Planner Burden, presented the staff report. She described the area that would be effected by the amendment and wording to be added. She stated that staff is recommending the Planning Commission recommend approval of File No. PGPA18-006, pursuant to the facts and reasons contained in the staff report and attached resolution, and subject to the conditions of approval.

No one responded.

PUBLIC TESTIMONY

No one responded.

As there was no one wishing to speak, Chairman Delman closed the public testimony

There was no Planning Commission deliberation.

PLANNING COMMISSION ACTION

It was moved by DeDiemar, seconded by Downs, to recommend adoption of a resolution to approve the General Plan Amendment, File No., PGPA18-006, subject to conditions of approval. Roll call vote: AYES, DeDiemar, Delman, Downs, Gregorek, Reyes, and Willoughby; NOES, none; RECUSE, none; ABSENT, Gage. The motion was carried 6 to 0.

- G. ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT CODE AMENDMENT REVIEW FOR FILE NO. PDCA18-004:** A Development Code Amendment to increase the allowable building/structure height from 55 feet to 80 feet within the IH (Heavy Industrial) zoning district. Staff is recommending the adoption of an Addendum to The Ontario Plan (File No. PGPA06-001) Environmental Impact Report (SCH# 2008101140), certified by the City of Ontario City Council on January 27, 2010. This project introduces no new significant environmental impacts, and all previously-adopted mitigation measures are a condition of project approval. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP). **City Initiated. City Council action is required. (Continued from the September 25, 2018 meeting)**

Senior Planner Mejia, presented the staff report. She described the location and the surrounding area and the area that would be effected by the proposed changes. She described the history of the height in the area. She stated that staff is recommending the Planning Commission recommend approval of File No. PDCA18-004, pursuant to the facts and reasons contained in the staff report and attached resolution, and subject to the conditions of approval.

Mr. Willoughby wanted clarification regarding new buildings coming in and are there any in the area that are that height

Ms. Mejia stated yes there are new structures that are being built at that height.

Mr. Willoughby wanted clarification if the height met the FAA regulations for the area.

Ms. Mejia stated yes it does.

PUBLIC TESTIMONY

No one responded.

As there was no one wishing to speak, Chairman Delman closed the public testimony

There was no Planning Commission deliberation.

PLANNING COMMISSION ACTION

It was moved by Downs, seconded by Gregorek, to recommend adoption of a resolution to approve the Addendum, Roll call vote: AYES, DeDietmar, Delman, Downs, Gregorek, Reyes, and Willoughby; NOES, none; RECUSE, none; ABSENT, Gage. The motion was carried 6 to 0.

It was moved by Reyes, seconded by Willoughby, to recommend adoption of a resolution to approve the Development Code Amendment, File No., PDCA18-004, subject to conditions of approval. Roll call vote: AYES, DeDietmar, Delman, Downs, Gregorek, Reyes, and Willoughby; NOES, none; RECUSE, none; ABSENT, Gage. The motion was carried 6 to 0.

MATTERS FROM THE PLANNING COMMISSION

Old Business Reports From Subcommittees

Historic Preservation (Standing): This subcommittee met on October 11, 2018

- Reviewed Mills Act Contract
- Discussed historic tree replacements
- Made Tier Determination

Development Code Review (Ad-hoc): This subcommittee did not meet.

Zoning General Plan Consistency (Ad-hoc): This subcommittee did not meet.

New Business

Mr. Gregorek asked staff regarding the front yard landscaping for the DR Horton tract on Riverside Drive. He stated it doesn't look as nice as some of the other areas in Ontario Ranch and that the residents don't seem to be taking care of it. He wanted clarification if this is in the conditions of approval and who is required to make sure they are maintained.

Ms. Wahlstrom stated the landscape plans are reviewed and there are a lot of new requirements regarding drought tolerant plants, so it may not look as lush as other areas in Ontario Ranch.

Mr. Zeledon stated that staff are making regular site visits and meeting with the developers regarding this. He stated the HOA is required to make sure the landscape is maintained and that the yards do have less grass, because of drought tolerant requirements and small front lot areas. He stated that they are losing some trees because of the placement of the utility boxes and that is being worked on with OMUC.

Mr. Willoughby asked regarding the parking lot at Haven and Jurupa.

Mr. Zeledon stated UPS is going to be using it for employee parking, as they have added 1500 more employees.

Mr. Willoughby wanted clarification if it was supposed to be used without it being complete and that there is portable lighting.

Mr. Zeledon stated he will check on it, as it should be close to completion.

Mr. Willoughby asked about all the dirt being moved at Whispering Lakes.

Mr. Zeledon stated that it was being used to fill in old pit that has been there for years.

NOMINATIONS FOR SPECIAL RECOGNITION

None at this time.

DIRECTOR'S REPORT

Ms. Wahlstrom stated the revised Monthly Activity Report is in their packets.

ADJOURNMENT

Willoughby motioned to adjourn, seconded by Gregorek. The meeting was adjourned at 7:38 PM.

Secretary Pro Tempore

Chairman, Planning Commission



**PLANNING COMMISSION
STAFF REPORT**
November 27, 2018

SUBJECT: A Development Plan (**File No. PDEV18-009**) to construct 52 single-family dwellings on 9.26 acres of land located north of Chino Avenue and approximately 280 feet west of Archibald Avenue, within Neighborhood 4 (RD-5,000) of the Countryside Specific Plan. (APNs: 0218-111-54 and 0218-111-55); **submitted by KB Home Southern California.**

PROPERTY OWNER: KB Home Southern California

RECOMMENDED ACTION: That the Planning Commission approve File No. PDEV18-009, pursuant to the facts and reasons contained in the staff report and attached resolution, and subject to the conditions of approval contained in the attached departmental reports.

PROJECT SETTING: The project site is comprised of 9.26 acres of land located north of Chino Avenue and approximately 280 feet west of Archibald Avenue, within Neighborhood 4 (RD-5000) of the Countryside Specific Plan, and is depicted in Figure 1: Project Location, below. The project site slopes gently from northeast to southwest and is predominantly rough-graded. The property to the north of the project site is located within Neighborhood 2 (RD-6,000) of the Countryside Specific Plan, and is developed with an agricultural use. The property to the south of the project site is located within Neighborhood 5 (Z-Lot) and Neighborhood 7 (RD-Alley Loaded) of the Countryside Specific Plan, and is primarily vacant, with a single-family residential unit. The property to the east of the project site is located within Neighborhood 4 (RD-5,000), and is developed with agricultural uses. The property to the west of the project site is located within Neighborhood 3 (RD-5,000), and is developed with a single-family residence.

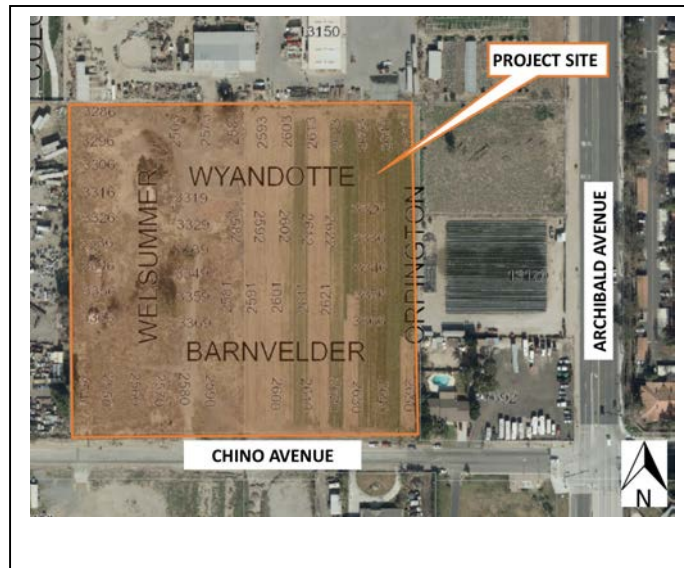


Figure 1: Project Location

PROJECT ANALYSIS:

[1] Background — The Countryside Specific Plan (178 acres)

Case Planner:	Alexis Vaughn
Planning Director Approval:	
Submittal Date:	03/06/18

Hearing Body	Date	Decision	Action
DAB	11/19/18	Approve	Recommend
PC	11/27/18		Final
CC			

and the Environmental Impact Report (EIR) were approved by City Council on April 18, 2006. The Specific Plan established the land use designations, development standards, and design guidelines for Countryside, which includes the potential development of 819 single-family, detached dwelling units, including conventional, cluster court, Z-lot, and alley-loaded product styles.

On November 18, 2013, the Planning Commission approved Tentative Tract Map 18810 (PMTT13-003), which subdivided 9.43 acre project site into 52 single-family lots (RD-5,000) and 2 lettered lots for the landscaped neighborhood edge along Chino Avenue. The lots range in size from 5,000 square feet to 6,400 square feet, with an average lot size of 5,500 square feet.

On March 6, 2018, the Applicant submitted a Development Plan application for the construction of 52 single-family dwelling units.

On November 19, 2018, the Development Advisory Board reviewed and recommended that the Planning Commission approve the project.

[2] Site Design/Building Layout — The project proposes the development of 52 single-family conventional homes within Neighborhood 4 (RD 5,000) of the Countryside Specific Plan (see **Exhibit B – Site Plan and Conceptual Landscape Plan**). The homes are all oriented toward the street (architectural forward). A one-story and two two-story floor plans are proposed, each with three elevations per plan. The three plans include the following:

- Plan 1: 1,861 square feet, 3 bedrooms, den, and 2 bathrooms
- Plan 2: 2,397 square feet, 4 bedrooms, loft, and 3 bathrooms
- Plan 3: 2,543 square feet, 4 bedrooms, loft, and 3.5 bathrooms

All plans incorporate various design features, such as single- and second-story massing, varied entries, front porches, laundry facilities, and a great room. All homes will have a two-car garage. Varied projections and rooflines are proposed to help minimize the visual impacts of the garages.

[3] Site Access/Circulation — The tract will have direct access from Chino Avenue to the south, and will provide local street connections to Neighborhood 2 to the north, Neighborhood 3 to the west, and the east portion of Neighborhood 4. The tract map is consistent with TOP Policy CD2-2 that promotes the importance of neighborhood connectivity through local street patterns, paseos, and neighborhood edge multi-purpose trails as a way to unify neighborhoods. The developer will construct the interior neighborhood streets of South Welsummer Avenue, East Wyandotte Court, South Orpington Avenue, and East Barnvelder Court and improvements to the tract's frontage along Chino Avenue.

[4] Parking — Each home will be provided with a two-car garage and two-car driveway, for a total of 104 enclosed parking spaces and 104 driveway spaces. On-street parking will also be available along the neighborhood streets (approximately 59 parking spaces). Overall, approximately 5.1 parking spaces per unit will be provided on the project site.

[5] Architecture – The proposed architectural styles for the tract include Spanish Colonial, California Bungalow, and Farmhouse. The styles complement one another through the overall scale, massing, proportions, and details. The proposed home designs are consistent with the design guidelines of the Specific Plan.

The three architectural styles proposed will include the following (See ***Exhibit C: Exterior Elevations*** for all plans proposed):

- Spanish Colonial: Low- and shallow-pitched “S” tile roof, stucco exterior, arched entry openings, square windows with wood shutters or stucco trim, decorative tile below gable ends, and second-story projections.
- California Bungalow: Low-pitched concrete tile hipped roofs with intersecting gables, decorative gable end siding with outlookers and kneebracing details, horizontal siding, stone veneer, and stucco trim.
- Farmhouse: High-pitched concrete tile hipped and gable rooflines, vertical board and batten siding, decorative outlookers and corbels, and stucco trim.

[6] Landscaping/Paseos – The Development Plan features sidewalks separated by landscape parkways along the interior streets, which provides visual interest and promotes pedestrian mobility. All homes will be provided with front lawn landscaping (lawn, shrubs, and trees) and an automatic irrigation system to be installed by the developer. The homeowner will be responsible for front, side, and rear landscaping improvements and maintenance, and for side and rear yard landscaping improvements, and the homeowner’s association will be responsible for the maintenance of landscaping and irrigation within all common areas and parkways along local streets. Lots A and B, along Chino Avenue, will form a landscaped neighborhood edge, which will include a 7-foot landscaped parkway, a 5-foot sidewalk, an 8-foot multi-purpose trail and a 10-foot landscaped area. The multi-purpose trail will provide connectivity to the regional trail system along the Cucamonga Creek Channel to the west of the neighborhood.

Decorative 6’ split-face walls with pilasters are proposed for all public-facing front, side, and rear walls, and the interior property line privacy fencing will be 6’ high colored masonry block material to match.

The Development Plan does not propose the construction of a neighborhood park. TOP Policy PR1-1 requires new development to provide a minimum of 2 acres of private park

per 1,000 residents. The Countryside Specific Plan envisioned a larger, central pocket park as opposed to a series of smaller pocket parks. As a result, the project is not providing a private park. To satisfy the park requirement, an in-lieu park development impact fee was included with the Development Agreement (File No. PDA13-004), to go towards the construction of a 4.7-acre pocket park within Neighborhoods 1 and 2 of the Specific Plan. In addition, the project will be required to join the master HOA for the Specific Plan to allow for park use and provide for maintenance of the neighborhood park.

The residents will have access to 5.61 overall acres of park/paseo space to be developed throughout the Specific Plan (see **Exhibit D: Local Parks/Paseo Network**). Two public parks will be improved as active recreational areas with open play areas, picnic tables, and informal gathering areas.

The Countryside Specific Plan has also established a paseo network that provides access to the neighborhood park and all neighborhoods within the Specific Plan. The paseo system begins at Riverside Drive within Planning Area 1 and travels south along the eastern parkway of Colonial Avenue, crossing Chino Avenue into Planning Area 2. The project site will have access to the neighborhood park by means of the street network and paseo along the eastern parkway edge of Colonial Avenue. In addition, the project will have access to the multi-purpose trail along the north side of Chino Avenue that will provide access to the regional trail system along the Cucamonga Creek Channel. Additionally, the future residents will have access to the existing Westwind Park, which is located to the north of the community across Riverside Drive

[7] Utilities/Drainage/Easements – The City has allowed for two options to accommodate stormwater drainage from the active agricultural property to the north of the project site. Both options are intended to be temporary solutions until future development occurs and a permanent drainage facility is installed:

- The applicant shall install a natural v-ditch drain along the northern side of the perimeter tract wall along lots 22-31; or,
- The Applicant shall install a cross-lot drainage within the rear yards for lots 22-31. The City has conditioned that a temporary easement be recorded, as the HOA will be required to maintain these drains, and affected lots shall have both additional disclosures and a higher HOA fee to accommodate this feature.

Additionally, the Applicant is currently in the process to legally acquire an inactive well site, located within lot 13. In August of 2018, the City Manager's office approved a recommendation by the City Attorney for the acquisition and condemnation of the abandoned well site. Since then, the Applicant has been working diligently with the City Attorney to complete the condemnation and acquisition process. However, due to the lengthy legal process, the Applicant has requested to move forward with the entitlement

and plan check processes in the interim. The City has conditioned that no Building Permits for the production units shall be issued until this process has been completed.

COMPLIANCE WITH THE ONTARIO PLAN: The proposed project is consistent with the principles, goals and policies contained within the Vision, Governance, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan (TOP). More specifically, the goals and policies of TOP that are furthered by the proposed project are as follows:

[1] City Council Goals.

- Operate in a Businesslike Manner
- Invest in the City's Infrastructure (Water, Streets, Sewers, Parks, Storm Drains and Public Facilities)
- Ensure the Development of a Well Planned, Balanced, and Self-Sustaining Community in Ontario Ranch

[2] Vision.

Distinctive Development:

- Commercial and Residential Development
 - Development quality that is broadly recognized as distinctive and not exclusively tied to the general suburban character typical of much of Southern California.

[3] Governance.

Decision Making:

- Goal G1: Sustained decision-making that consistently moves Ontario towards its Vision by using The Ontario Plan as a framework for assessing choices.
 - G1-2 Long-term Benefit. We require decisions to demonstrate and document how they add value to the community and support the Ontario Vision

[4] Policy Plan (General Plan)

Land Use Element:

- Goal LU1: A community that has a spectrum of housing types and price ranges that match the jobs in the City and that make it possible for people to live and work in Ontario and maintain a quality of life.

➤ LU1-1 Strategic Growth. We concentrate growth in strategic locations that help create place and identity, maximize available and planned infrastructure, and foster the development of transit.

➤ LU1-6 Complete Community: We incorporate a variety of land uses and building types in our land use planning efforts that result in a complete community where residents at all stages of life, employers, workers and visitors have a wide spectrum of choices of where they can live, work, shop and recreate within Ontario. (Refer to Complete Community Section of Community Economics Element).

- Goal LU2: Compatibility between a wide range of uses.

Housing Element:

▪ Goal H2: Diversity of types of quality housing that are affordable to a range of household income levels, accommodate changing demographics, and support and reinforce the economic sustainability of Ontario.

➤ H2-4 New Model Colony. We support a premier lifestyle community in the New Model Colony distinguished by diverse housing, highest design quality, and cohesive and highly amenitized neighborhoods.

➤ H2-5 Housing Design. We require architectural excellence through adherence to City design guidelines, thoughtful site planning, environmentally sustainable practices and other best practices.

Goal H5: A full range of housing types and community services that meet the special housing needs for all individuals and families in Ontario, regardless of income level, age or other status.

Community Economics Element:

▪ Goal CE1: A complete community that provides for all incomes and stages of life.

➤ CE1-6 Diversity of Housing. We collaborate with residents, housing providers and the development community to provide housing opportunities for every stage of life; we plan for a variety of housing types and price points to support our workforce, attract business and foster a balanced community.

▪ Goal CE2: A City of distinctive neighborhoods, districts, and corridors, where people choose to be.

➤ CE2-1 Development Projects. We require new development and redevelopment to create unique, high-quality places that add value to the community.

➤ CE2-2 Development Review. We require those proposing new development and redevelopment to demonstrate how their projects will create appropriately unique, functional and sustainable places that will compete well with their competition within the region.

➤ CE2-4 Protection of Investment. We require that new development and redevelopment protect existing investment by providing architecture and urban design of equal or greater quality.

➤ CE2-5 Private Maintenance. We require adequate maintenance, upkeep, and investment in private property because proper maintenance on private property protects property values.

Safety Element:

▪ Goal S1: Minimized risk of injury, loss of life, property damage and economic and social disruption caused by earthquake-induced and other geologic hazards.

➤ S1-1 Implementation of Regulations and Standards. We require that all new habitable structures be designed in accordance with the most recent California Building Code adopted by the City, including provisions regarding lateral forces and grading.

Community Design Element:

▪ Goal CD1: A dynamic, progressive city containing distinct neighborhoods and commercial districts that foster a positive sense of identity and belonging among residents, visitors, and businesses.

➤ CD1-1 City Identity. We take actions that are consistent with the City being a leading urban center in Southern California while recognizing the diverse character of our existing viable neighborhoods.

➤ CD1-2 Growth Areas. We require development in growth areas to be distinctive and unique places within which there are cohesive design themes.

▪ Goal CD2: A high level of design quality resulting in public spaces, streetscapes, and developments that are attractive, safe, functional and distinct.

➤ CD2-1 Quality Architecture. We encourage all development projects to convey visual interest and character through:

- Building volume, massing, and height to provide appropriate scale and proportion;
- A true architectural style which is carried out in plan, section and elevation through all aspects of the building and site design and appropriate for its setting; and
- Exterior building materials that are visually interesting, high quality, durable, and appropriate for the architectural style.

➤ CD2-2 Neighborhood Design. We create distinct residential neighborhoods that are functional, have a sense of community, emphasize livability and social interaction, and are uniquely identifiable places through such elements as:

- A pattern of smaller, walkable blocks that promote access, activity and safety;
- Variable setbacks and parcel sizes to accommodate a diversity of housing types;
- Traffic calming measures to slow traffic and promote walkability while maintaining acceptable fire protection and traffic flows;
- Floor plans that encourage views onto the street and de-emphasize the visual and physical dominance of garages (introducing the front porch as the “outdoor living room”), as appropriate; and
- Landscaped parkways, with sidewalks separated from the curb.

➤ CD2-7 Sustainability. We collaborate with the development community to design and build neighborhoods, streetscapes, sites, outdoor spaces, landscaping and buildings to reduce energy demand through solar orientation, maximum use of natural daylight, passive solar and natural ventilation, building form, mechanical and structural systems, building materials and construction techniques.

➤ CD2-8 Safe Design. We incorporate defensible space design into new and existing developments to ensure the maximum safe travel and visibility on pathways, corridors, and open space and at building entrances and parking areas by avoiding physically and visually isolated spaces, maintenance of visibility and accessibility, and use of lighting.

➤ CD2-9 Landscape Design. We encourage durable landscaping materials and designs that enhance the aesthetics of structures, create and define public and private spaces, and provide shade and environmental benefits.

➤ CD2-13 Entitlement Process. We work collaboratively with all stakeholders to ensure a high degree of certainty in the efficient review and timely processing of all development plans and permits.

- Goal CD5: A sustained level of maintenance and improvement of properties, buildings and infrastructure that protects the property values and encourages additional public and private investments.

- CD5-1 Maintenance of Buildings and Property. We require all public and privately owned buildings and property (including trails and easements) to be properly and consistently maintained.

- CD5-2 Maintenance of Infrastructure. We require the continual maintenance of infrastructure.

HOUSING ELEMENT COMPLIANCE: The project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan. The project site is one of the properties listed in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix, and the proposed project is consistent with the maximum number of dwelling units (52 for this project and 73 for Neighborhood 4 overall) and density (5.87 DU/AC specified for Neighborhood 4) specified within the Countryside Specific Plan. Per the Available Land Inventory, the Countryside Specific Plan is required to provide 819 dwelling units with an overall density range of 4.6 DU/AC.

AIRPORT LAND USE COMPATIBILITY PLAN (ALUCP) COMPLIANCE: The project site is located within the Airport Influence Area of the Ontario International Airport, and has been found to be consistent with the policies and criteria set forth within the Ontario International Airport Land Use Compatibility Plan. The project site is also located within the Airport Influence area of Chino Airport and is consistent with policies and criteria set forth within the 2011 California Airport Land Use Planning Handbook published by the California Department of Transportation, Division of Aeronautics.

ENVIRONMENTAL REVIEW: The environmental impacts of this project were previously reviewed in conjunction with File No. PSP04-001, a Specific Plan (Countryside) for which an Environmental Impact Report (SCH# 2004071001) ("Certified EIR") certified by the City Council on April 18, 2006. This Application introduces no new significant environmental impacts. All previously adopted mitigation measures are be a condition of project approval and are incorporated herein by reference.

CONDITIONS OF APPROVAL: See attached department reports.

TECHNICAL APPENDIX:

Surrounding Zoning and Land Use:

	<i>Existing Land Use</i>	<i>General Plan Designation</i>	<i>Zoning Designation</i>	<i>Specific Plan Land Use</i>
<i>Site</i>	Rough-Graded	Low-Density Residential (2.1-5 du/ac)	Countryside Specific Plan	Neighborhood 4 (RD-5,000)
<i>North</i>	Agriculture	Low-Density Residential (2.1-5 du/ac)	Countryside Specific Plan	Neighborhood 2 (RD-6,000)
<i>South</i>	Primarily Vacant, with a Single-Family Residential Unit	Low-Density Residential (2.1-5 du/ac)	Countryside Specific Plan	Neighborhood 5 (Z-Lot) and Neighborhood 7 (RD-Alley Loaded)
<i>East</i>	Single-Family, Agricultural, and Vacant	Low-Density Residential (2.1-5 du/ac)	Countryside Specific Plan	Neighborhood 4 (RD-5,000)
<i>West</i>	Single-Family Residential	Low-Density Residential (2.1-5 du/ac) / Open-Space Recreation	Countryside Specific Plan	Neighborhood 3 (RD-5,000)

General Site & Building Statistics

<i>Item</i>	<i>Required Min./Max.</i>	<i>Provided (Ranges)</i>	<i>Meets Y/N</i>
<i>Maximum project density (dwelling units/ac):</i>	5.87 du/ac (for entire Neighborhood 4)	5.5 du/ac for project site	Y
<i>Maximum coverage (in %):</i>	50%	46%	Y
<i>Front yard setback (in FT):</i>	15'	15' – 18'	Y
<i>Side yard setback (in FT):</i>	5'	5' – 9'	Y
<i>Rear yard setback (in FT):</i>	20'	20' – 76'	Y
<i>Maximum height (in FT):</i>	35'	15'-10" – 29'-6"	Y

Exhibit A—PROJECT LOCATION MAP

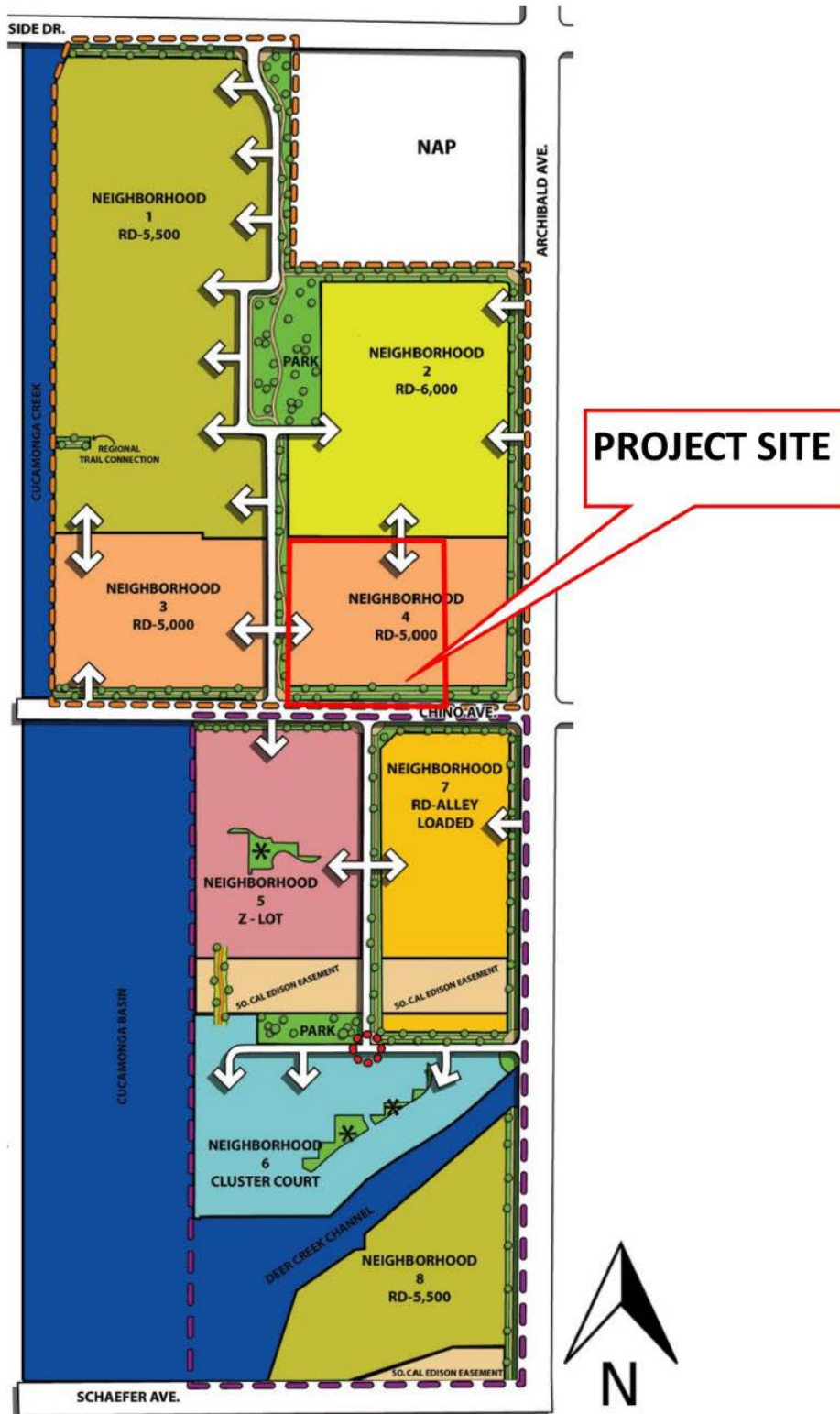


Exhibit B—SITE PLAN AND CONCEPTUAL LANDSCAPE PLAN

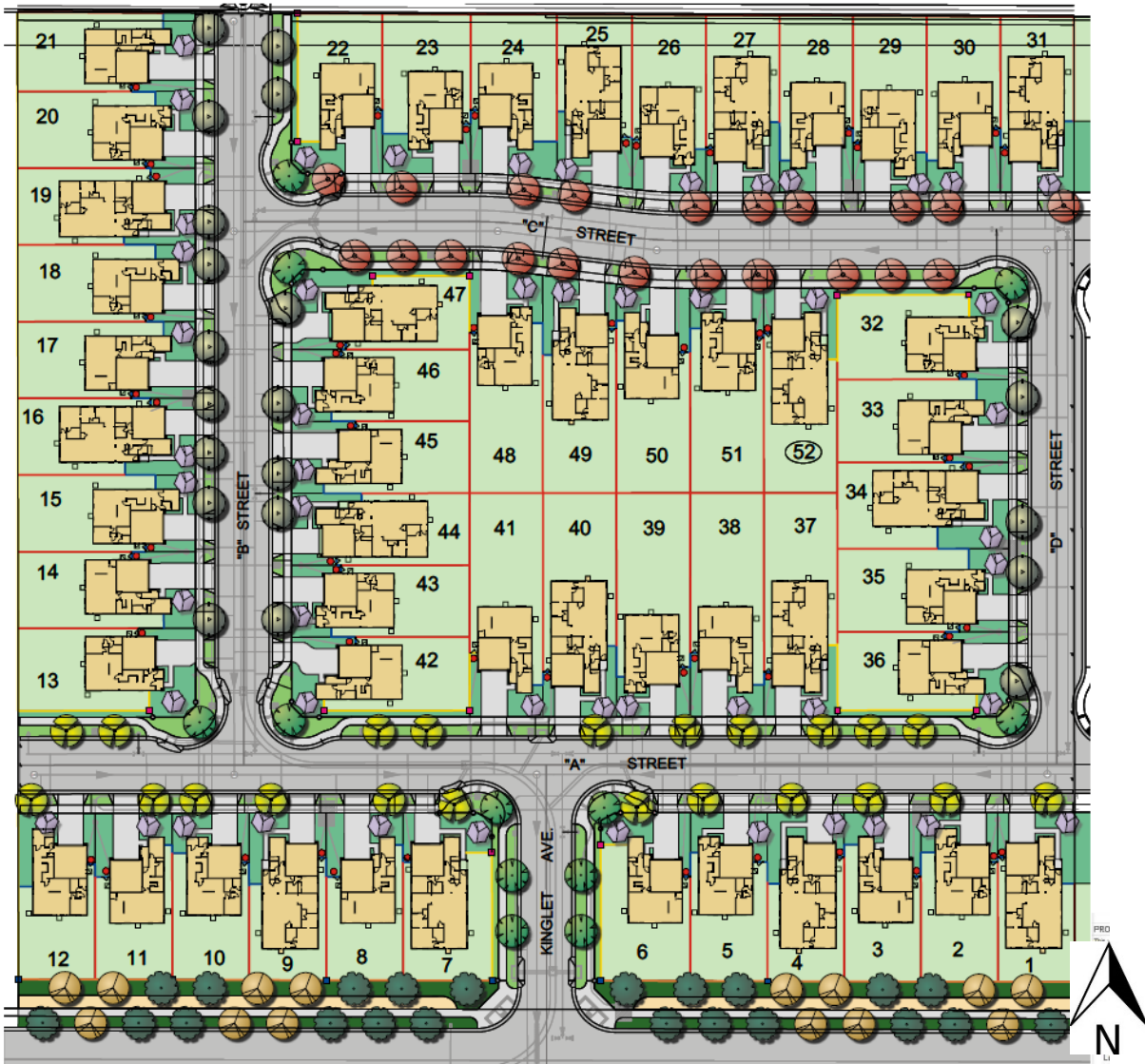


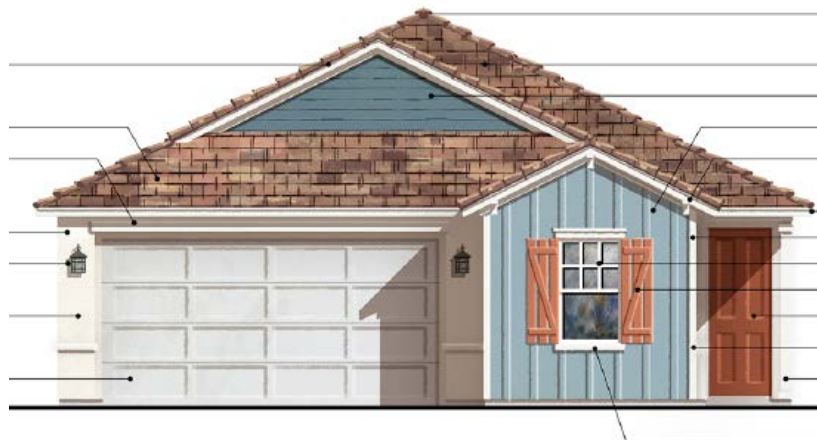
Exhibit C—EXTERIOR ELEVATIONS



Elevation 'A' (Spanish Colonial)



Elevation 'B' (California Bungalow)



Elevation 'C' (Farmhouse)

Plan 1



Elevation 'A' (Spanish Colonial)



Elevation 'B' (California Bungalow)



Elevation 'C' (Farmhouse)

Plan 2



Elevation 'A' (Spanish Colonial)



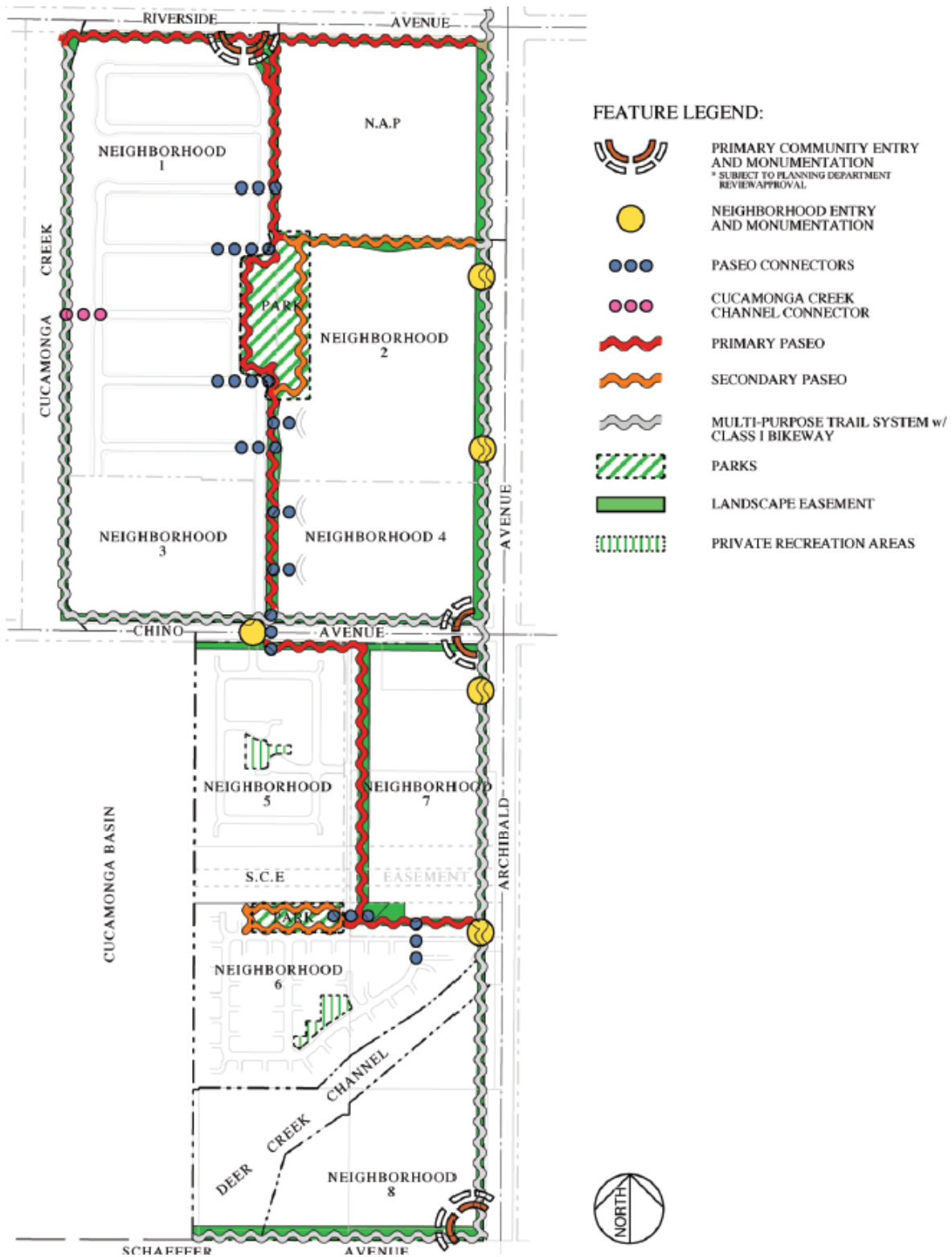
Elevation 'B' (California Bungalow)

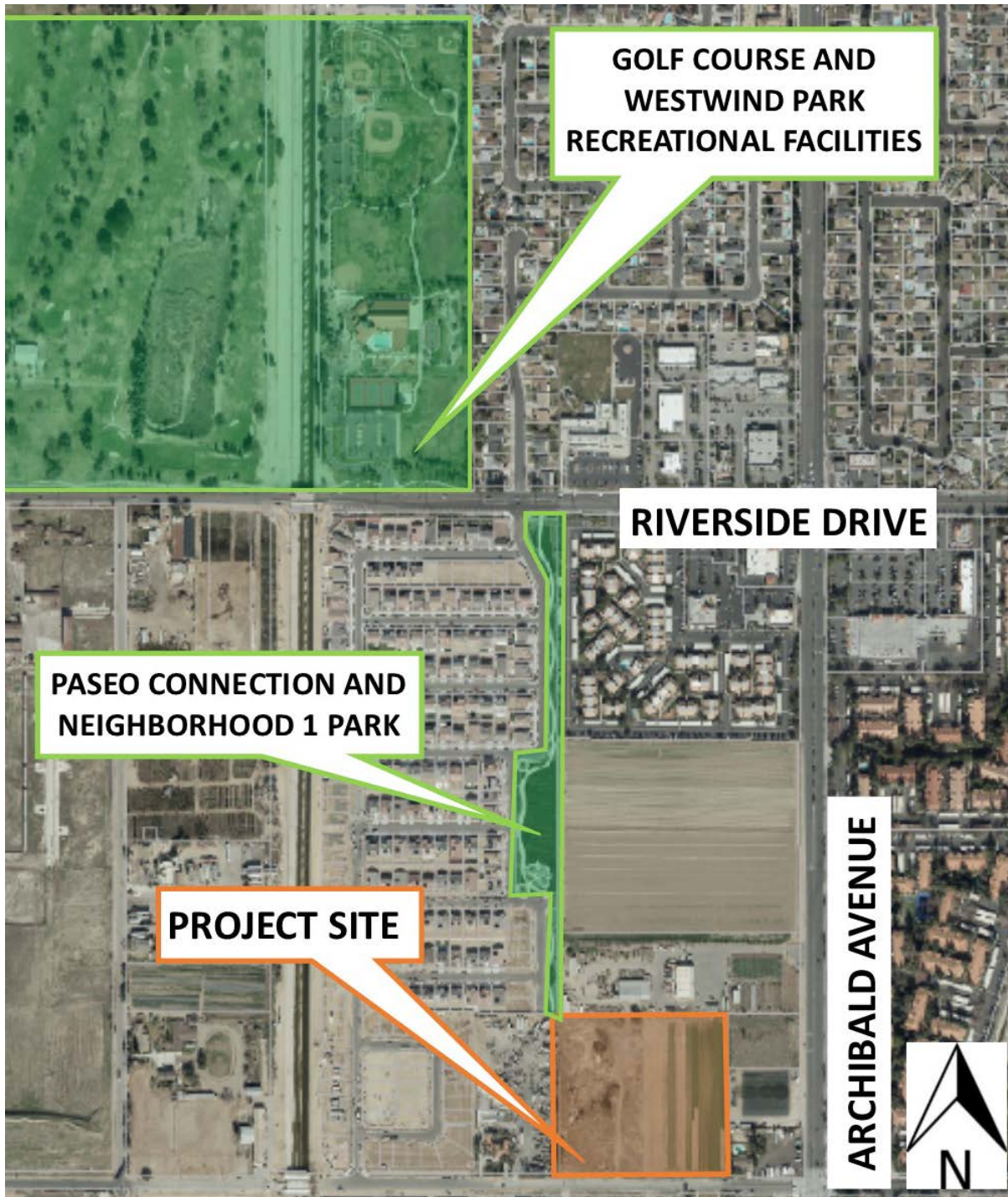


Elevation 'C' (Farmhouse)

Plan 3

EXHIBIT D: LOCAL PARKS/PASEO NETWORK





RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ONTARIO, CALIFORNIA, APPROVING FILE NO. PDEV18-009, A DEVELOPMENT PLAN TO CONSTRUCT 52 SINGLE-FAMILY DWELLINGS ON 9.26 ACRES OF LAND LOCATED NORTH OF CHINO AVENUE AND APPROXIMATELY 280 FEET WEST OF ARCHIBALD AVENUE, WITHIN NEIGHBORHOOD 4 (RD-5,000) OF THE COUNTRYSIDE SPECIFIC PLAN), AND MAKING FINDINGS IN SUPPORT THEREOF—APNS: 0218-111-54 AND 0218-111-55.

WHEREAS, KB HOME SOUTHERN CALIFORNIA ("Applicant") has filed an Application for the approval of a Development Plan, File No. PDEV18-009, as described in the title of this Resolution (hereinafter referred to as "Application" or "Project"); and

WHEREAS, the Application applies to 9.26 acres of land generally located north of Chino Avenue and approximately 280 feet west of Archibald Avenue, within Neighborhood 4 (RD-5000) of the Countryside Specific Plan, and is presently vacant; and

WHEREAS, the property to the north of the project site is located within Neighborhood 2 (RD-6,000) of the Countryside Specific Plan, and is developed with an agricultural use. The property to the south of the project site is located within Neighborhood 5 (Z-Lot) and Neighborhood 7 (RD-Alley Loaded) of the Countryside Specific Plan, and is primarily vacant, with a single-family residential unit. The property to the east of the project site is located within Neighborhood 4 (RD-5,000), and is developed with agricultural uses. The property to the west of the project site is located within Neighborhood 3 (RD-5,000), and is developed with a single-family residence; and

WHEREAS, the application proposes the development of 52 conventional single-family homes; and

WHEREAS, the Development Plan to construct 52 single-family homes is consistent with the Neighborhood 4 (RD-5,000) Design Guidelines and Development Standards of the Countryside Specific Plan; and

WHEREAS, the application proposes three floor plans with three elevations per floor plan, ranging in size from 1,861 square feet to 2,543 square feet; and

WHEREAS, the architectural design styles of Spanish Colonial, California Bungalow, and Farmhouse are consistent with the Design Guidelines of the Countryside Specific Plan; and

WHEREAS, the environmental impacts of this project were previously reviewed in conjunction with File No. PSP04-001, a Specific Plan (Countryside) for which an Environmental Impact Report (SCH# 2004071001) ("Certified EIR") certified by the City

Council on April 18, 2006, and this Application introduces no new significant environmental impacts; and

WHEREAS, the City's "Local Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Planning Commission the responsibility and authority to review and act on the subject Application; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan (hereinafter referred to as "ALUCP"), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed;

WHEREAS, on November 19, 2018, the Development Advisory Board of the City of Ontario conducted a hearing to consider the Project, and concluded said hearing on that date, voting to issue Decision No. DAB18-064, recommending the Planning Commission approve the Application; and

WHEREAS, on November 27, 2018, the Planning Commission of the City of Ontario conducted a hearing to consider the Project, and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, IT IS HEREBY FOUND, DETERMINED, AND RESOLVED by the Planning Commission of the City of Ontario, as follows:

SECTION 1: Environmental Determination and Findings. As the decision-making authority for the Project, the Planning Commission has reviewed and considered the information contained in the previous Certified EIR and supporting documentation. Based upon the facts and information contained in the previous Certified EIR and supporting documentation, the Planning Commission finds as follows:

(1) The environmental impacts of this project were previously reviewed in conjunction with File No. PSP04-001, a Specific Plan (Countryside) for which an Environmental Impact Report (SCH# 2004071001) ("Certified EIR") certified by the City Council on April 18, 2006.

(2) The previous Certified EIR contains a complete and accurate reporting of the environmental impacts associated with the Project; and

(3) The previous Certified EIR was completed in compliance with CEQA and the Guidelines promulgated thereunder, and the City of Ontario Local CEQA Guidelines; and

(4) The previous Certified EIR reflects the independent judgment of the Planning Commission; and

(5) The proposed project will introduce no new significant environmental impacts beyond those previously analyzed in the previous Certified EIR, and all mitigation measures previously adopted with the Certified EIR, are incorporated herein by this reference.

SECTION 2: Subsequent or Supplemental Environmental Review Not Required. Based on the information presented to the Planning Commission, and the specific findings set forth in Section 1, above, the Planning Commission finds that the preparation of a subsequent or supplemental Certified EIR is not required for the Project, as the Project:

(1) Does not constitute substantial changes to the Certified EIR that will require major revisions to the Certified EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and

(2) Does not constitute substantial changes with respect to the circumstances under which the Certified EIR was prepared, that will require major revisions to the Certified EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of the previously identified significant effects; and

(3) Does not contain new information of substantial importance that was not known and could not have been known with the exercise of reasonable diligence at the time the Certified EIR was certified/adopted, that shows any of the following:

(a) The project will have one or more significant effects not discussed in the Certified EIR; or

(b) Significant effects previously examined will be substantially more severe than shown in the Certified EIR; or

(c) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the Project, but the City declined to adopt such measures; or

(d) Mitigation measures or alternatives considerably different from those analyzed in the Certified EIR would substantially reduce one or more significant effects on the environment, but which the City declined to adopt.

SECTION 3: *Housing Element Compliance.* Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the decision-making authority for the Project, the Planning Commission finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan. The project site is one of the properties listed in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix, and the proposed project is consistent with the maximum number of dwelling units (52 for this project and 73 for Neighborhood 4 overall) and density (5.87 DU/AC specified for Neighborhood 4) specified within the Countryside Specific Plan. Per the Available Land Inventory, the Countryside Specific Plan is required to provide 819 dwelling units with an overall density range of 4.6 DU/AC.

SECTION 4: *Ontario International Airport Land Use Compatibility Plan (“ALUCP”) Compliance.* The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the ALUCP, establishing the Airport Influence Area for Ontario International Airport (hereinafter referred to as “ONT”), which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As

the decision-making authority for the Project, the Planning Commission has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the DAB, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

SECTION 5: Concluding Facts and Reasons. Based upon the substantial evidence presented to the Planning Commission during the above-referenced hearing, and upon the specific findings set forth in Section 1 through 4, above, the Planning Commission hereby concludes as follows:

(1) ***The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.*** The proposed Project is located within the Low Density land use district of the Policy Plan Land Use Map, and Neighborhood 4 (RD-5000) land use designation of the Countryside Specific Plan. The development standards and conditions under which the proposed Project will be constructed and maintained, is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan; and

(2) ***The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located.*** The Project has been designed consistent with the requirements of the City of Ontario Development Code and the Countryside Specific Plan, including standards relative to the particular land use proposed (single-family residential), as-well-as building intensity, building and parking setbacks, building height, number of off-street parking spaces, on-site and off-site landscaping, and fences, walls and obstructions. The site is physically suitable for the proposed development of 52 single-family homes. The related Tract Map 18810 (File No. PMTT13-003), which subdivided the land, was approved by the Planning Commission on November 18, 2013; and

(3) ***The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed project.*** The Development Advisory Board has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the Specific Plan are maintained; [ii] the

project will not endanger the public health, safety or general welfare; [iii] the project will not result in any significant environmental impacts; [iv] the project will be in harmony with the area in which it is located; and [v] the project will be in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan, and the Specific Plan. The Development Plan will facilitate the construction of 52 single-family homes; and

(4) ***The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.*** The proposed Project has been reviewed for consistency with the general development standards and guidelines of the Specific Plan that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of off-street parking and loading spaces, parking lot dimensions, design and landscaping, bicycle parking, on-site landscaping, and fences and walls, as-well-as those development standards and guidelines specifically related to the particular land use being proposed (single-family residential). As a result of this review, the Planning Commission has determined that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the development standards and guidelines described in the Specific Plan.

SECTION 6: Planning Commission Action. Based upon the findings and conclusions set forth in Sections 1 through 5, above, the Planning Commission hereby APPROVES the herein described Application, subject to each and every condition set forth in the Department reports attached hereto as “Attachment A,” and incorporated herein by this reference.

SECTION 7: Indemnification. The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void, or annul this approval. The City of Ontario shall promptly notify the applicant of any such claim, action, or proceeding, and the City of Ontario shall cooperate fully in the defense.

SECTION 8: Custodian of Records. The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East “B” Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario.

SECTION 9: Certification to Adoption. The Secretary shall certify to the adoption of the Resolution.

The Secretary Pro Tempore for the Planning Commission of the City of Ontario shall certify as to the adoption of this Resolution.

I hereby certify that the foregoing Resolution was duly and regularly introduced, passed and adopted by the Planning Commission of the City of Ontario at a regular meeting thereof held on the 27th day of November, 2018, and the foregoing is a full, true and correct copy of said Resolution, and has not been amended or repealed.

Richard D. Delman
Planning Commission Chairman

ATTEST:

Cathy Wahlstrom
Planning Director
Secretary to the Planning Commission

STATE OF CALIFORNIA)
COUNTY OF SAN BERNARDINO)
CITY OF ONTARIO)

I, Gwen Berendsen, Secretary Pro Tempore of the Planning Commission of the City of Ontario, DO HEREBY CERTIFY that foregoing Resolution No. ____ was duly passed and adopted by the Planning Commission of the City of Ontario at their regular meeting held on November 27, 2018, by the following roll call vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Gwen Berendsen
Secretary Pro Tempore

ATTACHMENT A:

**File No. PDEV18-009
Departmental Conditions of Approval**

(Departmental conditions of approval to follow this page)



City of Ontario
Planning Department
303 East B Street
Ontario, California 91764
Phone: 909.395.2036
Fax: 909.395.2420

*Planning Department
Land Development Division
Conditions of Approval*

Meeting Date: November 27, 2018

File No: PDEV18-009

Related Files: Tract 18810 (PMTT13-003)

Project Description: A Development Plan to construct 52 single-family dwellings on 9.26 acres of land located north of Chino Avenue and approximately 280 feet west of Archibald Avenue, within Neighborhood 4 (RD-5,000) of the Countryside Specific Plan) (APNs: 0218-111-54 and 0218-111-55); **submitted by KB Home Southern California**

Prepared By: Alexis Vaughn, Assistant Planner
Phone: 909.395.2416 (direct)
Email: avaugn@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

1.0 Standard Conditions of Approval. The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

2.0 Special Conditions of Approval. In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

2.1 Time Limits.

(a) Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

2.2 General Requirements. The Project shall comply with the following general requirements:

(a) All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

(b) The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

(c) The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

(d) The development of this project shall conform to the City's Development Code and the regulations of the Countryside Specific Plan.

(e) All applicable conditions of approval of the Countryside Specific Plan (File No. PSP04-001).

(f) All applicable conditions of approval of the related TT18810 (File No. PMTT13-003) shall apply. The tract map must be finalized prior to the issuance of production Building Permits.

2.3 Landscaping.

(a) The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

(b) Comply with the conditions of approval of the Planning Department; Landscape Planning Division.

(c) Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

(d) Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

(e) Each single-family dwelling/lot shall be provided with front yard landscaping and a permanent automatic irrigation in the front yard of each lot. At a minimum, a seeded turf lawn, appropriate shrubs and trees, and an automatic irrigation system shall be provided. Furthermore, a variety of typical landscape designs shall be provided for use on each lot within the subdivision.

(f) The owner or assigns of the project site shall be responsible for the maintenance of the project site in good condition, so as to present a healthy, neat, and orderly landscape area.

(g) Any removal of mature landscaping shall require the replacement of such with landscaping of similar size and maturity.

(h) Irrigation systems shall be constantly maintained to eliminate wastewater due to loss of heads, broken pipes or misadjusted nozzles.

2.4 Walls and Fences. All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

(a) Decorative 6-foot high masonry block walls shall be constructed at the following locations (per approved site plan):

(i) Rear and interior side property lines (walls not exposed to public view may be constructed of tan precision block); and

(ii) Side property line wall returns to the dwelling unit, with appropriate gates.

(b) Walls located within a required front yard setback shall be reduced to 3 feet in height. On any lots that front onto the park/paseos, front yard walls or hedgerows may not exceed a height of 3 feet from finished grade.

(c) All new and existing walls shall be provided with a decorative cap. The use of a mortar and/or metal flashing cap shall not be permitted.

(d) The height of a wall or fence shall be measured from the highest point of the natural ground or finished grade at the base of the fence or wall to the top of the fence or wall above the same base point.

(e) Prior to the issuance of a building permit, a Wall Plan shall be reviewed and approved by the Planning and Building Departments. The plans shall indicate materials, colors and height of proposed and existing walls/fences and shall include a cross-section of walls/fences indicating adjacent grades. Walls shall be designed as an integral part of the architecture for the development and shall be constructed of tilt-up concrete, brick, or split-face or slump block.

2.5 Parking, Circulation and Access.

(a) The Project shall comply with the applicable off-street parking, loading and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

(b) Each single-family home shall maintain a minimum 20' x 20' (clear area) two-car garage.

(c) No recreational vehicle storage (RV's) in front or corner side yards. No RV street parking for more than 72 hours.

(d) Driveway (aprons) shall be designed and constructed per City of Ontario Standards.

2.6 Mechanical Equipment.

(a) All ground-mounted utility equipment and structures, such as transformers and backflow prevention devices, shall be located out of view from a public street, or adequately screened through the use of landscaping and/or decorative low garden walls.

2.7 Architectural Treatment.

(a) Exterior building elevations showing building wall materials, roof types, exterior colors, and appropriate vertical dimensions shall be included in the development construction drawings.

(b) Front elevation materials (siding, stone/brick veneer, etc.) shall wrap (where applicable) around to the left and right elevations and terminate at a logical point (return wall) or inside corner.

(c) Cultured, precast, or fabricated stone products shall be constructed of an integral color material.

2.8 Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

2.9 Signs. All Project signage shall comply with the requirements of Ontario Development Code Division 8.1 (Sign Regulations).

(a) Off-Site Subdivision Signs:

(i) The City Council has authorized the Baldy View Chapter of the Building Industry Association to manage a standardized off-site directional sign program on a non-profit basis. The program uses uniform sign structures and individual identification and directional signs for residential development. **No other off-site signage is authorized.** (For additional information, contact the Baldy View Chapter BIA at (909) 945-1884.)

2.10 Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noised levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

2.11 Covenants, Conditions and Restrictions (CC&Rs)/Mutual Access and Maintenance Agreements.

(a) CC&Rs shall be prepared for the Project and shall be recorded prior to the issuance of a building permit.

(b) The CC&Rs shall be in a form and contain provisions satisfactory to the City. The articles of incorporation for the property owners association and the CC&Rs shall be reviewed and approved by the City.

(c) CC&Rs shall ensure reciprocal parking and access between parcels, and common maintenance of:

(i) Landscaping and irrigation systems within common areas;

(ii) Landscaping and irrigation systems within parkways adjacent to the project site, including that portion of any public highway right-of-way between the property line or right-of-way boundary line and the curb line and also the area enclosed within the curb lines of a median divider (Ontario Municipal Code Section 7-3.03), pursuant to Ontario Municipal Code Section 5-22-02;

(iii) Shared parking facilities and access drives; and

(iv) Utility and drainage easements.

(v) HOA maintenance of, and temporary easements recorded for access to, the cross-lot drainage to occur on lots 22-31, which service drainage from property to the north, until an alternate drainage solution approved by the City is constructed or until the property to the north is developed with drainage satisfactory to the City is installed.

(vi) HOA maintenance of Lot 13, which shall be landscaped and all well equipment properly barricaded with a decorative fence, until the lot may legally be developed.

(d) CC&Rs shall include authorization for the City's local law enforcement officers to enforce City and State traffic and penal codes within the project area.

(e) The CC&Rs shall grant the City of Ontario the right of enforcement of the CC&R provisions.

(f) A specific methodology/procedure shall be established within the CC&Rs for enforcement of its provisions by the City of Ontario, if adequate maintenance of the development does not occur, such as, but not limited to, provisions that would grant the City the right of access to correct maintenance issues and assess the property owners association for all costs incurred.

2.12 Disclosure Statements.

(a) A copy of the Public Report from the Department of Real Estate, prepared for the subdivision pursuant to Business and Professions Code Section 11000 et seq., shall be provided to each prospective buyer of the residential units and shall include a statement to the effect that:

(i) This tract is subject to noise from the Ontario International Airport and may be more severely impacted in the future.

(ii) Some of the property adjacent to this tract is zoned for agricultural uses and there could be fly, odor, or related problems due to the proximity of animals.

(iii) The area south of Riverside Drive lies within the San Bernardino County Agricultural Preserve. Dairies currently existing in that area are likely to remain for the foreseeable future.

(iv) This tract is part of a Landscape Maintenance District. The homeowner(s) will be assessed through their property taxes for the continuing maintenance of the district.

2.13 Environmental Review.

(a) The environmental impacts of this project were previously reviewed in conjunction with File No. PSP04-001, a Specific Plan (Countryside) for which an EIR (SCH# 2004071001) was previously adopted by the City Council on April 18, 2006. This application introduces no new significant environmental impacts. The City's "Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed. The previously adopted mitigation measures shall be a condition of project approval, and are incorporated herein by this reference.

(b) If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

(c) If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

2.14 Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

2.15 Additional Fees.

(a) Within 5 days following final application approval, the Notice of Determination (NOD) filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act (CEQA). Failure to provide said fee within the time specified may result in a 180-day extension to the statute of limitations for the filing of a CEQA lawsuit.

(b) After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

2.16 Additional Requirements.

(a) The applicant shall contact the Ontario Post Office to determine the size and location of mailboxes for this project. The location of the mailboxes shall be submitted to the Planning Department for review and approval prior to the issuance of building permits.

(b) The applicant (Developer) shall be responsible for providing fiber to each home per City requirements and standards.

(c) Final architecture for the proposed project shall be reviewed and approved by the Planning Department prior to the issuance of building permits. All previous elevation comments (Comments Letter II) shall be incorporated into the final sets of plans to be filed with the Planning Department after project approval.

(d) Upon acquisition of all legal rights of the land on and related to the well site at Lot 13, the lot shall be developed to the satisfaction of the City of Ontario.

(e) Prior to issuance of Building Permits for production units, well site acquisition shall be completed.



**ENGINEERING DEPARTMENT
CONDITIONS OF APPROVAL**

(Environmental, Traffic/Transportation Division, Ontario Municipal Utilities Company
Information Technology and Management Services Department conditions incorporated herein)

<input checked="" type="checkbox"/> DEVELOPMENT PLAN <input type="checkbox"/> OTHER	<input type="checkbox"/> PARCEL MAP <input type="checkbox"/> TRACT MAP <input type="checkbox"/> FOR CONDOMINIUM PURPOSES
PROJECT FILE NO. <u>PDEV18-009</u> RELATED FILE NO(S). <u>PMTT13-003/TM18810</u>	
<input checked="" type="checkbox"/> ORIGINAL <input type="checkbox"/> REVISED: <u> </u> / <u> </u> / <u> </u>	

CITY PROJECT ENGINEER & PHONE NO: Naim Khoury, *NK* (909) 395-2152
 Associate Engineer

CITY PROJECT PLANNER & PHONE NO: Alexis Vaughn, (909) 395-2429
 Assistant Planner

DAB MEETING DATE: November 19, 2018

PROJECT NAME / DESCRIPTION: PDEV18-009, a development project
 to construct 52 single family
 residences

LOCATION: North side of Chino Avenue,
 between Archibald Avenue &
 Cucamonga Creek Channel

APPLICANT: KB Homes Southern California, KB
 Homes Coastal Inc.

REVIEWED BY: *[Signature]* 10/29/18
 Bryan Lirley, P.E. Date
 Principal Engineer

APPROVED BY: *[Signature]* 10/31/18
 Khol Do, P.E. Date
 Assistant City Engineer



THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE GENERAL STANDARD CONDITIONS OF APPROVAL ADOPTED BY THE CITY COUNCIL (RESOLUTION NO. 2017-027) AND THE PROJECT SPECIFIC CONDITIONS OF APPROVAL SPECIFIED IN HEREIN. ONLY APPLICABLE CONDITIONS OF APPROVAL ARE CHECKED. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL APPLICABLE CONDITIONS OF APPROVAL PRIOR TO PARCEL MAP APPROVAL, ISSUANCE OF PERMITS AND/OR OCCUPANCY CLEARANCE, AS SPECIFIED IN THIS REPORT PLUS THE CONDITIONS OF APPROVAL (COA) FOR TM18810/PMTT13-003, Countryside Specific Plan and the DA Agreement

1. PRIOR TO PARCEL MAP/FINAL MAP APPROVAL, APPLICANT SHALL: **Check When Complete**

- 1.01 Dedicate to the City of Ontario, the right-of-way, described below:
 Property line corner 'cut-back' required at the intersection of New Haven Drive and Commercial Entry way (northeast corner) due to a larger curb return improvements.
- 1.02 Dedicate to the City of Ontario, the following easement(s): _____

- 1.03 Restrict vehicular access to the site as follows: _____
- 1.04 Vacate the following street(s) and/or easement(s): _____
- 1.05 Submit a copy of a recorded private reciprocal use agreement or easement. The agreement or easement shall ensure, at a minimum, common ingress and egress and joint maintenance of all common access areas and drive aisles.
- 1.06 Provide (original document) Covenants, Conditions and Restrictions (CC&Rs) as applicable to the project and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&Rs shall provide for, but not be limited to, common ingress and egress, joint maintenance responsibility for all common access improvements, common facilities, parking areas, utilities, median and landscaping improvements and drive approaches, in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project. The CC&Rs shall also address the maintenance and repair responsibility for public improvements/utilities (sewer, water, storm drain, recycled water, etc.) located within open space/easements. In the event of any maintenance or repair of these facilities, the City shall only restore disturbed areas to current City Standards.
- 1.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658.
- 1.08 File an application for Reapportionment of Assessment, together with payment of a reapportionment processing fee, for each existing assessment district listed below. Contact the Management Services Department at (909) 395-2124 regarding this requirement.
 (1) _____
 (2) _____
- 1.09 Prepare a fully executed Subdivision Agreement (on City approved format and forms) with accompanying security as required, or complete all public improvements specified in the COA for TM18810.



- 1.10 Provide a monument bond (i.e. cash deposit) in an amount calculated by the City's approved cost estimate spreadsheet (available for download on the City's website: www.ci.ontario.ca.us) or as specified in writing by the applicant's Registered Engineer or Licensed Land Surveyor of Record and approved by the City Engineer, whichever is greater.
- 1.11 Provide a preliminary title report current to within 30 days.
- 1.12 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of three (3) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Management Services at (909) 395-2353 to initiate the CFD application process.
- 1.13 New Model Colony (NMC) Developments:
 - 1) Provide evidence of final cancellation of Williamson Act contracts associated with this tract, prior to approval of any final subdivision map. Cancellation of contracts shall have been approved by the City Council.
 - 2) Provide evidence of sufficient storm water capacity availability equivalents (Certificate of Storm Water Treatment Equivalents).
 - 3) Provide evidence of sufficient water availability equivalents (Certificate of Net MDD Availability).
- 1.14 Other conditions:

2. PRIOR TO ISSUANCE OF ANY PERMITS, APPLICANT SHALL:

**A. GENERAL
 (Permits includes Grading, Building, Demolition and Encroachment)**

- 2.01 Record Parcel Map No. TM18810 pursuant to the Subdivision Map Act and in accordance with the City of Ontario Municipal Code.
- 2.02 Submit a duplicate photo mylar of the recorded map to the City Engineer's office.
- 2.03 Note that the subject parcel is a recognized parcel in the City of Ontario Per Tract Map No. 18922-4.
- 2.04 Note that the subject parcel is an 'unrecognized' parcel in the City of Ontario and shall require a Certificate of Compliance to be processed unless a deed is provided confirming the existence of the parcel prior to the date of _____ .
- 2.05 Apply for a: Certificate of Compliance with a Record of Survey; Lot Line Adjustment
 - Make a Dedication of Easement.
- 2.06 Provide (original document) Covenants, Conditions and Restrictions (CC&R's), as applicable to the project, and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&R's shall provide for, but not be limited to, common ingress and egress, joint maintenance of all common access improvements, common facilities, parking areas, utilities and drive approaches in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project.



The CC&R document shall also include the following provisions:

- a) **Common Use and Private Utilities:** Identify all common use/ private utility systems and solid waste collection facilities and detail the Operations and Maintenance responsibilities of the HOA/POA of these facilities.

2.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658.

2.08 Submit a soils/geology report.

2.09 Other Agency Permit/Approval: Submit a copy of the approved permit and/or other form of approval of the project from the following agency or agencies:

- State of California Department of Transportation (Caltrans)
- San Bernardino County Road Department (SBCRD)
- San Bernardino County Flood Control District (SBCFCD)
- Federal Emergency Management Agency (FEMA)
- Cucamonga Valley Water District (CVWD) for sewer/water service
- United States Army Corps of Engineers (USACE)
- California Department of Fish & Game
- Inland Empire Utilities Agency (IEUA) for connecting to the sewer trunk line in Chino Avenue
- Southern California Edison for undergrounding overhead utilities

2.10 Dedicate to the City of Ontario the right-of-way described below:
 _____ feet on _____
 Property line corner 'cut-back' required at the intersection of _____
 and _____.

2.11 Dedicate to the City of Ontario the following easement(s): _____

2.12 New Model Colony (NMC) Developments:

- 1) Submit a copy of the permit from the San Bernardino County Health Department to the Engineering Department and the Ontario Municipal Utilities Company (OMUC) for the destruction/abandonment of the on-site water well. The well shall be destroyed/abandoned in accordance with the San Bernardino County Health Department guidelines.
- 2) Make a formal request to the City of Ontario Engineering Department for the proposed temporary use of an existing agricultural water well for purposes other than agriculture, such as grading, dust control, etc. Upon approval, the Applicant shall enter into an agreement with the City of Ontario and pay any applicable fees as set forth by said agreement.
- 3) Design proposed retaining walls to retain up to a maximum of three (3) feet of earth. In no case shall a wall exceed an overall height of nine (9) feet (i.e. maximum 6-foot high wall on top of a maximum 3-foot high retaining wall).



- 2.13 Submit a security deposit to the Engineering Department to guarantee construction of the public improvements required herein valued at _____% of the approved construction cost estimate. Security deposit shall be in accordance with the City of Ontario Municipal Code. Security deposit will be eligible for release, in accordance with City procedure, upon completion and acceptance of said public improvements.
- 2.14 The applicant/developer shall submit all necessary survey documents prepared by a Licensed Surveyor registered in the State of California detailing all existing survey monuments in and around the project site. These documents are to be reviewed and approved by the City Survey Office.
- 2.15 Pay all Development Impact Fees (DIF) to the Building Department. Storm Drain Development Impact Fee, approximately _____, shall be paid to the Building Department. Final fee shall be determined based on the approved site plan.
- 2.16 **Other conditions:**
 - a) **The developer shall obtain all the necessary right-of-ways/PUE to construct the required public improvements beyond the tract limits as specified in section 2 of this Conditions of Approval Report (COA), plus the conditions specified the Development Agreement and the COA Report for TM18810/PMTT13-003.**
 - b) **Final Tract Map No. TM18810 must be recorded prior to issuing any building permits for production units (excluding Model Unit permits) for this project.**



B. PUBLIC IMPROVEMENTS

(See attached Exhibit 'A' for plan check submittal requirements.)

- 2.17 Design and construct full public improvements in accordance with the City of Ontario Municipal Code, current City standards and specifications, master plans and the adopted specific plan for the area, if any. These public improvements shall include, but not be limited to, the following (checked boxes):

Improvement	Street 1	Street 2	Street 3	Street 4
Curb and Gutter	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace
AC Pavement	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions
PCC Pavement (Truck Route Only)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Drive Approach	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace <input type="checkbox"/> replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace <input type="checkbox"/> replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace <input type="checkbox"/> replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace <input type="checkbox"/> replace
Sidewalk	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
ADA Access Ramp	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Parkway	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)
Raised Landscaped Median	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Fire Hydrant	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation



Sewer (see Sec. 2.C)	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
Water (see Sec. 2.D)	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Recycled Water (see Sec. 2.E)	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Traffic Signal System (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Traffic Signing and Striping (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Street Light (see Sec. 2.F)	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation
Bus Stop Pad or Turn-out (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Storm Drain (see Sec. 2.G)	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
Fiber Optics (see Sec. 2.K)	<input type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances
Overhead Utilities	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate
Removal of Improvements	_____	_____	_____	_____
Other Improvements	_____	_____	_____	_____

Specific notes for improvements listed in item no. 2.17, above: _____

2.18 Construct a 2" asphalt concrete (AC) grind and overlay on the following street(s): _____



- 2.19 Reconstruction of the full pavement structural section, per City of Ontario Standard Drawing number 1011, may be required based on the existing pavement condition and final street design. Minimum limits of reconstruction shall be along property frontage, from street centerline to curb/gutter.
- 2.20 Make arrangements with the Cucamonga Valley Water District (CVWD) to provide water service sewer service to the site. This property is within the area served by the CVWD and Applicant shall provide documentation to the City verifying that all required CVWD fees have been paid.
- 2.21 Overhead utilities shall be under-grounded, in accordance with Title 7 of the City's Municipal Code (Ordinance No. 2804 and 2892). Developer may pay in-lieu fee, approximately _____, for undergrounding of utilities in accordance with Section 7-7.303.e of the City's Municipal Code.
- 2.22 Other conditions:

Final Utilities Systems Map (USM): As part of the Precise Grading Plan the applicant/developer shall submit a Final Utilities Systems Map (USM) that shows all existing and proposed Utilities (Potable Water, Recycled Water, Sewer, Storm Drain, and other utilities) including each of the City's public utilities' points of connection to the existing systems. Final Utilities Systems Map shall meet all of the requirements in the "Utilities Systems Map Requirements" document available from the Ontario Municipal Utilities Company.

C. SEWER

- 2.23 A 39 inch IEUA trunk sewer main is available for connection by this project in Chino Avenue. Connection to this sewer main requires approval and permits from IEUA.
- 2.24 Design and construct a sewer main extension. A sewer main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.25 Submit documentation that shows expected peak loading values for modeling the impact of the subject project to the existing sewer system. The project site is within a deficient public sewer system area. Applicant shall be responsible for all costs associated with the preparation of the model. Based on the results of the analysis, Applicant may be required to mitigate the project impact to the deficient public sewer system, including, but not limited to, upgrading of existing sewer main(s), construction of new sewer main(s) or diversion of sewer discharge to another sewer.
- 2.26 Other conditions:

Approval and permits from the Inland Empire Utilities Agency (IEUA) for sewer main connection will be required. See item 2.09 for additional details.

D. WATER

- 2.27 An 18 inch water main is available for connection by this project in Chino Avenue (Ref: Water plan bar code: W15801-15824 and W15876-15889)
- 2.28 Design and construct a water main extension. A water main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.29 Other conditions:

The applicant/developer shall obtain the necessary easement from the adjacent property owner to the west (APN 0218-111-56) in order to loop the water main through Colonial Avenue and connect at a secondary point at the future intersection of Chino Avenue and Colonial Avenue.

E. RECYCLED WATER

- 2.30 An 8 inch recycled water main is available for connection by this project in Chino Avenue. (Ref: Recycled Water plan bar code: P11460-P11467)
- 2.31 Design and construct an on-site recycled water system for this project. A recycled water main does exist in the vicinity of this project.



- 2.32 Design and construct an on-site recycled water ready system for this project. A recycled water main does not currently exist in the vicinity of this project, but is planned for the near future. If Applicant would like to connect to this recycled water main when it becomes available, the cost for the connection shall be borne solely by the Applicant.
 - 2.33 **Submit two (2) hard copies and one (1) electronic copy, in PDF format, of the Engineering Report (ER), for the use of recycled water, to the OMUC for review and subsequent submittal to the California Department of Public Health (CDPH) for final approval.**
- Note: The OMUC and the CDPH review and approval process will be approximately three (3) months. Contact the Ontario Municipal Utilities Company at (909) 395-2687 regarding this requirement.**
- 2.34 Other conditions: _____

F. TRAFFIC / TRANSPORTATION

- 2.35 Submit a focused traffic impact study, prepared and signed by a Traffic/Civil Engineer registered in the State of California. The study shall address, but not be limited to, the following issues as required by the City Engineer:
 - 1. On-site and off-site circulation
 - 2. Traffic level of service (LOS) at 'build-out' and future years
 - 3. Impact at specific intersections as selected by the City Engineer
- 2.36 New traffic signal installations shall be added to Southern California Edison (SCE) customer account number # 2-20-044-3877.
- 2.37 Other conditions: _____

G. DRAINAGE / HYDROLOGY

- 2.38 **A 48 inch storm drain main (SD) is available west of this tract to accept flows from this project in Chino Avenue (Ref: Storm Drain plan bar code: D13367). The applicant/developer shall extend the existing SD system in Chino Avenue easterly and design adequate SD system to serve this tract including the tributary drainage areas located north of Chino Avenue, west of Archibald Avenue and south of Riverside Drive as identified in the Master Plan of Drainage.**
- 2.39 **Submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California. The study shall be prepared in accordance with the San Bernardino County Hydrology Manual and City of Ontario standards and guidelines. Additional drainage facilities, including, but not limited to, improvements beyond the project frontage, may be required to be designed and constructed, by Applicant, as a result of the findings of this study.**
- 2.40 An adequate drainage facility to accept additional runoff from the site does not currently exist downstream of the project. Design and construct a storm water detention facility on the project site. 100 year post-development peak flow shall be attenuated such that it does not exceed 80% of pre-development peak flows, in accordance with the approved hydrology study and improvement plans.
- 2.41 Submit a copy of a recorded private drainage easement or drainage acceptance agreement to the Engineering Department for the acceptance of any increase to volume and/or concentration of historical drainage flows onto adjacent property, prior to approval of the grading plan for the project.
- 2.42 Comply with the City of Ontario Flood Damage Prevention Ordinance (Ordinance No. 2409). The project site or a portion of the project site is within the Special Flood Hazard Area (SFHA) as indicated on the Flood Insurance Rate Map (FIRM) and is subject to flooding during a 100 year frequency storm. The site plan shall be subject to the provisions of the National Flood Insurance Program.
- 2.43 **Other conditions:**

c) The applicant/developer shall accommodate the historical flow. This can be accomplished by several options including but not limited to the following:



- I. **Option 1:** Reserve and record drainage easement along the north side of parcels 21 through 31, design and construct storm drain system to accept the historical drainage flow from the adjacent property to the north (APN 218-111-61) and connect to the proposed storm drain system.

Additionally, the maintenance responsibility of these the above mentioned temporary improvements shall be included in the CC&R for this development and shall be maintained by the HOA until such a time when APN 218-111-61 property is developed with full improvements and temporary improvement are no longer needed

- II. **Option 2:** The applicant/developer shall design and construct temporary drainage improvements along the south side of APN 218-111-61 such as: basins, swales riser and storm drain laterals to accept historic drainage flows and connect to the proposed storm drain system in tract map TM18810. The applicant/developer shall obtain the necessary easements/agreement and approval form the adjacent property owner to the north (APN 218-111-61) to construct the above mentioned temporary drainage improvements and submit a copy of the easements/agreement and approval to the City.

H. STORM WATER QUALITY / NATIONAL POLLUTANT DISCHARGE AND ELIMINATION SYSTEM (NPDES)

- 2.44 401 Water Quality Certification/404 Permit – Submit a copy of any applicable 401 Certification or 404 Permit for the subject project to the City project engineer. Development that will affect any body of surface water (i.e. lake, creek, open drainage channel, etc.) may require a 401 Water Quality Certification from the California Regional Water Quality Control Board, Santa Ana Region (RWQCB) and a 404 Permit from the United States Army Corps of Engineers (USACE). The groups of water bodies classified in these requirements are perennial (flow year round) and ephemeral (flow during rain conditions, only) and include, but are not limited to, direct connections into San Bernardino County Flood Control District (SBCFCD) channels.
 If a 401 Certification and/or a 404 Permit are not required, a letter confirming this from Applicant's engineer shall be submitted.
 Contact information: USACE (Los Angeles District) (213) 452-3414; RWQCB (951) 782-4130.

- 2.45 Submit a Water Quality Management Plan (WQMP). This plan shall be approved by the Engineering Department prior to approval of any grading plan. The WQMP shall be submitted, utilizing the current San Bernardino County Stormwater Program template, available at:
<http://www.sbcounty.gov/dpw/land/npdes.asp>.

- 2.46 Other conditions: _____

J. SPECIAL DISTRICTS

- 2.47 File an application, together with an initial payment deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community facilities District Act of 1982. The application and fee shall be submitted a minimum three (3) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact the Management Services Department at (909) 395-2353 to initiate the CFD application process.

- 2.48 Other conditions: _____

K. FIBER OPTIC

- 2.49 Design and construct fiber optic system to provide access to the City's conduit and fiber optic system per the City's Fiber Optic Master Plan. Building entrance conduits shall start from the



closest OntarioNet hand hole constructed along the project frontage in the ROW and shall terminate in the main telecommunications room for each building. Conduit infrastructure shall interconnect with the primary and/or secondary backbone fiber optic conduit system at the nearest OntarioNet hand hole. Generally located along Chino Avenue at Newton Avenue.

- 2.50 Refer to the City's Fiber Optic Master Plan for design and layout guidelines. Contact the Information Technology Department at (909) 395-2000, regarding this requirement.

Other conditions:

- a) The applicant/developer shall provide fiber optic connection to each home unit per city standards and guidelines.
- a) OntarioNet fiber optic plans must be designed and approved at the same time as other improvement plans.
- b) Contractor is responsible for locating and connecting conduit to existing OntarioNet hand holes on adjacent properties. There should be no "Gaps" in conduit between the contractor's development and the adjacent property. OntarioNet hand holes are typically located in the ROW at the extreme edge of a property.
- c) Install Ontario Fiber Optic Hand Hole HH-3 (30x48x36). Newbasis Part # PCA-304836-90244 per City Standard 1316. Conduits Sweeping into Hand Holes Shall Enter in Flush with the Cut Out Mouse Holes Aligned Parallel to the Bottom of the Box and Come In Perpendicular to the Wall of the Box. Conduits Shall Not Enter at any Angle Other Than Parallel. Provide S' Min. Clearance From Existing /Proposed Utilities.
- d) Install Ontario Fiber Optic Hand Hole HH-4 (36x60x36). Newbasis Part #PCA-366036-90146 per City Standard 1316. Conduits Sweeping into Hand Holes Shall Enter in Flush with the Cut Out Mouse Holes Aligned Parallel to the Bottom of the Box and Come In Perpendicular to the Wall of the Box. Conduits Shall Not Enter at any Angle Other Than Parallel. Provide S' Min. Clearance From Existing /Proposed Utilities.
- e) Construct and Install Fiber Optic Conduit at a Minimum Depth of 36". Trenching shall be Per City Standard 1306. (1) 7-way Microduct (Duraline - Orange) 13/16mm tubes and (1) 2" HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct. Install located/tracer wires min. 10AWG within conduit bank and fiber warning tape 12-inch above the uppermost duct.
- f) Construct and Install Fiber Optic Conduit at a Minimum Dept of 36". Trenching shall be Per City Standard for Commercial Buildings. (1) 2" HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct. Install located/tracer wires min. 10AWG within conduit bank and fiber warning tape 12-inch above the uppermost duct.
- g) All hand holes, conduits, conduit banks, materials and installations are per the City's Fiber Optic Master Plan and City Fiber Optic Cable and Duct Standards.
- h) All unused conduits/ducts/microducts shall be protected with ducts plugs that provide a positive seal. Ducts that are occupied shall be protected with industry accepted duct seal compound.
- i) Conduit bank requires (1) 10AWG high strength (min. break load 600#) copper-clad steel w/ 30mil HDPE orange insulation for locate/tracer wire.
- j) Fiber Optic Conduit Building Entrance shall be Per City Structured Wiring Ordinance for Commercial Buildings.

L. Solid Waste

- 2.51 Onsite solid waste shall be designed in accordance with the City's Solid Waste Manual location at: <http://www.ontarioca.gov/municipal-utilities-company/solid-waste>



2.52 Other conditions: _____

3. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, APPLICANT SHALL:

- 3.01 Set new monuments in place of any monuments that have been damaged or destroyed as a result of construction of the subject project. Monuments shall be set in accordance with City of Ontario standards and to the satisfaction of the City Engineer.
- 3.02 Complete all requirements for recycled water usage.
 - 1) Procure from the OMUC a copy of the letter of confirmation from the California Department of Public Health (CDPH) that the Engineering Report (ER) has been reviewed and the subject site is approved for the use of recycled water.
 - 2) Obtain clearance from the OMUC confirming completion of recycled water improvements and passing of shutdown tests and cross connection inspection, upon availability/usage of recycled water.
 - 3) Complete education training of on-site personnel in the use of recycled water, in accordance with the ER, upon availability/usage of recycled water.
- 3.03 The applicant/developer shall submit all final survey documents prepared by a Licensed Surveyor registered in the State of California detailing all survey monuments that have been preserved, revised, adjusted or set along with any maps, corner records or Records of Survey needed to comply with these Conditions of Approvals and the latest edition of the California Professional Land Survey Act. These documents are to be reviewed and approved by the City Survey Office.
- 3.04 NMC Projects: For developments located at an intersection of any two collector or arterial streets, the applicant/developer shall set a monument if one does not already exist at that intersection. Contact the City Survey office for information on reference benchmarks, acceptable methodology and required submittals.
- 3.05 Confirm payment of all Development Impact Fees (DIF) to the Building Department.
- 3.06 Submit electronic copies (PDF and Auto CAD format) of all approved improvement plans, studies and reports (i.e. hydrology, traffic, WQMP, etc.).



EXHIBIT 'A'

**ENGINEERING DEPARTMENT
First Plan Check Submittal Checklist**

Project Number: PDEV18-009

The following items are required to be included with the first plan check submittal:

1. A copy of this check list
2. Payment of fee for Plan Checking
3. One (1) copy of Engineering Cost Estimate (on City form) with engineer's wet signature and stamp for all the required improvements specified in the COA for PDEV17-051 and TM18922-4
4. One (1) copy of project Conditions of Approval
5. Two (2) sets of Potable and Recycled Water demand calculations (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size).
6. Three (3) sets of Public Street improvement plan with street cross-sections
7. Three (3) sets of Private Street improvement plan with street cross-sections
8. Four (4) sets of Public Water improvement plan (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)
9. Four (4) sets of Recycled Water improvement plan (include recycled water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size and an exhibit showing the limits of areas being irrigated by each recycled water meter)
10. Four (4) sets of Public Sewer improvement plan
11. Five (5) sets of Public Storm Drain improvement plan
12. Three (3) sets of Public Street Light improvement plan
13. Three (3) sets of Signing and Striping improvement plan
14. Three (3) sets of Fiber Optic plan (include Auto CAD electronic submittal)
15. Three (3) sets of Dry Utility plans within public right-of-way (at a minimum the plans must show existing and ultimate right-of-way, curb and gutter, proposed utility location including centerline dimensions, wall to wall clearances between proposed utility and adjacent public line, street work repaired per Standard Drawing No. 1306. Include Auto CAD electronic submittal)
16. Three (3) sets of Traffic Signal improvement plan and One (1) copy of Traffic Signal Specifications with modified Special Provisions. Please contact the Traffic Division at (909) 395-2154 to obtain Traffic Signal Specifications.
17. Two (2) copies of Water Quality Management Plan (WQMP), including one (1) copy of the approved Preliminary WQMP (PWQMP).
18. One (1) copy of Hydrology/Drainage study
19. One (1) copy of Soils/Geology report
20. Payment for Final Map/Parcel Map processing fee



21. Three (3) copies of Final Map/Parcel Map
22. One (1) copy of approved Tentative Map
23. One (1) copy of Preliminary Title Report (current within 30 days)
24. One (1) copy of Traverse Closure Calculations
25. One (1) set of supporting documents and maps (legible copies): referenced improvement plans (full size), referenced record final maps/parcel maps (full size, 18"x26"), Assessor's Parcel map (full size, 11"x17"), recorded documents such as deeds, lot line adjustments, easements, etc.
26. **Two (2) copies of Engineering Report and an electronic file (include PDF format electronic submittal) for recycled water use**
27. Other: _____



CITY OF ONTARIO

MEMORANDUM

TO: Henry Noh, Senior Planner
Planning Department

FROM: Paul Ehrman, Deputy Fire Chief/Fire Marshal
Fire Department

DATE: March 15, 2018

SUBJECT: PDEV18-009- A Development Plan to construct 51 single-family dwellings on 9.26 acres of land located at the northwest side of Chino Avenue and Archibald Avenue, within Neighborhood 4 (RD-5,000) of the Countryside Specific Plan (APNs: 0218-111-54 and 0218-111-55). Related File: PMTT13-003 (TT 18810).

-
- The plan **does** adequately address Fire Department requirements at this time.
- Standard Conditions of Approval apply, as stated below.
-

SITE AND BUILDING FEATURES:

- A. 2016 CBC Type of Construction: Type V
- B. Type of Roof Materials: Ordinary
- C. Ground Floor Area(s): Varies
- D. Number of Stories: 1-2
- E. Total Square Footage: 1800 – 2600 Sq. Ft.
- F. 2016 CBC Occupancy Classification(s): R

CONDITIONS OF APPROVAL:

1.0 GENERAL

- 1.1 The following are the Ontario Fire Department ("Fire Department") requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards ("Standards.") It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at www.ontarioca.gov, click on "Fire Department" and then on "Standards and Forms."
- 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

2.0 FIRE DEPARTMENT ACCESS

- 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See Standard #B-004.
- 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25') inside and forty-five feet (45') outside turning radius per Standard #B-005.
- 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150') in length shall have an approved turn-around per Standard #B-002.
- 2.4 Access drive aisles which cross property lines shall be provided with CC&Rs, access easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of building plan check.
- 2.5 "No Parking-Fire Lane" signs and /or red painted curbs with lettering are required to be installed in interior access roadways, in locations where vehicle parking would obstruct the minimum clear width requirement. Installation shall be per Standard #B-001.
- 2.7 Any time PRIOR to on-site combustible construction and/or storage, a minimum twenty-six (26) ft. wide circulating all weather access roads shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved by fire department and other emergency services.

3.0 WATER SUPPLY

- 3.1 The required fire flow per Fire Department standards, based on the 2016 California Fire Code, Appendix B, is 1500 gallons per minute (g.p.m.) for 2 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.

- ☒ 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300') apart, per Engineering Department specifications.
- ☒ 3.4 The water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

4.0 FIRE PROTECTION SYSTEMS

- ☒ 4.2 Underground fire mains which cross property lines shall be provided with CC & R, easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of fire department plan check. The shared use of private fire mains or fire pumps is allowable only between immediately adjacent properties and shall not cross any public street.
- ☒ 4.3 An automatic fire sprinkler system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard ~~Choose an item.~~ All new fire sprinkler systems, except those in single family dwellings, which contain twenty (20) sprinkler heads or more shall be monitored by an approved listed supervising station. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- ☒ 4.4 Wood frame buildings that are to be sprinkled shall have these systems in service (but not necessarily finalized) before the building is enclosed.

5.0 BUILDING CONSTRUCTION FEATURES

- ☒ 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- ☒ 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.
- ☒ 5.3 Single station smoke alarms and carbon monoxide alarms are required to be installed per the California Building Code and the California Fire Code.
- ☒ 5.5 All residential chimneys shall be equipped with an approved spark arrester meeting the requirements of the California Building Code.



CITY OF ONTARIO

MEMORANDUM

TO: Hassan Haghani, Development Director
Scott Murphy, Assistant Development Director (Copy of memo only)
Cathy Wahlstrom, Principal Planner (Copy of memo only)
Charity Hernandez, Economic Development
Kevin Shear, Building Official
Khoi Do, Assistant City Engineer
Carolyn Bell, Landscape Planning Division
Ahmed Aly, Municipal Utility Company
Doug Sorel, Police Department
Paul Ehrman, Deputy Fire Chief/Fire Marshal
Jay Bautista, T. E., Traffic/Transportation Manager
Lorena Mejia, Senior Planner
Steve Wilson, Engineering/NPDES
Joe De Sousa, Code Enforcement (Copy of memo only)
Jimmy Chang, IT Department
David Simpson, IT Department (Copy of memo only)

FROM: Henry Noh, Senior Planner

DATE: March 09, 2018

SUBJECT: FILE #: PDEV18-009

Finance Acct#:

The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Friday, March 23, 2018**.

- Note:
- Only DAB action is required
 - Both DAB and Planning Commission actions are required
 - Only Planning Commission action is required
 - DAB, Planning Commission and City Council actions are required
 - Only Zoning Administrator action is required

PROJECT DESCRIPTION: A Development Plan to construct 51 single-family dwellings on 9.26 acres of land located at the northwest side of Chino Avenue and Archibald Avenue, within Neighborhood 4 (RD-5,000) of the Countryside Specific Plan (APNs: 0218-111-54 and 0218-111-55). Related File: PMTT13-003 (TT 18810).

- The plan does adequately address the departmental concerns at this time.
 - No comments
 - Report attached (1 copy and email 1 copy)
 - Standard Conditions of Approval apply
- The plan does not adequately address the departmental concerns.
 - The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

Police
Department

DOUGLAS SOREL
Signature

MANAGEMENT ANALYST
Title

3/22/18
Date

CITY OF ONTARIO

MEMORANDUM

TO: PLANNING DEPARTMENT, Henry Noh
FROM: BUILDING DEPARTMENT, Kevin Shear
DATE: March 15, 2018
SUBJECT: PDEV18-009

-
- The plan **does** adequately address the departmental concerns at this time.
- No comments
- Report below.

Conditions of Approval

1. Standard Conditions of Approval apply.

KS:lm





CITY OF ONTARIO

MEMORANDUM

TO: Hassan Haghani, Development Director
Scott Murphy, Assistant Development Director (Copy of memo only)
Cathy Wahlstrom, Principal Planner (Copy of memo only)
Charity Hernandez, Economic Development
Kevin Shear, Building Official
Khoi Do, Assistant City Engineer
Carolyn Bell, Landscape Planning Division
Ahmed Aly, Municipal Utility Company
Doug Sorel, Police Department
Paul Ehrman, Deputy Fire Chief/Fire Marshal
Jay Bautista, T. E., Traffic/Transportation Manager
Lorena Mejia, Senior Planner
Steve Wilson, Engineering/NPDES
Joe De Sousa, Code Enforcement (Copy of memo only)
Jimmy Chang, IT Department
David Simpson, IT Department (Copy of memo only)

FROM: Henry Noh, Senior Planner

DATE: March 09, 2018

SUBJECT: FILE #: PDEV18-009 Finance Acct#:

The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Friday, March 23, 2018**.

- Note:
- Only DAB action is required
 - Both DAB and Planning Commission actions are required
 - Only Planning Commission action is required
 - DAB, Planning Commission and City Council actions are required
 - Only Zoning Administrator action is required

PROJECT DESCRIPTION: A Development Plan to construct 51 single-family dwellings on 9.26 acres of land located at the northwest side of Chino Avenue and Archibald Avenue, within Neighborhood 4 (RD-5,000) of the Countryside Specific Plan (APNs: 0218-111-54 and 0218-111-55). Related File: PMTT13-003 (TT 18810).

- The plan does adequately address the departmental concerns at this time.
 - No comments
 - Report attached (1 copy and email 1 copy)
 - Standard Conditions of Approval apply
- The plan does not adequately address the departmental concerns.
 - The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

Building

Department

Signature

Title

Date



CITY OF ONTARIO
MEMORANDUM

TO: Hassan Haghani, Development Director
Scott Murphy, Assistant Development Director (Copy of memo only)
Cathy Wahlstrom, Principal Planner (Copy of memo only)
Charity Hernandez, Economic Development
Kevin Shear, Building Official
Khoi Do, Assistant City Engineer
Carolyn Bell, Landscape Planning Division
Ahmed Aly, Municipal Utility Company
Doug Sorel, Police Department
Paul Ehrman, Deputy Fire Chief/Fire Marshal
Jay Bautista, T. E., Traffic/Transportation Manager
Lorena Mejia, Senior Planner
Steve Wilson, Engineering/NPDES
Joe De Sousa, Code Enforcement (Copy of memo only)
Jimmy Chang, IT Department
David Simpson, IT Department (Copy of memo only)

FROM: Henry Noh, Senior Planner

DATE: March 09, 2018

SUBJECT: FILE #: PDEV18-009 Finance Acct#:

The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Friday, March 23, 2018**.

- Note:
- Only DAB action is required
 - Both DAB and Planning Commission actions are required
 - Only Planning Commission action is required
 - DAB, Planning Commission and City Council actions are required
 - Only Zoning Administrator action is required

PROJECT DESCRIPTION: A Development Plan to construct 51 single-family dwellings on 9.26 acres of land located at the northwest side of Chino Avenue and Archibald Avenue, within Neighborhood 4 (RD-5,000) of the Countryside Specific Plan (APNs: 0218-111-54 and 0218-111-55). Related File: PMTT13-003 (TT 18810).

- The plan does adequately address the departmental concerns at this time.
 - No comments
 - Report attached (1 copy and email 1 copy)
 - Standard Conditions of Approval apply
- The plan does not adequately address the departmental concerns.
 - The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

Landscape Planning Carolyn Bell Sr. Landscape Architect
Department Signature Title Date 3/29/18

CITY OF ONTARIO
LANDSCAPE PLANNING DIVISION
 303 East "B" Street, Ontario, CA 91764

CONDITIONS OF APPROVAL

Sign Off

Carolyn Bell
 Carolyn Bell, Sr. Landscape Planner

3/29/18
 Date

Reviewer's Name: **Carolyn Bell, Sr. Landscape Planner** Phone: **(909) 395-2237**

D.A.B. File No.: **PDEV18-009** Case Planner: **Henry Noh**

Project Name and Location:
Countryside TM 18810 Production
NW of Chino and Achibald Ave, east of Cucamonga Creek

Applicant/Representative:
KB Homes, Heidi McBroom
36310 Inland Valley Dr
Wildomar, ca 92595

- A Preliminary Landscape Plan (dated 3/9/18) meets the Standard Conditions for New Development and has been approved with the consideration that the following conditions below be met upon submittal of the landscape construction documents.**
- A Preliminary Landscape Plan (dated) has not been approved. Corrections noted below are required prior to Preliminary Landscape Plan approval.**

CORRECTIONS REQUIRED

Civil/ Site Plans

1. Show storm water infiltration devices proposed in landscape areas for review and approval.
2. Show transformers located in planter areas set back 3' from paving for small transformers, and 5' setback for large transformer Coordinate with landscape plans.
3. Show backflow devices located in planter areas, set back min 3' from paving. Locate on level grade. Coordinate with landscape plans.
4. Locate utilities including light standards, fire hydrants, water and sewer lines to not conflict with required tree locations. Coordinate civil plans with landscape plans
5. Show any letter lots between sidewalk and SF residence side yard wall, to separate HOA landscape and recycled water irrigation from private property potable water irrigation.
6. Typical lot drainage shall include a catch basin with gravel sump below each before exiting property, if no other water quality infiltration is provided.
7. Note and show on plans: all AC units shall be located in utility or trash storage areas away from proposed patio spaces; in residential side yards, opposite the main back yard access path with gate, or provide a second gate and solid surface path on the opposite side.

Landscape Plans

8. Provide a tree inventory for existing trees include genus, species, trunk diameter, canopy width and condition. Show and note existing trees in good condition to remain and note trees proposed to be removed. Include existing trees within 15' of adjacent property that would be affected by new walls, footings or on-site tree planting. Add tree protection notes on construction and demo plans.
9. Show backflows and transformers, with a 4' set back from paving with landscape screening.
10. Locate light standards, fire hydrants, water and sewer lines to not conflict with required tree

locations. Coordinate civil plans with landscape plans

11. Show all utilities on the landscape plans and locate clear of required tree locations.
12. Show windows, and outdoor light fixtures on homes to adjust landscape design.
13. Call out type of proposed irrigation system (subsurface drip line with separate systems for tree stream bubblers with pc screens) and include preliminary MAWA calculation.
14. Replace short lived or poor performing plants: Lantana, Salvia leucantha, Penstemon, Geranium.
15. Change large scale plants in small yards: Dodonea, Grevillea noellii, etc.
16. Show plant symbols equal to or ¾ the size of the plant mature size. Avoid wide spreading plants in narrow planters: Rosemary, Lantana, etc
17. Show 3 matching plants along front of house instead of centering a grassy type plant between two shrubs. Add accents in appropriate locations.
18. Show lawn replacements such as Kurapia, Yarrow, Fragaria etc in parkways or similar areas.
19. Provide agronomical soil tests at 12" depth and include independent lab report on landscape construction plans. Sewage sludge or biosolids are not allowed. Note "Contractor shall install amendments per plan and then take a new soil test and provide report to landscape architect and city inspector to verify amendments installed are satisfactory prior to planting. Landscape architect shall verify report with amendments receipts on certificate of compliance. For phased projects, a new report is required for each phase or a minimum of every 7 homes.
20. Typical lot drainage shall include a catch basin with gravel sump below each before exiting property, if no other water quality infiltration is provided.
21. Residential projects shall include a stub-out for future back yard irrigation systems.
22. Residential projects shall include a 30" wide solid surface walkway (concrete, pavers, etc.) on at least one side to access the back yard and to move equipment or trash receptacles.
23. Show minimum on-site tree sizes per the Landscape Development standards, see the Landscape Planning website. 5% 48" box, 10% 36 box, 30% 24" box, 55% 15 gallon.
24. Show 25% of trees as California native (Platanus racemosa, Quercus agrifolia, Quercus wislizenii, Quercus douglasii, Cercis occidentalis, etc.) in appropriate locations.
25. Landscape construction plans shall meet the requirements of the Landscape Development Guidelines. See <http://www.ontarioca.gov/landscape-planning/standards>
26. Provide phasing map for multi-phase projects.
27. Add to Landscape and Grading Plans: Landscape areas where compacted has occurred due to grading activities and where trees area located, a 12x12' area shall be loosened by soil fracturing. The back hoe shall dig into the soil lifting and then drop the soil immediately back into the hole. The bucket then moves to the adjacent soil and repeats. A layer of Compost is spread over the soil before fracturing is begun and the Compost falls into the spaces between the soil chunks created by the effort. Fracturing shall leave the soil surface quite rough with large soil clods. These must be broken by additional tilling. Tilling in more Compost to the surface after fracturing will help create an A horizon soil and/or imported or reused Topsoil can be added on top of the fractured soil. The Landscape Architect shall be present during this process and provide certification of the soil fracturing. For additional reference see Urban Tree Foundation – Planting Soil Specifications.
28. After a project's entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council. Typical fees are:

Plan Check—5 or more acres	\$2,326.00
Inspection—Construction (up to 3 inspections per phase)	\$278.00
Inspection—Field - additional.....	\$83.00

Landscape construction plans with building permit number for plan check may be emailed to: landscapeplancheck@ontarioca.gov



CITY OF ONTARIO

MEMORANDUM

TO: Hassan Haghani, Development Director
Scott Murphy, Assistant Development Director (Copy of memo only)
Cathy Wahlstrom, Principal Planner (Copy of memo only)
Charity Hernandez, Economic Development
Kevin Shear, Building Official
Khoi Do, Assistant City Engineer
Carolyn Bell, Landscape Planning Division
Ahmed Aly, Municipal Utility Company
Doug Sorel, Police Department
Paul Ehrman, Deputy Fire Chief/Fire Marshal
Jay Bautista, T. E., Traffic/Transportation Manager
Lorena Mejia, Senior Planner
Steve Wilson, Engineering/NPDES
Joe De Sousa, Code Enforcement (Copy of memo only)
Jimmy Chang, IT Department
David Simpson, IT Department (Copy of memo only)

FROM: Henry Noh, Senior Planner

DATE: March 09, 2018

SUBJECT: FILE #: PDEV18-009 Finance Acct#:

The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Friday, March 23, 2018**.

- Note:
- Only DAB action is required
 - Both DAB and Planning Commission actions are required
 - Only Planning Commission action is required
 - DAB, Planning Commission and City Council actions are required
 - Only Zoning Administrator action is required

PROJECT DESCRIPTION: A Development Plan to construct 51 single-family dwellings on 9.26 acres of land located at the northwest side of Chino Avenue and Archibald Avenue, within Neighborhood 4 (RD-5,000) of the Countryside Specific Plan (APNs: 0218-111-54 and 0218-111-55). Related File: PMTT13-003 (TT 18810).

The plan does adequately address the departmental concerns at this time.

- No comments
- Report attached (1 copy and email 1 copy)
- Standard Conditions of Approval apply

The plan does not adequately address the departmental concerns.

- The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

Airport Planning Department
Signature: *[Handwritten Signature]*
Title: Senior Planner
Date: 4/16/18

CD:2018-023

AIRPORT LAND USE COMPATIBILITY PLANNING

CONSISTENCY DETERMINATION REPORT



Project File No.: PDEV18-009

Address: Northwest Side of Chino Avenue & Archibald Avenue

APN: 0218-111-54 & 55

Existing Land Use: Vacant

Proposed Land Use: A Development Plan to construct 51 Single family homes

Site Acreage: 9.26 Proposed Structure Height: 28 FT

ONT-IAC Project Review: No

Airport Influence Area: ONT

Reviewed By: Lorena Mejia

Contact Info: 909-395-2276

Project Planner: Henry Noh

Date: 4/16/18

CD No.: 2018-023

PALU No.: _____

The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input type="radio"/> High Terrain Zone	<input type="radio"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input checked="" type="checkbox"/> FAA Notification Surfaces	<input type="radio"/> Recorded Overflight Notification
<input type="radio"/> Zone 2	<input type="radio"/> 65 - 70 dB CNEL	<input type="radio"/> Airspace Obstruction Surfaces	<input checked="" type="checkbox"/> Real Estate Transaction Disclosure
<input type="radio"/> Zone 3	<input type="radio"/> 60 - 65 dB CNEL	<input type="radio"/> Airspace Avigation Easement Area	
<input type="radio"/> Zone 4		Allowable Height: <u>200 FT +</u>	
<input type="radio"/> Zone 5			

The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1
 Zone 2
 Zone 3
 Zone 4
 Zone 5
 Zone 6

Allowable Height: _____

CONSISTENCY DETERMINATION

This proposed Project is: Exempt from the ALUCP
 Consistent
 Consistent with Conditions
 Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

See Attached Real Estate Disclosure Notification

Airport Planner Signature: _____


AIRPORT LAND USE COMPATIBILITY PLANNING

CONSISTENCY DETERMINATION REPORT

CD No.: 2018-023

PALU No.: _____

PROJECT CONDITIONS

The applicant is required to meet the Real Estate Transaction Disclosure in accordance with California Codes (Business and Professions Code Section 11010-11024). New residential subdivisions within an Airport Influence Area are required to file an application for a Public Report consisting of a Notice of Intention (NOI) and a completed questionnaire with the Department of Real Estate and include the following language within the NOI:

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you.



**PLANNING COMMISSION
STAFF REPORT**
November 27, 2018

SUBJECT: A Variance (**File No. PVAR18-004**) to: [1] reduce the parking setbacks along an arterial street from 20 feet to 16 feet; [2] reduce the drive aisle setbacks along an arterial street from 20 feet to 11 feet; and [3] deviate from the number of required parking spaces, from 47 to 41 spaces; in conjunction with a Development Plan (**File No. PDEV18-001**) to reconstruct a 4,950 square-foot McDonald's drive-thru restaurant on 0.81 acres of land located at 1107 East Fourth Street, within the CN (Neighborhood Commercial) zoning district. (APN: 1047-461-20) **submitted by McDonald's USA, LLC.**

PROPERTY OWNER: McDonald's Corporation

RECOMMENDED ACTION: That the Planning Commission approve File Nos. PVAR18-004 and PDEV18-001, pursuant to the facts and reasons contained in the staff report and attached resolutions, and subject to the conditions of approval contained in the attached departmental reports.

PROJECT SETTING: The project site is comprised of 0.82 acres of land located at 1107 E. Fourth Street, within the CN (Neighborhood Commercial) zoning district, and is depicted in Figure 1: Project Location, below. The project site is currently developed with an existing McDonald's drive-thru restaurant. The land to the north of the project site is developed with single-family residential, and is zoned LDR-5 (Low-Density Residential). The land to the east of the project site is developed with multi-family residential, and is zoned MDR-18 (Medium-Density Residential). The land to the south of the project site is developed with a park, and is zoned OS-R (Open Space – Recreation). The land to the west of the project site is developed with multi-family residential, and is zoned MDR-25 (Medium-High Density Residential).



Figure 1: Project Location

PROJECT ANALYSIS:

[1] Background — The site is currently developed with an approximately 5,180 square-foot

Case Planner:	Alexis Vaughn
Planning Director Approval:	
Submittal Date:	01/03/18

Hearing Body	Date	Decision	Action
DAB	11/19/18	Approve	Recommend
PC	11/27/18		Final
CC			

McDonald's restaurant and drive-thru that was built in the early 1980s, including an enclosed Playplace that was added to the restaurant in 1990 (See **Exhibit A: Project Location Map**). In January of 2018, the Applicant applied for a Development Plan (File No. PDEV18-001) to demolish the existing restaurant and Playplace in order to reconstruct a more modern and efficient facility and a new enclosed Playplace, for a total of 4,950 square feet. The applicant has also proposed to reconfigure the existing drive-thru to accommodate more stacking on site. In the review process, staff determined that the site plan as proposed would require a Variance application. In June of 2018, the Applicant submitted the supplemental Variance request (File No. PVAR18-004).

The applicant is requesting approval of a Variance to deviate from the following Development Code standards: 1) reduce the required minimum front parking setback along Fourth Street from 20 to 16 feet; 2) reduce the required minimum front drive aisle setback along Fourth Street from 20 to 11 feet; and 3) reduce the minimum required parking spaces from 47 to 41 spaces. The Variance application will facilitate the related Development Plan application, which proposes to demolish the existing McDonald's drive-thru restaurant in order to construct a new 4,950 square-foot drive-thru restaurant on the project site.

[2] Site Design/Building Layout — The current McDonald's drive-thru restaurant is set back approximately 6.5 feet from the front property line along Fourth Street. The drive-thru circulates from north to south, along the west property line adjacent to Cucamonga Avenue, and exits near the corner of Fourth Street and Cucamonga Avenue.

The project proposes to reconstruct a new 4,950 square-foot McDonald's drive-thru restaurant, which includes an approximately 650 square-foot enclosed Playplace. The building will be oriented in a north-south configuration and located at the southwest portion of the site. The drive-thru is proposed along the west side (Cucamonga Avenue) and south side (Fourth Street) of the building, with the public entrance located near the northeast side of the building. The new Playplace will be located within the south half of the building. The parking stalls are primarily located along the north and east property lines, with a drive aisle allowing for ingress and egress along both Fourth Street and Cucamonga Avenue. The drive-thru will be expanded to accommodate two queue lanes at the menu boards, and will occupy substantially the same footprint as the existing drive-thru to mitigate potential additional impacts to the neighboring properties. The drive-thru will continue to circulate from north to south; however, the drive-thru will now exit into the property's eastern drive aisle to allow for safer egress out onto Fourth Street (See **Exhibit B: Proposed Site Plan**).

[3] Site Access/Circulation — Access to the site is provided by an existing 25-foot drive approach at the southeast corner of the project site, along Fourth Street, as well as an existing 24-foot drive approach at the northwest corner of the project site, along Cucamonga Avenue. Entrance into the drive-thru will be provided by a drive aisle, sited near the northeast corner of the building, with access from Fourth Street. The parking lot will be accessed from both Cucamonga Avenue and Fourth Street.

[4] Parking — The project is required to provide a minimum of 47 off-street parking spaces pursuant to the parking standards specified in the Development Code, as demonstrated by the parking summary table below. The project proposes to provide 41 spaces, which is deficient by 6 parking spaces. As previously discussed, the applicant is requesting a Variance to reduce the minimum required parking spaces from 47 to 41 spaces. The parking Variance is needed in order to ensure that the project meets ADA accommodations, complies with building setbacks and landscape standards, and provides for a more efficient vehicular drive-thru circulation and safer ingress and egress for the site. In addition, the existing 5,180 square-foot McDonald’s drive-thru restaurant is deficient 12 parking spaces. The current Development Code parking standards require 55 spaces and 43 are currently provided on site. To staff’s knowledge, there have not been any existing parking-related impacts with the current McDonald’s operation. The proposed project will improve the parking deficiency from 12 spaces to 6 spaces; therefore, staff believes that no parking issues will arise with the proposed reconstruction of the McDonald’s drive-thru restaurant.

Parking Table Summary				
Type of Use	Building Area	Parking Ratio	Spaces Required	Spaces Provided
Fast Food Restaurants	4,300 SF (-650 SF Playplace) 242 LF of drive-thru lane	13.3 spaces per 1,000 SF of GFA. Restaurants with drive-thru may be credited one space for each 24 lineal feet of drive-thru lane behind the pickup window	47	41
TOTAL			47	41

[5] Architecture — The project features a modern commercial style, utilizing the following architectural treatments (See **Exhibit C: Elevations**):

- Stucco body with vertical and horizontal reveal lines, painted in neutral tan colors;
- Varying roof and parapet heights;
- Decorative steel trellises at the storefront elevations;
- Canopy and wood siding treatments along the pickup windows;
- Tower elements throughout the elevations that will incorporate black wood siding; and
- Additional wood paneling treatment in a vintage cedar color.

[6] Landscaping — The project provides landscaping along the street frontages, the perimeter of the site, and along the drive-thru lanes. A substantial landscape area has been provided along the western portion of the site in order to help soften the appearance of the drive-thru and pickup windows from Cucamonga Avenue. The Development Code requires a minimum of 18% landscaping for corner lots, and the project site is proposing 20% landscape coverage, which exceeds the minimum requirement (see **Exhibit D:**

Conceptual Landscape Plan). Fifteen queen palms will be removed to accommodate the site improvements, and will be replaced by a variety of trees such as Chitalpa, African Sumac, Crape Myrtle, and Coast Live Oak, in box sizes ranging from 24" to 48". Existing California Pepper, Canary Island Pine, and Long Leafed Yellow-Wood trees will be protected in place. The project will also introduce a variety of shrubs, perennials, and groundcovers, such as Kangaroo Paw, Myrtle, Rockrose, Yucca, Bottlebrush, Myoporum, and Woolly Yarrow.

[7] Signage — The project will be required to submit a sign plan application prior to the installation of signage at the site.

[8] Variance – The applicant is requesting approval of a Variance to deviate from the following Development Code standards: 1) reduce the required minimum front parking setback along Fourth Street from 20 to 16 feet; 2) reduce the required minimum front drive aisle setback along Fourth Street from 20 to 11 feet; and 3) reduce the minimum required parking spaces from 47 to 41 spaces. The project site at 0.82 acres is substandard in size and does not comply with the current Development Code requirement of a minimum 1-acre parcel for drive-thru facilities. However, the minimum 1-acre parcel requirement does not apply to this project because the parcel is a legally-established lot. Because of the substandard lot size and applicant's consideration of the existing residential development to the north and east, the Variance application is necessary to facilitate the related Development Plan application. With approval of the Variance, the applicant will be able to locate the building on the southwest corner of the project site, away from the residential properties to the north and east, and to comply with building setbacks, landscape coverage, ADA accessibility, trash enclosure standards, more efficient drive-thru circulation, and safer ingress and egress on site. Requiring the additional setbacks and parking spaces would impact the project site's ability to minimize impacts to the adjacent residential developments, achieve a well-planned development and provide an economically-viable product that is more consistent with the density, scale, and setbacks of the surrounding development.

The Variance request is consistent with The Ontario Plan (TOP) Policy Plan Goal LU3, which promotes flexibility in order to respond to special conditions and circumstances in order to achieve the Vision of providing a diverse selection of buildings and uses throughout the region. In acting on a Variance request, the Planning Commission must consider and clearly establish certain findings of fact, which are prescribed by State law and the City's Development Code. The following facts and findings have been provided as basis for approval of the requested Variance:

(1) ***The strict or literal interpretation and enforcement of the specified regulation would result in practical difficulty or unnecessary physical hardship inconsistent with the objectives of the development regulations contained in this Development Code.*** The 0.82-acre site is currently developed with a McDonald's restaurant and drive-thru, which was built in the 1980s. Since the 1980s, Development

Code standards have been updated, and the strict application of the drive aisle setbacks and parking standards would not allow the applicant to feasibly reconstruct the restaurant in order to provide a more efficient and ADA-accessible floor plan and more efficient drive-thru, while still being respectful to the existing residential uses to the north and east of the project site. The project site at 0.82 acres is substandard in size and does not comply with the current Development Code requirement of a minimum 1-acre parcel for drive-thru facilities. However, the minimum 1-acre parcel requirement does not apply to this project because the parcel is a legally-established lot. Because of the substandard lot size and applicant's consideration of the existing residential development to the north and east, the Variance application is necessary to facilitate the related Development Plan application. Approval of the Variance request will facilitate various site improvements, such as compliance with building setbacks, landscaping and trash enclosure standards, and safer and more efficient site circulation, drive-thru, ingress, and egress. In addition, the TOP land use designation for the project site is Neighborhood Commercial, which allows for a 0.4 FAR; therefore, the project as proposed with an FAR of 0.14 does not maximize the use of the site. Strict interpretation and enforcement of the Development Plan's parking standards and drive aisle setbacks would result in practical difficulty or unnecessary physical hardship inconsistent with the objectives of the development regulations contained in the Ontario Development Code. Further, TOP Goal LU3 allows for flexible response to conditions and circumstances in order to achieve the Vision; and

(2) ***There are exceptional or extraordinary circumstances or conditions applicable to the property involved, or to the intended use of the property, that do not apply generally to other properties in the vicinity and in the same zoning district.*** The project site at 0.82 acres is substandard in size and does not comply with the current Development Code requirement of a minimum 1-acre parcel for drive-thru facilities. However, the minimum 1-acre parcel requirement does not apply to this project because the parcel is a legally-established lot. Because of the substandard lot size and applicant's consideration of the existing residential development to the north and east, the Variance application is necessary to facilitate the related Development Plan application. Requiring enforcement of the current Development Code standards would result in a project which is not economically feasible, as the current drive-thru facility was developed in the 1980s, when current setback and parking standards were not applicable to the site. Further, the requested relief from the minimum parking standards and drive aisle setbacks will allow for greater design flexibility and assist the Applicant in providing a project that will both better serve its customers and greatly improve upon the existing streetscape in the neighborhood; and

(3) ***The strict or literal interpretation and enforcement of the specified regulation would deprive the applicant of privileges enjoyed by the owners of other properties in the same zoning district.*** The requested relief from the minimum arterial street drive aisle setbacks, along Fourth Street, and parking standards will allow for greater design flexibility and will serve to provide an economically-viable development on the project site. The Variance application will enable the project to be more consistent

with properties in the same zoning district that are located near the project site. In addition, the setback deviations will provide the applicant the ability to comply with other Development Code regulations, such as landscaping, building setbacks, safe and effective site circulation, and a new trash enclosure. Therefore, the strict or literal interpretation and enforcement of the specified regulations would deprive the applicant of privileges enjoyed by owners of other properties in the same zoning district and reduce the applicant's ability to create a well-designed, economically-viable project; and

(4) ***The granting of the Variance will not be detrimental to the public health, safety or welfare, or be materially injurious to properties or improvements in the vicinity.*** A thorough review and analysis of the proposed Variance and its potential to adversely impact properties surrounding the subject site was completed by staff. As a result of this review, certain design considerations will be incorporated into the project as conditions of approval to mitigate identified impacts to an acceptable level, including the use of upgraded materials, the inclusion of certain architectural design elements on building exteriors, intensified landscape elements, and placement of the building, drive-thru, and menu/order board speakers. The building is proposed to be sited at the southwest corner of the project site, the reconstructed drive-thru and menu/order boards are proposed to occupy approximately the same location as the existing drive-thru and menu/order boards, and the pick-up window will face the street, all in order to minimize potential impacts to the residential developments to the north and east. Therefore, the granting of the Variance will not be detrimental to the public health, safety, or welfare, and will not be materially injurious to properties or improvements in the vicinity; and

(5) ***The proposed Variance is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan, and the purposes of any applicable specific plan or planned unit development, and the purposes of this Development Code.*** The proposed Project is located with the Neighborhood Commercial land use district of the Policy Plan Land Use Map, and the CN (Neighborhood Commercial) zoning district. The development standards and conditions under which the proposed Project will be constructed and maintained, is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan. The project will meet following goals, policies, and plans as listed below.

COMPLIANCE WITH THE ONTARIO PLAN: The proposed project is consistent with the principles, goals and policies contained within the Vision, Governance, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan (TOP). More specifically, the goals and policies of TOP that are furthered by the proposed project are as follows:

[1] City Council Goals.

- Invest in the Growth and Evolution of the City's Economy

- Operate in a Businesslike Manner

[2] Vision.

Distinctive Development:

- Commercial and Residential Development
 - Development quality that is broadly recognized as distinctive and not exclusively tied to the general suburban character typical of much of Southern California.

[3] Governance.

Decision Making:

- Goal G1: Sustained decision-making that consistently moves Ontario towards its Vision by using The Ontario Plan as a framework for assessing choices.
 - G1-2 Long-term Benefit. We require decisions to demonstrate and document how they add value to the community and support the Ontario Vision

[4] Policy Plan (General Plan)

Land Use Element:

➤ LU1-6 Complete Community: We incorporate a variety of land uses and building types in our land use planning efforts that result in a complete community where residents at all stages of life, employers, workers and visitors have a wide spectrum of choices of where they can live, work, shop and recreate within Ontario. (Refer to Complete Community Section of Community Economics Element).

- Goal LU3: Flexibility in staff, regulations, and processes in order to respond to special conditions and circumstances in order to achieve the vision.

Community Economics Element:

- Goal CE1: A complete community that provides for all incomes and stages of life.
 - CE2-1 Development Projects. We require new development and redevelopment to create unique, high-quality places that add value to the community.

➤ CE2-4 Protection of Investment. We require that new development and redevelopment protect existing investment by providing architecture and urban design of equal or greater quality.

Community Design Element:

▪ Goal CD2: A high level of design quality resulting in public spaces, streetscapes, and developments that are attractive, safe, functional and distinct.

➤ CD2-1 Quality Architecture. We encourage all development projects to convey visual interest and character through:

- Building volume, massing, and height to provide appropriate scale and proportion;
- A true architectural style which is carried out in plan, section and elevation through all aspects of the building and site design and appropriate for its setting; and
- Exterior building materials that are visually interesting, high quality, durable, and appropriate for the architectural style.

➤ CD2-9 Landscape Design. We encourage durable landscaping materials and designs that enhance the aesthetics of structures, create and define public and private spaces, and provide shade and environmental benefits.

➤ CD2-13 Entitlement Process. We work collaboratively with all stakeholders to ensure a high degree of certainty in the efficient review and timely processing of all development plans and permits.

HOUSING ELEMENT COMPLIANCE: The project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan, as the project site is not one of the properties in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix.

AIRPORT LAND USE COMPATIBILITY PLAN (ALUCP) COMPLIANCE: The project site is located within the Airport Influence Area of the Ontario International Airport, and has been found to be consistent with the policies and criteria set forth within the Ontario International Airport Land Use Compatibility Plan.

ENVIRONMENTAL REVIEW: The application is a project pursuant to the California Environmental Quality Act (Public Resources Code Section 21000 et seq.) ("CEQA"). The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15302 (Replacement or Reconstruction) of the CEQA Guidelines, which consists of replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure

replaced and will have substantially the same purpose and capacity as the structure replaced, including but not limited to replacement of a commercial structure with a new structure of substantially the same size, purpose, and capacity. The project proposes to replace an existing 5,180 square-foot McDonald's restaurant and drive-thru that was built in the 1980s with a more modern, efficient, and safe 4,950 square-foot McDonald's restaurant and drive-thru which will occupy substantially the same location on the project site and offer the same services as before.

CONDITIONS OF APPROVAL: See attached department reports.

TECHNICAL APPENDIX:

Surrounding Zoning and Land Use:

	<i>Existing Land Use</i>	<i>General Plan Designation</i>	<i>Zoning Designation</i>	<i>Specific Plan Land Use</i>
<i>Site:</i>	Drive-thru restaurant	Neighborhood Commercial (0.4 FAR)	CN (Neighborhood Commercial)	N/A
<i>North:</i>	Single-family residential	Low Density (2.1 – 5 du/ac)	LDR-5 (Low-Density Residential)	N/A
<i>South:</i>	Park	Open Space - Parkland	OS-R (Open Space – Recreation)	N/A
<i>East:</i>	Multi-family residential	Medium-Density (11.1 – 25 du/ac)	MDR-18 (Medium-Density Residential)	N/A
<i>West:</i>	Multi-family residential	Medium-Density (11.1 – 25 du/ac)	MDR-25 (Medium-High Density Residential)	N/A

General Site & Building Statistics

<i>Item</i>	<i>Proposed</i>	<i>Min./Max. Standard</i>	<i>Meets Y/N</i>
<i>Project Area:</i>	0.82 acres	N/A	
<i>Lot/Parcel Size:</i>	0.82 acres	1 (Min.)	N
<i>Building Area:</i>	4,950 SF	N/A	
<i>Floor Area Ratio:</i>	0.14	0.4 (Max.)	Y
<i>Building Height:</i>	21'-4"	35' (Max.)	Y

Exhibit A—PROJECT LOCATION MAP



Exhibit B—PROPOSED SITE PLAN

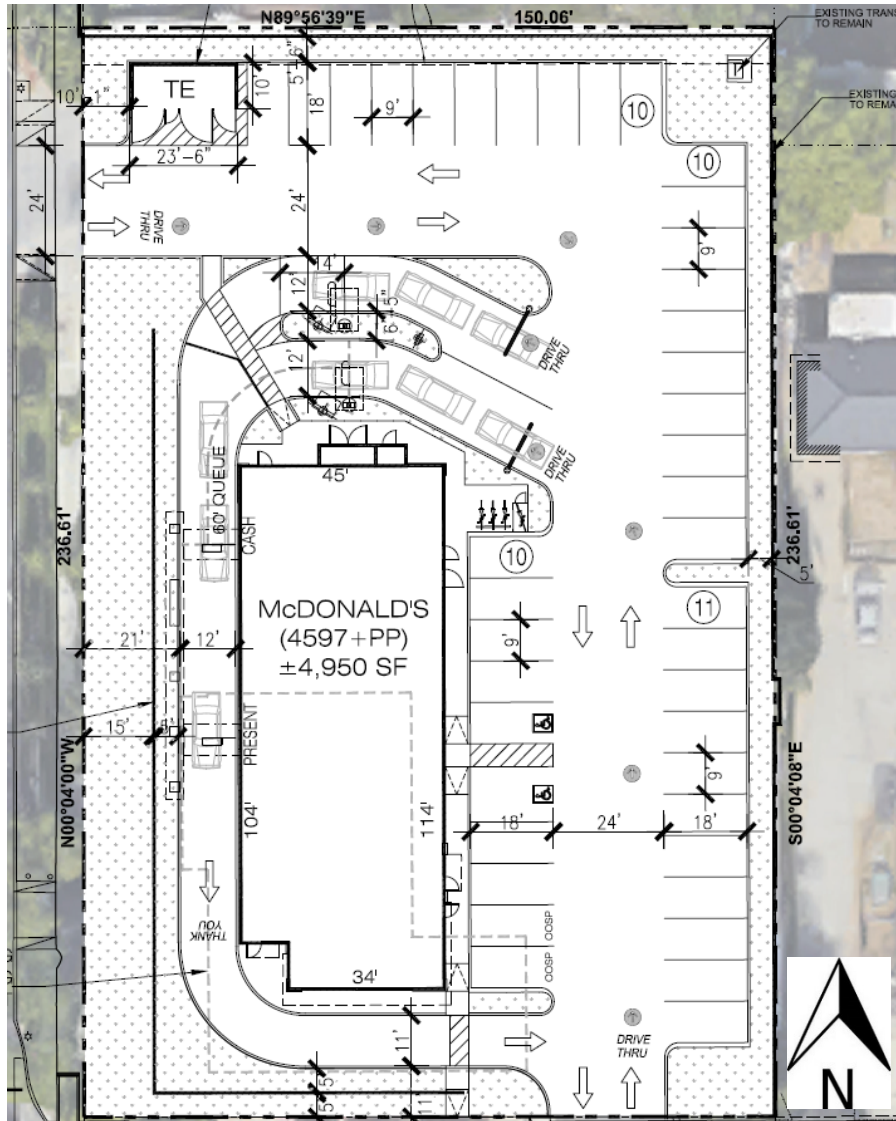


Exhibit C—ELEVATIONS



WEST ELEVATION

RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ONTARIO, CALIFORNIA, APPROVING FILE NO. PVAR18-004, A VARIANCE TO DEVIATE FROM THE MINIMUM DEVELOPMENT CODE STANDARDS FOR PARKING SETBACKS ALONG AN ARTERIAL STREET, FROM 20 FEET TO 16 FEET, AND DRIVE AISLE SETBACKS ALONG AN ARTERIAL STREET, FROM 20 FEET TO 11 FEET, AS WELL AS A REDUCTION IN REQUIRED PARKING SPACES, FROM 47 SPACES TO 41 SPACES, IN CONJUNCTION WITH THE RECONSTRUCTION OF A MCDONALD'S FAST FOOD BUILDING WITH A DRIVE-THRU (FILE NO. PDEV18-001), ON 0.82 ACRES OF LAND LOCATED AT 1107 E. FOURTH STREET, WITHIN THE CN (NEIGHBORHOOD COMMERCIAL) ZONING DISTRICT, AND MAKING FINDINGS IN SUPPORT THEREOF—APN: 1047-461-20.

WHEREAS, MCDONALD'S USA, LLC ("Applicant") has filed an Application for the approval of a Variance, File No. PVAR18-004, as described in the title of this Resolution (hereinafter referred to as "Application" or "Project"); and

WHEREAS, the Application applies to 0.82 acres of land generally located at the northeast corner of Cucamonga Avenue and Fourth Street, at 1107 E. Fourth Street within the CN (Neighborhood Commercial) zoning district, and is presently improved with a McDonald's restaurant and drive-thru; and

WHEREAS, the property to the north of the Project site is within the LDR-5 (Low-Density Residential) zoning district, and is developed with single-family residential. The property to the east is within the MDR-18 (Medium-Density Residential) zoning district, and is developed with multi-family residential. The property to the south is within the OS-R (Open Space – Recreation) zoning district, and is developed with a park. The property to the west is within the MDR-25 (Medium-High Density Residential) zoning district, and is developed with multi-family residential; and

WHEREAS, the Variance proposes to deviate from the minimum Development Code standards for parking setbacks along an arterial street, from 20 feet to 16 feet, and drive aisle setbacks along an arterial street, from 20 feet to 11 feet, as well as a reduction in required parking spaces, from 47 spaces to 41 spaces. As the project site does not meet the current Development Code minimum lot size for drive-thru restaurants (1 acre), but is currently developed with a drive-thru restaurant, the Variance will allow for site improvements to facilitate a more efficient and safe drive-thru that meets ADA and landscape standards. The proposed project, with the Variance request, will be more successful and will allow for an economically-viable product that is consistent with the density, scale, and building setbacks of the surrounding developments; and

WHEREAS, The Variance was submitted in conjunction with a Development Plan (File No. PDEV18-001) that proposes to demolish an existing McDonald's restaurant and drive-thru in order to construct a new 4,950 square-foot restaurant and double-lane drive-thru behind the menu board; and

WHEREAS, the Project is exempt from CEQA pursuant to a categorical exemption (listed in CEQA Guidelines Article 19, commencing with Section 15300) and the application of that categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Planning Commission the responsibility and authority to review and act on the subject Application; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan (hereinafter referred to as "ALUCP"), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed;

WHEREAS, on November 19, 2018, the Development Advisory Board of the City of Ontario conducted a hearing to consider the Project, and concluded said hearing on that date, voting to issue Decision No. DAB18-062, recommending the Planning Commission approve the Application; and

WHEREAS, on November 27, 2018, the Planning Commission of the City of Ontario conducted a hearing to consider the Project, and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, IT IS HEREBY FOUND, DETERMINED, AND RESOLVED by the Planning Commission of the City of Ontario, as follows:

SECTION 1: *Environmental Determination and Findings.* As the decision-making authority for the Project, the Planning Commission has reviewed and considered the information contained in the administrative record for the Project. Based upon the facts and information contained in the administrative record, including all written and oral evidence presented to the Planning Commission, the Planning Commission finds as follows:

(1) The administrative record have been completed in compliance with CEQA, the State CEQA Guidelines, and the City of Ontario Local CEQA Guidelines; and

(2) The Project is categorically exempt from environmental review pursuant to Section 15302 (Class 2, Replacement or Reconstruction) of the CEQA Guidelines, which consists of replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced, including but not limited to replacement of a commercial structure with a new structure of substantially the same size, purpose, and capacity. The project proposes to replace an existing 5,180 square-foot McDonald's restaurant and drive-thru that was built in the 1980s with a more modern, efficient, and safe 4,950 square-foot McDonald's restaurant and drive-thru which will occupy substantially the same location on the project site and offer the same services as before; and

(3) The application of the categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

(4) The determination of CEQA exemption reflects the independent judgment of the Planning Commission.

SECTION 2: *Housing Element Compliance.* Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the decision-making authority for the Project, the Planning Commission finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan, as the project site is not one of the properties in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix.

SECTION 3: *Ontario International Airport Land Use Compatibility Plan (“ALUCP”) Compliance.* The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the ALUCP, establishing the Airport Influence Area for Ontario International Airport (hereinafter referred to as “ONT”), which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the decision-making authority for the Project, the Planning Commission has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the Planning Commission therefore finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

SECTION 4: *Concluding Facts and Reasons.* Based upon the substantial evidence presented to the Planning Commission during the above-referenced hearing, and upon the specific findings set forth in Section 1 through 3, above, the Planning Commission hereby concludes as follows:

(1) ***The strict or literal interpretation and enforcement of the specified regulation would result in practical difficulty or unnecessary physical hardship inconsistent with the objectives of the development regulations contained in this Development Code.*** The 0.82-acre site is currently developed with a McDonald’s restaurant and drive-thru, which was built in the 1980s. Since the 1980s, Development Code standards have been updated, and the strict application of the drive aisle setbacks and parking standards would not allow the applicant to feasibly reconstruct the restaurant in order to provide a more efficient and ADA-accessible floor plan and more efficient drive-thru, while still being respectful to the existing residential uses to the north and east of the project site. The project site at 0.82 acres is substandard in size and does not comply with the current Development Code requirement of a minimum 1-acre parcel for drive-thru facilities. However, the minimum 1-acre parcel requirement does not apply to this project because the parcel is a legally-established lot. Because of the substandard lot size and applicant’s consideration of the existing residential development to the north and east, the Variance application is necessary to facilitate the related Development Plan application. Approval of the Variance request will facilitate various site improvements, such as compliance with building setbacks, landscaping and trash enclosure standards,

and safer and more efficient site circulation, drive-thru, ingress, and egress. In addition, the TOP land use designation for the project site is Neighborhood Commercial, which allows for a 0.4 FAR; therefore, the project as proposed with an FAR of 0.14 does not maximize the use of the site. Strict interpretation and enforcement of the Development Plan's parking standards and drive aisle setbacks would result in practical difficulty or unnecessary physical hardship inconsistent with the objectives of the development regulations contained in the Ontario Development Code. Further, TOP Goal LU3 allows for flexible response to conditions and circumstances in order to achieve the Vision; and

(2) ***There are exceptional or extraordinary circumstances or conditions applicable to the property involved, or to the intended use of the property, that do not apply generally to other properties in the vicinity and in the same zoning district.*** The project site at 0.82 acres is substandard in size and does not comply with the current Development Code requirement of a minimum 1-acre parcel for drive-thru facilities. However, the minimum 1-acre parcel requirement does not apply to this project because the parcel is a legally-established lot. Because of the substandard lot size and applicant's consideration of the existing residential development to the north and east, the Variance application is necessary to facilitate the related Development Plan application. Requiring enforcement of the current Development Code standards would result in a project which is not economically feasible, as the current drive-thru facility was developed in the 1980s, when current setback and parking standards were not applicable to the site. Further, the requested relief from the minimum parking standards and drive aisle setbacks will allow for greater design flexibility and assist the Applicant in providing a project that will both better serve its customers and greatly improve upon the existing streetscape in the neighborhood; and

(3) ***The strict or literal interpretation and enforcement of the specified regulation would deprive the applicant of privileges enjoyed by the owners of other properties in the same zoning district.*** The requested relief from the minimum arterial street drive aisle setbacks, along Fourth Street, and parking standards will allow for greater design flexibility and will serve to provide an economically-viable development on the project site. The Variance application will enable the project to be more consistent with properties in the same zoning district that are located near the project site. In addition, the setback deviations will provide the applicant the ability to comply with other Development Code regulations, such as landscaping, building setbacks, safe and effective site circulation, and a new trash enclosure. Therefore, the strict or literal interpretation and enforcement of the specified regulations would deprive the applicant of privileges enjoyed by owners of other properties in the same zoning district and reduce the applicant's ability to create a well-designed, economically-viable project; and

(4) ***The granting of the Variance will not be detrimental to the public health, safety or welfare, or be materially injurious to properties or improvements in the vicinity.*** A thorough review and analysis of the proposed Variance and its potential

to adversely impact properties surrounding the subject site was completed by staff. As a result of this review, certain design considerations will be incorporated into the project as conditions of approval to mitigate identified impacts to an acceptable level, including the use of upgraded materials, the inclusion of certain architectural design elements on building exteriors, intensified landscape elements, and placement of the building, drive-thru, and menu/order board speakers. The building is proposed to be sited at the southwest corner of the project site, the reconstructed drive-thru and menu/order boards are proposed to occupy approximately the same location as the existing drive-thru and menu/order boards, and the pick-up window will face the street, all in order to minimize potential impacts to the residential developments to the north and east. Therefore, the granting of the Variance will not be detrimental to the public health, safety, or welfare, and will not be materially injurious to properties or improvements in the vicinity; and

(5) ***The proposed Variance is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan, and the purposes of any applicable specific plan or planned unit development, and the purposes of this Development Code.*** The proposed Project is located with the Neighborhood Commercial land use district of the Policy Plan Land Use Map, and the CN (Neighborhood Commercial) zoning district. The development standards and conditions under which the proposed Project will be constructed and maintained, is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan. The project will meet the following goals, policies, and plans:

- City Council Goals
 - Investing in the growth and evolution of the City's economy by providing more economic opportunities through the creation of jobs and revenue; and
 - The operation of the City in a businesslike manner by working with the applicant to arrive at a project that meets the City's intent and the applicant's business needs; and
- Governance
 - GI-2 Long-term Benefit, by demonstrating how the project adds value to the community and supports the Ontario Vision; and
- Policy Plan (General Plan)
 - Goal LU3, which promotes flexibility in staff, regulations, and processes in order to respond to special conditions and circumstances in order to achieve the Vision; and
 - CE2-1 Development Projects, by requiring that new development creates unique, high-quality places that add value to the community; and

- CE2-4 Protection of Investment, in that the new development shall protect existing investment by providing architecture and urban design of equal or greater quality; and
- CD2-1 Quality Architecture, in that City staff have encouraged the development to convey visual interest and character through building volume, massing, and height to provide appropriate scale and proportion, and exterior building materials that are visually interesting, high quality, durable, and appropriate for the architectural style; and
- CD2-13 Entitlement Process, in that City staff is working collaboratively with all stakeholders to ensure a high degree of certainty in the efficient review and timely processing of all development plans and permits.

SECTION 5: *Planning Commission Action.* Based upon the findings and conclusions set forth in Sections 1 through 4, above, the Planning Commission hereby APPROVES the herein described Application, subject to each and every condition set forth in the Department reports attached hereto as “Attachment A,” and incorporated herein by this reference.

SECTION 6: *Indemnification.* The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void, or annul this approval. The City of Ontario shall promptly notify the applicant of any such claim, action, or proceeding, and the City of Ontario shall cooperate fully in the defense.

SECTION 7: *Custodian of Records.* The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East “B” Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario.

SECTION 8: *Certification to Adoption.* The Secretary shall certify to the adoption of the Resolution.

The Secretary Pro Tempore for the Planning Commission of the City of Ontario shall certify as to the adoption of this Resolution.

I hereby certify that the foregoing Resolution was duly and regularly introduced, passed and adopted by the Planning Commission of the City of Ontario at a regular meeting thereof held on the 27th day of November, 2018, and the foregoing is a full, true and correct copy of said Resolution, and has not been amended or repealed.

Richard D. Delman
Planning Commission Chairman

ATTEST:

Cathy Wahlstrom
Planning Director
Secretary to the Planning Commission

STATE OF CALIFORNIA)
COUNTY OF SAN BERNARDINO)
CITY OF ONTARIO)

I, Gwen Berendsen, Secretary Pro Tempore of the Planning Commission of the City of Ontario, DO HEREBY CERTIFY that foregoing Resolution No. ____ was duly passed and adopted by the Planning Commission of the City of Ontario at their regular meeting held on November 27, 2018, by the following roll call vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Gwen Berendsen
Secretary Pro Tempore

ATTACHMENT A:

**File No. PVAR18-004
Departmental Conditions of Approval**

(Departmental conditions of approval to follow this page)



City of Ontario
Planning Department
303 East B Street
Ontario, California 91764
Phone: 909.395.2036
Fax: 909.395.2420

*Planning Department
Land Development Division
Conditions of Approval*

Meeting Date: November 27, 2018

File No: PVAR18-004

Related Files: PDEV18-001

Project Description: A Variance to deviate from the minimum Development Code standards for parking setbacks along an arterial street, from 20 feet to 16 feet, and drive aisle setbacks along an arterial street, from 20 feet to 11 feet, as well as a reduction in required parking spaces, from 47 spaces to 41 spaces, in conjunction with the reconstruction of a McDonald's fast food building with a drive-thru (File No. PDEV18-001), on 0.82 acres of land located at 1107 E. Fourth Street, within the CN (Neighborhood Commercial) zoning district. APN: 1047-461-20; **submitted by McDonald's USA, LLC.**

Prepared By: Alexis Vaughn, Assistant Planner
Phone: 909.395.2416 (direct)
Email: avaughn@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

1.0 Standard Conditions of Approval. The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

2.0 Special Conditions of Approval. In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

2.1 Time Limits.

(a) Variance approval shall become null and void one year following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director, except that a Variance approved in conjunction with a Development Plan shall have the same time limits as said Development Plan. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

2.2 Environmental Review.

(a) The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15302 (Replacement or Reconstruction) of the CEQA Guidelines, which consists of replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced, including but not limited to replacement of a commercial structure with a new structure of substantially the same size, purpose, and capacity.

(b) If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

(c) If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

2.3 Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

2.4 Additional Requirements.

(a) The project is subject to approval of the related Development Plan application (File No. PDEV18-001).

RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ONTARIO, CALIFORNIA, APPROVING FILE NO. PDEV18-001, A DEVELOPMENT PLAN TO CONSTRUCT A 4,950 SQUARE-FOOT MCDONALD'S DRIVE-THRU RESTAURANT, IN CONJUNCTION WITH A VARIANCE (FILE NO. PVAR18-004) TO REDUCE THE PARKING SETBACKS ALONG AN ARTERIAL STREET, FROM 20 FEET TO 16 FEET, AND DRIVE AISLE SETBACKS ALONG AN ARTERIAL STREET, FROM 20 FEET TO 11 FEET, AS WELL AS A REDUCTION IN REQUIRED PARKING SPACES, FROM 47 SPACES TO 41 SPACES, ON 0.82 ACRES OF LAND LOCATED AT THE NORTHEAST CORNER OF FOURTH STREET AND CUCAMONGA AVENUE, WITHIN THE CN (NEIGHBORHOOD COMMERCIAL) ZONING DISTRICT AT 1107 E. FOURTH STREET, AND MAKING FINDINGS IN SUPPORT THEREOF— APN: 1047-461-20.

WHEREAS, MCDONALD'S USA, LLC ("Applicant") has filed an Application for the approval of a Development Plan, File No. PDEV18-001, as described in the title of this Resolution (hereinafter referred to as "Application" or "Project"); and

WHEREAS, the Application applies to 0.82 acres of land generally located at the northeast corner of Cucamonga Avenue and Fourth Street, at 1107 E. Fourth Street within the CN (Neighborhood Commercial) zoning district, and is presently improved with a McDonald's restaurant and drive-thru; and

WHEREAS, the property to the north of the Project site is within the LDR-5 (Low-Density Residential) zoning district, and is developed with single-family residential. The property to the east is within the MDR-18 (Medium-Density Residential) zoning district, and is developed with multi-family residential. The property to the south is within the OS-R (Open Space – Recreation) zoning district, and is developed with a park. The property to the west is within the MDR-25 (Medium-High Density Residential) zoning district, and is developed with multi-family residential; and

WHEREAS, the Development proposes to demolish an existing 4,571 square-foot McDonald's restaurant and drive-thru and reconstruct a more modern and efficient facility for a total of 4,950 square feet and reconfigure the drive-thru to include two queue lanes behind the order menu; and

WHEREAS, the Development Plan was submitted in conjunction with a Variance (File No. PVAR18-004) to allow for a reduction in various setbacks and number of parking stalls to allow for a more efficient site plan, ample landscaping, ADA compliance, and a new trash enclosure; and

WHEREAS, the Project is exempt from CEQA pursuant to a categorical exemption (listed in CEQA Guidelines Article 19, commencing with Section 15300) and the application of that categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Planning Commission the responsibility and authority to review and act on the subject Application; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan (hereinafter referred to as "ALUCP"), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed;

WHEREAS, on November 19, 2018, the Development Advisory Board of the City of Ontario conducted a hearing to consider the Project, and concluded said hearing on that date, voting to issue Decision No. DAB18-063, recommending the Planning Commission approve the Application; and

WHEREAS, on November 27, 2018, the Planning Commission of the City of Ontario conducted a hearing to consider the Project, and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, IT IS HEREBY FOUND, DETERMINED, AND RESOLVED by the Planning Commission of the City of Ontario, as follows:

SECTION 1: *Environmental Determination and Findings.* As the decision-making authority for the Project, the Planning Commission has reviewed and considered the information contained in the administrative record for the Project. Based upon the facts and information contained in the administrative record, including all written and oral evidence presented to the Planning Commission, the Planning Commission finds as follows:

(1) The administrative record have been completed in compliance with CEQA, the State CEQA Guidelines, and the City of Ontario Local CEQA Guidelines; and

(2) The Project is categorically exempt from environmental review pursuant to Section 15302 (Class 2, Replacement or Reconstruction) of the CEQA Guidelines, which consists of replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced, including but not limited to replacement of a commercial structure with a new structure of substantially the same size, purpose, and capacity. The project proposes to replace an existing 5,180 square-foot McDonald's restaurant and drive-thru that was built in the 1980s with a more modern, efficient, and safe 4,950 square-foot McDonald's restaurant and drive-thru which will occupy substantially the same location on the project site and offer the same services as before; and

(3) The application of the categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

(4) The determination of CEQA exemption reflects the independent judgment of the Planning Commission.

SECTION 2: *Housing Element Compliance.* Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the decision-making authority for the Project, the Planning Commission finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan, as the project site is not one of the properties in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix.

SECTION 3: *Ontario International Airport Land Use Compatibility Plan ("ALUCP") Compliance.* The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of

Ontario approved and adopted the ALUCP, establishing the Airport Influence Area for Ontario International Airport (hereinafter referred to as "ONT"), which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the decision-making authority for the Project, the Planning Commission has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the Planning Commission, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

SECTION 4: *Concluding Facts and Reasons.* Based upon the substantial evidence presented to the Planning Commission during the above-referenced hearing, and upon the specific findings set forth in Section 1 through 3, above, the Planning Commission hereby concludes as follows:

(1) ***The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.*** The proposed Project is located within the Neighborhood Commercial land use district of the Policy Plan Land Use Map, and the CN (Neighborhood Commercial) zoning district. The development standards and conditions under which the proposed Project will be constructed and maintained, is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan. The proposed reconstruction of an existing McDonald's drive-thru restaurant will continue to provide the neighborhood with the commercial convenience, per LU1-6 (Complete Community). Additionally, the project will be well-landscaped, and the overall site improvements will contribute to both the streetscape along Fourth Street and the neighborhood, per CD2-9 (Landscape Design) and CD3-6 (Landscaping). Further, with approval of the Variance request, the reconstruction of the building and reconfiguration of the drive-thru will improve various development standards by increasing the overall landscaping, increasing building and drive aisle setbacks, and providing a trash enclosure that meets current standards, which are not currently being met on the existing project site, while still allowing the flexibility to create an economically-viable project, per LU3 (Flexibility); and

(2) ***The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in***

which the site is located. The Project has been designed consistent with the requirements of the City of Ontario Development Code and the CN (Neighborhood commercial) zoning district, including standards relative to the particular land use proposed (drive-thru restaurant), as-well-as building intensity, building and parking setbacks, building height, number of off-street parking and loading spaces, on-site and off-site landscaping, and fences, walls and obstructions. The project site is currently developed with a drive-thru restaurant, which will be reconstructed so as to better meet Development Code standards. With approval of a Variance for drive aisle setbacks and parking standards, the project will be able to comply with building setbacks, landscaping coverage, trash enclosure standards, and ADA accessibility compliance, which are currently not being met on the existing project site. With approval of the Variance request, the project will also be consistent with the Development Code and TOP; and

(3) ***The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed project.*** The Planning Commission has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the Development Code are maintained; [ii] the project will not endanger the public health, safety or general welfare; [iii] the project will not result in any significant environmental impacts; [iv] the project will be in harmony with the area in which it is located; and [v] the project will be in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan, and the Development Code. The proposed project is complementary to the surroundings in terms of use, massing, and architecture, and will install an extensive landscape buffer along Fourth Street and Cucamonga Avenue to soften the use and appearance of the building, drive-thru, and pickup windows. Conditions have also been imposed on the project to provide appropriate site lighting for safety; and

(4) ***The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.*** The proposed Project has been reviewed for consistency with the general development standards and guidelines of the Development Code that are applicable to the proposed Project, including building intensity, building setbacks, building height, parking lot dimensions, design and landscaping, bicycle parking, on-site landscaping, and fences and walls, as-well-as those development standards and guidelines specifically related to the particular land use being proposed (drive-thru restaurant). As a result of this review, the Planning Commission has determined that the Project, when implemented in conjunction with the conditions of approval and approval of the Variance application, will be consistent with the development standards and guidelines described in the Development Code, including drive aisle setbacks and parking standards.

SECTION 5: *Planning Commission Action.* Based upon the findings and conclusions set forth in Sections 1 through 4, above, the Planning Commission hereby APPROVES the herein described Application, subject to each and every condition set forth in the Department reports attached hereto as “Attachment A,” and incorporated herein by this reference.

SECTION 6: *Indemnification.* The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void, or annul this approval. The City of Ontario shall promptly notify the applicant of any such claim, action, or proceeding, and the City of Ontario shall cooperate fully in the defense.

SECTION 7: *Custodian of Records.* The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East “B” Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario.

SECTION 8: *Certification to Adoption.* The Secretary shall certify to the adoption of the Resolution.

The Secretary Pro Tempore for the Planning Commission of the City of Ontario shall certify as to the adoption of this Resolution.

I hereby certify that the foregoing Resolution was duly and regularly introduced, passed and adopted by the Planning Commission of the City of Ontario at a regular meeting thereof held on the 27th day of November, 2018, and the foregoing is a full, true and correct copy of said Resolution, and has not been amended or repealed.

Richard D. Delman
Planning Commission Chairman

ATTEST:

Cathy Wahlstrom
Planning Director
Secretary to the Planning Commission

STATE OF CALIFORNIA)
COUNTY OF SAN BERNARDINO)
CITY OF ONTARIO)

I, Gwen Berendsen, Secretary Pro Tempore of the Planning Commission of the City of Ontario, DO HEREBY CERTIFY that foregoing Resolution No. ____ was duly passed and adopted by the Planning Commission of the City of Ontario at their regular meeting held on November 27, 2018, by the following roll call vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Gwen Berendsen
Secretary Pro Tempore

ATTACHMENT A:

**File No. PDEV18-001
Departmental Conditions of Approval**

(Departmental conditions of approval to follow this page)



City of Ontario
Planning Department
303 East B Street
Ontario, California 91764
Phone: 909.395.2036
Fax: 909.395.2420

*Planning Department
Land Development Division
Conditions of Approval*

Meeting Date: November 27, 2018

File No: PDEV18-001

Related Files: PVAR18-004

Project Description: A Development Plan to construct a 4,950 square-foot McDonald's drive-thru restaurant, in conjunction with a Variance (File No. PVAR18-004) to reduce the parking setbacks along an arterial street, from 20 feet to 16 feet, and drive aisle setbacks along an arterial street, from 20 feet to 11 feet, as well as a reduction in required parking spaces, from 47 spaces to 41 spaces, on 0.82 acres of land located at the northeast corner of Fourth Street and Cucamonga Avenue, within the CN (Neighborhood Commercial) zoning district at 1107 E. Fourth Street. (APN: 1047-461-20); **submitted by McDonald's USA, LLC.**

Prepared By: Alexis Vaughn, Assistant Planner
Phone: 909.395.2416 (direct)
Email: avaughn@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

1.0 Standard Conditions of Approval. The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

2.0 Special Conditions of Approval. In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

2.1 Time Limits.

(a) Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

2.2 General Requirements. The Project shall comply with the following general requirements:

(a) All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

(b) The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

(c) The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

2.3 Landscaping.

(a) The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

(b) Comply with the conditions of approval of the Planning Department; Landscape Planning Division.

(c) Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

(d) Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

2.4 Walls and Fences. All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

2.5 Parking, Circulation and Access.

(a) The Project shall comply with the applicable off-street parking, loading and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

(b) Areas provided to meet the City's parking requirements, including off-street parking and loading spaces, access drives, and maneuvering areas, shall not be used for the outdoor storage of materials and equipment, nor shall it be used for any other purpose than parking.

(c) The required number of off-street parking spaces and/or loading spaces shall be provided at the time of site and/or building occupancy. All parking and loading spaces shall be maintained in good condition for the duration of the building or use. The required number of off-street parking spaces is subject to the approval of the Variance request.

(d) Parking spaces specifically designated and conveniently located for use by the physically disabled shall be provided pursuant to current accessibility regulations contained in State law (CCR Title 24, Part 2, Chapters 2B71, and CVC Section 22507.8).

(e) Bicycle parking facilities, including bicycle racks, lockers, and other secure facilities, shall be provided in conjunction with development projects pursuant to current regulations contained in CALGreen (CAC Title 24, Part 11).

2.6 Site Lighting.

(a) All off-street parking facilities shall be provided with nighttime security lighting pursuant to Ontario Municipal Code Section 4-11.08 (Special Residential Building Provisions) and Section 4-11.09 (Special Commercial/Industrial Building Provisions), designed to confine emitted light to the parking

areas. Parking facilities shall be lighted from sunset until sunrise, daily, and shall be operated by a photocell switch.

(b) Unless intended as part of a master lighting program, no operation, activity, or lighting fixture shall create illumination on any adjacent property.

2.7 Mechanical and Rooftop Equipment.

(a) All exterior roof-mounted mechanical, heating and air conditioning equipment, and all appurtenances thereto, shall be completely screened from public view by parapet walls or roof screens that are architecturally treated so as to be consistent with the building architecture.

(b) All ground-mounted utility equipment and structures, such as tanks, transformers, HVAC equipment, and backflow prevention devices, shall be located out of view from a public street, or adequately screened through the use of landscaping and/or decorative low garden walls.

2.8 Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

2.9 Signs. All Project signage shall comply with the requirements of Ontario Development Code Division 8.1 (Sign Regulations), and a sign permit shall be applied for and approved prior to the installation of any business signs.

2.10 Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noised levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

2.11 Environmental Review.

(a) The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15302 (Replacement or Reconstruction) of the CEQA Guidelines, which consists of replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced, including but not limited to replacement of a commercial structure with a new structure of substantially the same size, purpose, and capacity.

(b) If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

(c) If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

2.12 Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

2.13 Additional Fees.

(a) Within 5 days following final application approval, the Notice of Determination (NOD) filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act (CEQA). Failure to provide said fee within the time specified may result in a 180-day extension to the statute of limitations for the filing of a CEQA lawsuit.

(b) After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

2.14 Additional Requirements.

(a) The project is subject to approval of the related Variance application (File No. PVAR18-004).



**ENGINEERING DEPARTMENT
CONDITIONS OF APPROVAL**

(Environmental, Traffic/Transportation Division, Ontario Municipal Utilities Company
Information Technology and Management Services Department conditions incorporated herein)

<input checked="" type="checkbox"/> DEVELOPMENT PLAN <input type="checkbox"/> OTHER	<input type="checkbox"/> PARCEL MAP <input type="checkbox"/> TRACT MAP <input type="checkbox"/> FOR CONDOMINIUM PURPOSES
PROJECT FILE NO. <u>PDEV18-001</u> RELATED FILE NO(S). <u>PVAR18-005 & PDET18-001</u>	
<input checked="" type="checkbox"/> ORIGINAL <input type="checkbox"/> REVISED: <u> / / </u>	

CITY PROJECT ENGINEER & PHONE NO: Antonio Alejos (909) 395-2384 *A.A.*

CITY PROJECT PLANNER & PHONE NO: Alexis Vaughn (909) 395-2416

DAB MEETING DATE: November 19th, 2018

PROJECT NAME / DESCRIPTION: PDEV18-001, a Development Plan to construct a 4,950-SF McDonald's drive-thru restaurant on 0.81 acres of land.

LOCATION: 1107 East 4th Street

APPLICANT: McDonald's USA, LLC

REVIEWED BY: *[Signature]* 11/6/18
 Bryan Liley, P.E. Date
 Principal Engineer

APPROVED BY: *[Signature]* 11/7/18
 Khoi Do, P.E. Date
 Assistant City Engineer



THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE GENERAL STANDARD CONDITIONS OF APPROVAL ADOPTED BY THE CITY COUNCIL (RESOLUTION NO. 2017-027) AND THE PROJECT SPECIFIC CONDITIONS OF APPROVAL SPECIFIED IN HEREIN. ONLY APPLICABLE CONDITIONS OF APPROVAL ARE CHECKED. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL APPLICABLE CONDITIONS OF APPROVAL PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, ISSUANCE OF PERMITS AND/OR OCCUPANCY CLEARANCE, AS SPECIFIED IN THIS REPORT.

1. PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, APPLICANT SHALL: **Check When Complete**

- 1.01 Dedicate to the City of Ontario, the right-of-way, described below:
 _____ feet on _____
 Property line corner 'cut-back' required at the intersection of _____
 and _____.
- 1.02 Dedicate to the City of Ontario, the following easement(s): _____

- 1.03 Restrict vehicular access to the site as follows: _____
- 1.04 Vacate the following street(s) and/or easement(s): _____
- 1.05 Submit a copy of a recorded private reciprocal use agreement or easement. The agreement or easement shall ensure, at a minimum, common ingress and egress and joint maintenance of all common access areas and drive aisles.
- 1.06 Provide (original document) Covenants, Conditions and Restrictions (CC&Rs) as applicable to the project and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&Rs shall provide for, but not be limited to, common ingress and egress, joint maintenance responsibility for all common access improvements, common facilities, parking areas, utilities, median and landscaping improvements and drive approaches, in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project. The CC&Rs shall also address the maintenance and repair responsibility for public improvements/utilities (sewer, water, storm drain, recycled water, etc.) located within open space/easements. In the event of any maintenance or repair of these facilities, the City shall only restore disturbed areas to current City Standards.
- 1.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658.
- 1.08 File an application for Reapportionment of Assessment, together with payment of a reapportionment processing fee, for each existing assessment district listed below. Contact the Management Services Department at (909) 395-2124 regarding this requirement.
 (1) _____
 (2) _____
- 1.09 Prepare a fully executed Subdivision Agreement (on City approved format and forms) with accompanying security as required, or complete all public improvements.



- 1.10 Provide a monument bond (i.e. cash deposit) in an amount calculated by the City's approved cost estimate spreadsheet (available for download on the City's website: www.ci.ontario.ca.us) or as specified in writing by the applicant's Registered Engineer or Licensed Land Surveyor of Record and approved by the City Engineer, whichever is greater.
- 1.11 Provide a preliminary title report current to within 30 days.
- 1.12 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of three (3) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Management Services at (909) 395-2353 to initiate the CFD application process.
- 1.13 New Model Colony (NMC) Developments:
 - 1) Provide evidence of final cancellation of Williamson Act contracts associated with this tract, prior to approval of any final subdivision map. Cancellation of contracts shall have been approved by the City Council.
 - 2) Provide evidence of sufficient storm water capacity availability equivalents (Certificate of Storm Water Treatment Equivalents).
 - 3) Provide evidence of sufficient water availability equivalents (Certificate of Net MDD Availability).
- 1.14 Other conditions: _____

2. PRIOR TO ISSUANCE OF ANY PERMITS, APPLICANT SHALL:

**A. GENERAL
 (Permits includes Grading, Building, Demolition and Encroachment)**

- 2.01 Record Parcel Map/Tract Map No. _____ pursuant to the Subdivision Map Act and in accordance with the City of Ontario Municipal Code.
- 2.02 Submit a duplicate photo mylar of the recorded map to the City Engineer's office.
- 2.03 **Note that the subject parcel is a recognized parcel in the City of Ontario Per Parcel Map No. 2617, Parcel 1.**
- 2.04 Note that the subject parcel is an 'unrecognized' parcel in the City of Ontario and shall require a Certificate of Compliance to be processed unless a deed is provided confirming the existence of the parcel prior to the date of _____ .
- 2.05 Apply for a: Certificate of Compliance with a Record of Survey; Lot Line Adjustment
 - Make a Dedication of Easement.
- 2.06 Provide (original document) Covenants, Conditions and Restrictions (CC&R's), as applicable to the project, and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&R's shall provide for, but not be limited to, common ingress and egress, joint maintenance of all common access improvements, common facilities, parking areas, utilities and drive approaches in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project.



- 2.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658.
- 2.08 **Submit a soils/geology report.**
- 2.09 Other Agency Permit/Approval: Submit a copy of the approved permit and/or other form of approval of the project from the following agency or agencies:
 - State of California Department of Transportation (Caltrans)
 - San Bernardino County Road Department (SBCRD)
 - San Bernardino County Flood Control District (SBCFCD)
 - Federal Emergency Management Agency (FEMA)
 - Cucamonga Valley Water District (CVWD) for sewer/water service
 - United States Army Corps of Engineers (USACE)
 - California Department of Fish & Game
 - Inland Empire Utilities Agency (IEUA)
 - Other: _____
- 2.10 **Dedicate to the City of Ontario the right-of-way described below:**

Property line corner 'cut-back' required at the intersection of Cucamonga Avenue and 4th Street per City Standard Drawing Number 1301.
- 2.11 Dedicate to the City of Ontario the following easement(s): _____
- 2.12 New Model Colony (NMC) Developments:
 - 1) Submit a copy of the permit from the San Bernardino County Health Department to the Engineering Department and the Ontario Municipal Utilities Company (OMUC) for the destruction/abandonment of the on-site water well. The well shall be destroyed/abandoned in accordance with the San Bernardino County Health Department guidelines.
 - 2) Make a formal request to the City of Ontario Engineering Department for the proposed temporary use of an existing agricultural water well for purposes other than agriculture, such as grading, dust control, etc. Upon approval, the Applicant shall enter into an agreement with the City of Ontario and pay any applicable fees as set forth by said agreement.
 - 3) Design proposed retaining walls to retain up to a maximum of three (3) feet of earth. In no case shall a wall exceed an overall height of nine (9) feet (i.e. maximum 6-foot high wall on top of a maximum 3-foot high retaining wall).
- 2.13 **Submit a security deposit to the Engineering Department to guarantee construction of the public improvements required herein valued at 100% of the approved construction cost estimate. Security deposit shall be in accordance with the City of Ontario Municipal Code. Security deposit will be eligible for release, in accordance with City procedure, upon completion and acceptance of said public improvements.**
- 2.14 The applicant/developer shall submit all necessary survey documents prepared by a Licensed Surveyor registered in the State of California detailing all existing survey monuments in and around the project site. These documents are to be reviewed and approved by the City Survey Office.



- 2.15 Pay all Development Impact Fees (DIF) to the Building Department. Storm Drain Development Impact Fee, approximately \$17,000, shall be paid to the Building Department. Final fee shall be determined based on the approved site plan.**

- 2.16 Other conditions:**
 - 1. **The Applicant/Developer shall pay an In-Lieu Fee, approximately \$29,000, to underground overhead utilities along the entire property frontage at 4th Street.**



B. PUBLIC IMPROVEMENTS
 (See attached Exhibit 'A' for plan check submittal requirements.)

2.17 Design and construct full public improvements in accordance with the City of Ontario Municipal Code, current City standards and specifications, master plans and the adopted specific plan for the area, if any. These public improvements shall include, but not be limited to, the following (checked boxes):

Improvement	4 th St	Cucamonga Av	Street 3	Street 4
Curb and Gutter	<input type="checkbox"/> New; ___ ft. from C/L <input checked="" type="checkbox"/> Replace damaged	<input checked="" type="checkbox"/> New; 18-ft. from C/L <input type="checkbox"/> Replace damaged	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged
AC Pavement	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions
PCC Pavement (Truck Route Only)	<input type="checkbox"/> New <input type="checkbox"/> Modify Existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Drive Approach	<input checked="" type="checkbox"/> New Commercial Type Approach <input type="checkbox"/> Remove and replace replace	<input checked="" type="checkbox"/> New Commercial Type Approach <input checked="" type="checkbox"/> In-fill Existing Driveway Approach w/ curb/gutter and pkwy landscaping	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace replace
Sidewalk	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
ADA Access Ramp	<input checked="" type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Parkway	<input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation)	<input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)
Raised Landscaped Median	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Fire Hydrant	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation



Sewer (see Sec. 2.C)	<input checked="" type="checkbox"/> Lateral w/ cleanout <input checked="" type="checkbox"/> Abandon existing lateral no longer to be used.	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
Water (see Sec. 2.D)	<input checked="" type="checkbox"/> Equip Existing Domestic Water Service w/ a Backflow Device <input checked="" type="checkbox"/> New Service for Irrigation Use Only w/ Backflow Device <input checked="" type="checkbox"/> New Service for Fire w/ DCDA	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Recycled Water (see Sec. 2.E)	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Traffic Signal System (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Traffic Signing and Striping (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Street Light (see Sec. 2.F)	<input checked="" type="checkbox"/> Upgrade Existing Luminaire to LED <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> Upgrade existing luminaire to LED <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation
Bus Stop Pad or Turn-out (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Storm Drain (see Sec. 2G)	<input checked="" type="checkbox"/> New Under Sidewalk Drain	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
Fiber Optics (see Sec. 2K)	<input checked="" type="checkbox"/> Conduit / Appurtenances	<input checked="" type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances
Overhead Utilities	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate
Removal of Improvements	_____ _____ _____	<input checked="" type="checkbox"/> Remove existing driveway approach no longer to be used.	_____ _____ _____	_____ _____ _____



Other Improvements (see Sec. 2.F)	<input checked="" type="checkbox"/> Remove and replace existing cross-gutter			
--------------------------------------	--	--	--	--

Specific notes for improvements listed in item no. 2.17, above: _____

- 2.18 Construct a 2" asphalt concrete (AC) grind and overlay on the following street(s):
 1. Cucamonga Avenue - Minimum limits of construction shall be along the entire property frontage, from street centerline to curb/gutter.
- 2.19 Reconstruction of the full pavement structural section, per City of Ontario Standard Drawing number 1011, may be required based on the existing pavement condition and final street design. Minimum limits of reconstruction shall be along property frontage, from street centerline to curb/gutter.
- 2.20 Make arrangements with the Cucamonga Valley Water District (CVWD) to provide water service sewer service to the site. This property is within the area served by the CVWD and Applicant shall provide documentation to the City verifying that all required CVWD fees have been paid.
- 2.21 Overhead utilities shall be under-grounded, in accordance with Title 7 of the City's Municipal Code (Ordinance No. 2804 and 2892). Developer may pay in-lieu fee, approximately \$29,000, for undergrounding of utilities in accordance with Section 7-7.303.e of the City's Municipal Code.
- 2.22 Other conditions: _____

C. SEWER

- 2.23 An 8-inch sewer main is available for connection by this project in Fourth Street (Ref: Sewer plan bar code: S11473)
- 2.24 Design and construct a sewer main extension. A sewer main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.25 Submit documentation that shows expected peak loading values for modeling the impact of the subject project to the existing sewer system. The project site is within a deficient public sewer system area. Applicant shall be responsible for all costs associated with the preparation of the model. Based on the results of the analysis, Applicant may be required to mitigate the project impact to the deficient public sewer system, including, but not limited to, upgrading of existing sewer main(s), construction of new sewer main(s) or diversion of sewer discharge to another sewer.
- 2.26 Other conditions:
 1. The Applicant/Developer or Occupant shall apply for a Wastewater Discharge Permit for their Establishment, and shall comply will all the requirements of the Wastewater Discharge Permit (<http://www.ontarioca.gov/municipal-utilities-company/utilities/industrial-wastewater-discharge-permit>).

Requirements of the Wastewater Discharge Permit may include, but not limited to: Installation of wastewater pretreatment equipment, such as grease interceptors, to the on-site sewer system. For wastewater permit application questions, please contact:

Michael Birmelin, Environmental Programs Manager
omucenvironmental@ontarioca.gov
 Phone: (909) 395-2661



D. WATER

- 2.27 A 10-inch water main is available for connection by this project in Fourth Street (Ref: Water plan bar code: W11046)
- 2.28 Design and construct a water main extension. A water main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.29 Other conditions: _____

E. RECYCLED WATER

- 2.30 A _____ inch recycled water main is available for connection by this project in _____. (Ref: Recycled Water plan bar code: _____)
- 2.31 Design and construct an on-site recycled water system for this project. A recycled water main does exist in the vicinity of this project.
- 2.32 Design and construct an on-site recycled water ready system for this project. A recycled water main does not currently exist in the vicinity of this project, but is planned for the near future. If Applicant would like to connect to this recycled water main when it becomes available, the cost for the connection shall be borne solely by the Applicant.
- 2.33 Submit two (2) hard copies and one (1) electronic copy, in PDF format, of the Engineering Report (ER), for the use of recycled water, to the OMUC for review and subsequent submittal to the California Department of Public Health (CDPH) for final approval.

Note: The OMUC and the CDPH review and approval process will be approximately three (3) months. Contact the Ontario Municipal Utilities Company at (909) 395-2647 regarding this requirement.

- 2.34 Other conditions: _____

F. TRAFFIC / TRANSPORTATION

- 2.35 Submit a focused traffic impact study, prepared and signed by a Traffic/Civil Engineer registered in the State of California. The study shall address, but not be limited to, the following issues as required by the City Engineer:
 1. On-site and off-site circulation
 2. Traffic level of service (LOS) at 'build-out' and future years
 3. Impact at specific intersections as selected by the City Engineer
- 2.36 New traffic signal installations shall be added to Southern California Edison (SCE) customer account number # 2-20-044-3877.
- 2.37 Other conditions:
 1. The Applicant/Developer shall convert the existing street lights along the project frontages of Cucamonga Avenue and Fourth Street with LED cobra heads in accordance with the City of Ontario Traffic and Transportation Design Guidelines.
 2. The Applicant/Developer shall remove and replace the existing wheel chair ramp at the intersection of Cucamonga Avenue and Fourth Street with a new ramp per City Standard Drawing Number 1106 and 1213, new wheel chair ramp curb return radius, R=25-ft.
 3. The Applicant/Developer shall remove and replace the existing cross gutter located between the NWC and NEC spandrel on 4th Street and Cucamonga Avenue per the latest City Standards. Protect in place the NWC spandrel during the reconstruction of the cross gutter. Only the NEC spandrel and ramp shall be replaced.



G. DRAINAGE / HYDROLOGY

- 2.38 A _____ inch storm drain main is available to accept flows from this project in _____.
(Ref: Storm Drain plan bar code: _____)
- 2.39 Submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California. The study shall be prepared in accordance with the San Bernardino County Hydrology Manual and City of Ontario standards and guidelines. Additional drainage facilities, including, but not limited to, improvements beyond the project frontage, may be required to be designed and constructed, by Applicant, as a result of the findings of this study.
- 2.40 An adequate drainage facility to accept additional runoff from the site does not currently exist downstream of the project. Design and construct a storm water detention facility on the project site. 100 year post-development peak flow shall be attenuated such that it does not exceed 80% of pre-development peak flows, in accordance with the approved hydrology study and improvement plans.
- 2.41 Submit a copy of a recorded private drainage easement or drainage acceptance agreement to the Engineering Department for the acceptance of any increase to volume and/or concentration of historical drainage flows onto adjacent property, prior to approval of the grading plan for the project.
- 2.42 Comply with the City of Ontario Flood Damage Prevention Ordinance (Ordinance No. 2409). The project site or a portion of the project site is within the Special Flood Hazard Area (SFHA) as indicated on the Flood Insurance Rate Map (FIRM) and is subject to flooding during a 100 year frequency storm. The site plan shall be subject to the provisions of the National Flood Insurance Program.
- 2.43 Other conditions: _____

H. STORM WATER QUALITY / NATIONAL POLLUTANT DISCHARGE AND ELIMINATION SYSTEM (NPDES)

- 2.44 401 Water Quality Certification/404 Permit – Submit a copy of any applicable 401 Certification or 404 Permit for the subject project to the City project engineer. Development that will affect any body of surface water (i.e. lake, creek, open drainage channel, etc.) may require a 401 Water Quality Certification from the California Regional Water Quality Control Board, Santa Ana Region (RWQCB) and a 404 Permit from the United States Army Corps of Engineers (USACE). The groups of water bodies classified in these requirements are perennial (flow year round) and ephemeral (flow during rain conditions, only) and include, but are not limited to, direct connections into San Bernardino County Flood Control District (SBCFCD) channels.
If a 401 Certification and/or a 404 Permit are not required, a letter confirming this from Applicant's engineer shall be submitted.
Contact information: USACE (Los Angeles District) (213) 452-3414; RWQCB (951) 782-4130.
- 2.45 **Submit a Water Quality Management Plan (WQMP). This plan shall be approved by the Engineering Department prior to approval of any grading plan. The WQMP shall be submitted, utilizing the current San Bernardino County Stormwater Program template, available at: <http://www.sbcounty.gov/dpw/land/npdes.asp>.**
- 2.46 Other conditions: _____

J. SPECIAL DISTRICTS

- 2.47 File an application, together with an initial payment deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community facilities District Act of 1982. The application and fee shall be submitted a minimum three (3) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact the Management Services Department at (909) 395-2353 to initiate the CFD application process.
- 2.48 Other conditions: _____



K. FIBER OPTIC

- 2.49 Design and construct fiber optic system to provide access to the City's conduit and fiber optic system per the City's Fiber Optic Master Plan. Building entrance conduits shall start from the closest OntarioNet hand-hole constructed along the project frontage in the ROW and shall terminate in the main telecommunications room for each building. See Fiber Optic Exhibit herein for reference only.
- 2.50 Refer to the City's Fiber Optic Master Plan for design and layout guidelines. Contact the Information Technology Department at (909) 395-2000, regarding this requirement.

L. Solid Waste

- 2.51 Onsite solid waste shall be designed in accordance with the City's Solid Waste Manual location at:

<http://www.ontarioca.gov/municipal-utilities-company/solid-waste>
- 2.52 Other conditions:
 - 1. The Applicant/Developer shall construct a new trash enclosure with a solid roof per the Refuse & Recycling Planning Manual.



3. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, APPLICANT SHALL:

- 3.01 Set new monuments in place of any monuments that have been damaged or destroyed as a result of construction of the subject project. Monuments shall be set in accordance with City of Ontario standards and to the satisfaction of the City Engineer.**
- 3.02 Complete all requirements for recycled water usage.
 - 1) Procure from the OMUC a copy of the letter of confirmation from the California Department of Public Health (CDPH) that the Engineering Report (ER) has been reviewed and the subject site is approved for the use of recycled water.
 - 2) Obtain clearance from the OMUC confirming completion of recycled water improvements and passing of shutdown tests and cross connection inspection, upon availability/usage of recycled water.
 - 3) Complete education training of on-site personnel in the use of recycled water, in accordance with the ER, upon availability/usage of recycled water.
- 3.03 The applicant/developer shall submit all final survey documents prepared by a Licensed Surveyor registered in the State of California detailing all survey monuments that have been preserved, revised, adjusted or set along with any maps, corner records or Records of Survey needed to comply with these Conditions of Approvals and the latest edition of the California Professional Land Survey Act. These documents are to be reviewed and approved by the City Survey Office.
- 3.04 NMC Projects: For developments located at an intersection of any two collector or arterial streets, the applicant/developer shall set a monument if one does not already exist at that intersection. Contact the City Survey office for information on reference benchmarks, acceptable methodology and required submittals.
- 3.05 Confirm payment of all Development Impact Fees (DIF) to the Building Department.**
- 3.06 Submit electronic copies (PDF and Auto CAD format) of all approved improvement plans, studies and reports (i.e. hydrology, traffic, WQMP, etc.).**



EXHIBIT 'A'

**ENGINEERING DEPARTMENT
First Plan Check Submittal Checklist**

Project Number: PDEV18-001, and/or Parcel Map/Tract Map No. _____

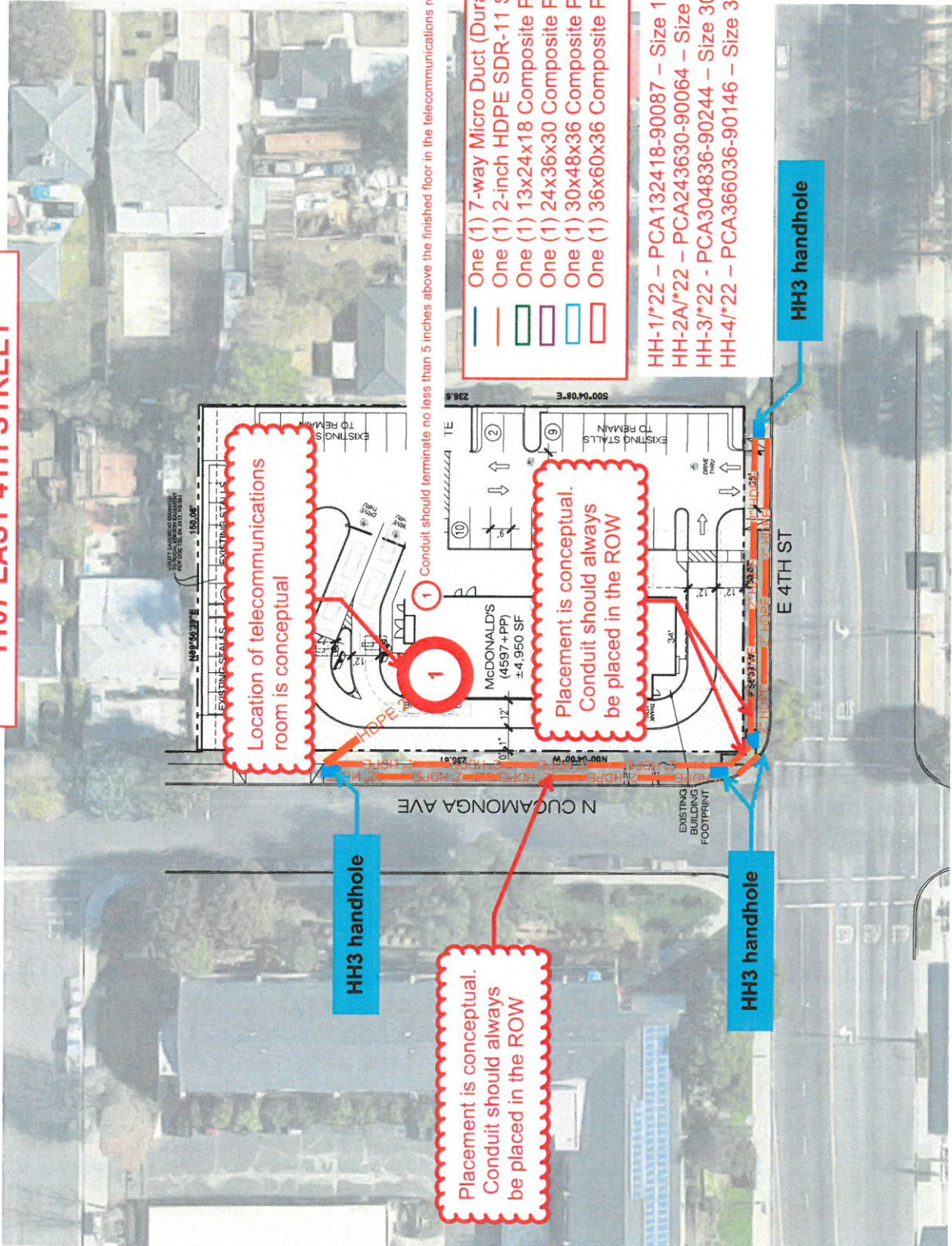
The following items are required to be included with the first plan check submittal:

1. **A copy of this check list**
2. **Payment of fee for Plan Checking**
3. **One (1) copy of Engineering Cost Estimate (on City form) with engineer's wet signature and stamp.**
4. **One (1) copy of project Conditions of Approval**
5. Two (2) sets of Potable and Recycled Water demand calculations (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size).
6. Three (3) sets of Public Street improvement plan with street cross-sections
7. Three (3) sets of Private Street improvement plan with street cross-sections
8. Four (4) sets of Public Water improvement plan (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)
9. Four (4) sets of Recycled Water improvement plan (include recycled water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size and an exhibit showing the limits of areas being irrigated by each recycled water meter)
10. Four (4) sets of Public Sewer improvement plan
11. Five (5) sets of Public Storm Drain improvement plan
12. **Three (3) sets of Public Street Light improvement plan**
13. Three (3) sets of Signing and Striping improvement plan
14. **Three (3) sets of Fiber Optic plan (include Auto CAD electronic submittal)**
15. Three (3) sets of Dry Utility plans within public right-of-way (at a minimum the plans must show existing and ultimate right-of-way, curb and gutter, proposed utility location including centerline dimensions, wall to wall clearances between proposed utility and adjacent public line, street work repaired per Standard Drawing No. 1306. Include Auto CAD electronic submittal)
16. Three (3) sets of Traffic Signal improvement plan and One (1) copy of Traffic Signal Specifications with modified Special Provisions. Please contact the Traffic Division at (909) 395-2154 to obtain Traffic Signal Specifications.
17. **Two (2) copies of Water Quality Management Plan (WQMP), including one (1) copy of the approved Preliminary WQMP (PWQMP).**
18. **One (1) copy of Hydrology/Drainage study**
19. **One (1) copy of Soils/Geology report**
20. Payment for Final Map/Parcel Map processing fee
21. Three (3) copies of Final Map/Parcel Map



- 22. One (1) copy of approved Tentative Map
- 23. **One (1) copy of Preliminary Title Report (current within 30 days)**
- 24. One (1) copy of Traverse Closure Calculations
- 25. One (1) set of supporting documents and maps (legible copies): referenced improvement plans (full size), referenced record final maps/parcel maps (full size, 18"x26"), Assessor's Parcel map (full size, 11"x17"), recorded documents such as deeds, lot line adjustments, easements, etc.
- 26. Two (2) copies of Engineering Report and an electronic file (include PDF format electronic submittal) for recycled water use
- 27. **Other:**
 - 1. **Two (2) copies of the Right-of-Way Dedication Document - to include a property line corner 'cut-back' at the NEC of 4th St and Cucamonga Av.**

**FIBER OPTIC EXHIBIT
LAND FILE NO. PDEV18-001
1107 EAST 4TH STREET**



Location of telecommunications room is conceptual

Placement is conceptual. Conduit should always be placed in the ROW

Placement is conceptual. Conduit should always be placed in the ROW

1 Conduit should terminate no less than 5 inches above the finished floor in the telecommunications room against the wall.

- One (1) 7-way Micro Duct (Duraline) - 16mm Tubes or Equivalent
- One (1) 2-inch HDPE SDR-11 Smoothwall Orange Conduit
- One (1) 13x24x18 Composite Polymer Concrete Hand Hole (HH1)
- One (1) 24x36x30 Composite Polymer Concrete Hand Hole (HH2A)
- One (1) 30x48x36 Composite Polymer Concrete Hand Hole (HH3)
- One (1) 36x60x36 Composite Polymer Concrete Hand Hole (HH4)

- HH-1/*22 - PCA132418-90087 - Size 13" x 24" x 18"
- HH-2A/*22 - PCA243630-90064 - Size 24" x 36" x 30"
- HH-3/*22 - PCA304836-90244 - Size 30" x 48" x 36"
- HH-4/*22 - PCA366036-90146 - Size 36" x 60" x 36"

SITE INFORMATION
TOTAL AREA: ±35,506 SF (0.82 AC)
TOTAL BUILDING AREA: ±4,950 SF

PARKING INFORMATION
13.3 SPACES PER 1,000 SF OF GFA (RESTAURANTS WITH DRIVE-THRU MAYBE CREDITED ONE SPACE FOR EACH DRIVE-THRU REALITY OF DRIVE-THRU LANE BEHIND THE BUILDING)
STALLS REQUIRED: 56
STALLS PROVIDED: 40
PARKING RATIO: 8.08 / 1,000 SF



**BICKEL GROUP
ARCHITECTURE**
BICKEL GROUP INCORPORATED
NEWPORT BEACH, CA 92660
WWW.BICKELGROUP.COM

MCDONALD'S 004-0485
1107 EAST 4TH STREET
ONTARIO, CALIFORNIA

SITE PLAN
Scale: 1" = 30'
December 12, 2017

FILE: 1720 - MCD Ontario, 1107 East 4th Street/Design/1720 - SB
DATE: 12/12/17
DRAWN BY: [Name]
CHECKED BY: [Name]
APPROVED BY: [Name]



CITY OF ONTARIO

MEMORANDUM

TO: Alexis Vaughn, Planning Department

FROM: Douglas Sorel, Police Department

DATE: January 23, 2018

SUBJECT: PDEV18-001 – A DEVELOPMENT PLAN TO CONSTRUCT A
MCDONALDS FAST FOOD RESTAURANT WITH DRIVE-THRU AT
FOURTH STREET AND CUCAMONGA AVENUE

The “Standard Conditions of Approval” contained in Resolution No. 2017-027 apply. The applicant shall read and be thoroughly familiar with these conditions, including but not limited to, the requirements listed below.

- Required lighting for all walkways, driveways, doorways, parking areas, and other areas used by the public shall be provided and operate on photosensor. Photometrics shall be provided to the Police Department. Photometrics shall include the types of fixtures proposed and demonstrate that such fixtures meet the vandal-resistant requirement. Planned landscaping shall not obstruct lighting.
- Rooftop addresses shall be installed on the building as stated in the Standard Conditions. The numbers shall be at a minimum 3 feet tall and 1 foot wide, in reflective white paint on a flat black background, and oriented with the bottom of the numbers towards the addressed street.
- The Applicant shall comply with all construction site security requirements as stated in the Standard Conditions.

In addition, the Ontario Police Department places the following conditions on the project:

- The Applicant shall install a video surveillance system on the site. Cameras shall cover at a minimum all entry doors, all cash registers, and at least one camera shall capture any vehicle utilizing the drive-thru. Cameras shall be positioned so as to maximize the coverage of patrons and vehicles in these areas. Cameras shall record at least 15 frames per second and at a minimum of 640x480 lines of resolution. Recordings shall be stored for a minimum of 30 days and made available upon request to any member of the Ontario Police Department.
- The applicant will be responsible for keeping the grounds of the business clean from debris and litter.

- Graffiti abatement by the business owner/licensee, or management shall be immediate and on-going on the premises, but in no event shall graffiti be allowed unabated on the premises for more than 72 hours. Abatement shall take the form of removal, or shall be covered/painted over with a color reasonably matching the color of the existing building, structure, or other surface being abated. Additionally, the business owner/licensee, or management shall notify the City within 24 hours at (909) 395-2626 (graffiti hotline) of any graffiti elsewhere on the property not under the business owner/licensee's or management control so that it may be abated by the property owner and/or the City's graffiti team.

The Applicant is invited to call Douglas Sorel at (909) 395-2873 regarding any questions or concerns.



CITY OF ONTARIO

MEMORANDUM

TO: Alexis Vaughn, Assistant Planner
Planning Department

FROM: Paul Ehrman, Deputy Fire Chief/Fire Marshal
Fire Department

DATE: January 15, 2018

SUBJECT: PDEV18-001 - A Development Plan to construct a 4,950-SF McDonalds drive-thru restaurant, located on 0.81 acres at the northeast corner of Fourth Street and Cucamonga Avenue, within the CN (Neighborhood Commercial) zoning district at 1107 East Fourth Street. (APN: 1047-461-20)

-
- The plan **does** adequately address Fire Department requirements at this time.
- No comments.
- Standard Conditions of Approval apply, as stated below.
-

SITE AND BUILDING FEATURES:

- A. 2016 CBC Type of Construction: Not Listed (V)
- B. Type of Roof Materials: Ordinary
- C. Ground Floor Area(s): 4,950 Sq. Ft.
- D. Number of Stories: One
- E. Total Square Footage: 4,950 Sq. Ft.
- F. 2016 CBC Occupancy Classification(s): B

CONDITIONS OF APPROVAL:

1.0 GENERAL

- 1.1 The following are the Ontario Fire Department ("Fire Department") requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards ("Standards.") It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at www.ontarioca.gov, click on "Fire Department" and then on "Standards and Forms."
- 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

2.0 FIRE DEPARTMENT ACCESS

- 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See Standard #B-004.
- 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25') inside and forty-five feet (45') outside turning radius per Standard #B-005.
- 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150') in length shall have an approved turn-around per Standard #B-002.
- 2.4 Access drive aisles which cross property lines shall be provided with CC&Rs, access easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of building plan check.
- 2.5 "No Parking-Fire Lane" signs and /or red painted curbs with lettering are required to be installed in interior access roadways, in locations where vehicle parking would obstruct the minimum clear width requirement. Installation shall be per Standard #B-001.
- 2.7 Any time PRIOR to on-site combustible construction and/or storage, a minimum twenty-six (26) ft. wide circulating all weather access roads shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved by fire department and other emergency services..

3.0 WATER SUPPLY

- 3.1 The required fire flow per Fire Department standards, based on the 2016 California Fire Code, Appendix B, is 2000 gallons per minute (g.p.m.) for 2 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.

- ☒ 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300') apart, per Engineering Department specifications.
- ☒ 3.4 The water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

4.0 FIRE PROTECTION SYSTEMS

- ☒ 4.2 Underground fire mains which cross property lines shall be provided with CC & R, easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of fire department plan check. The shared use of private fire mains or fire pumps is allowable only between immediately adjacent properties and shall not cross any public street.
- ☒ 4.4 Wood frame buildings that are to be sprinkled shall have these systems in service (but not necessarily finalized) before the building is enclosed.
- ☒ 4.7 Portable fire extinguishers are required to be installed prior to occupancy per Standard #C-001. Please contact the Fire Prevention Bureau to determine the exact number, type and placement required.
- ☒ 4.8 A fixed fire extinguishing system is required for the protection of hood, duct, plenum and cooking surfaces. This system must comply with National Fire Protection Association (NFPA) Standards 17A and 96. An application with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.

5.0 BUILDING CONSTRUCTION FEATURES

- ☒ 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- ☒ 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.
- ☒ 5.3 Single station smoke alarms and carbon monoxide alarms are required to be installed per the California Building Code and the California Fire Code.

CITY OF ONTARIO MEMORANDUM

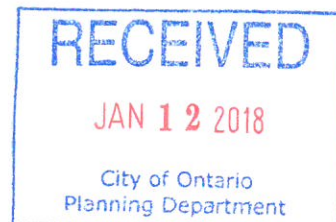
TO: PLANNING DEPARTMENT, Alexis Vaughn
FROM: BUILDING DEPARTMENT, Kevin Shear
DATE: January 12, 2018
SUBJECT: PDEV18-001

-
- The plan **does** adequately address the departmental concerns at this time.
 No comments
 Report below.

Conditions of Approval

1. Standard Conditions of Approval apply.

KS:lm





CITY OF ONTARIO

MEMORANDUM

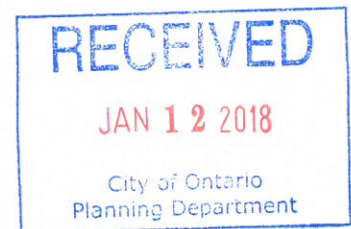
TO: Hassan Haghani, Development Director
Scott Murphy, Assistant Development Director (Copy of Memo only)
Cathy Wahlstrom, Principal Planner (Copy of memo only)
Charity Hernandez, Economic Development
Kevin Shear, Building Official
Khoi Do, Assistant City Engineer
Carolyn Bell, Landscape Planning Division
Sheldon Yu, Municipal Utility Company
Doug Sorel, Police Department
Paul Ehrman, Deputy Fire Chief/Fire Marshal
Jay Bautista, T. E., Traffic/Transportation Manager
Lorena Mejia, Senior Planner
Steve Wilson, Engineering/NPDES
Joe De Sousa, Supervising Code Enforcement Officer
Jimmy Chang, IT Department
David Simpson, IT Department (Copy of memo only)

FROM: Alexis Vaughn, Assistant Planner

DATE: January 09, 2018

SUBJECT: FILE #: PDEV18-001

Finance Acct#:



The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Tuesday, January 23, 2018**.

- Note:**
- Only DAB action is required
 - Both DAB and Planning Commission actions are required
 - Only Planning Commission action is required
 - DAB, Planning Commission and City Council actions are required
 - Only Zoning Administrator action is required

PROJECT DESCRIPTION: A Development Plan to construct a 4,950-SF McDonalds drive-thru restaurant, located on 0.81 acres at the northeast corner of Fourth Street and Cucamonga Avenue, within the CN (Neighborhood Commercial) zoning district at 1107 East Fourth Street. (APN: 1047-461-20)

The plan does adequately address the departmental concerns at this time.

- No comments
- Report attached (1 copy and email 1 copy)
- Standard Conditions of Approval apply

The plan does not adequately address the departmental concerns.

- The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

Building
Department

Signature

Title

Date

CITY OF ONTARIO
LANDSCAPE PLANNING DIVISION
 303 East "B" Street, Ontario, CA 91764

CONDITIONS OF APPROVAL

Sign Off

Carolyn Bell
 Carolyn Bell, Sr. Landscape Planner

10/17/18
 Date

Reviewer's Name: **Carolyn Bell, Sr. Landscape Planner** Phone: **(909) 395-2237**

D.A.B. File No.: PDEV18-001 Rev 1 Case Planner: Alexis Vaughn

Project Name and Location: McDonalds 004-0485
 1107 East Fourth St

Applicant/Representative: Bickel Group Architecture Jessica Steiner
 3600 Birch St suite 120
 Newport Beach, CA 92660

A Preliminary Landscape Plan (dated 9/4/18) meets the Standard Conditions for New Development and has been approved with the consideration that the following conditions below be met upon submittal of the landscape construction documents.

A Preliminary Landscape Plan (dated) has not been approved. Corrections noted below are required prior to Preliminary Landscape Plan approval.

CORRECTIONS REQUIRED

Civil/ Site Plans

1. Show backflow devices located in planter areas and set back min 3' from paving Locate on level grade. Coordinate with landscape plans. Remove or relocate wall away from south side sidewalk if not enough space for screen devices (3' for landscape screening all sides).
2. Locate utilities not to conflict with required tree locations. Move #15 and #13 Catch basin and box culvert away from east PL and existing street tree protection zone. Reduce size of box culvert. Move sewer line to outside of landscape planter islands.
3. Move bike rack away from parking space and replace with tree planter at parking row end.
4. Add planter island at east side of trash enclosure. Show pedestrian access to enclosure.
5. Note for compaction to be no greater than 85% at landscape areas. All finished grades at 1 1/2" below finished surfaces. Slopes to be maximum 3:1.
6. Show storm water vegetated swales (if any) and coordinate with landscape architect for appropriate landscape.
7. Dimension all planters to have a minimum 5' wide inside dimension with 6" curbs and 12" wide curbs, pavers or DG paving with edging where parking spaces are adjacent to planters.
8. Show planter or curb between north drive aisle and drive through.
9. Show protected tree zones and add tree protection notes on demo and construction plans.

Landscape Plans

10. Include in tree inventory for existing trees: trunk diameter, and health condition. If existing trees are not in good condition, ok to recommend trees to be removed. They may not survive construction and damage to root zone if unhealthy. Show on plans existing trees within 15' of adjacent property that would be affected by new walls, footings or on-site tree planting. Add tree protection notes on construction and demo plans.

11. Show parking lot shade trees in all island planters: 1 per 10 spaces and at each row end. On site tree shall be spaced 25-30' apart, as appropriate.
12. Add trees to planter along west side of building. Alternate spacing with street trees.
13. Add accent trees on both side of driveway entries.
14. Add 24" box large shrub at north PL to screen against homes such as multi-trunk Arbutus or Toyon 25' oc. align with parking space lines to avoid car overhang areas.
15. Show a 6' diameter of mulch only at trees on construction plans.
16. Show backflows and transformers per civil plans with 3' high strappy leaf shrubs for landscape screening of backflows and 4-5' high evergreen shrubs for transformers.
17. Replace short lived, high maintenance or poor performing plants: Change Rhus for tall narrow trees at property lines to avoid neighbors pruning overhanging branches (such as *Tristania laurina*, *Brachychiton*, etc.).
18. Use *Lagerstroemia* or *Cercis* as accents and add shade trees in parking lot row ends with a 30' canopy diameter such as *Ulmus*, *Pistache*, *Quercus ilex* etc.
19. Street trees for this project are: *Podocarpus henkelii* on Cucamonga, *Chitalpa tashkentensis* on Fourth St. 30' on center and min 30' from existing trees.
20. Remove groundcovers shown between shrubs and note 3" shredded bark mulch.
21. Provide agronomical soil testing and include report on landscape construction plans.
22. Call out all fences and walls, materials proposed and heights.
23. Show minimum on-site tree sizes per the Landscape Development standards, see the Landscape Planning website. 5% 48" box, 10% 36 box, 30% 24" box, 55% 15 gallon.
24. Use 48" box tree shall be used for large scale typically slower growing tree such as Oaks or *Podocarpus*.
25. Show 25% of trees as California native (*Quercus agrifolia*, *Quercus wislizenii*, *Quercus douglasii*, *Cercis occidentalis*, etc.) in appropriate locations.
26. Landscape construction plans shall meet the requirements of the Landscape Development Guidelines. See <http://www.ontarioca.gov/landscape-planning/standards>
27. After a project's entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council. Fees are:

Plan Check—less than 5 acres	\$1,301.00
Inspection—Construction (up to 3 inspections per phase)	\$278.00
Inspection—Field - additional.....	\$1,579.00

Landscape construction plans with building permit number for plan check may be emailed to: landscapeplancheck@ontarioca.gov



CITY OF ONTARIO

MEMORANDUM

TO: Hassan Haghani, Development Director
Scott Murphy, Assistant Development Director (Copy of Memo only)
Cathy Wahlstrom, Principal Planner (Copy of memo only)
Charity Hernandez, Economic Development
Kevin Shear, Building Official
Khoi Do, Assistant City Engineer
Carolyn Bell, Landscape Planning Division
Sheldon Yu, Municipal Utility Company
Doug Sorel, Police Department
Paul Ehrman, Deputy Fire Chief/Fire Marshal
Jay Bautista, T. E., Traffic/Transportation Manager
Lorena Mejia, Senior Planner
Steve Wilson, Engineering/NPDES
Joe De Sousa, Supervising Code Enforcement Officer
Jimmy Chang, IT Department
David Simpson, IT Department (Copy of memo only)

FROM: Alexis Vaughn, Assistant Planner

DATE: January 09, 2018

SUBJECT: FILE #: PDEV18-001

Finance Acct#:

The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Tuesday, January 23, 2018**.

- Note:
- Only DAB action is required
 - Both DAB and Planning Commission actions are required
 - Only Planning Commission action is required
 - DAB, Planning Commission and City Council actions are required
 - Only Zoning Administrator action is required

PROJECT DESCRIPTION: A Development Plan to construct a 4,950-SF McDonalds drive-thru restaurant, located on 0.81 acres at the northeast corner of Fourth Street and Cucamonga Avenue, within the CN (Neighborhood Commercial) zoning district at 1107 East Fourth Street. (APN: 1047-461-20)

- The plan does adequately address the departmental concerns at this time.
 - No comments
 - Report attached (1 copy and email 1 copy)
 - Standard Conditions of Approval apply
- The plan does not adequately address the departmental concerns.
 - The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

Airport Planning
Department

Signature

Title

Date

CD2018-003

Item B - 65 of 66

AIRPORT LAND USE COMPATIBILITY PLANNING

CONSISTENCY DETERMINATION REPORT



Project File No.: PDEV18-001
 Address: 1107 East Fourth St
 APN: 1047-461-20
 Existing Land Use: 5,183 SF Restaurant with drive-thru (McDonalds) to be removed
 Proposed Land Use: Construct a 4,950 SF Restaurant with drive-thru (McDonalds)
 Site Acreage: 0.81 ac Proposed Structure Height: 22 FT
 ONT-IAC Project Review: N/A
 Airport Influence Area: ONT

Reviewed By: Lorena Mejia
 Contact Info: 909-395-2276
 Project Planner: Alexis Vaughn
 Date: 2/20/18
 CD No.: 2018-003
 PALU No.: n/a

The project is impacted by the following ONT ALUCP Compatibility Zones:

- | Safety | Noise Impact | Airspace Protection | Overflight Notification |
|-------------------------------|---------------------------------------|---|--|
| <input type="radio"/> Zone 1 | <input type="radio"/> 75+ dB CNEL | <input checked="" type="checkbox"/> High Terrain Zone | <input type="radio"/> Avigation Easement Dedication |
| <input type="radio"/> Zone 1A | <input type="radio"/> 70 - 75 dB CNEL | <input checked="" type="checkbox"/> FAA Notification Surfaces | <input type="radio"/> Recorded Overflight Notification |
| <input type="radio"/> Zone 2 | <input type="radio"/> 65 - 70 dB CNEL | <input checked="" type="checkbox"/> Airspace Obstruction Surfaces | <input checked="" type="checkbox"/> Real Estate Transaction Disclosure |
| <input type="radio"/> Zone 3 | <input type="radio"/> 60 - 65 dB CNEL | <input type="radio"/> Airspace Avigation Easement Area | |
| <input type="radio"/> Zone 4 | | Allowable Height: 70 FT | |
| <input type="radio"/> Zone 5 | | | |

The project is impacted by the following Chino ALUCP Safety Zones:

- Zone 1 Zone 2 Zone 3 Zone 4 Zone 5 Zone 6

Allowable Height: _____

CONSISTENCY DETERMINATION

This proposed Project is: Exempt from the ALUCP Consistent Consistent with Conditions Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

Airport Planner Signature: _____



**PLANNING COMMISSION
STAFF REPORT**
November 27, 2018

SUBJECT: A Development Plan (**File No. PDEV18-024**) to construct a 23,952 square foot office/industrial building in conjunction with a Conditional Use Permit (**File No. PCUP18-003**) to establish a contractor’s storage yard on 2.4 acres, located at 901 South Sultana Avenue, within the (IL) Light Industrial zoning district; (APN: 1049-353-14) **submitted by Ferreira Construction, Co, Inc.**

PROPERTY OWNER: Tan Ferreira, LLC

RECOMMENDED ACTION: That the Planning Commission approve File No’s. PDEV18-024 and PCUP18-003, pursuant to the facts and reasons contained in the staff report and attached resolutions, and subject to the conditions of approval contained in the attached departmental reports.

PROJECT SETTING: The project site is comprised of 2.4 acres of land located at 901 South Sultana Avenue, within the (IL) Light Industrial zoning district, and is depicted in Figure 1: Project Location, below. Land uses surrounding the project site include: to the north an industrial warehouse and storage use (Patton’s) within the (IL) Light Industrial zoning district; to the east are wholesale and manufacturing uses within the IL zoning district; to the south is an automobile storage and funeral parlor within the IL zoning district; and to the west is a single-family residential neighborhood zoned MDR-11 (Medium Density Residential).

The project site was previously utilized as a contractor’s storage yard and is presently developed with three buildings totaling 11,617 square feet. The site is relatively flat and paved with asphalt, sloping from the northwest corner of the project site with an approximate 2-foot differential in grade. The project site includes a vacated street (Carlton Street)



Figure 1: Project Location

Case Planner:	Lorena Mejia
Planning Director Approval:	
Submittal Date:	6/21/2018

Hearing Body	Date	Decision	Action
DAB	11/19/18	Approve	Recommend
PC	11/27/18		Final
CC			

approximately 616 feet in length along the northern portion of the parcel with existing curb, sidewalk, parkway, underground utilities and overhead utilities that will be removed or relocated.

PROJECT ANALYSIS:

[1] Background — The applicant, Ferreira Construction is a national company that specializes in civil, marine, power and utility construction. Their headquarter office is located in New Jersey with regional offices in New York, Florida and California. The applicant is seeking to establish a regional office and contractor's yard in Ontario and currently operates an office in Rancho Cucamonga and a contractor's yard in Chino. The primary type of construction performed by Ferreira in California consists of traffic signals, fencing and utility projects.

On January 16, 2018, the applicant submitted a Conditional Use Permit application (File No. PCUP18-003) to establish a contractor's yard that included a new industrial building. On June 21, 2018, the applicant submitted a Development Plan application (File No. PDEV18-024) to allow for the construction of the proposed office/industrial building.

On November 19, 2018, the Development Advisory Board reviewed the subject applications and recommended that the Planning Commission approve the proposed project, subject to the departmental conditions of approval included with this report. The proposed project's pertinent site and development statistics are listed in the Technical Appendix of this report.

[2] Site Design/Building Layout/Property Improvements — The Applicant is proposing to construct a 23,952 square foot office and industrial building on a 2.4 acre parcel (**see Exhibit A: Site Plan**). The proposed building is rectangular in shape and situated on the western portion of the site along the Sultana Avenue frontage. The building is configured in a north and south direction, with the office entrance facing north towards Mission Boulevard and the rear of the building facing east towards the project yard area. The building will be setback 85 feet from Mission Boulevard with a 10-foot landscape setback and parking lot along the frontage. Along Sultana Avenue, the building will be set back 10 feet with a landscaped buffer. A parking lot has been provided on the northwest corner of the project site with 30 parking spaces and an additional 64 parking spaces are located throughout the site within the screened yard area. The screened yard area is located east of the proposed building and occupies the remaining portion of the site. The screened yard contains parking, two existing buildings that will remain in place to be utilized as workshops, an existing fuel island and designated outdoor storage areas located adjacent to the perimeter walls.

The floor plan for the proposed 2-story building consists of 21,617 square feet of office area between the first and second floors and 2,335 square feet for warehouse

purposes located on the first floor. The project also proposes several on-site improvements described below:

- The demolition of the vacated street (Carlton Street);
- Mission Boulevard public right-of-way improvements (curb, sidewalk and parkway) and two new driveway approaches;
- Sultana Avenue public right-of-way improvements (curb, sidewalk, parkway) and the removal of two existing driveway approaches;
- The demolition of an existing building located on the western portion of the site totaling 7,862 square feet to accommodate the proposed building;
- The construction of 14-foot high decorative masonry walls surrounding the project site to screen the proposed outdoor storage yard;
- A 10-foot landscape setback along Sultana Avenue and Monterey Avenue; and
- A 20-foot landscape setback along Mission Boulevard adjacent to the screen wall.

[3] Site Access/Circulation — There are two points of access to the project site along Mission Boulevard via 40-foot wide driveways located within the center and on the eastern portion the site. Vehicles will enter the site on the center driveway and exit the site on the eastern driveway.

[4] Parking — The Project is required to provide a minimum of 94 off-street parking spaces pursuant to the “General Business Office, Warehousing and Outdoor Storage” parking standards specified in the Development Code and 94 spaces have been provided consistent with the Development Code parking requirements.

[5] Architecture — The proposed building is of concrete tilt-up construction with enhanced elements and treatments located at the office entry and along street facing elevations (**see Exhibit B: Elevations**). Architectural elements include smooth-painted concrete in blue and grey tones, with horizontal and vertical reveals, windows with clear anodized aluminum mullions and clear reflective glazing, grey metal horizontal cladding, a curtain wall with tinted glazing around the main office entry with a grey metal canopy over the main entrance and recessed panel sections with contrasting colors. Also, the mechanical equipment will be roof-mounted and obscured from public view by the parapet walls. The proposed screen walls have been designed to complement the proposed building's architecture and color scheme, incorporating blue and grey tones constructed with a combination of split-face and precision block as depicted in, Figure 2: Mission Blvd. Street Frontage Perspective.



Figure 2: Mission Blvd. Street Frontage Perspective

[6] Landscaping — The project provides landscaping along all three street frontages, the perimeter of the site and throughout the parking lot. A total of 15% landscaping is required and has been provided (**see Exhibit C: Landscape Plan**). A combination of 24-inch, 36-inch, and 60-inch box accent and shade trees will be provided throughout the project site in addition to a variety of shrubs, aloe, agave, vines and groundcovers that are low water usage and drought tolerant. In addition, there are existing California Pepper trees located along Mission Blvd. that will be protected in place where feasible.

[7] Utilities (drainage, sewer) — The Applicant has submitted a Preliminary Water Quality Management Plan (PWQMP), which establishes the project's compliance with storm water discharge/water quality requirements. The PWQMP includes site design measures that capture runoff and pollutant transport by minimizing impervious surfaces, and maximizes low impact development (LID) best management practices (BMPs), such as retention and infiltration, biotreatment, and evapotranspiration. The PWQMP proposes an underground 5-foot deep stormwater chamber located on the southeast corner of the project site with emergency overflows to be discharged onto the eastern landscape setback area.

[8] Conditional Use Permit — The intent of a CUP application and review is to ensure that the proposed use will be operated in a manner consistent with all local regulations, and to ensure the use will not be detrimental to the public health, safety, or welfare, or materially injurious to uses, properties or improvements in the vicinity. The proposed Conditional Use Permit is to establish a contractor's storage yard. The contractor's yard (screened yard area) is located east of the proposed building and occupies the remaining of the site. The contractor's yard and office standard operating hours are Monday thru Friday 7:00 a.m. to 5:00 p.m. However, the company does respond to emergency off-site construction requests 24 hours a day. Ferreira Construction will employ 30 office employees and 90 field workers at this regional location. The contractor's yard will be utilized to store construction equipment such as: work trucks and semi-trucks, cranes,

excavators, backhoes, loaders and forklifts. The contractor's yard will also store construction materials such as: rock, sand, base, temporary asphalt, guard rail, fence, water pipe and valves.

Approval of a CUP requires the Planning Commission establish certain findings which show that the proposed use is consistent with all City of Ontario development codes, land uses and other applicable requirements. Additionally, the use must be compatible with the other surrounding uses; therefore, approving a CUP is discretionary in nature. The required findings along with facts and reasons in support are listed below:

- a) The scale and intensity of the proposed land use would be consistent with the scale and intensity of land uses intended for the particular zoning or land use district.** *The proposed location of the Conditional Use Permit is in accord with the objectives and purposes of the City of Ontario Development Code and the IL (Light Industrial) zoning district, and the scale and intensity of land uses intended for the zoning district in which the use is proposed to be located. The proposed building will act as a buffer between the existing residential and the proposed contractor's yard. Furthermore, the contractor's yard and office land uses will be established and operated consistent with the objectives and purposes, and development standards and guidelines;*
- b) The proposed use at the proposed location, and the manner in which it will be operated and maintained, is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.** *The proposed contractor's yard and office land use will be located within the Industrial land use district of the Policy Plan Land Use Map, and the IL (Light Industrial) zoning district. The development standards, and the conditions of approval under which the proposed land use will be established, operated, and maintained, are consistent with the goals, policies, plans, and exhibits of the Vision, City Council Priorities, and Policy Plan (General Plan) components of The Ontario Plan;*
- c) The proposed use at the proposed location, and the manner in which it will be operated and maintained, is consistent with the objectives and requirements of this Development Code and any applicable specific plan or planned unit development.** *The proposed contractor's yard and office land uses are located with the Industrial land use district, and the IL (Light Industrial) zoning district, and has been reviewed and conditioned to ensure the establishment, operation and maintenance of the proposed land use consistent with all applicable objectives, purposes, standards, and guidelines of the Development Code; and*

- d) **The establishment, maintenance, and operation of the proposed use at the proposed location would not be detrimental or injurious to property and improvements within the vicinity, nor would it be detrimental to the health, safety, or general welfare of persons residing or working in the surrounding neighborhood.** *The Development Advisory Board has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the Development Code are maintained; [ii] the project will not endanger the public health, safety or general welfare; [iii] the project will not result in any significant environmental impacts; and [iv] the project will be in harmony with the surrounding area in which it is proposed to be located.*

[9] Phasing Plan — The applicant is proposing a phasing plan to operate the contractor's yard while the office is being constructed. The proposed phasing plan includes four phases that are described below:

- **Phase 1A – Mission Blvd/Sultana Ave Street Improvements (5 – 6 months):** Off-site improvements that include widening of Mission Blvd with partial right-of-way improvements and Sultana right-of-way improvements shall be completed. Temporary drainage structures will be constructed. Temporary k-rail will be installed along Mission Blvd east of the eastern driveway to reduce the lane width to match the existing Union Pacific street crossing. Mission Blvd and Sultana Avenue street frontages shall be graded to allow for screen wall's to be constructed. The existing building located along Sultana Avenue will be demolished. Phase 1A improvement locations are highlighted in Figure 3 below.



Figure 3: Phase 1A Improvements

- **Phase 1B – Screen Walls/Temporary Fencing/ (1-2 months):** Construction of screen walls to screen the contractor's yard to allow for occupancy of the site. Installation of screened temporary fencing along western and northern portions of the property line to secure the site during construction. Phase 1B improvement locations are highlighted in Figure 4 below.

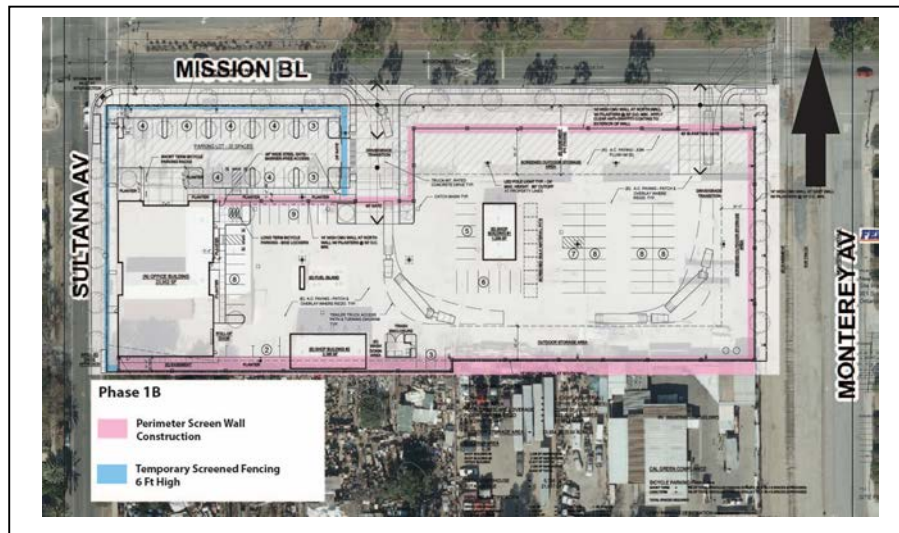


Figure 4: Phase 1B Improvements

- **Phase 2A – On-Site Building Improvements (18- 24 months):** Installation of a temporary office-trailer. Construction of the office building, on-site and off-site landscaping, parking lots and all remaining on-site and off-site improvements. Phase 2A improvement locations are highlighted in Figure 5 below.

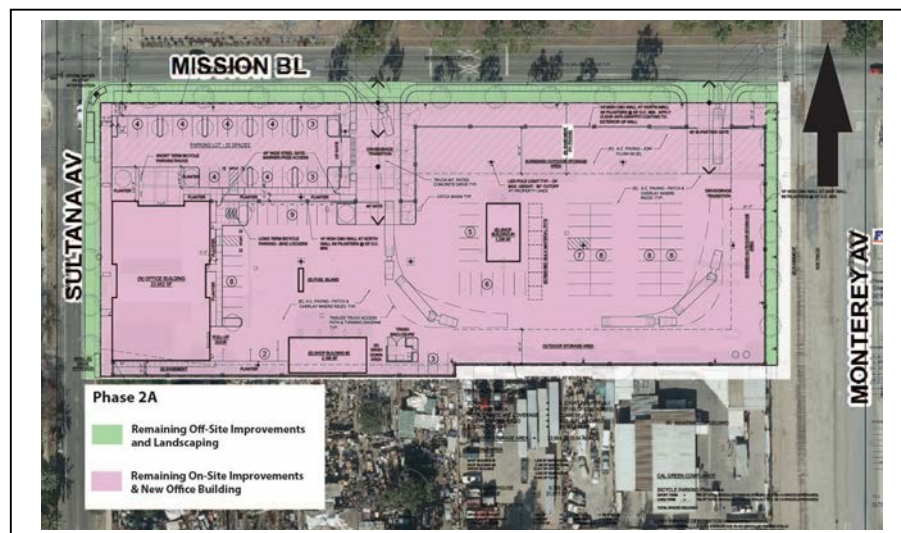


Figure 5: Phase 2A Improvements

- **Phase 2B – Grind and Overlay of Pavement of Mission and Sultana (1-2 months):** Mission Blvd's pavement will be ground and overlaid from the edge of the gutter to the existing median along the property's frontage. Sultana Avenue's pavement will be ground and overlaid to the street's centerline from the edge of the gutter along the property's street frontage. Phase 2B improvement locations are highlighted in Figure 6 below.

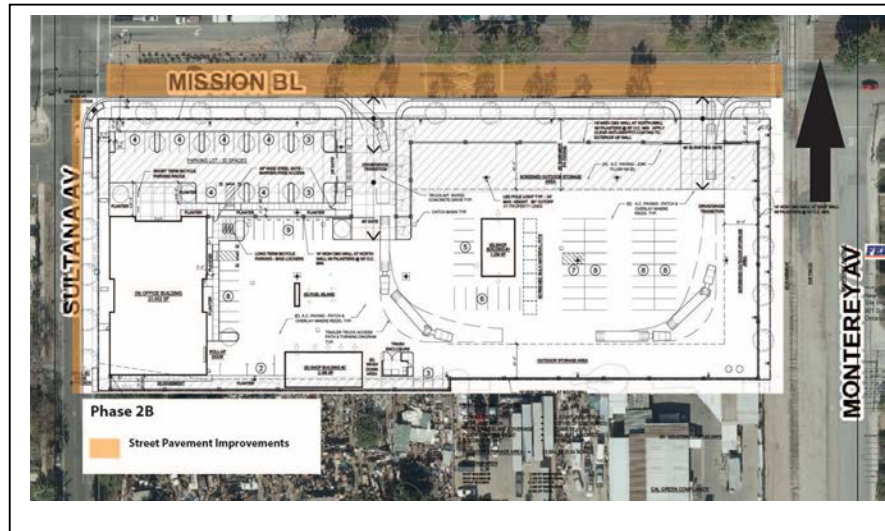


Figure 6: Phase 2B Improvements

[10] Community Meeting — The Planning Department held a community meeting on Monday, August 13th, 2018 between 5:30 p.m. to 7:00 p.m. at City Hall Community Conference Rooms 1 and 2 to discuss the proposed development and use. Planning Department staff, engineering staff and the applicant were in attendance during the community meeting. One resident attended the community meeting and spoke in favor of the proposed project. To date, the Planning Department has not received any further inquiries or correspondence regarding the proposed project.

COMPLIANCE WITH THE ONTARIO PLAN: The proposed project is consistent with the principles, goals and policies contained within the Vision, Governance, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan (TOP). More specifically, the goals and policies of TOP that are furthered by the proposed project are as follows:

[1] City Council Goals.

- Invest in the Growth and Evolution of the City's Economy
- Maintain the Current High Level of Public Safety
- Operate in a Businesslike Manner

- Focus Resources in Ontario's Commercial and Residential Neighborhoods
- Invest in the City's Infrastructure (Water, Streets, Sewers, Parks, Storm Drains and Public Facilities)

[2] Vision.

Distinctive Development:

- Commercial and Residential Development
 - Development quality that is broadly recognized as distinctive and not exclusively tied to the general suburban character typical of much of Southern California.

[3] Governance.

Decision Making:

- Goal G1: Sustained decision-making that consistently moves Ontario towards its Vision by using The Ontario Plan as a framework for assessing choices.
 - G1-2 Long-term Benefit. We require decisions to demonstrate and document how they add value to the community and support the Ontario Vision

[4] Policy Plan (General Plan)

Land Use Element:

- LU1-6 Complete Community: We incorporate a variety of land uses and building types in our land use planning efforts that result in a complete community where residents at all stages of life, employers, workers and visitors have a wide spectrum of choices of where they can live, work, shop and recreate within Ontario.
 - Goal LU2: Compatibility between a wide range of uses.
 - LU2-6: Infrastructure Compatibility: We require infrastructure to be aesthetically pleasing and in context with the community character.

Community Economics Element:

- Goal CE1: A complete community that provides for all incomes and stages of life.
 - Goal CE2: A City of distinctive neighborhoods, districts, and corridors, where people choose to be.

➤ CE2-1 Development Projects. We require new development and redevelopment to create unique, high-quality places that add value to the community.

➤ CE2-2 Development Review. We require those proposing new development and redevelopment to demonstrate how their projects will create appropriately unique, functional and sustainable places that will compete well with their competition within the region.

➤ CE2-4 Protection of Investment. We require that new development and redevelopment protect existing investment by providing architecture and urban design of equal or greater quality.

➤ CE2-5 Private Maintenance. We require adequate maintenance, upkeep, and investment in private property because proper maintenance on private property protects property values.

Safety Element:

▪ Goal S1: Minimized risk of injury, loss of life, property damage and economic and social disruption caused by earthquake-induced and other geologic hazards.

➤ S1-1 Implementation of Regulations and Standards. We require that all new habitable structures be designed in accordance with the most recent California Building Code adopted by the City, including provisions regarding lateral forces and grading.

Community Design Element:

▪ Goal CD1: A dynamic, progressive city containing distinct neighborhoods and commercial districts that foster a positive sense of identity and belonging among residents, visitors, and businesses.

➤ CD1-1 City Identity. We take actions that are consistent with the City being a leading urban center in Southern California while recognizing the diverse character of our existing viable neighborhoods.

➤ CD1-2 Growth Areas. We require development in growth areas to be distinctive and unique places within which there are cohesive design themes.

➤ CD1-3 Neighborhood Improvement. We require viable existing residential and non-residential neighborhoods to be preserved, protected, and enhanced in accordance with our land use policies.

▪ Goal CD2: A high level of design quality resulting in public spaces, streetscapes, and developments that are attractive, safe, functional and distinct.

➤ CD2-1 Quality Architecture. We encourage all development projects to convey visual interest and character through:

- Building volume, massing, and height to provide appropriate scale and proportion;

- A true architectural style which is carried out in plan, section and elevation through all aspects of the building and site design and appropriate for its setting; and

- Exterior building materials that are visually interesting, high quality, durable, and appropriate for the architectural style.

➤ CD2-7 Sustainability. We collaborate with the development community to design and build neighborhoods, streetscapes, sites, outdoor spaces, landscaping and buildings to reduce energy demand through solar orientation, maximum use of natural daylight, passive solar and natural ventilation, building form, mechanical and structural systems, building materials and construction techniques.

➤ CD2-8 Safe Design. We incorporate defensible space design into new and existing developments to ensure the maximum safe travel and visibility on pathways, corridors, and open space and at building entrances and parking areas by avoiding physically and visually isolated spaces, maintenance of visibility and accessibility, and use of lighting.

➤ CD2-9 Landscape Design. We encourage durable landscaping materials and designs that enhance the aesthetics of structures, create and define public and private spaces, and provide shade and environmental benefits.

➤ CD2-10 Surface Parking Areas. We require parking areas visible to or used by the public to be landscaped in an aesthetically pleasing, safe and environmentally sensitive manner. Examples include shade trees, pervious surfaces, urban run-off capture and infiltration, and pedestrian paths to guide users through the parking field.

➤ CD2-11 Entry Statements. We encourage the inclusion of amenities, signage and landscaping at the entry to neighborhoods, commercial centers, mixed use areas, industrial developments, and public places that reinforce them as uniquely identifiable places.

➤ CD2-12 Site and Building Signage. We encourage the use of sign programs that utilize complementary materials, colors, and themes. Project signage should be designed to effectively communicate and direct users to various aspects of the development and complement the character of the structures.

➤ CD2-13 Entitlement Process. We work collaboratively with all stakeholders to ensure a high degree of certainty in the efficient review and timely processing of all development plans and permits.

▪ Goal CD5: A sustained level of maintenance and improvement of properties, buildings and infrastructure that protects the property values and encourages additional public and private investments.

➤ CD5-1 Maintenance of Buildings and Property. We require all public and privately owned buildings and property (including trails and easements) to be properly and consistently maintained.

HOUSING ELEMENT COMPLIANCE: The project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan, as the project site is not one of the properties in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix.

AIRPORT LAND USE COMPATIBILITY PLAN (ALUCP) COMPLIANCE: The project site is located within the Airport Influence Area of the Ontario International Airport, and has been found to be consistent with the policies and criteria set forth within the Ontario International Airport Land Use Compatibility Plan.

ENVIRONMENTAL REVIEW: The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, In-Fill Development) of the CEQA Guidelines. The proposed project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. The proposed development occurs within city limits and the area being developed is 2.4 acres less than the five acre threshold and is substantially surrounded by urban land uses. The project site has no value as habitat for endangered, rare or threatened species. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. Also, the site is adequately served by all required utilities and public services.

CONDITIONS OF APPROVAL: See attached department reports.

TECHNICAL APPENDIX:

Surrounding Zoning and Land Use:

	<i>Existing Land Use</i>	<i>General Plan Designation</i>	<i>Zoning Designation</i>	<i>Specific Plan Land Use</i>
<i>Site</i>	Vacant Buildings	Industrial	IL – Light Industrial	N/A
<i>North</i>	Industrial/ Commercial	Business Park	IL – Light Industrial	N/A
<i>South</i>	Auto Storage/ Funeral Parlor	Industrial	IL – Light Industrial	N/A
<i>East</i>	Wholesale/ Manufacturing	Industrial	IL – Light Industrial	N/A
<i>West</i>	Single Family Residential	Low Medium Density Residential	MDR-11 (Medium Density Residential)	N/A

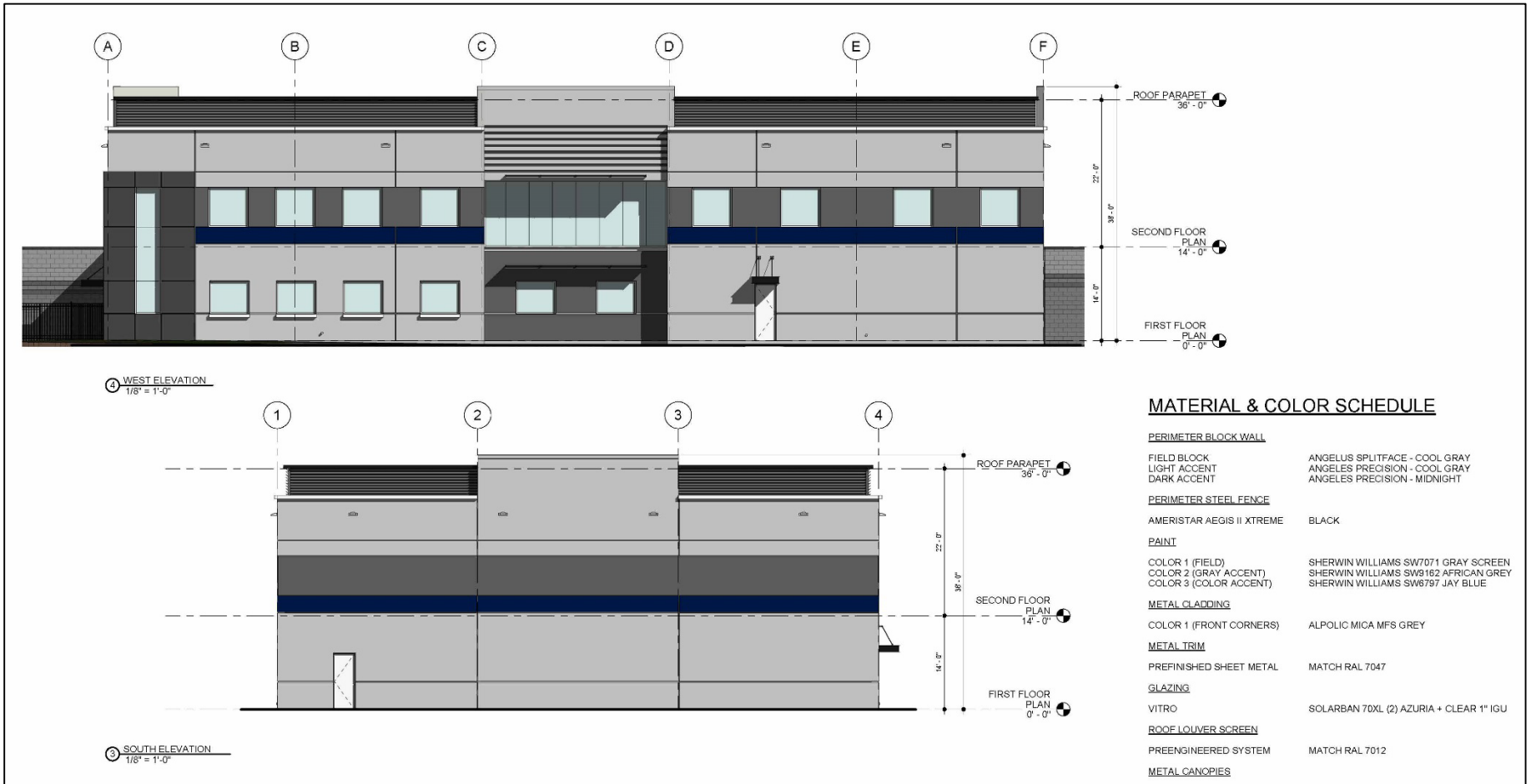
General Site & Building Statistics

<i>Item</i>	<i>Proposed</i>	<i>Min./Max. Standard</i>	<i>Meets Y/N</i>
<i>Project Area:</i>	2.4 AC	N/A	
<i>Lot/Parcel Size:</i>	2.4 AC	10,000 SF (Min.)	Y
<i>Floor Area Ratio:</i>	0.23 FAR	0.55 (Max.)	Y
<i>Building Height:</i>	36 FT	55 FT (Max.)	Y

Off-Street Parking:

<i>Type of Use</i>	<i>Building Area</i>	<i>Parking Ratio</i>	<i>Spaces Required</i>	<i>Spaces Provided</i>
<i>Office</i>	21,617 SF	4 spaces per 1,000 SF of GFA	86	86
<i>Warehouse/Storage</i>	5,766 SF	1 spaces per 1,000 SF of GFA	6	6
<i>Outdoor Storage</i>	23,864	0.1 spaces per 1,000 SF of GFA	2	2
<i>TOTAL</i>			94	94

Exhibit B—ELEVATIONS



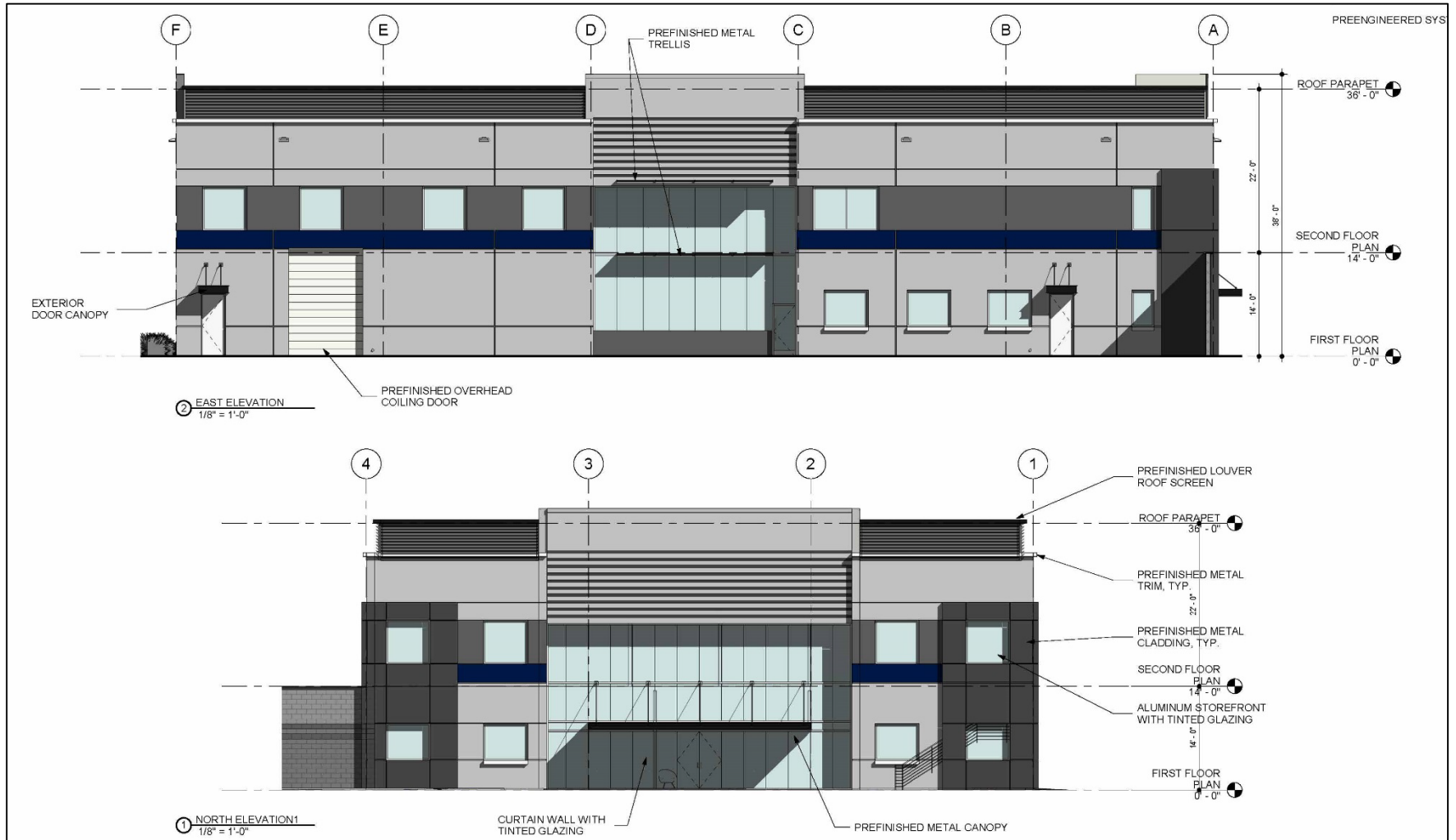
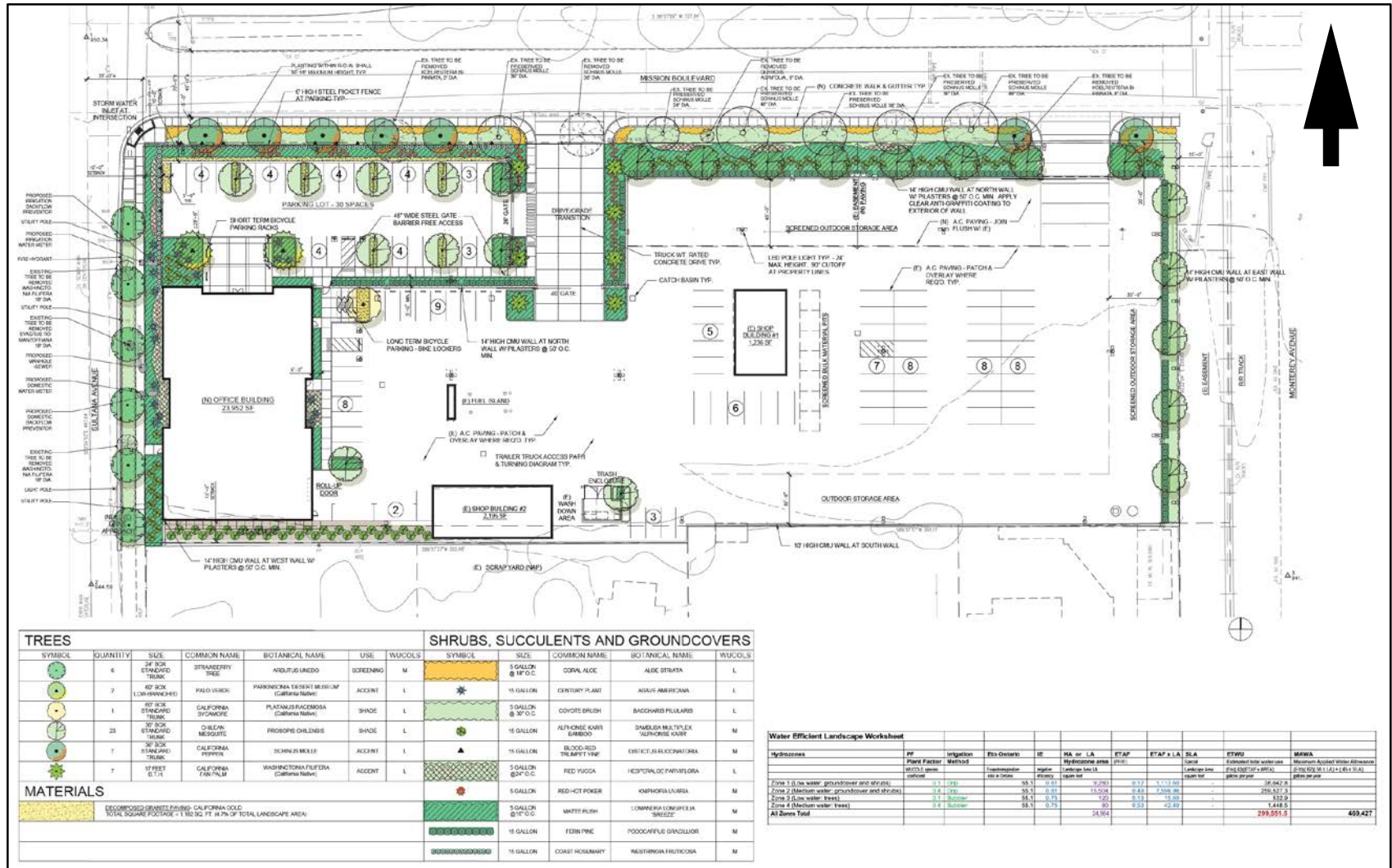


Exhibit C—LANDSCAPE PLAN



TREES					SHRUBS, SUCCULENTS AND GROUNDCOVERS						
SYMBOL	QUANTITY	SIZE	COMMON NAME	BOTANICAL NAME	USE	WUCCOLS	SYMBOL	SIZE	COMMON NAME	BOTANICAL NAME	WUCCOLS
	6	24" BOX STANDARD TREE	30' REDBERRY TREE	ADULT JUNGLE TREE	SCREENING	M		5 GALLON @ 18" O.C.	CORAL ALICE	ALICE STUPA	L
	7	80" BOX LOW-BRANCHING TREE	PALE YUCCA	PARKROSENA ELEGANS MISSOURI (California Native)	ACCENT	L		15 GALLON	CENTURY PLANT	AGAVE AMERICANA	L
	1	10" BOX STANDARD TREE	CALIFORNIA SYCAMORE	PLATANUS RACEMOSA (California Native)	SHADE	L		5 GALLON @ 30" O.C.	COYOTE BUSH	BACCHARIS PULGARIS	L
	23	30" BOX STANDARD TREE	CHILEAN MESQUITE	PROSOPIS CHILINENSIS	SHADE	L		15 GALLON	ALPINE CARB BAMBUSO	DIMORPHA MULTIPLEX 'ALPINE CARB'	M
	7	30" BOX STANDARD TREE	CALIFORNIA PINE	SCYRUS MOLLE	ACCENT	L		15 GALLON	BLOOD-RED TRUMPET VINE	ERECTOCALYCAEONIA	M
	7	12 FEET @ 7 1/2"	CALIFORNIA FAN PALM	WASHINGTONIA FILIFERA (California Native)	ACCENT	L		5 GALLON @ 24" O.C.	RED YUCCA	HEPTACAPNOCYPERELLA	L
MATERIALS											
DECOMPOSED GRANITE PAVING - CALIFORNIA GOLD TOTAL SQUARE FOOTAGE = 1,182 SQ. FT. (7% OF TOTAL LANDSCAPE AREA)											
								5 GALLON	RED-HOT POWER	XANTHODONIA	M
								5 GALLON @ 18" O.C.	WHITE FLUSH	LONAROSA LONGIFOLIA 'SWEET'	M
								15 GALLON	FERM PINE	PODOCYPUS STANGLOR	M
								15 GALLON	COAST ROSEMARY	HESTRINIA FRUTICOSA	M

Hydrozones	Plant Factor	Irrigation Method	Eto Ontario	IE	HA or LA	ETAP	ETAP x LA	SLA	ETWO	MAWA	Water Efficient Landscape Worksheet	
											Estimated total water use (gallons per year)	Maximum Allowed Water Allowance (gallons per year)
Zone 1 (0.5 in. water, groundcover and shrubs)	0.1	100%	35.1	0.01	2,200	0.12	1,112.00	0.01	11.12	11.12	11.12	11.12
Zone 2 (Medium water, groundcover and shrubs)	0.4	100%	35.1	0.01	15,000	0.48	7,200.00	0.01	72.00	72.00	72.00	72.00
Zone 3 (Low water, trees)	0.1	100%	35.1	0.01	1,500	0.12	1,800.00	0.01	18.00	18.00	18.00	18.00
Zone 4 (Medium water, trees)	0.4	100%	35.1	0.01	80	0.33	26.40	0.01	2.64	2.64	2.64	2.64
All Zones Total							14,964		104.76	104.76	104.76	104.76

RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ONTARIO, CALIFORNIA, APPROVING FILE NO. PCUP18-003, A CONDITIONAL USE PERMIT TO ESTABLISH AN OUTDOOR CONTRACTOR'S STORAGE YARD LOCATED AT 901 SOUTH SULTANA AVENUE, WITHIN THE IL (LIGHT INDUSTRIAL) ZONING DISTRICT, AND MAKING FINDINGS IN SUPPORT THEREOF—APN: 1049-353-14.

WHEREAS, FERREIRA CONSTRUCTION, CO, INC. ("Applicant") has filed an Application for the approval of a Conditional Use Permit, File No. PCUP18-004, as described in the title of this Resolution (hereinafter referred to as "Application" or "Project"); and

WHEREAS, the Application applies to 2.4 acres of land generally located on the southeast corner Mission Blvd. and Sultana Avenue, at 901 South Sultana Avenue within the (IL) Light Industrial zoning district, and is presently improved with three industrial buildings totaling 11,617 square feet; and

WHEREAS, the property to the north of the Project site is within the IL zoning district, and is developed with industrial warehouse and storage uses. The property to the east is within the IL zoning district, and is developed with wholesale and manufacturing uses. The property to the south is within the IL zoning district, and is developed with automobile storage and a funeral parlor. The properties to the west are within the MDR-11 (Medium Density Residential) zoning district, and are developed with single-family homes; and

WHEREAS, the Applicant is also requesting approval of a Development Plan (File No. PDEV18-024) to construct of a 23,952 square foot office and industrial building; and

WHEREAS, the proposed Conditional Use Permit is to establish a contractor's storage yard. The contractor's yard is located east of the proposed building and occupies the remaining of the site. The contractor's yard and office standard operating hours are Monday thru Friday 7:00 a.m. to 5:00 p.m.; and

WHEREAS, Ferreira Construction will employ 30 office employees and 90 field workers at this regional location. The contractor's yard will be utilized to store construction equipment such as: work trucks and semi-trucks, cranes, excavators, backhoes, loaders and forklifts. The contractor's yard will also store construction materials such as: rock, sand, base, temporary asphalt, guard rail, fence, water pipe and valves; and

WHEREAS, the applicant is proposing a phasing plan to operate the contractor's yard while the office is being constructed. The proposed phasing plan includes four phases; and

WHEREAS, Phase 1A will take five to six months and consist off-site improvements that include widening of Mission Blvd with partial right-of-way improvements and Sultana right-of-way improvements. The construction of temporary drainage structures. Temporary k-rail installation along Mission Blvd east of the eastern driveway to reduce the lane width to match the existing Union Pacific street crossing. Mission Blvd and Sultana Avenue street frontages shall be graded to allow for screen walls to be constructed and the existing building located along Sultana Avenue will be demolished; and

WHEREAS, Phase 1B will take one to two months and consist of the construction of screen walls to allow for occupancy of the site. Installation of screened temporary fencing along western and northern portions of the property line to secure the site during construction; and

WHEREAS, Phase 2A will take 18 to 24 months and consist of the installation of a temporary office-trailer. Construction of the office building, on-site and off-site landscaping, parking lots and all remaining on-site and off-site improvements; and

WHEREAS, Phase 2B will take one to two months and consist of Mission Blvd's pavement improvements (pavement ground and overlaid) from the edge of the gutter to the existing median along the property's frontage. Sultana Avenue's pavement will be ground and overlaid to the street's centerline from the edge of the gutter along the property's street frontage; and

WHEREAS, the Application is a project pursuant to the California Environmental Quality Act — Public Resources Code Section 21000 et seq. — (hereinafter referred to as "CEQA") and an initial study has been prepared to determine possible environmental impacts; and

WHEREAS, the Project is exempt from CEQA pursuant to a categorical exemption (listed in CEQA Guidelines Article 19, commencing with Section 15300) and the application of that categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Planning Commission the responsibility and authority to review and act on the subject Application; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan (hereinafter referred to as "ALUCP"), which applies only to jurisdictions within San

Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed;

WHEREAS, on November 19, 2018, the Development Advisory Board of the City of Ontario conducted a hearing to consider the Project, and concluded said hearing on that date, voting to issue Decision No. DAB18-060, recommending the Planning Commission approve the Application; and

WHEREAS, on November 27, 2018, the Planning Commission of the City of Ontario conducted a hearing to consider the Project, and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, IT IS HEREBY FOUND, DETERMINED, AND RESOLVED by the Planning Commission of the City of Ontario, as follows:

SECTION 1: Environmental Determination and Findings. As the decision-making authority for the Project, the Planning Commission has reviewed and considered the information contained in the administrative record for the Project. Based upon the facts and information contained in the administrative record, including all written and oral evidence presented to the Planning Commission, the Planning Commission finds as follows:

(1) The administrative record have been completed in compliance with CEQA, the State CEQA Guidelines, and the City of Ontario Local CEQA Guidelines; and

(2) The Project is categorically exempt from environmental review pursuant to Section 15332 (Class 32, In-fill Development Projects) of the CEQA Guidelines. The proposed project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. The proposed development occurs within city limits and the area being developed is 2.4 acres less than five acre threshold and is substantially surrounded by urban land uses. The project site has no value as habitat for endangered, rare or threatened species. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. Also, the site is adequately served by all required utilities and public services; and

(3) The application of the categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

(4) The determination of CEQA exemption reflects the independent judgment of the Planning Commission.

SECTION 3: *Ontario International Airport Land Use Compatibility Plan (“ALUCP”) Compliance.* The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the ALUCP, establishing the Airport Influence Area for Ontario International Airport (hereinafter referred to as “ONT”), which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the decision-making authority for the Project, the Planning Commission has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the Planning Commission, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

SECTION 4: *Concluding Facts and Reasons.* Based upon the substantial evidence presented to the Planning Commission during the above-referenced hearing, and upon the specific findings set forth in Section 1 through 3, above, the Planning Commission hereby concludes as follows:

(1) ***The scale and intensity of the proposed land use would be consistent with the scale and intensity of land uses intended for the particular zoning or land use district.*** The proposed location of the Conditional Use Permit is in accord with the objectives and purposes of the City of Ontario Development Code and the IL (Light Industrial) zoning district, and the scale and intensity of land uses intended for the zoning district in which the use is proposed to be located. The proposed building will act as a buffer between the existing residential and the proposed contractor’s yard. Furthermore, the contractor’s yard and office land uses will be established and operated consistent with the objectives and purposes, and development standards and guidelines.

(2) ***The proposed use at the proposed location, and the manner in which it will be operated and maintained, is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.*** The proposed contractor's yard and office land use will be located within the Industrial land use district of the Policy Plan Land Use Map, and the IL (Light Industrial) zoning district. The development standards, and the conditions of approval under which the proposed land use will be established, operated, and maintained, are consistent with the goals, policies, plans, and exhibits of the Vision, City Council Priorities, and Policy Plan (General Plan) components of The Ontario Plan.

(3) ***The proposed use at the proposed location, and the manner in which it will be operated and maintained, is consistent with the objectives and requirements of the Development Code and any applicable specific plan or planned unit development.*** The proposed contractor's yard and office land uses are located with the Industrial land use district, and the IL (Light Industrial) zoning district, and has been reviewed and conditioned to ensure the establishment, operation and maintenance of the proposed land use consistent with all applicable objectives, purposes, standards, and guidelines of the Development Code.

(4) ***The establishment, maintenance, and operation of the proposed use at the proposed location would not be detrimental or injurious to property and improvements within the vicinity, nor would it be detrimental to the health, safety, or general welfare of persons residing or working in the surrounding neighborhood.*** The Development Advisory Board has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the Development Code are maintained; [ii] the project will not endanger the public health, safety or general welfare; [iii] the project will not result in any significant environmental impacts; and [iv] the project will be in harmony with the surrounding area in which it is proposed to be located.

SECTION 5: Planning Commission Action. Based upon the findings and conclusions set forth in Sections 1 through 4, above, the Planning Commission hereby APPROVES the herein described Application, subject to each and every condition set forth in the Department reports attached hereto as "Attachment A," and incorporated herein by this reference.

SECTION 6: Indemnification. The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void, or annul this approval. The City of Ontario shall promptly notify the applicant of any such claim, action, or proceeding, and the City of Ontario shall cooperate fully in the defense.

SECTION 7: Custodian of Records. The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario.

SECTION 8: Certification to Adoption. The Secretary shall certify to the adoption of the Resolution.

The Secretary Pro Tempore for the Planning Commission of the City of Ontario shall certify as to the adoption of this Resolution.

I hereby certify that the foregoing Resolution was duly and regularly introduced, passed and adopted by the Planning Commission of the City of Ontario at a regular meeting thereof held on the 27th day of November 2018, and the foregoing is a full, true and correct copy of said Resolution, and has not been amended or repealed.

Richard D. Delman
Planning Commission Chairman

ATTEST:

Cathy Wahlstrom
Planning Director
Secretary to the Planning Commission

STATE OF CALIFORNIA)
COUNTY OF SAN BERNARDINO)
CITY OF ONTARIO)

I, Gwen Berendsen, Secretary Pro Tempore of the Planning Commission of the City of Ontario, DO HEREBY CERTIFY that foregoing Resolution No. ____ was duly passed and adopted by the Planning Commission of the City of Ontario at their regular meeting held on November 27, 2018, by the following roll call vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Gwen Berendsen
Secretary Pro Tempore

ATTACHMENT A:

**File No. PCUP18-003
Departmental Conditions of Approval**

(Departmental conditions of approval to follow this page)



City of Ontario
Planning Department
303 East B Street
Ontario, California 91764
Phone: 909.395.2036
Fax: 909.395.2420

Planning Department Land Development Division Conditions of Approval

Meeting Date: November 19, 2018
File No's.: PDEV18-024 and PCUP18-003
Related Files: N/A

Project Description: A Development Plan (**File No. PDEV18-024**) to construct a 23,952 square foot office/industrial building in conjunction with a Conditional Use Permit (**File No. PCUP18-003**) to establish a contractor's storage yard on 2.4 acres, located at 901 South Sultana Avenue, within the (IL) Light Industrial zoning district; (APN: 1049-353-14) **submitted by Ferreira Construction, Co, Inc.**

Prepared By: Lorena Mejia, Senior Planner
Phone: 909.395.2276 (direct)
Email: lmejia@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

1.0 Standard Conditions of Approval. The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

2.0 Special Conditions of Approval. In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

(a) Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

(b) Conditional Use Permit approval shall become null and void one year following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director, except that a Variance approved in conjunction with a Development Plan shall have the same time limits as said Development Plan. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

2.2 General Requirements. The Project shall comply with the following general requirements:

(a) All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

(b) The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

(c) The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

2.3 Landscaping.

(a) The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

(b) Comply with the conditions of approval of the Planning Department; Landscape Planning Division.

(c) Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

(d) Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

2.4 Walls and Fences. All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

2.5 Parking, Circulation and Access.

(a) The Project shall comply with the applicable off-street parking, loading and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

(b) Areas provided to meet the City's parking requirements, including off-street parking and loading spaces, access drives, and maneuvering areas, shall not be used for the outdoor storage of materials and equipment, nor shall it be used for any other purpose than parking.

(c) The required number of off-street parking spaces and/or loading spaces shall be provided at the time of site and/or building occupancy. All parking and loading spaces shall be maintained in good condition for the duration of the building or use.

(d) Parking spaces specifically designated and conveniently located for use by the physically disabled shall be provided pursuant to current accessibility regulations contained in State law (CCR Title 24, Part 2, Chapters 2B71, and CVC Section 22507.8).

(e) Bicycle parking facilities, including bicycle racks, lockers, and other secure facilities, shall be provided in conjunction with development projects pursuant to current regulations contained in CALGreen (CAC Title 24, Part 11).

2.6 Outdoor Loading and Storage Areas.

(a) Loading facilities shall be designed and constructed pursuant to Development Code Division 6.03 (Off-Street Parking and Loading).

(b) Areas designated for off-street parking, loading, and vehicular circulation and maneuvering, shall not be used for the outdoor storage of materials or equipment.

(c) Outdoor loading and storage areas, and loading doors, shall be screened from public view pursuant to the requirements of Development Code Paragraph 6.02.025.A.2 (Screening of Outdoor Loading and Storage Areas, and Loading Doors) Et Seq.

(d) Outdoor loading and storage areas shall be provided with gates that are view-obstructing by one of the following methods:

(i) Construct gates with a perforated metal sheet affixed to the inside of the gate surface (50 percent screen); or

(ii) Construct gates with minimum one-inch square tube steel pickets spaced at maximum 2-inches apart.

(e) The minimum gate height for screen wall openings shall be established based upon the corresponding wall height, as follows:

Screen Wall Height	Minimum Gate Height
14 feet:	10 feet
12 feet:	9 feet
10 feet:	8 feet
8 feet:	8 feet
6 feet:	6 feet

2.7 Site Lighting.

(a) All off-street parking facilities shall be provided with nighttime security lighting pursuant to Ontario Municipal Code Section 4-11.08 (Special Residential Building Provisions) and Section 4-11.09 (Special Commercial/Industrial Building Provisions), designed to confine emitted light to the parking areas. Parking facilities shall be lighted from sunset until sunrise, daily, and shall be operated by a photocell switch.

(b) Unless intended as part of a master lighting program, no operation, activity, or lighting fixture shall create illumination on any adjacent property.

2.8 Mechanical and Rooftop Equipment.

(a) All exterior roof-mounted mechanical, heating and air conditioning equipment, and all appurtenances thereto, shall be completely screened from public view by parapet walls or roof screens that are architecturally treated so as to be consistent with the building architecture.

(b) All ground-mounted utility equipment and structures, such as tanks, transformers, HVAC equipment, and backflow prevention devices, shall be located out of view from a public street, or adequately screened through the use of landscaping and/or decorative low garden walls.

2.9 Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

2.10 Signs. All Project signage shall comply with the requirements of Ontario Development Code Division 8.1 (Sign Regulations).

2.11 Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noised levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

2.12 Environmental Review.

(a) The proposed project is categorically exempt from the requirements of the California Environmental Quality Act of 1970 (CEQA), as amended, and the Guidelines promulgated thereunder, pursuant to **Section 15332 (Class 32, In-Fill Development Projects)** of the CEQA Guidelines, meeting the following conditions:

(i) The Project is consistent with the applicable general plan designation and all applicable general plan policies, as well as the applicable zoning designation and regulations;

(ii) The proposed development occurs within city limits, on a project site of no more than five acres, and is substantially surrounded by urban uses;

(iii) The project site has no value as habitat for endangered, rare, or threatened species;

(iv) Approval of the Project will not result in any significant effects relating to traffic, noise, air quality, or water quality; and

(v) The Project site can be adequately served by all required utilities and public services.

(b) If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

(c) If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

2.13 Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

2.14 Additional Fees.

(a) Within 5 days following final application approval, the Notice of Determination (NOD) filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act (CEQA). Failure to provide said fee within the time specified may result in a 180-day extension to the statute of limitations for the filing of a CEQA lawsuit.

(b) After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

2.15 Additional Requirements.

(a) The applicant shall complete Phase 1A and 1B improvements prior to occupying and operating the contractor's yard.

AIRPORT LAND USE COMPATIBILITY PLANNING

CONSISTENCY DETERMINATION REPORT



Project File No.: PCUP18-003 & PDEV18-024

Address: 901 South Sultana Avenue

APN: 1049-353-14

Existing Land Use: Vacant

Proposed Land Use: Development Plan to construct a 23,952 SF Office/Warehouse Building in conjunction with an outdoor contractor's storage yard

Site Acreage: 2.3 ac Proposed Structure Height: 38 FT

ONT-IAC Project Review: N/A

Airport Influence Area: ONT

Reviewed By: Lorena Mejia

Contact Info: 909-395-2276

Project Planner: Lorena Mejia

Date: 8/1/18

CD No.: 2018-062

PALU No.: n/a

The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input type="radio"/> High Terrain Zone	<input checked="" type="checkbox"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input checked="" type="checkbox"/> FAA Notification Surfaces	<input type="radio"/> Recorded Overflight Notification
<input type="radio"/> Zone 2	<input checked="" type="checkbox"/> 65 - 70 dB CNEL	<input checked="" type="checkbox"/> Airspace Obstruction Surfaces	<input type="radio"/> Real Estate Transaction Disclosure
<input type="radio"/> Zone 3	<input type="radio"/> 60 - 65 dB CNEL	<input checked="" type="checkbox"/> Airspace Avigation Easement Area	
<input type="radio"/> Zone 4		Allowable Height: <u>100 FT</u>	
<input type="radio"/> Zone 5			

The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1
 Zone 2
 Zone 3
 Zone 4
 Zone 5
 Zone 6

Allowable Height: _____

CONSISTENCY DETERMINATION

This proposed Project is: Exempt from the ALUCP Consistent Consistent with Conditions Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

See attached conditions.

Airport Planner Signature: _____

AIRPORT LAND USE COMPATIBILITY PLANNING

CONSISTENCY DETERMINATION REPORT

CD No.: 2018-062
PALU No.: _____

PROJECT CONDITIONS

1. Project is located within Safety Zone 4, above ground storage of hazardous materials greater than 6,000 gallons is not allowed (ALUCP Policy S4b (Hazardous Material Storage)).
2. The applicant is required to file and record an Avigation Easement with the Ontario International Airport Authority prior to obtaining a Certificate of Occupancy.
3. Attached are the land use intensity calculations for the proposed building. Future land uses that deviate from what is currently being approved must meet the policies and criteria of the ONT ALUCP. An alternative method for measuring compliance with the usage intensity limits is acceptable provided it meets the Safety Criteria policies set forth in the ONT ALUCP.
4. New development located within any of the Ontario International Airport Safety Zones are required to have a "Property Located within Ontario International Airport Safety Zone Notification appearing on the Property Deed and Title incorporating the following language:

(NOTICE OF AIRPORT IN VICINITY: This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you.) The property is presently located in a Safety Zone which limits land uses and the number of people on site. Land uses are required to meet the policies and criteria of the Ontario International Airport Land Use Compatibility Plan.



**ENGINEERING DEPARTMENT
CONDITIONS OF APPROVAL**

(Environmental, Traffic/Transportation Division, Ontario Municipal Utilities Company
Information Technology and Management Services Department conditions incorporated herein)

<input checked="" type="checkbox"/> DEVELOPMENT PLAN <input type="checkbox"/> OTHER	<input type="checkbox"/> PARCEL MAP <input type="checkbox"/> FOR CONDOMINIUM PURPOSES	<input type="checkbox"/> TRACT MAP
PROJECT FILE NO. <u>PDEV 18-024</u> RELATED FILE NO(S). <u>PCUP 18-003</u>		
<input checked="" type="checkbox"/> ORIGINAL <input type="checkbox"/> REVISED: <u> </u> / <u> </u> / <u> </u>		

CITY PROJECT ENGINEER & PHONE NO: Jesus Plasencia, 909-395-2128

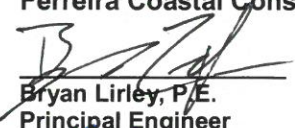
CITY PROJECT PLANNER & PHONE NO: Lorena Mejia, 909-395-2276

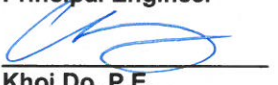
DAB MEETING DATE: November 19, 2018

PROJECT NAME / DESCRIPTION: 901 South Sultana Avenue; A development plan to construct a 23,952 square foot industrial building on 2.4 acres of land within the Light Industrial zoning district

LOCATION: 901 South Sultana Avenue

APPLICANT: Ferreira Coastal Construction Co.

REVIEWED BY: 
 Bryan Lirley, P.E.
 Principal Engineer 11/13/18
 Date

APPROVED BY: 
 Khoi Do, P.E.
 Assistant City Engineer 11/13/18
 Date



THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE GENERAL STANDARD CONDITIONS OF APPROVAL ADOPTED BY THE CITY COUNCIL (RESOLUTION NO. 2017-027) AND THE PROJECT SPECIFIC CONDITIONS OF APPROVAL SPECIFIED IN HEREIN. ONLY APPLICABLE CONDITIONS OF APPROVAL ARE CHECKED. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL APPLICABLE CONDITIONS OF APPROVAL PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, ISSUANCE OF PERMITS AND/OR OCCUPANCY CLEARANCE, AS SPECIFIED IN THIS REPORT.

1. PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, APPLICANT SHALL: Check When Complete

- 1.01 Dedicate to the City of Ontario, the right-of-way, described below:
 _____ feet on _____
 Property line corner 'cut-back' required at the intersection of _____
 and _____.
- 1.02 Dedicate to the City of Ontario, the following easement(s): _____

- 1.03 Restrict vehicular access to the site as follows: _____
- 1.04 Vacate the following street(s) and/or easement(s): _____
- 1.05 Submit a copy of a recorded private reciprocal use agreement or easement. The agreement or easement shall ensure, at a minimum, common ingress and egress and joint maintenance of all common access areas and drive aisles.
- 1.06 Provide (original document) Covenants, Conditions and Restrictions (CC&Rs) as applicable to the project and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&Rs shall provide for, but not be limited to, common ingress and egress, joint maintenance responsibility for all common access improvements, common facilities, parking areas, utilities, median and landscaping improvements and drive approaches, in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project. The CC&Rs shall also address the maintenance and repair responsibility for public improvements/utilities (sewer, water, storm drain, recycled water, etc.) located within open space/easements. In the event of any maintenance or repair of these facilities, the City shall only restore disturbed areas to current City Standards.
- 1.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658.
- 1.08 File an application for Reapportionment of Assessment, together with payment of a reapportionment processing fee, for each existing assessment district listed below. Contact the Management Services Department at (909) 395-2124 regarding this requirement.
 (1) _____
 (2) _____
- 1.09 Prepare a fully executed Subdivision Agreement (on City approved format and forms) with accompanying security as required, or complete all public improvements.



- 1.10 Provide a monument bond (i.e. cash deposit) in an amount calculated by the City's approved cost estimate spreadsheet (available for download on the City's website: www.ci.ontario.ca.us) or as specified in writing by the applicant's Registered Engineer or Licensed Land Surveyor of Record and approved by the City Engineer, whichever is greater.
- 1.11 Provide a preliminary title report current to within 30 days.
- 1.12 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of three (3) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Management Services at (909) 395-2353 to initiate the CFD application process.
- 1.13 New Model Colony (NMC) Developments:
 - 1) Provide evidence of final cancellation of Williamson Act contracts associated with this tract, prior to approval of any final subdivision map. Cancellation of contracts shall have been approved by the City Council.
 - 2) Provide evidence of sufficient storm water capacity availability equivalents (Certificate of Storm Water Treatment Equivalents).
 - 3) Provide evidence of sufficient water availability equivalents (Certificate of Net MDD Availability).
- 1.14 Other conditions: _____

2. PRIOR TO ISSUANCE OF ANY PERMITS, APPLICANT SHALL:

**A. GENERAL
 (Permits includes Grading, Building, Demolition and Encroachment)**

- 2.01 Record Parcel Map/Tract Map No. _____ pursuant to the Subdivision Map Act and in accordance with the City of Ontario Municipal Code.
- 2.02 Submit a duplicate photo mylar of the recorded map to the City Engineer's office.
- 2.03 Note that the subject parcel is a recognized parcel in the City of Ontario per _____.
- 2.04 **Note that the subject parcel is an 'unrecognized' parcel in the City of Ontario and shall require a Certificate of Compliance to be processed unless a deed is provided confirming the existence of the parcel prior to the date of March 4, 1972.**
- 2.05 **Apply for a:** **Certificate of Compliance with a Record of Survey;** Lot Line Adjustment
 - Make a Dedication of Easement.
- 2.06 Provide (original document) Covenants, Conditions and Restrictions (CC&R's), as applicable to the project, and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&R's shall provide for, but not be limited to, common ingress and egress, joint maintenance of all common access improvements, common facilities, parking areas, utilities and drive approaches in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project.



- 2.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658.
- 2.08 **Submit a soils/geology report.**
- 2.09 **Other Agency Permit/Approval: Submit a copy of the approved permit and/or other form of approval of the project from the following agency or agencies:**
 - State of California Department of Transportation (Caltrans)
 - San Bernardino County Road Department (SBCRD)
 - San Bernardino County Flood Control District (SBCFCD)
 - Federal Emergency Management Agency (FEMA)
 - Cucamonga Valley Water District (CVWD) for sewer/water service
 - United States Army Corps of Engineers (USACE)
 - California Department of Fish & Game
 - Inland Empire Utilities Agency (IEUA)
 - Other:**
 - **Utility Companies (Southern California Edison, Southern California Gas, etc.) located in the public utility easement on vacated Carlton Street**
 - **Union Pacific Railroad Company for Mission Boulevard street improvements**
- 2.10 **Dedicate to the City of Ontario the right-of-way described below:**
 - **Property line corner 'cut-back' required at the intersection of Mission Boulevard and Sultana Avenue per City Standard 1301.**
- 2.11 **Dedicate to the City of Ontario the following easement(s):**
 - **Sidewalk easement behind the proposed drive approaches located along Mission Boulevard (if necessary).**
 - **A sidewalk easement along Sultana Avenue may be required due to public improvements.**
- 2.12 **New Model Colony (NMC) Developments:**
 - 1) Submit a copy of the permit from the San Bernardino County Health Department to the Engineering Department and the Ontario Municipal Utilities Company (OMUC) for the destruction/abandonment of the on-site water well. The well shall be destroyed/abandoned in accordance with the San Bernardino County Health Department guidelines.
 - 2) Make a formal request to the City of Ontario Engineering Department for the proposed temporary use of an existing agricultural water well for purposes other than agriculture, such as grading, dust control, etc. Upon approval, the Applicant shall enter into an agreement with the City of Ontario and pay any applicable fees as set forth by said agreement.
 - 3) Design proposed retaining walls to retain up to a maximum of three (3) feet of earth. In no case shall a wall exceed an overall height of nine (9) feet (i.e. maximum 6-foot high wall on top of a maximum 3-foot high retaining wall).
- 2.13 **Submit a security deposit to the Engineering Department to guarantee construction of the public improvements required herein valued at 100% of the approved construction cost estimate. Security deposit shall be in accordance with the City of Ontario Municipal Code.**



Security deposit will be eligible for release, in accordance with City procedure, upon completion and acceptance of said public improvements.

- 2.14 **The applicant/developer shall submit all necessary survey documents prepared by a Licensed Surveyor registered in the State of California detailing all existing survey monuments in and around the project site. These documents are to be reviewed and approved by the City Survey Office.**
- 2.15 **Pay all Development Impact Fees (DIF) to the Building Department. Storm Drain Development Impact Fee, approximately \$51,297, shall be paid to the Building Department. Final fee shall be determined based on the approved site plan.**
- 2.16 **Other conditions:** _____



B. PUBLIC IMPROVEMENTS
 (See attached Exhibit 'A' for plan check submittal requirements.)

- 2.17 Design and construct full public improvements in accordance with the City of Ontario Municipal Code, current City standards and specifications, master plans and the adopted specific plan for the area, if any. These public improvements shall include, but not be limited to, the following (checked boxes):

Improvement	Sultana Avenue ^(b)	Mission Boulevard ^(a)	Monterey Avenue	
Curb and Gutter	<input checked="" type="checkbox"/> New; 18 ft. from C/L ^(b) <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New; 38 ft from existing median curb <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New ^(c) <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace
AC Pavement	<input checked="" type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input checked="" type="checkbox"/> Widen approx. 2-7 ft along project frontage, including pavement transitions (ultimate AC width - 38' from existing median curb)	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions
PCC Pavement (Truck Route Only)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Drive Approach	<input type="checkbox"/> New <input checked="" type="checkbox"/> Remove	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Sidewalk	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
ADA Access Ramp	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New ^(c) <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Parkway	<input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation)	<input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)
Raised Landscaped Median	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace



Fire Hydrant	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation
Sewer (see Sec. 2.C)	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
Water (see Sec. 2.D)	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Recycled Water (see Sec. 2.E)	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Traffic Signal System (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input checked="" type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Traffic Signing and Striping (see Sec. 2.F)	<input type="checkbox"/> New <input checked="" type="checkbox"/> Modify existing	<input type="checkbox"/> New <input checked="" type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Street Light (see Sec. 2.F)	<input type="checkbox"/> New / Upgrade <input checked="" type="checkbox"/> Replace existing street light fixtures to current standards	<input checked="" type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation
Bus Stop Pad or Turn-out (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Storm Drain (see Sec. 2G)	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input checked="" type="checkbox"/> Main (modify existing culverts) <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
Fiber Optics (see Sec. 2K)	<input checked="" type="checkbox"/> Conduit / Appurtenances	<input checked="" type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances
Overhead Utilities	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate
Removal of Improvements	_____ _____ _____	_____ _____ _____	_____ _____ _____ _____	_____ _____ _____



Other Improvements				
--------------------	--	--	--	--

Specific notes for improvements listed in item no. 2.17 above:

- a. The applicant/developer shall be responsible to design and construct ultimate half width frontage improvements on Mission Boulevard, including but not limited to street widening, curb and gutter, sidewalk, street light, access ramp, parkway landscaping and irrigation, traffic signal modification and signing and striping. The applicant/developer shall also be responsible for any relocation/modification of guard rail and UPRR gates as necessary to accommodate widening improvements. Sidewalk shall be extended to the southwest corner of Mission Boulevard and Monterey Avenue.
- b. The applicant/developer shall construct curb, gutter, and sidewalk along the entire property frontage on Sultana Avenue, including along vacated Carlton Street. Curb and gutter shall also be constructed on Monterey Avenue along vacated Carlton Street.
- c. The applicant/developer shall construct ADA access ramps at the southeast corner of Mission Boulevard and Sultana Avenue and at the southwest corner of Mission Boulevard and Monterey Avenue.

- 2.18 Construct a 2" asphalt concrete (AC) grind and overlay on the following street(s): Mission Boulevard, south half along project frontage
- 2.19 Reconstruction of the full pavement structural section along Sultana Avenue, per City of Ontario Standard Drawing number 1011, may be required based on the existing pavement condition and final street design. Minimum limits of reconstruction shall be along property frontage, from street centerline to curb/gutter.
- 2.20 Make arrangements with the Cucamonga Valley Water District (CVWD) to provide water service sewer service to the site. This property is within the area served by the CVWD and Applicant shall provide documentation to the City verifying that all required CVWD fees have been paid.
- 2.21 Overhead utilities shall be under-grounded, in accordance with Title 7 of the City's Municipal Code (Ordinance No. 2804 and 2892).
- 2.22 Other conditions: _____

C. SEWER

- 2.23 A 12-inch sewer main is available for connection by this project Sultana Avenue. (Ref: Sewer plan bar code: S10311)
- 2.24 Design and construct a sewer main extension. A sewer main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.25 Submit documentation that shows expected peak loading values for modeling the impact of the subject project to the existing sewer system. The project site is within a deficient public sewer system area. Applicant shall be responsible for all costs associated with the preparation of the model. Based on the results of the analysis, Applicant may be required to mitigate the project impact to the deficient public sewer system, including, but not limited to, upgrading of existing sewer main(s), construction of new sewer main(s) or diversion of sewer discharge to another sewer.
- 2.26 Other conditions:
 - 1. The applicant/developer shall install an on-site monitoring manhole.
 - 2. The applicant/developer shall install a cleanout on the existing sewer lateral, per City



standards.

3. The applicant shall apply for a Wastewater Discharge Permit for their proposed industrial building and shall comply with all the requirements of the Wastewater Discharge Permit: <http://www.ontarioca.gov/municipal-utilities-company/utilities/industrial-wastewater-discharge-permit>. Requirements of the Wastewater Discharge Permit may include, but are not limited to: Installation of wastewater pretreatment equipment, such as clarifiers. For wastewater application questions, please contact:
 Michael Birmelin, Environmental Programs Director
omucenvironmental@ontarioca.gov
 (909) 395-2661

D. WATER

- 2.27 A 8-inch water main is available for connection by this project in Sultana Avenue
- 2.28 Design and construct a water main extension. A water main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.29 **Other conditions:**
 1. Provide a Double Check Detector Assembly for the proposed on-site fire service system.
 2. Install one new fire hydrant fronting Mission Boulevard approximately halfway between Sultana and Monterey Avenues. The fire service line shall be 6-inch diameter pipe.
 3. The existing 4-inch water main along Sultana Avenue shall be abandoned at Maitland and at Carlton. Any active services shall be connected via new service lines to the existing 8-inch main in Sultana Avenue. Splicing of existing services are not allowed.
 4. The existing 4-inch water main along former Carlton shall be abandoned at Sultana and any active services connected to it shall be replaced and connected to the 8-inch main in Sultana. Plans shall show the limits of abandonment and where “cut and cap” occurs.
 5. Plans shall show the limits of abandonment and where “cut and cap” occurs. In addition, plans shall note that all existing water services shall be upgraded and reconnected to the City’s existing main in accordance with City Standards.

E. RECYCLED WATER

- 2.30 A _____ inch recycled water main is available for connection by this project in _____.
 (Ref: Recycled Water plan bar code: _____)
- 2.31 Design and construct an on-site recycled water system for this project. A recycled water main does exist in the vicinity of this project.
- 2.32 **Design and construct an on-site recycled water ready system for this project. A recycled water main does not currently exist in the vicinity of this project, but is planned for the near future. If Applicant would like to connect to this recycled water main when it becomes available, the cost for the connection shall be borne solely by the Applicant.**
- 2.33 **Submit two (2) hard copies and one (1) electronic copy, in PDF format, of the Engineering Report (ER), for the use of recycled water, to the OMUC for review and subsequent submittal to the California Department of Public Health (CDPH) for final approval.**

 Note: The OMUC and the CDPH review and approval process will be approximately three (3) months. Contact the Ontario Municipal Utilities Company at (909) 395-2647 regarding this requirement.
- 2.34 **Other conditions:**
 1. The irrigation service and meter shall be installed along Sultana Avenue, temporarily connecting to the potable water main in Sultana Avenue.

F. TRAFFIC / TRANSPORTATION



- 2.35 Submit a focused traffic impact study, prepared and signed by a Traffic/Civil Engineer registered in the State of California. The study shall address, but not be limited to, the following issues as required by the City Engineer:

 - 1. On-site and off-site circulation
 - 2. Traffic level of service (LOS) at 'build-out' and future years
 - 3. Impact at specific intersections as selected by the City Engineer

- 2.36 New traffic signal installations shall be added to Southern California Edison (SCE) customer account number # 2-20-044-3877.
- 2.37 **Other conditions:**

 - 1. **The applicant/developer shall be responsible to provide access onto Mission Boulevard for all demolition/construction on-site activities. Construction vehicles and equipment will not be allowed to take access from Sultana Avenue.**
 - 2. **The Applicant/Developer shall be responsible to design and construct street improvements along property frontages. The applicant/developer shall also be responsible for any relocation/modification of guard rail and UPRR gates as necessary to accommodate widening improvements. All improvements shall be in accordance with City of Ontario standards and to the satisfaction of the City Engineer. Said improvements may require UPRR coordination and approval.**
 - 3. **The applicant/developer shall be responsible to remove the existing access (formerly Carlton Street) onto Monterey Avenue and design and construct any necessary improvements to close the access. Said improvements may require UPRR coordination and approval.**
 - 4. **The applicant/developer shall be responsible to remove the existing access (formerly Carlton Street) onto Sultana Avenue and design and construct any necessary improvements to the southeast corner of Mission Blvd and Sultana Avenue, including, but not limited to, drainage, curb and gutter, sidewalk, and landscaping improvements.**
 - 5. **All landscaping, block walls, and other obstructions shall be compatible with the stopping sight distance requirements per City of Ontario Standard Drawing No. 1309.**
 - 6. **The applicant/developer shall be responsible to replace the existing street light fixtures with the current City approved LED equivalent fixtures along the Sultana Avenue project frontage. Please refer to the Traffic and Transportation Design Guidelines Section 1.4 Street Light Plans.**
 - 7. **"No Parking Anytime" signs shall be installed along the property frontages of Sultana Avenue and Mission Boulevard.**
 - 8. **The Applicant/Developer's engineer-of-record shall meet with City Engineering staff prior to starting signing/stripping and street lighting design plans.**

G. DRAINAGE / HYDROLOGY

- 2.38 A _____ inch storm drain main is available to accept flows from this project in _____.
 (Ref: Storm Drain plan bar code: _____)
- 2.39 **Submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California. The study shall be prepared in accordance with the San Bernardino County Hydrology Manual and City of Ontario standards and guidelines. Additional drainage facilities, including, but not limited to, improvements beyond the project frontage, may be required to be designed and constructed, by Applicant, as a result of the findings of this study.**



- 2.40 **An adequate drainage facility to accept additional runoff from the site does not currently exist downstream of the project. Design and construct a storm water detention facility on the project site. 100 year post-development peak flow shall be attenuated such that it does not exceed 80% of pre-development peak flows, in accordance with the approved hydrology study and improvement plans.**
- 2.41 Submit a copy of a recorded private drainage easement or drainage acceptance agreement to the Engineering Department for the acceptance of any increase to volume and/or concentration of historical drainage flows onto adjacent property, prior to approval of the grading plan for the project.
- 2.42 Comply with the City of Ontario Flood Damage Prevention Ordinance (Ordinance No. 2409). The project site or a portion of the project site is within the Special Flood Hazard Area (SFHA) as indicated on the Flood Insurance Rate Map (FIRM) and is subject to flooding during a 100 year frequency storm. The site plan shall be subject to the provisions of the National Flood Insurance Program.
- 2.43 **Other conditions:**
 - 1. **The applicant/developer shall abandon the existing catch basin located on vacated Carlton Street**
 - 2. **The applicant/developer shall modify the existing culverts located on Mission Boulevard.**
 - 3. **The applicant/developer shall pay an in-lieu fee for future storm drain in Sultana Avenue valued at \$57,719.**

H. STORM WATER QUALITY / NATIONAL POLLUTANT DISCHARGE AND ELIMINATION SYSTEM (NPDES)

- 2.44 401 Water Quality Certification/404 Permit – Submit a copy of any applicable 401 Certification or 404 Permit for the subject project to the City project engineer. Development that will affect any body of surface water (i.e. lake, creek, open drainage channel, etc.) may require a 401 Water Quality Certification from the California Regional Water Quality Control Board, Santa Ana Region (RWQCB) and a 404 Permit from the United States Army Corps of Engineers (USACE). The groups of water bodies classified in these requirements are perennial (flow year round) and ephemeral (flow during rain conditions, only) and include, but are not limited to, direct connections into San Bernardino County Flood Control District (SBCFCD) channels.
If a 401 Certification and/or a 404 Permit are not required, a letter confirming this from Applicant's engineer shall be submitted.
Contact information: USACE (Los Angeles District) (213) 452-3414; RWQCB (951) 782-4130.
- 2.45 **Submit a Water Quality Management Plan (WQMP). This plan shall be approved by the Engineering Department prior to approval of any grading plan. The WQMP shall be submitted, utilizing the current San Bernardino County Stormwater Program template, available at: <http://www.sbcounty.gov/dpw/land/npdes.asp>.**
- 2.46 Other conditions: _____

J. SPECIAL DISTRICTS

- 2.47 File an application, together with an initial payment deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community facilities District Act of 1982. The application and fee shall be submitted a minimum three (3) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact the Management Services Department at (909) 395-2353 to initiate the CFD application process.
- 2.48 Other conditions: _____

K. FIBER OPTIC

- 2.49 **Design and construct fiber optic system to provide access to the City's conduit and fiber optic**



system per the City's Fiber Optic Master Plan. Building entrance conduits shall start from the closest OntarioNet hand hole constructed along the project frontage in the ROW and shall terminate in the main telecommunications room for each building. Conduit infrastructure shall interconnect with the primary and/or secondary backbone fiber optic conduit system at the nearest OntarioNet hand hole.

- 2.50 Refer to the City's Fiber Optic Master Plan for design and layout guidelines. Contact the Information Technology Department at (909) 395-2000, regarding this requirement.

L. Solid Waste

- 2.51 Onsite solid waste shall be designed in accordance with the City's Solid Waste Manual location at: <http://www.ontarioca.gov/municipal-utilities-company/solid-waste>

- 2.52 Other conditions:

1. A Solid Waste Handling Plan (SWHP) Sheet shall be submitted to the City/OMUC for review and approval. The SWHP Sheet shall demonstrate compliance with the Services Standards in the City's Solid Waste Planning Manual (<http://www.ontarioca.gov/municipal-utilities-company/solid-waste>) and shall contain, at a minimum, the following elements:
 - a. A statement identifying the Service Requirements being used (e.g. Single Family Detached with automated cans, Multi-family/ Commercial with bins, etc.) and describing the solid waste handling operation (for instance, will there be scouting services, etc.)
 - b. A table utilizing the metrics on Page 8 on the Planning Manual and calculating the volume (in gallons or cubic yards), quantity, and service schedule for each type of can and bin required for each service category (refuse, recycled, etc.).
 - c. An Engineering Site Plan drawn to scale that shows:
 - A detail of the Solid Waste Vehicle with dimensions and annotation that states the minimum turning radii and path of travel widths actually being used on the plan.
 - The Solid Waste Vehicle turning movements and paths of travel in each direction of travel and at all intersections. All paths of travel shall be 15 feet wide minimum.
 - All parking stalls and parallel parking spaces along all streets, alleys, or aisles.
 - All proposed curbs and areas designated and striped/signed as "No Parking".
 - All proposed trash enclosures and the ADA paths of travel from the buildings.
 - A detail for each enclosure footprint delineating the number and size of the bins in order to demonstrate that the enclosure is adequately sized and oriented.
2. This site shall comply with the Requirements of State Assembly Bill AM1826, which requires organic waste to be diverted and collected separately from recycling and other refuse wastes.
3. Trash enclosure location is to be east of the Shop Building for serviceability.



3. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, APPLICANT SHALL:

- 3.01 **Set new monuments in place of any monuments that have been damaged or destroyed as a result of construction of the subject project. Monuments shall be set in accordance with City of Ontario standards and to the satisfaction of the City Engineer.**
- 3.02 **Complete all requirements for recycled water usage.**
 - 1) **Procure from the OMUC a copy of the letter of confirmation from the California Department of Public Health (CDPH) that the Engineering Report (ER) has been reviewed and the subject site is approved for the use of recycled water.**
 - 2) **Obtain clearance from the OMUC confirming completion of recycled water improvements and passing of shutdown tests and cross connection inspection, upon availability/usage of recycled water.**
 - 3) **Complete education training of on-site personnel in the use of recycled water, in accordance with the ER, upon availability/usage of recycled water.**
- 3.03 **The applicant/developer shall submit all final survey documents prepared by a Licensed Surveyor registered in the State of California detailing all survey monuments that have been preserved, revised, adjusted or set along with any maps, corner records or Records of Survey needed to comply with these Conditions of Approvals and the latest edition of the California Professional Land Survey Act. These documents are to be reviewed and approved by the City Survey Office.**
- 3.04 **NMC Projects: For developments located at an intersection of any two collector or arterial streets, the applicant/developer shall set a monument if one does not already exist at that intersection. Contact the City Survey office for information on reference benchmarks, acceptable methodology and required submittals.**
- 3.05 **Confirm payment of all Development Impact Fees (DIF) to the Building Department.**
- 3.06 **Submit electronic copies (PDF and Auto CAD format) of all approved improvement plans, studies and reports (i.e. hydrology, traffic, WQMP, etc.).**



EXHIBIT 'A'

ENGINEERING DEPARTMENT First Plan Check Submittal Checklist

Project Number: PDEV 18-024

The following items are required to be included with the first plan check submittal:

1. **A copy of this check list**
2. **Payment of fee for Plan Checking**
3. **One (1) copy of Engineering Cost Estimate (on City form) with engineer's wet signature and stamp.**
4. **One (1) copy of project Conditions of Approval**
5. **Two (2) sets of Potable and Recycled Water demand calculations (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size).**
6. **Three (3) sets of Public Street improvement plan with street cross-sections**
7. **Three (3) sets of Private Street improvement plan with street cross-sections**
8. **Four (4) sets of Public Water improvement plan (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)**
9. **Four (4) sets of Recycled Water improvement plan (include recycled water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size and an exhibit showing the limits of areas being irrigated by each recycled water meter)**
10. **Four (4) sets of Public Sewer improvement plan**
11. **Five (5) sets of Public Storm Drain improvement plan**
12. **Three (3) sets of Public Street Light improvement plan**
13. **Three (3) sets of Signing and Striping improvement plan**
14. **Three (3) sets of Fiber Optic plan (include Auto CAD electronic submittal)**
15. **Three (3) sets of Dry Utility plans within public right-of-way (at a minimum the plans must show existing and ultimate right-of-way, curb and gutter, proposed utility location including centerline dimensions, wall to wall clearances between proposed utility and adjacent public line, street work repaired per Standard Drawing No. 1306. Include Auto CAD electronic submittal)**
16. **Three (3) sets of Traffic Signal improvement plan and One (1) copy of Traffic Signal Specifications with modified Special Provisions. Please contact the Traffic Division at (909) 395-2154 to obtain Traffic Signal Specifications.**
17. **Two (2) copies of Water Quality Management Plan (WQMP), including one (1) copy of the approved Preliminary WQMP (PWQMP).**
18. **One (1) copy of Hydrology/Drainage study**
19. **One (1) copy of Soils/Geology report**
20. **Payment for Final Map/Parcel Map processing fee**
21. **Three (3) copies of Final Map/Parcel Map**



22. One (1) copy of approved Tentative Map
23. One (1) copy of Preliminary Title Report (current within 30 days)
24. One (1) copy of Traverse Closure Calculations
25. **One (1) set of supporting documents and maps (legible copies): referenced improvement plans (full size), referenced record final maps/parcel maps (full size, 18"x26"), Assessor's Parcel map (full size, 11"x17"), recorded documents such as deeds, lot line adjustments, easements, etc.**
26. **Two (2) copies of Engineering Report and an electronic file (include PDF format electronic submittal) for recycled water use**
27. **Other:**
 - **Two (2) copies of Certificate of Compliance (legal and plat), supporting documents and associated fees.**

CITY OF ONTARIO

MEMORANDUM

TO: PLANNING DEPARTMENT, Lorena Mejia
FROM: BUILDING DEPARTMENT, Kevin Shear
DATE: June 27, 2018
SUBJECT: PDEV18-024

-
- The plan **does** adequately address the departmental concerns at this time.
- No comments
- Report below.

Conditions of Approval

1. The address for the project will be 540 E Mission Blvd

KS:lm

CITY OF ONTARIO

MEMORANDUM

TO: PLANNING DEPARTMENT, Lorena Mejia
FROM: BUILDING DEPARTMENT, Kevin Shear
DATE: January 23, 2018
SUBJECT: PCUP18-003

-
- The plan **does** adequately address the departmental concerns at this time.
- No comments
- Report below.

Conditions of Approval

1. Standard Conditions of Approval apply.

KS:lm



CITY OF ONTARIO

MEMORANDUM

TO: Scott Murphy, Development Director
Cathy Wahlstrom, Planning Director
Diane Ayala, Advanced Planning Division
Charity Hernandez, Economic Development
Kevin Shear, Building Official
Khoi Do, Assistant City Engineer
Carolyn Bell, Landscape Planning Division
Ahmed Aly, Municipal Utility Company
Doug Sorel, Police Department
Paul Ehrman, Deputy Fire Chief/Fire Marshal
Jay Bautista, T. E., Traffic/Transportation Manager
Lorena Mejia, Airport Planning
Steve Wilson, Engineering/NPDES
Joe De Sousa, Code Enforcement (Copy of memo only)
Jimmy Chang, IT Department

FROM: Lorena Mejia, Senior Planner

DATE: June 21, 2018

SUBJECT: FILE #: PDEV18-024

Finance Acct#:

The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Thursday, July 5, 2018**.

- Note:
- Only DAB action is required
 - Both DAB and Planning Commission actions are required
 - Only Planning Commission action is required
 - DAB, Planning Commission and City Council actions are required
 - Only Zoning Administrator action is required

PROJECT DESCRIPTION: A Development Plan to construct a 23,952 square foot office/industrial building totaling on 2.4 acres of land located at 901 South Sultana Avenue, within the IL (Light Industrial) zoning district APN(s): (1049-353-14). Related File(s): PCUP18-003

The plan does adequately address the departmental concerns at this time.

- No comments
- Report attached (1 copy and email 1 copy)
- Standard Conditions of Approval apply

The plan does not adequately address the departmental concerns.

- The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

Landscape Planning Carolyn Bell S. Landscape Architect
Department Signature Title Date 7/19/18

CITY OF ONTARIO
LANDSCAPE PLANNING DIVISION
 303 East "B" Street, Ontario, CA 91764

CONDITIONS OF APPROVAL

Sign Off

<i>Carolyn Bell</i>	7/19/18
Carolyn Bell, Sr. Landscape Architect	Date

Reviewer's Name: Carolyn Bell, Sr Landscape Architect	Phone: (909) 395-2237
---	---------------------------------

D.A.B. File No.: PDEV18-024	Case Planner: Lorena Mejia
--------------------------------	-------------------------------

Project Name and Location: Ferreira Office Bldg and Site Improvements 901 S Sultana Ave

Applicant/Representative: KEC Engineers 13201 9th St Chino, Ca 91710

<input checked="" type="checkbox"/>	A Preliminary Landscape Plan (dated 6/21/18) meets the Standard Conditions for New Development and has been approved with the consideration that the following conditions below be met upon submittal of the landscape construction documents.
<input type="checkbox"/>	A Preliminary Landscape Plan (dated) has not been approved. Corrections noted below are required prior to Preliminary Landscape Plan approval.

A RESPONSE SHEET IS REQUIRED WITH RESUBMITTAL OR PLANS WILL BE RETURNED AS INCOMPLETE

Civil/ Site Plans

1. Coordinate photometric plan E1.0 does not match site plans. Move light shown in tree planter.
2. Show transformers located in planter areas and set back 5' from paving.
3. Dimension backflow devices set back min 3' from paving. Locate on level grade.
4. Locate utilities including light standards, fire hydrants, and water and sewer lines to not conflict with required tree locations. Coordinate with landscape plans
5. Note for compaction to be no greater than 85% at landscape areas. All finished grades at 1 1/2" below finished surfaces. Slopes to be maximum 3:1.
6. Dimension all planters to have a minimum 5' wide inside dimension with 6" curbs and 12" wide curbs, pavers or DG paving with edging where parking spaces are adjacent to planters.
7. Add tree protection notes to construction and demo plans.

Landscape Plans

8. Add tree protection notes to landscape plans.
9. Show backflows, trash enclosures and transformers with setbacks and landscape screening, and show set backs from paving with landscape screening: 36" high strappy leaf shrubs at backflows coordinated with plant palette, 4-5' evergreen shrubs at transformers.
10. Locate light standards, fire hydrants, water and sewer lines to not conflict with required tree locations. Show all utilities on the landscape plans.
11. Show appropriate parking lot shade trees with min 30' canopy at maturity. Change Mesquite for a shade tree such as Pistache, Ulmus, Quercus ilex, etc.
12. Show separate systems for trees; pop up stream- spray bubblers with pc screens.
13. Revise MAWA to separate on-site landscaping from parkway/ right of way landscape.
14. Separate low and mod water irrigation systems. Station valves with south and west facing

areas separate from north and east facing areas.

- 15. Replace short lived, high maintenance or poor performing plants: Bamboo; Palo Verde, Mesquite. Consider *Carpenteria californica*, *Cercis* and *Arbutus*. Use larger trees for shade, tall narrow trees for background behind CA Peppers: *Brachychiton populneus*, *Gingko*, etc.
- 16. Street trees for this project are: on Monterey Av: *Brachychiton populneus*; Mission blvd *Schinus molle* ok; on Sultana ave: *Chitalpa taskentensis* 30' oc.
- 17. Note for agronomical soil testing and include report on landscape construction plans.
- 18. Show concrete mowstrips to identify property lines along open areas or at PL's.
- 19. Show minimum on-site tree sizes per the Landscape Development standards, see the Landscape Planning website. 5% 48" box, 10% 36 box, 30% 24" box, 55% 15 gallon.
- 20. Show 25% of trees as California native (*Platanus racemosa*, *Quercus agrifolia*, *Quercus wislizenii*, *Quercus douglasii*, *Cercis occidentalis*, etc.) in appropriate locations.
- 21. Show 8' diameter of mulch only at new trees, 12' min. at existing trees. Keep irrigation dripline outside of mulched root zone.
- 22. Add Note to Grading and Landscape Plans: Landscape areas where compaction has occurred due to grading activities and where trees or storm water infiltration areas are located shall be loosened by soil fracturing. For trees a 12'x12'x18" deep area; for storm water infiltration the entire area shall be loosened. Add the following information on the plans: The back hoe method of soil fracturing shall be used to break up compaction. A 4" layer of Compost is spread over the soil surface before fracturing is begun. The back hoe shall dig into the soil lifting and then drop the soil immediately back into the hole. The bucket then moves to the adjacent soil and repeats. The Compost falls into the spaces between the soil chunks created. Fracturing shall leave the soil surface quite rough with large soil clods. These must be broken by additional tilling. Tilling in more Compost to the surface after fracturing per the soil report will help create an A horizon soil. Imported or reused Topsoil can be added on top of the fractured soil as needed for grading. The Landscape Architect shall be present during this process and provide certification of the soil fracturing. For additional reference see Urban Tree Foundation – Planting Soil Specifications.
- 23. After a project's entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council. Typical fees are:

Plan Check—less than 5 acres	\$1,301.00
Inspection—Construction (up to 3 inspections per phase)	<u>\$278.00</u>
Total.....	\$1,579.00
Inspection—Field – any additional.....	\$83.00

Landscape construction plans with building permit number for plan check may be emailed to: landscapeplancheck@ontarioca.gov



CITY OF ONTARIO

MEMORANDUM

TO: Lorena Mejia, Senior Planner
Planning Department

FROM: Paul Ehrman, Deputy Fire Chief/Fire Marshal
Fire Department

DATE: July 6, 2018

SUBJECT: PDEV18-024 - A Development Plan to construct a 23,952-square foot industrial building on 2.4 acres of land located at 901 South Sultana Avenue, within the IL (Light Industrial) zoning district (APN: 1049-353-14). Related File: PCUP18-003.

-
- The plan **does** adequately address Fire Department requirements at this time.
- Standard Conditions of Approval apply, as stated below.
-

SITE AND BUILDING FEATURES:

- A. 2016 CBC Type of Construction: Not Listed (V)
- B. Type of Roof Materials: Ordinary
- C. Ground Floor Area(s): Varies / Multiple Buildings
- D. Number of Stories: 1
- E. Total Square Footage: 23,952 Sq. Ft.
- F. 2016 CBC Occupancy Classification(s): BS

CONDITIONS OF APPROVAL:

1.0 GENERAL

- ☒ 1.1 The following are the Ontario Fire Department (“Fire Department”) requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards (“Standards.”) It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at www.ontarioca.gov, click on “Fire Department” and then on “Standards and Forms.”
- ☒ 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

2.0 FIRE DEPARTMENT ACCESS

- ☒ 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See Standard #B-004.
- ☒ 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25’) inside and forty-five feet (45’) outside turning radius per Standard #B-005.
- ☒ 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150’) in length shall have an approved turn-around per Standard #B-002.
- ☒ 2.4 Access drive aisles which cross property lines shall be provided with CC&Rs, access easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of building plan check.
- ☒ 2.5 "No Parking-Fire Lane" signs and /or red painted curbs with lettering are required to be installed in interior access roadways, in locations where vehicle parking would obstruct the minimum clear width requirement. Installation shall be per Standard #B-001.
- ☒ 2.6 Security gates or other barriers on fire access roadways shall be provided with a Knox brand key switch or padlock to allow Fire Department access. See Standards #B-003, B-004 and H-001.
- ☒ 2.7 Any time PRIOR to on-site combustible construction and/or storage, a minimum twenty-six (26) ft. wide circulating all weather access roads shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved by fire department and other emergency services..

3.0 WATER SUPPLY

- ☒ 3.1 The required fire flow per Fire Department standards, based on the 2016 California Fire Code, Appendix B, is 2000 gallons per minute (g.p.m.) for 4 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.
- ☒ 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300') apart, per Engineering Department specifications.
- ☒ 3.4 The water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

4.0 FIRE PROTECTION SYSTEMS

- ☒ 4.2 Underground fire mains which cross property lines shall be provided with CC & R, easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of fire department plan check. The shared use of private fire mains or fire pumps is allowable only between immediately adjacent properties and shall not cross any public street.
- ☒ 4.3 An automatic fire sprinkler system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard ~~Choose an item.~~ All new fire sprinkler systems, except those in single family dwellings, which contain twenty (20) sprinkler heads or more shall be monitored by an approved listed supervising station. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- ☒ 4.4 Wood frame buildings that are to be sprinkled shall have these systems in service (but not necessarily finalized) before the building is enclosed.
- ☒ 4.5 Fire Department Connections (FDC) shall be located on the address side of the building within one hundred fifty feet (150') of a public fire hydrant on the same side of the street. Provide identification for all fire sprinkler control valves and fire department connections per Standard #D-007. Raised curbs adjacent to Fire Department connection(s) shall be painted red, five feet either side, per City standards.

5.0 BUILDING CONSTRUCTION FEATURES

- ☒ 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- ☒ 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.

- ☒ 5.6 Knox ® brand key-box(es) shall be installed in location(s) acceptable to the Fire Department. All Knox boxes shall be monitored for tamper by the building fire alarm system. See Standard #H-001 for specific requirements.
- ☒ 5.7 Placards shall be installed in acceptable locations on buildings that store, use or handle hazardous materials in excess of the quantities specified in the CFC. Placards shall meet the requirements of National Fire Protection Association (NFPA) Standard 704.

6.0 OTHER SPECIAL USES

- ☒ 6.1 The storage, use, dispensing, or handling of any hazardous materials shall be approved by the Fire Department, and adequate fire protection features shall be required. If hazardous materials are proposed, a Fire Department Hazardous Materials Information Packet, including Disclosure Form and Information Worksheet, shall be completed and submitted with Material Safety Data Sheets to the Fire Department along with building construction plans.
- ☒ 6.2 Any High Piled Storage, or storage of combustible materials greater than twelve (12') feet in height for ordinary (Class I-IV) commodities or storage greater than six feet (6') in height of high hazard (Group A plastics, rubber tires, flammable liquids, etc.) shall be approved by the Fire Department, and adequate fire protection features shall be required. If High Piled Storage is proposed, a Fire Department High Piled Storage Worksheet shall be completed and detailed racking plans or floor plans submitted prior to occupancy of the building.
- ☒ 6.3 Underground fuel tanks, their associated piping and dispensers shall be reviewed, approved, and permitted by Ontario Building Department, Ontario Fire Department, and San Bernardino County Fire Department Hazardous Materials Division. In fueling facilities, an exterior emergency pump shut-off switch shall be provided.



CITY OF ONTARIO

MEMORANDUM

TO: Lorena Mejia, Planning Department

FROM: Douglas Sorel, Police Department

DATE: July 10, 2018

SUBJECT: PDEV18-023 & PCUP18-003– A DEVELOPMENT PLAN AND
CONDITIONAL USE PERMIT TO CONSTRUCT AN
OFFICE/INDUSTRIAL BUILDING AND CONSTRUCTION STORAGE
YARD AT 901 S. SULTANA AVENUE

The “Standard Conditions of Approval” contained in Resolution No. 2017-027 apply. The applicant shall read and be thoroughly familiar with these conditions, including, but not limited to, the requirements below.

- Required lighting for walkways, driveways, doorways, parking lots, hallways, stairwells, and other areas used by the public shall be provided. Lights shall operate via photosensor. Photometrics shall be provided to the Police Department at plan check and shall include the types of fixtures proposed and demonstrate that such fixtures meet the vandal-resistant requirement. Planned landscaping shall not obstruct lighting.
- Rooftop addresses shall be installed on the buildings as stated in the Standard Conditions. Each number shall be at a minimum 3 feet tall and 1 foot wide, in reflective white paint on a flat black background, and oriented with the bottom of the numbers towards the addressed street.
- The Applicant shall comply with construction site security requirements as stated in the Standard Conditions.
- The applicant will be responsible for keeping the grounds of the business clean from debris and litter.
- Graffiti abatement by the business owner/licensee, or management shall be immediate and on-going on the premises, but in no event shall graffiti be allowed unabated on the premises for more than 72 hours. Abatement shall take the form of removal, or shall be covered/painted over with a color reasonably matching the color of the existing building, structure, or other surface being abated. Additionally, the business owner/licensee, or management shall notify the City within 24 hours at (909) 395-2626 (graffiti hotline) of any graffiti elsewhere on the property not under the business owner/licensee’s or management control so that it may be abated by the property owner and/or the City’s graffiti team.

The Applicant is invited to contact Douglas Sorel at (909) 408-1873 with any questions or concerns regarding these conditions.

RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ONTARIO, CALIFORNIA, APPROVING FILE NO. PDEV18-024, A DEVELOPMENT PLAN TO ALLOW FOR THE CONSTRUCTION OF A 23,952 SQUARE FOOT OFFICE/INDUSTRIAL BUILDING LOCATED AT 901 SOUTH SULTANA AVENUE, WITHIN THE IL (LIGHT INDUSTRIAL) ZONING DISTRICT, AND MAKING FINDINGS IN SUPPORT THEREOF—
APN: 1049-353-14.

WHEREAS, FERREIRA CONSTRUCTION, CO, INC. ("Applicant") has filed an Application for the approval of a Development Plan, File No. PDEV18-024, as described in the title of this Resolution (hereinafter referred to as "Application" or "Project"); and

WHEREAS, the Application applies to 2.4 acres of land generally located on the southeast corner Mission Blvd. and Sultana Avenue, at 901 South Sultana Avenue within the (IL) Light Industrial zoning district, and is presently improved with three industrial buildings totaling 11,617 square feet; and

WHEREAS, the property to the north of the Project site is within the IL zoning district, and is developed with industrial warehouse and storage uses. The property to the east is within the IL zoning district, and is developed with wholesale and manufacturing uses. The property to the south is within the IL zoning district, and is developed with automobile storage and a funeral parlor. The properties to the west are within the MDR-11 (Medium Density Residential) zoning district, and are developed with single-family homes; and

WHEREAS, the Development Plan is proposing the construction of a 23,952 square foot office and industrial building. The proposed building is rectangular in shape and is situated on the western portion of the site with the main entrance oriented north towards Mission Boulevard. A parking lot has been provided on the northwest corner of the project site with 30 parking spaces and an additional 64 parking spaces are located throughout the site within the screened yard area. The screened yard area is located east of the proposed building and occupies the remaining of the site. The screened yard contains parking, two existing buildings that will remain in place to be utilized as shops, an existing fuel island and designated outdoor storage areas located adjacent to the perimeter walls; and

WHEREAS, the floor plan for the proposed 2-story building consists of 21,617 square feet of office area between the first and second floors and 2,335 square feet for warehouse purposes located on the first floor. The project also proposes several on-site and off-site improvements; and

WHEREAS, there are two points of access to the project site along Mission Boulevard via 40-foot wide driveways located within the center and on the eastern portion the site; and

WHEREAS, the Project is required to provide a minimum of 94 off-street parking and 94 spaces have been provided meeting the minimum standards; and

WHEREAS, the proposed building is of concrete tilt-up construction with enhanced elements and treatments located at the office entry and along street facing elevations. Architectural elements include smooth-painted concrete in blue and grey tones, with horizontal and vertical reveals, windows with clear anodized aluminum mullions and clear reflective glazing, grey metal horizontal cladding, a curtain wall with tinted glazing around the main office entry with a grey metal canopy over the main entrance and recessed panel sections with contrasting colors. Also, the proposed screen walls have been designed to complement the proposed building's architecture and color scheme; and

WHEREAS, the project provides landscaping along all three street frontages, the perimeter of the site and throughout the parking lot. A total of 15% landscaping is required and has been provided; and

WHEREAS, the Applicant has submitted a Preliminary Water Quality Management Plan (PWQMP), which establishes the project's compliance with storm water discharge/water quality requirements. The PWQMP includes site design measures that capture runoff and pollutant transport by minimizing impervious surfaces, and maximizes low impact development (LID) best management practices (BMPs), such as retention and infiltration, biotreatment, and evapotranspiration. The PWQMP proposes an underground 5-foot deep stormwater chamber located on the southeast corner of the project site with emergency overflows to be discharged onto the eastern landscape setback area; and

WHEREAS, the Applicant is also requesting approval of a Conditional Use Permit (File No. PCUP18-003) to establish an outdoor contractor's storage yard; and

WHEREAS, the Application is a project pursuant to the California Environmental Quality Act — Public Resources Code Section 21000 et seq. — (hereinafter referred to as "CEQA") and an initial study has been prepared to determine possible environmental impacts; and

WHEREAS, the Project is exempt from CEQA pursuant to a categorical exemption (listed in CEQA Guidelines Article 19, commencing with Section 15300) and the application of that categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Planning Commission the responsibility and authority to review and act on the subject Application; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan (hereinafter referred to as "ALUCP"), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed;

WHEREAS, on November 19, 2018, the Development Advisory Board of the City of Ontario conducted a hearing to consider the Project, and concluded said hearing on that date, voting to issue Decision No. DAB19-061, recommending the Planning Commission approve the Application; and

WHEREAS, on November 27, 2018, the Planning Commission of the City of Ontario conducted a hearing to consider the Project, and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, IT IS HEREBY FOUND, DETERMINED, AND RESOLVED by the Planning Commission of the City of Ontario, as follows:

SECTION 1: Environmental Determination and Findings. As the decision-making authority for the Project, the Planning Commission has reviewed and considered the information contained in the administrative record for the Project. Based upon the facts and information contained in the administrative record, including all written and oral

evidence presented to the Planning Commission, the Planning Commission finds as follows:

(1) The administrative record have been completed in compliance with CEQA, the State CEQA Guidelines, and the City of Ontario Local CEQA Guidelines; and

(2) The Project is categorically exempt from environmental review pursuant to Section 15332 (Class 32, In-fill Development Projects) of the CEQA Guidelines. The proposed project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. The proposed development occurs within city limits and the area being developed is 2.4 acres less than five acre threshold and is substantially surrounded by urban land uses. The project site has no value as habitat for endangered, rare or threatened species. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. Also, the site is adequately served by all required utilities and public services; and

(3) The application of the categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

(4) The determination of CEQA exemption reflects the independent judgment of the Planning Commission.

SECTION 2: *Housing Element Compliance.* Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the decision-making authority for the Project, the Planning Commission finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan, as the project site is not one of the properties in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix.

SECTION 3: *Ontario International Airport Land Use Compatibility Plan (“ALUCP”) Compliance.* The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the ALUCP, establishing the Airport Influence Area for Ontario International Airport (hereinafter referred to as “ONT”), which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As

the decision-making authority for the Project, the Planning Commission has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the Planning Commission, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

SECTION 4: Concluding Facts and Reasons. Based upon the substantial evidence presented to the Planning Commission during the above-referenced hearing, and upon the specific findings set forth in Section 1 through 3, above, the Planning Commission hereby concludes as follows:

(1) ***The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.*** The proposed Project is located within the Industrial land use district of the Policy Plan Land Use Map, and the IL (Light Industrial) zoning district. The development standards and conditions under which the proposed Project will be constructed and maintained, is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.

(2) ***The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located.*** The Project has been designed consistent with the requirements of the City of Ontario Development Code and the IL (Light Industrial) zoning district, including standards relative to the particular land use proposed (contractor's yard and office), as-well-as building intensity, building and parking setbacks, building height, number of off-street parking and loading spaces, on-site and off-site landscaping, and fences, walls and obstructions.

(3) ***The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed project.*** The Development Advisory Board has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the Development Code are maintained; [ii] the project will not endanger the public health, safety or general welfare; [iii] the project will not result in any significant environmental impacts; [iv] the project will be in harmony with the area in which it is located; and [v] the project will be in full conformity with the

Vision, City Council Priorities and Policy Plan components of The Ontario Plan, and the Development Code.

(4) ***The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.*** The proposed Project has been reviewed for consistency with the general development standards and guidelines of the Development Code that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of off-street parking and loading spaces, parking lot dimensions, design and landscaping, bicycle parking, on-site landscaping, and fences and walls, as-well-as those development standards and guidelines specifically related to the particular land use being proposed (contractor's yard and office). As a result of this review, the Development Advisory Board has determined that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the development standards and guidelines described in the Development Code.

SECTION 5: Planning Commission Action. Based upon the findings and conclusions set forth in Sections 1 through 4, above, the Planning Commission hereby APPROVES the herein described Application, subject to each and every condition set forth in the Department reports attached hereto as "Attachment A," and incorporated herein by this reference.

SECTION 6: Indemnification. The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void, or annul this approval. The City of Ontario shall promptly notify the applicant of any such claim, action, or proceeding, and the City of Ontario shall cooperate fully in the defense.

SECTION 7: Custodian of Records. The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario.

SECTION 8: Certification to Adoption. The Secretary shall certify to the adoption of the Resolution.

The Secretary Pro Tempore for the Planning Commission of the City of Ontario shall certify as to the adoption of this Resolution.

I hereby certify that the foregoing Resolution was duly and regularly introduced, passed and adopted by the Planning Commission of the City of Ontario at a regular meeting thereof held on the 27th day of November 2018, and the foregoing is a full, true and correct copy of said Resolution, and has not been amended or repealed.

Richard D. Delman
Planning Commission Chairman

ATTEST:

Cathy Wahlstrom
Planning Director
Secretary to the Planning Commission

STATE OF CALIFORNIA)
COUNTY OF SAN BERNARDINO)
CITY OF ONTARIO)

I, Gwen Berendsen, Secretary Pro Tempore of the Planning Commission of the City of Ontario, DO HEREBY CERTIFY that foregoing Resolution No. ____ was duly passed and adopted by the Planning Commission of the City of Ontario at their regular meeting held on November 27, 2018, by the following roll call vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Gwen Berendsen
Secretary Pro Tempore

ATTACHMENT A:

**File No. PDEV18-024
Departmental Conditions of Approval**

(Departmental conditions of approval to follow this page)



City of Ontario
Planning Department
303 East B Street
Ontario, California 91764
Phone: 909.395.2036
Fax: 909.395.2420

Planning Department Land Development Division Conditions of Approval

Meeting Date: November 19, 2018
File No's.: PDEV18-024 and PCUP18-003
Related Files: N/A

Project Description: A Development Plan (**File No. PDEV18-024**) to construct a 23,952 square foot office/industrial building in conjunction with a Conditional Use Permit (**File No. PCUP18-003**) to establish a contractor's storage yard on 2.4 acres, located at 901 South Sultana Avenue, within the (IL) Light Industrial zoning district; (APN: 1049-353-14) **submitted by Ferreira Construction, Co, Inc.**

Prepared By: Lorena Mejia, Senior Planner
Phone: 909.395.2276 (direct)
Email: lmejia@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

1.0 Standard Conditions of Approval. The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

2.0 Special Conditions of Approval. In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

(a) Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

(b) Conditional Use Permit approval shall become null and void one year following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director, except that a Variance approved in conjunction with a Development Plan shall have the same time limits as said Development Plan. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

2.2 General Requirements. The Project shall comply with the following general requirements:

(a) All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

(b) The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

(c) The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

2.3 Landscaping.

(a) The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

(b) Comply with the conditions of approval of the Planning Department; Landscape Planning Division.

(c) Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

(d) Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

2.4 Walls and Fences. All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

2.5 Parking, Circulation and Access.

(a) The Project shall comply with the applicable off-street parking, loading and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

(b) Areas provided to meet the City's parking requirements, including off-street parking and loading spaces, access drives, and maneuvering areas, shall not be used for the outdoor storage of materials and equipment, nor shall it be used for any other purpose than parking.

(c) The required number of off-street parking spaces and/or loading spaces shall be provided at the time of site and/or building occupancy. All parking and loading spaces shall be maintained in good condition for the duration of the building or use.

(d) Parking spaces specifically designated and conveniently located for use by the physically disabled shall be provided pursuant to current accessibility regulations contained in State law (CCR Title 24, Part 2, Chapters 2B71, and CVC Section 22507.8).

(e) Bicycle parking facilities, including bicycle racks, lockers, and other secure facilities, shall be provided in conjunction with development projects pursuant to current regulations contained in CALGreen (CAC Title 24, Part 11).

2.6 Outdoor Loading and Storage Areas.

(a) Loading facilities shall be designed and constructed pursuant to Development Code Division 6.03 (Off-Street Parking and Loading).

(b) Areas designated for off-street parking, loading, and vehicular circulation and maneuvering, shall not be used for the outdoor storage of materials or equipment.

(c) Outdoor loading and storage areas, and loading doors, shall be screened from public view pursuant to the requirements of Development Code Paragraph 6.02.025.A.2 (Screening of Outdoor Loading and Storage Areas, and Loading Doors) Et Seq.

(d) Outdoor loading and storage areas shall be provided with gates that are view-obstructing by one of the following methods:

(i) Construct gates with a perforated metal sheet affixed to the inside of the gate surface (50 percent screen); or

(ii) Construct gates with minimum one-inch square tube steel pickets spaced at maximum 2-inches apart.

(e) The minimum gate height for screen wall openings shall be established based upon the corresponding wall height, as follows:

Screen Wall Height	Minimum Gate Height
14 feet:	10 feet
12 feet:	9 feet
10 feet:	8 feet
8 feet:	8 feet
6 feet:	6 feet

2.7 Site Lighting.

(a) All off-street parking facilities shall be provided with nighttime security lighting pursuant to Ontario Municipal Code Section 4-11.08 (Special Residential Building Provisions) and Section 4-11.09 (Special Commercial/Industrial Building Provisions), designed to confine emitted light to the parking areas. Parking facilities shall be lighted from sunset until sunrise, daily, and shall be operated by a photocell switch.

(b) Unless intended as part of a master lighting program, no operation, activity, or lighting fixture shall create illumination on any adjacent property.

2.8 Mechanical and Rooftop Equipment.

(a) All exterior roof-mounted mechanical, heating and air conditioning equipment, and all appurtenances thereto, shall be completely screened from public view by parapet walls or roof screens that are architecturally treated so as to be consistent with the building architecture.

(b) All ground-mounted utility equipment and structures, such as tanks, transformers, HVAC equipment, and backflow prevention devices, shall be located out of view from a public street, or adequately screened through the use of landscaping and/or decorative low garden walls.

2.9 Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

2.10 Signs. All Project signage shall comply with the requirements of Ontario Development Code Division 8.1 (Sign Regulations).

2.11 Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noised levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

2.12 Environmental Review.

(a) The proposed project is categorically exempt from the requirements of the California Environmental Quality Act of 1970 (CEQA), as amended, and the Guidelines promulgated thereunder, pursuant to **Section 15332 (Class 32, In-Fill Development Projects)** of the CEQA Guidelines, meeting the following conditions:

(i) The Project is consistent with the applicable general plan designation and all applicable general plan policies, as well as the applicable zoning designation and regulations;

(ii) The proposed development occurs within city limits, on a project site of no more than five acres, and is substantially surrounded by urban uses;

(iii) The project site has no value as habitat for endangered, rare, or threatened species;

(iv) Approval of the Project will not result in any significant effects relating to traffic, noise, air quality, or water quality; and

(v) The Project site can be adequately served by all required utilities and public services.

(b) If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

(c) If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

2.13 Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

2.14 Additional Fees.

(a) Within 5 days following final application approval, the Notice of Determination (NOD) filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act (CEQA). Failure to provide said fee within the time specified may result in a 180-day extension to the statute of limitations for the filing of a CEQA lawsuit.

(b) After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

2.15 Additional Requirements.

(a) The applicant shall complete Phase 1A and 1B improvements prior to occupying and operating the contractor's yard.

AIRPORT LAND USE COMPATIBILITY PLANNING

CONSISTENCY DETERMINATION REPORT



Project File No.: PCUP18-003 & PDEV18-024

Address: 901 South Sultana Avenue

APN: 1049-353-14

Existing Land Use: Vacant

Proposed Land Use: Development Plan to construct a 23,952 SF Office/Warehouse Building in conjunction with an outdoor contractor's storage yard

Site Acreage: 2.3 ac Proposed Structure Height: 38 FT

ONT-IAC Project Review: N/A

Airport Influence Area: ONT

Reviewed By: Lorena Mejia

Contact Info: 909-395-2276

Project Planner: Lorena Mejia

Date: 8/1/18

CD No.: 2018-062

PALU No.: n/a

The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input type="radio"/> High Terrain Zone	<input checked="" type="checkbox"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input checked="" type="checkbox"/> FAA Notification Surfaces	<input type="radio"/> Recorded Overflight Notification
<input type="radio"/> Zone 2	<input checked="" type="checkbox"/> 65 - 70 dB CNEL	<input checked="" type="checkbox"/> Airspace Obstruction Surfaces	<input type="radio"/> Real Estate Transaction Disclosure
<input type="radio"/> Zone 3	<input type="radio"/> 60 - 65 dB CNEL	<input checked="" type="checkbox"/> Airspace Avigation Easement Area	
<input type="radio"/> Zone 4		Allowable Height: <u>100 FT</u>	
<input type="radio"/> Zone 5			

The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1
 Zone 2
 Zone 3
 Zone 4
 Zone 5
 Zone 6

Allowable Height: _____

CONSISTENCY DETERMINATION

This proposed Project is: Exempt from the ALUCP Consistent Consistent with Conditions Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

See attached conditions.

Airport Planner Signature: _____

AIRPORT LAND USE COMPATIBILITY PLANNING

CONSISTENCY DETERMINATION REPORT

CD No.: 2018-062
PALU No.: _____

PROJECT CONDITIONS

1. Project is located within Safety Zone 4, above ground storage of hazardous materials greater than 6,000 gallons is not allowed (ALUCP Policy S4b (Hazardous Material Storage)).
2. The applicant is required to file and record an Avigation Easement with the Ontario International Airport Authority prior to obtaining a Certificate of Occupancy.
3. Attached are the land use intensity calculations for the proposed building. Future land uses that deviate from what is currently being approved must meet the policies and criteria of the ONT ALUCP. An alternative method for measuring compliance with the usage intensity limits is acceptable provided it meets the Safety Criteria policies set forth in the ONT ALUCP.
4. New development located within any of the Ontario International Airport Safety Zones are required to have a "Property Located within Ontario International Airport Safety Zone Notification appearing on the Property Deed and Title incorporating the following language:

(NOTICE OF AIRPORT IN VICINITY: This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you.) The property is presently located in a Safety Zone which limits land uses and the number of people on site. Land uses are required to meet the policies and criteria of the Ontario International Airport Land Use Compatibility Plan.



THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE GENERAL STANDARD CONDITIONS OF APPROVAL ADOPTED BY THE CITY COUNCIL (RESOLUTION NO. 2017-027) AND THE PROJECT SPECIFIC CONDITIONS OF APPROVAL SPECIFIED IN HEREIN. ONLY APPLICABLE CONDITIONS OF APPROVAL ARE CHECKED. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL APPLICABLE CONDITIONS OF APPROVAL PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, ISSUANCE OF PERMITS AND/OR OCCUPANCY CLEARANCE, AS SPECIFIED IN THIS REPORT.

1. PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, APPLICANT SHALL: Check When Complete

- 1.01 Dedicate to the City of Ontario, the right-of-way, described below:
 _____ feet on _____
 Property line corner 'cut-back' required at the intersection of _____
 and _____.
- 1.02 Dedicate to the City of Ontario, the following easement(s): _____

- 1.03 Restrict vehicular access to the site as follows: _____
- 1.04 Vacate the following street(s) and/or easement(s): _____
- 1.05 Submit a copy of a recorded private reciprocal use agreement or easement. The agreement or easement shall ensure, at a minimum, common ingress and egress and joint maintenance of all common access areas and drive aisles.
- 1.06 Provide (original document) Covenants, Conditions and Restrictions (CC&Rs) as applicable to the project and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&Rs shall provide for, but not be limited to, common ingress and egress, joint maintenance responsibility for all common access improvements, common facilities, parking areas, utilities, median and landscaping improvements and drive approaches, in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project. The CC&Rs shall also address the maintenance and repair responsibility for public improvements/utilities (sewer, water, storm drain, recycled water, etc.) located within open space/easements. In the event of any maintenance or repair of these facilities, the City shall only restore disturbed areas to current City Standards.
- 1.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658.
- 1.08 File an application for Reapportionment of Assessment, together with payment of a reapportionment processing fee, for each existing assessment district listed below. Contact the Management Services Department at (909) 395-2124 regarding this requirement.
 (1) _____
 (2) _____
- 1.09 Prepare a fully executed Subdivision Agreement (on City approved format and forms) with accompanying security as required, or complete all public improvements.



- 1.10 Provide a monument bond (i.e. cash deposit) in an amount calculated by the City's approved cost estimate spreadsheet (available for download on the City's website: www.ci.ontario.ca.us) or as specified in writing by the applicant's Registered Engineer or Licensed Land Surveyor of Record and approved by the City Engineer, whichever is greater.
- 1.11 Provide a preliminary title report current to within 30 days.
- 1.12 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of three (3) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Management Services at (909) 395-2353 to initiate the CFD application process.
- 1.13 New Model Colony (NMC) Developments:
 - 1) Provide evidence of final cancellation of Williamson Act contracts associated with this tract, prior to approval of any final subdivision map. Cancellation of contracts shall have been approved by the City Council.
 - 2) Provide evidence of sufficient storm water capacity availability equivalents (Certificate of Storm Water Treatment Equivalents).
 - 3) Provide evidence of sufficient water availability equivalents (Certificate of Net MDD Availability).
- 1.14 Other conditions: _____

2. PRIOR TO ISSUANCE OF ANY PERMITS, APPLICANT SHALL:

**A. GENERAL
 (Permits includes Grading, Building, Demolition and Encroachment)**

- 2.01 Record Parcel Map/Tract Map No. _____ pursuant to the Subdivision Map Act and in accordance with the City of Ontario Municipal Code.
- 2.02 Submit a duplicate photo mylar of the recorded map to the City Engineer's office.
- 2.03 Note that the subject parcel is a recognized parcel in the City of Ontario per _____.
- 2.04 **Note that the subject parcel is an 'unrecognized' parcel in the City of Ontario and shall require a Certificate of Compliance to be processed unless a deed is provided confirming the existence of the parcel prior to the date of March 4, 1972.**
- 2.05 **Apply for a:** **Certificate of Compliance with a Record of Survey;** Lot Line Adjustment
 - Make a Dedication of Easement.
- 2.06 Provide (original document) Covenants, Conditions and Restrictions (CC&R's), as applicable to the project, and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&R's shall provide for, but not be limited to, common ingress and egress, joint maintenance of all common access improvements, common facilities, parking areas, utilities and drive approaches in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project.



- 2.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658.
- 2.08 **Submit a soils/geology report.**
- 2.09 **Other Agency Permit/Approval: Submit a copy of the approved permit and/or other form of approval of the project from the following agency or agencies:**
- State of California Department of Transportation (Caltrans)
 - San Bernardino County Road Department (SBCRD)
 - San Bernardino County Flood Control District (SBCFCD)
 - Federal Emergency Management Agency (FEMA)
 - Cucamonga Valley Water District (CVWD) for sewer/water service
 - United States Army Corps of Engineers (USACE)
 - California Department of Fish & Game
 - Inland Empire Utilities Agency (IEUA)
 - Other:**
 - **Utility Companies (Southern California Edison, Southern California Gas, etc.) located in the public utility easement on vacated Carlton Street**
 - **Union Pacific Railroad Company for Mission Boulevard street improvements**
- 2.10 **Dedicate to the City of Ontario the right-of-way described below:**
- **Property line corner 'cut-back' required at the intersection of Mission Boulevard and Sultana Avenue per City Standard 1301.**
- 2.11 **Dedicate to the City of Ontario the following easement(s):**
- **Sidewalk easement behind the proposed drive approaches located along Mission Boulevard (if necessary).**
 - **A sidewalk easement along Sultana Avenue may be required due to public improvements.**
- 2.12 **New Model Colony (NMC) Developments:**
- 1) Submit a copy of the permit from the San Bernardino County Health Department to the Engineering Department and the Ontario Municipal Utilities Company (OMUC) for the destruction/abandonment of the on-site water well. The well shall be destroyed/abandoned in accordance with the San Bernardino County Health Department guidelines.
 - 2) Make a formal request to the City of Ontario Engineering Department for the proposed temporary use of an existing agricultural water well for purposes other than agriculture, such as grading, dust control, etc. Upon approval, the Applicant shall enter into an agreement with the City of Ontario and pay any applicable fees as set forth by said agreement.
 - 3) Design proposed retaining walls to retain up to a maximum of three (3) feet of earth. In no case shall a wall exceed an overall height of nine (9) feet (i.e. maximum 6-foot high wall on top of a maximum 3-foot high retaining wall).
- 2.13 **Submit a security deposit to the Engineering Department to guarantee construction of the public improvements required herein valued at 100% of the approved construction cost estimate. Security deposit shall be in accordance with the City of Ontario Municipal Code.**



Security deposit will be eligible for release, in accordance with City procedure, upon completion and acceptance of said public improvements.

- 2.14 **The applicant/developer shall submit all necessary survey documents prepared by a Licensed Surveyor registered in the State of California detailing all existing survey monuments in and around the project site. These documents are to be reviewed and approved by the City Survey Office.**
- 2.15 **Pay all Development Impact Fees (DIF) to the Building Department. Storm Drain Development Impact Fee, approximately \$51,297, shall be paid to the Building Department. Final fee shall be determined based on the approved site plan.**
- 2.16 **Other conditions: _____**



B. PUBLIC IMPROVEMENTS
 (See attached Exhibit 'A' for plan check submittal requirements.)

- 2.17 Design and construct full public improvements in accordance with the City of Ontario Municipal Code, current City standards and specifications, master plans and the adopted specific plan for the area, if any. These public improvements shall include, but not be limited to, the following (checked boxes):

Improvement	Sultana Avenue ^(b)	Mission Boulevard ^(a)	Monterey Avenue	
Curb and Gutter	<input checked="" type="checkbox"/> New; 18 ft. from C/L ^(b) <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New; 38 ft from existing median curb <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New ^(c) <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace
AC Pavement	<input checked="" type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input checked="" type="checkbox"/> Widen approx. 2-7 ft along project frontage, including pavement transitions (ultimate AC width - 38' from existing median curb)	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions
PCC Pavement (Truck Route Only)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Drive Approach	<input type="checkbox"/> New <input checked="" type="checkbox"/> Remove	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Sidewalk	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
ADA Access Ramp	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New ^(c) <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Parkway	<input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation)	<input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)
Raised Landscaped Median	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace



Fire Hydrant	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation
Sewer (see Sec. 2.C)	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
Water (see Sec. 2.D)	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Recycled Water (see Sec. 2.E)	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Traffic Signal System (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input checked="" type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Traffic Signing and Striping (see Sec. 2.F)	<input type="checkbox"/> New <input checked="" type="checkbox"/> Modify existing	<input type="checkbox"/> New <input checked="" type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Street Light (see Sec. 2.F)	<input type="checkbox"/> New / Upgrade <input checked="" type="checkbox"/> Replace existing street light fixtures to current standards	<input checked="" type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation
Bus Stop Pad or Turn-out (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Storm Drain (see Sec. 2G)	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input checked="" type="checkbox"/> Main (modify existing culverts) <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
Fiber Optics (see Sec. 2K)	<input checked="" type="checkbox"/> Conduit / Appurtenances	<input checked="" type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances
Overhead Utilities	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate
Removal of Improvements	_____ _____ _____	_____ _____ _____	_____ _____ _____ _____	_____ _____ _____



Other Improvements				
--------------------	--	--	--	--

Specific notes for improvements listed in item no. 2.17 above:

- a. The applicant/developer shall be responsible to design and construct ultimate half width frontage improvements on Mission Boulevard, including but not limited to street widening, curb and gutter, sidewalk, street light, access ramp, parkway landscaping and irrigation, traffic signal modification and signing and striping. The applicant/developer shall also be responsible for any relocation/modification of guard rail and UPRR gates as necessary to accommodate widening improvements. Sidewalk shall be extended to the southwest corner of Mission Boulevard and Monterey Avenue.
- b. The applicant/developer shall construct curb, gutter, and sidewalk along the entire property frontage on Sultana Avenue, including along vacated Carlton Street. Curb and gutter shall also be constructed on Monterey Avenue along vacated Carlton Street.
- c. The applicant/developer shall construct ADA access ramps at the southeast corner of Mission Boulevard and Sultana Avenue and at the southwest corner of Mission Boulevard and Monterey Avenue.

- 2.18 Construct a 2" asphalt concrete (AC) grind and overlay on the following street(s): Mission Boulevard, south half along project frontage
- 2.19 Reconstruction of the full pavement structural section along Sultana Avenue, per City of Ontario Standard Drawing number 1011, may be required based on the existing pavement condition and final street design. Minimum limits of reconstruction shall be along property frontage, from street centerline to curb/gutter.
- 2.20 Make arrangements with the Cucamonga Valley Water District (CVWD) to provide water service sewer service to the site. This property is within the area served by the CVWD and Applicant shall provide documentation to the City verifying that all required CVWD fees have been paid.
- 2.21 Overhead utilities shall be under-grounded, in accordance with Title 7 of the City's Municipal Code (Ordinance No. 2804 and 2892).
- 2.22 Other conditions: _____

C. SEWER

- 2.23 A 12-inch sewer main is available for connection by this project Sultana Avenue. (Ref: Sewer plan bar code: S10311)
- 2.24 Design and construct a sewer main extension. A sewer main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.25 Submit documentation that shows expected peak loading values for modeling the impact of the subject project to the existing sewer system. The project site is within a deficient public sewer system area. Applicant shall be responsible for all costs associated with the preparation of the model. Based on the results of the analysis, Applicant may be required to mitigate the project impact to the deficient public sewer system, including, but not limited to, upgrading of existing sewer main(s), construction of new sewer main(s) or diversion of sewer discharge to another sewer.
- 2.26 Other conditions:
 - 1. The applicant/developer shall install an on-site monitoring manhole.
 - 2. The applicant/developer shall install a cleanout on the existing sewer lateral, per City



standards.

3. The applicant shall apply for a Wastewater Discharge Permit for their proposed industrial building and shall comply with all the requirements of the Wastewater Discharge Permit: <http://www.ontarioca.gov/municipal-utilities-company/utilities/industrial-wastewater-discharge-permit>. Requirements of the Wastewater Discharge Permit may include, but are not limited to: Installation of wastewater pretreatment equipment, such as clarifiers. For wastewater application questions, please contact:
 Michael Birmelin, Environmental Programs Director
omucenvironmental@ontarioca.gov
 (909) 395-2661

D. WATER

- 2.27 A 8-inch water main is available for connection by this project in Sultana Avenue
- 2.28 Design and construct a water main extension. A water main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.29 **Other conditions:**
 1. Provide a Double Check Detector Assembly for the proposed on-site fire service system.
 2. Install one new fire hydrant fronting Mission Boulevard approximately halfway between Sultana and Monterey Avenues. The fire service line shall be 6-inch diameter pipe.
 3. The existing 4-inch water main along Sultana Avenue shall be abandoned at Maitland and at Carlton. Any active services shall be connected via new service lines to the existing 8-inch main in Sultana Avenue. Splicing of existing services are not allowed.
 4. The existing 4-inch water main along former Carlton shall be abandoned at Sultana and any active services connected to it shall be replaced and connected to the 8-inch main in Sultana. Plans shall show the limits of abandonment and where “cut and cap” occurs.
 5. Plans shall show the limits of abandonment and where “cut and cap” occurs. In addition, plans shall note that all existing water services shall be upgraded and reconnected to the City’s existing main in accordance with City Standards.

E. RECYCLED WATER

- 2.30 A _____ inch recycled water main is available for connection by this project in _____.
 (Ref: Recycled Water plan bar code: _____)
- 2.31 Design and construct an on-site recycled water system for this project. A recycled water main does exist in the vicinity of this project.
- 2.32 **Design and construct an on-site recycled water ready system for this project. A recycled water main does not currently exist in the vicinity of this project, but is planned for the near future. If Applicant would like to connect to this recycled water main when it becomes available, the cost for the connection shall be borne solely by the Applicant.**
- 2.33 **Submit two (2) hard copies and one (1) electronic copy, in PDF format, of the Engineering Report (ER), for the use of recycled water, to the OMUC for review and subsequent submittal to the California Department of Public Health (CDPH) for final approval.**

 Note: The OMUC and the CDPH review and approval process will be approximately three (3) months. Contact the Ontario Municipal Utilities Company at (909) 395-2647 regarding this requirement.
- 2.34 **Other conditions:**
 1. The irrigation service and meter shall be installed along Sultana Avenue, temporarily connecting to the potable water main in Sultana Avenue.

F. TRAFFIC / TRANSPORTATION



- 2.35 Submit a focused traffic impact study, prepared and signed by a Traffic/Civil Engineer registered in the State of California. The study shall address, but not be limited to, the following issues as required by the City Engineer:

 - 1. On-site and off-site circulation
 - 2. Traffic level of service (LOS) at 'build-out' and future years
 - 3. Impact at specific intersections as selected by the City Engineer

- 2.36 New traffic signal installations shall be added to Southern California Edison (SCE) customer account number # 2-20-044-3877.
- 2.37 **Other conditions:**

 - 1. **The applicant/developer shall be responsible to provide access onto Mission Boulevard for all demolition/construction on-site activities. Construction vehicles and equipment will not be allowed to take access from Sultana Avenue.**
 - 2. **The Applicant/Developer shall be responsible to design and construct street improvements along property frontages. The applicant/developer shall also be responsible for any relocation/modification of guard rail and UPRR gates as necessary to accommodate widening improvements. All improvements shall be in accordance with City of Ontario standards and to the satisfaction of the City Engineer. Said improvements may require UPRR coordination and approval.**
 - 3. **The applicant/developer shall be responsible to remove the existing access (formerly Carlton Street) onto Monterey Avenue and design and construct any necessary improvements to close the access. Said improvements may require UPRR coordination and approval.**
 - 4. **The applicant/developer shall be responsible to remove the existing access (formerly Carlton Street) onto Sultana Avenue and design and construct any necessary improvements to the southeast corner of Mission Blvd and Sultana Avenue, including, but not limited to, drainage, curb and gutter, sidewalk, and landscaping improvements.**
 - 5. **All landscaping, block walls, and other obstructions shall be compatible with the stopping sight distance requirements per City of Ontario Standard Drawing No. 1309.**
 - 6. **The applicant/developer shall be responsible to replace the existing street light fixtures with the current City approved LED equivalent fixtures along the Sultana Avenue project frontage. Please refer to the Traffic and Transportation Design Guidelines Section 1.4 Street Light Plans.**
 - 7. **"No Parking Anytime" signs shall be installed along the property frontages of Sultana Avenue and Mission Boulevard.**
 - 8. **The Applicant/Developer's engineer-of-record shall meet with City Engineering staff prior to starting signing/stripping and street lighting design plans.**

G. DRAINAGE / HYDROLOGY

- 2.38 A _____ inch storm drain main is available to accept flows from this project in _____.
 (Ref: Storm Drain plan bar code: _____)
- 2.39 **Submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California. The study shall be prepared in accordance with the San Bernardino County Hydrology Manual and City of Ontario standards and guidelines. Additional drainage facilities, including, but not limited to, improvements beyond the project frontage, may be required to be designed and constructed, by Applicant, as a result of the findings of this study.**



- 2.40 **An adequate drainage facility to accept additional runoff from the site does not currently exist downstream of the project. Design and construct a storm water detention facility on the project site. 100 year post-development peak flow shall be attenuated such that it does not exceed 80% of pre-development peak flows, in accordance with the approved hydrology study and improvement plans.**
- 2.41 Submit a copy of a recorded private drainage easement or drainage acceptance agreement to the Engineering Department for the acceptance of any increase to volume and/or concentration of historical drainage flows onto adjacent property, prior to approval of the grading plan for the project.
- 2.42 Comply with the City of Ontario Flood Damage Prevention Ordinance (Ordinance No. 2409). The project site or a portion of the project site is within the Special Flood Hazard Area (SFHA) as indicated on the Flood Insurance Rate Map (FIRM) and is subject to flooding during a 100 year frequency storm. The site plan shall be subject to the provisions of the National Flood Insurance Program.
- 2.43 **Other conditions:**
 1. **The applicant/developer shall abandon the existing catch basin located on vacated Carlton Street**
 2. **The applicant/developer shall modify the existing culverts located on Mission Boulevard.**
 3. **The applicant/developer shall pay an in-lieu fee for future storm drain in Sultana Avenue valued at \$57,719.**

H. STORM WATER QUALITY / NATIONAL POLLUTANT DISCHARGE AND ELIMINATION SYSTEM (NPDES)

- 2.44 401 Water Quality Certification/404 Permit – Submit a copy of any applicable 401 Certification or 404 Permit for the subject project to the City project engineer. Development that will affect any body of surface water (i.e. lake, creek, open drainage channel, etc.) may require a 401 Water Quality Certification from the California Regional Water Quality Control Board, Santa Ana Region (RWQCB) and a 404 Permit from the United States Army Corps of Engineers (USACE). The groups of water bodies classified in these requirements are perennial (flow year round) and ephemeral (flow during rain conditions, only) and include, but are not limited to, direct connections into San Bernardino County Flood Control District (SBCFCD) channels.
 If a 401 Certification and/or a 404 Permit are not required, a letter confirming this from Applicant's engineer shall be submitted.
 Contact information: USACE (Los Angeles District) (213) 452-3414; RWQCB (951) 782-4130.
- 2.45 **Submit a Water Quality Management Plan (WQMP). This plan shall be approved by the Engineering Department prior to approval of any grading plan. The WQMP shall be submitted, utilizing the current San Bernardino County Stormwater Program template, available at: <http://www.sbcounty.gov/dpw/land/npdes.asp>.**
- 2.46 Other conditions: _____

J. SPECIAL DISTRICTS

- 2.47 File an application, together with an initial payment deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community facilities District Act of 1982. The application and fee shall be submitted a minimum three (3) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact the Management Services Department at (909) 395-2353 to initiate the CFD application process.
- 2.48 Other conditions: _____

K. FIBER OPTIC

- 2.49 **Design and construct fiber optic system to provide access to the City's conduit and fiber optic**



system per the City's Fiber Optic Master Plan. Building entrance conduits shall start from the closest OntarioNet hand hole constructed along the project frontage in the ROW and shall terminate in the main telecommunications room for each building. Conduit infrastructure shall interconnect with the primary and/or secondary backbone fiber optic conduit system at the nearest OntarioNet hand hole.

- 2.50 Refer to the City's Fiber Optic Master Plan for design and layout guidelines. Contact the Information Technology Department at (909) 395-2000, regarding this requirement.

L. Solid Waste

- 2.51 Onsite solid waste shall be designed in accordance with the City's Solid Waste Manual location at: <http://www.ontarioca.gov/municipal-utilities-company/solid-waste>

- 2.52 Other conditions:

1. A Solid Waste Handling Plan (SWHP) Sheet shall be submitted to the City/OMUC for review and approval. The SWHP Sheet shall demonstrate compliance with the Services Standards in the City's Solid Waste Planning Manual (<http://www.ontarioca.gov/municipal-utilities-company/solid-waste>) and shall contain, at a minimum, the following elements:
 - a. A statement identifying the Service Requirements being used (e.g. Single Family Detached with automated cans, Multi-family/ Commercial with bins, etc.) and describing the solid waste handling operation (for instance, will there be scouting services, etc.)
 - b. A table utilizing the metrics on Page 8 on the Planning Manual and calculating the volume (in gallons or cubic yards), quantity, and service schedule for each type of can and bin required for each service category (refuse, recycled, etc.).
 - c. An Engineering Site Plan drawn to scale that shows:
 - A detail of the Solid Waste Vehicle with dimensions and annotation that states the minimum turning radii and path of travel widths actually being used on the plan.
 - The Solid Waste Vehicle turning movements and paths of travel in each direction of travel and at all intersections. All paths of travel shall be 15 feet wide minimum.
 - All parking stalls and parallel parking spaces along all streets, alleys, or aisles.
 - All proposed curbs and areas designated and striped/signed as "No Parking".
 - All proposed trash enclosures and the ADA paths of travel from the buildings.
 - A detail for each enclosure footprint delineating the number and size of the bins in order to demonstrate that the enclosure is adequately sized and oriented.
2. This site shall comply with the Requirements of State Assembly Bill AM1826, which requires organic waste to be diverted and collected separately from recycling and other refuse wastes.
3. Trash enclosure location is to be east of the Shop Building for serviceability.



3. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, APPLICANT SHALL:

- 3.01 **Set new monuments in place of any monuments that have been damaged or destroyed as a result of construction of the subject project. Monuments shall be set in accordance with City of Ontario standards and to the satisfaction of the City Engineer.**
- 3.02 **Complete all requirements for recycled water usage.**
 - 1) **Procure from the OMUC a copy of the letter of confirmation from the California Department of Public Health (CDPH) that the Engineering Report (ER) has been reviewed and the subject site is approved for the use of recycled water.**
 - 2) **Obtain clearance from the OMUC confirming completion of recycled water improvements and passing of shutdown tests and cross connection inspection, upon availability/usage of recycled water.**
 - 3) **Complete education training of on-site personnel in the use of recycled water, in accordance with the ER, upon availability/usage of recycled water.**
- 3.03 **The applicant/developer shall submit all final survey documents prepared by a Licensed Surveyor registered in the State of California detailing all survey monuments that have been preserved, revised, adjusted or set along with any maps, corner records or Records of Survey needed to comply with these Conditions of Approvals and the latest edition of the California Professional Land Survey Act. These documents are to be reviewed and approved by the City Survey Office.**
- 3.04 **NMC Projects: For developments located at an intersection of any two collector or arterial streets, the applicant/developer shall set a monument if one does not already exist at that intersection. Contact the City Survey office for information on reference benchmarks, acceptable methodology and required submittals.**
- 3.05 **Confirm payment of all Development Impact Fees (DIF) to the Building Department.**
- 3.06 **Submit electronic copies (PDF and Auto CAD format) of all approved improvement plans, studies and reports (i.e. hydrology, traffic, WQMP, etc.).**



EXHIBIT 'A'

ENGINEERING DEPARTMENT First Plan Check Submittal Checklist

Project Number: PDEV 18-024

The following items are required to be included with the first plan check submittal:

1. **A copy of this check list**
2. **Payment of fee for Plan Checking**
3. **One (1) copy of Engineering Cost Estimate (on City form) with engineer's wet signature and stamp.**
4. **One (1) copy of project Conditions of Approval**
5. **Two (2) sets of Potable and Recycled Water demand calculations (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size).**
6. **Three (3) sets of Public Street improvement plan with street cross-sections**
7. **Three (3) sets of Private Street improvement plan with street cross-sections**
8. **Four (4) sets of Public Water improvement plan (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)**
9. **Four (4) sets of Recycled Water improvement plan (include recycled water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size and an exhibit showing the limits of areas being irrigated by each recycled water meter)**
10. **Four (4) sets of Public Sewer improvement plan**
11. **Five (5) sets of Public Storm Drain improvement plan**
12. **Three (3) sets of Public Street Light improvement plan**
13. **Three (3) sets of Signing and Striping improvement plan**
14. **Three (3) sets of Fiber Optic plan (include Auto CAD electronic submittal)**
15. **Three (3) sets of Dry Utility plans within public right-of-way (at a minimum the plans must show existing and ultimate right-of-way, curb and gutter, proposed utility location including centerline dimensions, wall to wall clearances between proposed utility and adjacent public line, street work repaired per Standard Drawing No. 1306. Include Auto CAD electronic submittal)**
16. **Three (3) sets of Traffic Signal improvement plan and One (1) copy of Traffic Signal Specifications with modified Special Provisions. Please contact the Traffic Division at (909) 395-2154 to obtain Traffic Signal Specifications.**
17. **Two (2) copies of Water Quality Management Plan (WQMP), including one (1) copy of the approved Preliminary WQMP (PWQMP).**
18. **One (1) copy of Hydrology/Drainage study**
19. **One (1) copy of Soils/Geology report**
20. **Payment for Final Map/Parcel Map processing fee**
21. **Three (3) copies of Final Map/Parcel Map**



- 22. One (1) copy of approved Tentative Map
- 23. One (1) copy of Preliminary Title Report (current within 30 days)
- 24. One (1) copy of Traverse Closure Calculations
- 25. **One (1) set of supporting documents and maps (legible copies): referenced improvement plans (full size), referenced record final maps/parcel maps (full size, 18"x26"), Assessor's Parcel map (full size, 11"x17"), recorded documents such as deeds, lot line adjustments, easements, etc.**
- 26. **Two (2) copies of Engineering Report and an electronic file (include PDF format electronic submittal) for recycled water use**
- 27. **Other:**
 - **Two (2) copies of Certificate of Compliance (legal and plat), supporting documents and associated fees.**

CITY OF ONTARIO

MEMORANDUM

TO: PLANNING DEPARTMENT, Lorena Mejia
FROM: BUILDING DEPARTMENT, Kevin Shear
DATE: June 27, 2018
SUBJECT: PDEV18-024

-
- The plan **does** adequately address the departmental concerns at this time.
- No comments
- Report below.

Conditions of Approval

1. The address for the project will be 540 E Mission Blvd

KS:lm

CITY OF ONTARIO

MEMORANDUM

TO: PLANNING DEPARTMENT, Lorena Mejia
FROM: BUILDING DEPARTMENT, Kevin Shear
DATE: January 23, 2018
SUBJECT: PCUP18-003

-
- The plan **does** adequately address the departmental concerns at this time.
 No comments
 Report below.

Conditions of Approval

1. Standard Conditions of Approval apply.

KS:lm



CITY OF ONTARIO

MEMORANDUM

TO: Scott Murphy, Development Director
Cathy Wahlstrom, Planning Director
Diane Ayala, Advanced Planning Division
Charity Hernandez, Economic Development
Kevin Shear, Building Official
Khoi Do, Assistant City Engineer
Carolyn Bell, Landscape Planning Division
Ahmed Aly, Municipal Utility Company
Doug Sorel, Police Department
Paul Ehrman, Deputy Fire Chief/Fire Marshal
Jay Bautista, T. E., Traffic/Transportation Manager
Lorena Mejia, Airport Planning
Steve Wilson, Engineering/NPDES
Joe De Sousa, Code Enforcement (Copy of memo only)
Jimmy Chang, IT Department

FROM: Lorena Mejia, Senior Planner

DATE: June 21, 2018

SUBJECT: FILE #: PDEV18-024

Finance Acct#:

The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Thursday, July 5, 2018**.

- Note:
- Only DAB action is required
 - Both DAB and Planning Commission actions are required
 - Only Planning Commission action is required
 - DAB, Planning Commission and City Council actions are required
 - Only Zoning Administrator action is required

PROJECT DESCRIPTION: A Development Plan to construct a 23,952 square foot office/industrial building totaling on 2.4 acres of land located at 901 South Sultana Avenue, within the IL (Light Industrial) zoning district APN(s): (1049-353-14). Related File(s): PCUP18-003

The plan does adequately address the departmental concerns at this time.

- No comments
- Report attached (1 copy and email 1 copy)
- Standard Conditions of Approval apply

The plan does not adequately address the departmental concerns.

- The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

Landscape Planning Carolyn Bell S. Landscape Architect
Department Signature Title Date 7/19/18

CITY OF ONTARIO
LANDSCAPE PLANNING DIVISION
 303 East "B" Street, Ontario, CA 91764

CONDITIONS OF APPROVAL

Sign Off

<i>Carolyn Bell</i>	7/19/18
Carolyn Bell, Sr. Landscape Architect	Date

Reviewer's Name: Carolyn Bell, Sr Landscape Architect	Phone: (909) 395-2237
---	---------------------------------

D.A.B. File No.: PDEV18-024	Case Planner: Lorena Mejia
--------------------------------	-------------------------------

Project Name and Location:
 Ferreira Office Bldg and Site Improvements
 901 S Sultana Ave

Applicant/Representative:
 KEC Engineers
 13201 9th St
 Chino, Ca 91710

<input checked="" type="checkbox"/>	A Preliminary Landscape Plan (dated 6/21/18) meets the Standard Conditions for New Development and has been approved with the consideration that the following conditions below be met upon submittal of the landscape construction documents.
<input type="checkbox"/>	A Preliminary Landscape Plan (dated) has not been approved. Corrections noted below are required prior to Preliminary Landscape Plan approval.

A RESPONSE SHEET IS REQUIRED WITH RESUBMITTAL OR PLANS WILL BE RETURNED AS INCOMPLETE

Civil/ Site Plans

1. Coordinate photometric plan E1.0 does not match site plans. Move light shown in tree planter.
2. Show transformers located in planter areas and set back 5' from paving.
3. Dimension backflow devices set back min 3' from paving. Locate on level grade.
4. Locate utilities including light standards, fire hydrants, and water and sewer lines to not conflict with required tree locations. Coordinate with landscape plans
5. Note for compaction to be no greater than 85% at landscape areas. All finished grades at 1 1/2" below finished surfaces. Slopes to be maximum 3:1.
6. Dimension all planters to have a minimum 5' wide inside dimension with 6" curbs and 12" wide curbs, pavers or DG paving with edging where parking spaces are adjacent to planters.
7. Add tree protection notes to construction and demo plans.

Landscape Plans

8. Add tree protection notes to landscape plans.
9. Show backflows, trash enclosures and transformers with setbacks and landscape screening, and show set backs from paving with landscape screening: 36" high strappy leaf shrubs at backflows coordinated with plant palette, 4-5' evergreen shrubs at transformers.
10. Locate light standards, fire hydrants, water and sewer lines to not conflict with required tree locations. Show all utilities on the landscape plans.
11. Show appropriate parking lot shade trees with min 30' canopy at maturity. Change Mesquite for a shade tree such as Pistache, Ulmus, Quercus ilex, etc.
12. Show separate systems for trees; pop up stream- spray bubblers with pc screens.
13. Revise MAWA to separate on-site landscaping from parkway/ right of way landscape.
14. Separate low and mod water irrigation systems. Station valves with south and west facing

areas separate from north and east facing areas.

- 15. Replace short lived, high maintenance or poor performing plants: Bamboo; Palo Verde, Mesquite. Consider *Carpenteria californica*, *Cercis* and *Arbutus*. Use larger trees for shade, tall narrow trees for background behind CA Peppers: *Brachychiton populneus*, *Gingko*, etc.
- 16. Street trees for this project are: on Monterey Av: *Brachychiton populneus*; Mission blvd *Schinus molle* ok; on Sultana ave: *Chitalpa taskentensis* 30' oc.
- 17. Note for agronomical soil testing and include report on landscape construction plans.
- 18. Show concrete mowstrips to identify property lines along open areas or at PL's.
- 19. Show minimum on-site tree sizes per the Landscape Development standards, see the Landscape Planning website. 5% 48" box, 10% 36 box, 30% 24" box, 55% 15 gallon.
- 20. Show 25% of trees as California native (*Platanus racemosa*, *Quercus agrifolia*, *Quercus wislizenii*, *Quercus douglasii*, *Cercis occidentalis*, etc.) in appropriate locations.
- 21. Show 8' diameter of mulch only at new trees, 12' min. at existing trees. Keep irrigation dripline outside of mulched root zone.
- 22. Add Note to Grading and Landscape Plans: Landscape areas where compaction has occurred due to grading activities and where trees or storm water infiltration areas are located shall be loosened by soil fracturing. For trees a 12'x12'x18" deep area; for storm water infiltration the entire area shall be loosened. Add the following information on the plans: The back hoe method of soil fracturing shall be used to break up compaction. A 4" layer of Compost is spread over the soil surface before fracturing is begun. The back hoe shall dig into the soil lifting and then drop the soil immediately back into the hole. The bucket then moves to the adjacent soil and repeats. The Compost falls into the spaces between the soil chunks created. Fracturing shall leave the soil surface quite rough with large soil clods. These must be broken by additional tilling. Tilling in more Compost to the surface after fracturing per the soil report will help create an A horizon soil. Imported or reused Topsoil can be added on top of the fractured soil as needed for grading. The Landscape Architect shall be present during this process and provide certification of the soil fracturing. For additional reference see Urban Tree Foundation – Planting Soil Specifications.
- 23. After a project's entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council. Typical fees are:

Plan Check—less than 5 acres	\$1,301.00
Inspection—Construction (up to 3 inspections per phase)	<u>\$278.00</u>
Total.....	\$1,579.00
Inspection—Field – any additional.....	\$83.00

Landscape construction plans with building permit number for plan check may be emailed to: landscapeplancheck@ontarioca.gov



CITY OF ONTARIO

MEMORANDUM

TO: Lorena Mejia, Senior Planner
Planning Department

FROM: Paul Ehrman, Deputy Fire Chief/Fire Marshal
Fire Department

DATE: July 6, 2018

SUBJECT: PDEV18-024 - A Development Plan to construct a 23,952-square foot industrial building on 2.4 acres of land located at 901 South Sultana Avenue, within the IL (Light Industrial) zoning district (APN: 1049-353-14). Related File: PCUP18-003.

-
- The plan **does** adequately address Fire Department requirements at this time.
- Standard Conditions of Approval apply, as stated below.
-

SITE AND BUILDING FEATURES:

- A. 2016 CBC Type of Construction: Not Listed (V)
- B. Type of Roof Materials: Ordinary
- C. Ground Floor Area(s): Varies / Multiple Buildings
- D. Number of Stories: 1
- E. Total Square Footage: 23,952 Sq. Ft.
- F. 2016 CBC Occupancy Classification(s): BS

CONDITIONS OF APPROVAL:

1.0 GENERAL

- ☒ 1.1 The following are the Ontario Fire Department (“Fire Department”) requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards (“Standards.”) It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at www.ontarioca.gov, click on “Fire Department” and then on “Standards and Forms.”
- ☒ 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

2.0 FIRE DEPARTMENT ACCESS

- ☒ 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See Standard #B-004.
- ☒ 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25’) inside and forty-five feet (45’) outside turning radius per Standard #B-005.
- ☒ 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150’) in length shall have an approved turn-around per Standard #B-002.
- ☒ 2.4 Access drive aisles which cross property lines shall be provided with CC&Rs, access easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of building plan check.
- ☒ 2.5 "No Parking-Fire Lane" signs and /or red painted curbs with lettering are required to be installed in interior access roadways, in locations where vehicle parking would obstruct the minimum clear width requirement. Installation shall be per Standard #B-001.
- ☒ 2.6 Security gates or other barriers on fire access roadways shall be provided with a Knox brand key switch or padlock to allow Fire Department access. See Standards #B-003, B-004 and H-001.
- ☒ 2.7 Any time PRIOR to on-site combustible construction and/or storage, a minimum twenty-six (26) ft. wide circulating all weather access roads shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved by fire department and other emergency services..

3.0 WATER SUPPLY

- ☒ 3.1 The required fire flow per Fire Department standards, based on the 2016 California Fire Code, Appendix B, is 2000 gallons per minute (g.p.m.) for 4 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.
- ☒ 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300') apart, per Engineering Department specifications.
- ☒ 3.4 The water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

4.0 FIRE PROTECTION SYSTEMS

- ☒ 4.2 Underground fire mains which cross property lines shall be provided with CC & R, easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of fire department plan check. The shared use of private fire mains or fire pumps is allowable only between immediately adjacent properties and shall not cross any public street.
- ☒ 4.3 An automatic fire sprinkler system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard ~~Choose an item.~~ All new fire sprinkler systems, except those in single family dwellings, which contain twenty (20) sprinkler heads or more shall be monitored by an approved listed supervising station. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- ☒ 4.4 Wood frame buildings that are to be sprinkled shall have these systems in service (but not necessarily finalized) before the building is enclosed.
- ☒ 4.5 Fire Department Connections (FDC) shall be located on the address side of the building within one hundred fifty feet (150') of a public fire hydrant on the same side of the street. Provide identification for all fire sprinkler control valves and fire department connections per Standard #D-007. Raised curbs adjacent to Fire Department connection(s) shall be painted red, five feet either side, per City standards.

5.0 BUILDING CONSTRUCTION FEATURES

- ☒ 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- ☒ 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.

- ☒ 5.6 Knox ® brand key-box(es) shall be installed in location(s) acceptable to the Fire Department. All Knox boxes shall be monitored for tamper by the building fire alarm system. See Standard #H-001 for specific requirements.
- ☒ 5.7 Placards shall be installed in acceptable locations on buildings that store, use or handle hazardous materials in excess of the quantities specified in the CFC. Placards shall meet the requirements of National Fire Protection Association (NFPA) Standard 704.

6.0 OTHER SPECIAL USES

- ☒ 6.1 The storage, use, dispensing, or handling of any hazardous materials shall be approved by the Fire Department, and adequate fire protection features shall be required. If hazardous materials are proposed, a Fire Department Hazardous Materials Information Packet, including Disclosure Form and Information Worksheet, shall be completed and submitted with Material Safety Data Sheets to the Fire Department along with building construction plans.
- ☒ 6.2 Any High Piled Storage, or storage of combustible materials greater than twelve (12') feet in height for ordinary (Class I-IV) commodities or storage greater than six feet (6') in height of high hazard (Group A plastics, rubber tires, flammable liquids, etc.) shall be approved by the Fire Department, and adequate fire protection features shall be required. If High Piled Storage is proposed, a Fire Department High Piled Storage Worksheet shall be completed and detailed racking plans or floor plans submitted prior to occupancy of the building.
- ☒ 6.3 Underground fuel tanks, their associated piping and dispensers shall be reviewed, approved, and permitted by Ontario Building Department, Ontario Fire Department, and San Bernardino County Fire Department Hazardous Materials Division. In fueling facilities, an exterior emergency pump shut-off switch shall be provided.



CITY OF ONTARIO

MEMORANDUM

TO: Lorena Mejia, Planning Department

FROM: Douglas Sorel, Police Department

DATE: July 10, 2018

SUBJECT: PDEV18-023 & PCUP18-003– A DEVELOPMENT PLAN AND
CONDITIONAL USE PERMIT TO CONSTRUCT AN
OFFICE/INDUSTRIAL BUILDING AND CONSTRUCTION STORAGE
YARD AT 901 S. SULTANA AVENUE

The “Standard Conditions of Approval” contained in Resolution No. 2017-027 apply. The applicant shall read and be thoroughly familiar with these conditions, including, but not limited to, the requirements below.

- Required lighting for walkways, driveways, doorways, parking lots, hallways, stairwells, and other areas used by the public shall be provided. Lights shall operate via photosensor. Photometrics shall be provided to the Police Department at plan check and shall include the types of fixtures proposed and demonstrate that such fixtures meet the vandal-resistant requirement. Planned landscaping shall not obstruct lighting.
- Rooftop addresses shall be installed on the buildings as stated in the Standard Conditions. Each number shall be at a minimum 3 feet tall and 1 foot wide, in reflective white paint on a flat black background, and oriented with the bottom of the numbers towards the addressed street.
- The Applicant shall comply with construction site security requirements as stated in the Standard Conditions.
- The applicant will be responsible for keeping the grounds of the business clean from debris and litter.
- Graffiti abatement by the business owner/licensee, or management shall be immediate and on-going on the premises, but in no event shall graffiti be allowed unabated on the premises for more than 72 hours. Abatement shall take the form of removal, or shall be covered/painted over with a color reasonably matching the color of the existing building, structure, or other surface being abated. Additionally, the business owner/licensee, or management shall notify the City within 24 hours at (909) 395-2626 (graffiti hotline) of any graffiti elsewhere on the property not under the business owner/licensee’s or management control so that it may be abated by the property owner and/or the City’s graffiti team.

The Applicant is invited to contact Douglas Sorel at (909) 408-1873 with any questions or concerns regarding these conditions.



CITY OF ONTARIO

MEMORANDUM

TO: Chairman and Members of the Planning Commission

FROM: Cathy Wahlstrom, Planning Director 

DATE: November 27, 2018

SUBJECT: AGENDA ITEM D: ENVIRONMENTAL ASSESSMENT, TENTATIVE PARCEL MAP AND DEVELOPMENT PLAN REVIEW FOR FILE NOS., PMTT18-006 AND PDEV18-014: A Tentative Parcel Map No. 19904 (**File No. PMTT18-006**) to subdivide approximately 85 acres of land into nine (9) parcels and six (6) letter lots, and a Development Plan (**File No. PDEV18-014**) to construct nine (9) industrial buildings totaling 1,685,420 square feet, for property located along the southwest corner of Merrill Avenue and Archibald Avenue within the Business Park (Planning Area 1) and Industrial (Planning Area 2) land use designations of the Colony Commerce Center East Specific Plan. The environmental impacts of this project were previously reviewed in conjunction with the Colony Commerce Center East Specific Plan (File No. PSP16-003) Environmental Impact Report (SCH# 2017031048) certified by City Council on May 1, 2018. This project introduces no new significant environmental impacts, and all previously-adopted mitigation measures are a condition of project approval. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with both policies and criteria of the Ontario International Airport Land Use Compatibility Plans (ALUCP). The project site is also located within the Airport Influence area of Chino Airport and is consistent with policies and criteria set forth within the 2011 California Airport Land Use Planning Handbook published by the California Department of Transportation, Division of Aeronautics. (APNs: 0218-311-02, 0218-311-03, 0218-311-08, 0218-311-10) **submitted by Colony Commerce Ontario East LP, a Delaware Limited Partnership.** This item was continued from the October 23, 2018 Planning Commission meeting.

Staff is recommending that this item be continued to the December 17, 2018, Planning Commission meeting, to allow staff additional time to resolve project infrastructure issues with the applicant.



CITY OF ONTARIO

MEMORANDUM

TO: Chairman and Members of the Planning Commission

FROM: Cathy Wahlstrom, Planning Director *CW*

DATE: November 27, 2018

SUBJECT: AGENDA ITEM E: ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT AGREEMENT REVIEW FOR FILE NO. PDA18-002: A Development Agreement (File No. PDA18-002) between the City of Ontario and Colony Commerce Ontario East LP, a Delaware Limited Partnership, to establish the terms and conditions for the development of a Tentative Parcel Map No. 19904 (File No. PMTT18-006), for property located along the southwest corner of Merrill Avenue and Archibald Avenue within the Business Park (Planning Area 1) and Industrial (Planning Area 2) land use designations of the Colony Commerce Center East Specific Plan. The environmental impacts of this project were previously reviewed in conjunction with the Colony Commerce Center East Specific Plan (File No. PSP16-003) Environmental Impact Report (SCH# 2017031048) certified by City Council on May 1, 2018. This application introduces no new significant environmental impacts, and all previously-adopted mitigation measures are a condition of project approval. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with both policies and criteria of the Ontario International Airport Land Use Compatibility Plans (ALUCP). The project site is also located within the Airport Influence area of Chino Airport and is consistent with policies and criteria set forth within the 2011 California Airport Land Use Planning Handbook published by the California Department of Transportation, Division of Aeronautics. (APNs: 0218-311-02, 0218-311-03, 0218-311-08, 0218-311-10) **submitted by Colony Commerce Ontario East LP, a Delaware Limited Partnership. City Council action is required.** This item was continued from the October 23, 2018 Planning Commission meeting.

Staff is recommending that this item be continued to the December 17, 2018, Planning Commission meeting, to allow staff additional time to resolve project infrastructure issues with the applicant.



CITY OF ONTARIO

MEMORANDUM

TO: Chairman and Members of the Planning Commission

FROM: Cathy Wahlstrom, Planning Director *CW*

DATE: November 27, 2018

SUBJECT: MONTHLY PLANNING DEPARTMENT ACTIVITY REPORTS; MONTH OF OCTOBER 2018

Attached, you will find the Monthly Planning Department Activity Reports for the month of October 2018. The reports contain information describing all new applications received by the Planning Department and the actions taken on applications during the month.

The attached reports, along with reports from past months, may also be viewed on the City's web site. New applications may be viewed at <http://www.ontarioca.gov/planning/reports/monthly-activity-reports-applications>, and actions taken on applications may be viewed at <http://www.ontarioca.gov/planning/reports/monthly-activity-reports-actions>.

City of Ontario Planning Department
Monthly Activity Report—Actions
Month of October 2018

DEVELOPMENT ADVISORY BOARD MEETING

October 1, 2018

Meeting Cancelled

ZONING ADMINISTRATOR MEETING

October 1, 2018

ENVIRONMENTAL ASSESSMENT AND CONDITIONAL USE PERMIT REVIEW FOR FILE NO.

PCUP18-017: A Conditional Use Permit (PCUP18-017) to establish a drug manufacturing facility (Skinenix, Inc.) within an existing 39,090-square foot industrial use building on a 2.06-acre parcel of land, located at 1785 South Proforma Avenue, within the Industrial Park land use district of the Corsair Specific Plan. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Class 1, Existing Facilities) of the CEQA Guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the ONT Airport Land Use Compatibility Plan (ALUCP); (APN: 0211-242-46) **submitted by Skingenix, Inc.**

Action: The Zoning Administrator approved the project subject to conditions.

ENVIRONMENTAL ASSESSMENT AND CONDITIONAL USE PERMIT REVIEW FOR FILE NO.

PCUP18-023: A Conditional Use Permit (PCUP18-023) request to establish a vitamin tablet manufacturing facility, located at 1909 South Campus Avenue, within the IL (Light Industrial) zoning district. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section §15301 (Class 1-Existing Facilities) of the CEQA guidelines. The project is located within the Airport Influence Area of Ontario International Airport (ONT), and was evaluated and found to be consistent with the policies and criteria of the ONT Airport Land Use Compatibility Plan (ALUCP); (APN: 1050-441-63); **submitted by AMF Pharma / Mr. Zi Meng and Mr. Frank Meng.**

Action: The Zoning Administrator approved the project subject to conditions.

CITY COUNCIL/HOUSING AUTHORITY MEETING

October 2, 2018

ENVIRONMENTAL ASSESSMENT AND CONDITIONAL USE PERMIT REVIEW FOR FILE NO.

PCUP18-008: A Conditional Use Permit to allow for the development of a 208-room full-service hotel on 4.95 acres of land generally located at the southeast corner of Archibald Avenue and Inland Empire Boulevard, within the OH (High Intensity Office) zoning district. The proposed project is categorically exempt from the requirements of the California Environmental Quality Act of 1970 (CEQA), as amended, and the Guidelines promulgated thereunder, pursuant to

City of Ontario Planning Department
Monthly Activity Report—Actions
Month of October 2018

Section 15332 (Class 32, In-Fill Development Projects) of the CEQA Guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP). (APNs: 0210-191-29, 0210-191-30, 0210-191-31 and 0210-191-32); **submitted by Heartland Alliance, LLC**. The Planning Commission recommended approval of this item on August 28, 2018, by a vote of 6 to 0. Continued from September 18, 2018 meeting.

Action: The City Council adopted a resolution approving the Conditional Use Permit.

ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT AGREEMENT FOR FILE NO. PDA18-001: A Development Agreement by and between the City of Ontario and Richland Developers Inc., to establish the terms for the development of Tentative Tract Map 18929 (File No. PMTT13-016) to subdivide 54.81 acres of land into 207 residential numbered lots and 24 lettered lots and Tentative Tract Map 18930 (File No. PMTT13-017) to subdivide 49.45 acres of land into 225 residential numbered lots and 26 lettered lots. The properties are bounded by Eucalyptus Avenue to the north, Merrill Avenue to the south, Archibald Avenue to the east and the Cucamonga Flood Control channel to the west, and located within the Conventional Small Lot Residential district of Planning Area 1 and within the Neighborhood Commercial Center district of Planning Area 2 of the Subarea 29 Specific Plan. The environmental impacts of this project were previously reviewed in conjunction with the Subarea 29 Specific Plan EIR (SCH# 2004011009) certified by the City Council on October 17, 2006. The project site is located within the Airport Influence Area of the Ontario International Airport (ONT), and has been found to be consistent with the policies and criteria set forth within the ALUCP for ONT. The project site is also located within the Airport Influence area of Chino Airport and is consistent with policies and criteria set forth within the 2011 California Airport Land Use Planning Handbook published by the California Department of Transportation, Division of Aeronautics. (APNs: 0218-271-11 and 0218-271-19) **submitted by Richland Communities**. The Planning Commission recommended approval of this item on August 28, 2018, with a vote of 6 to 0.

Action: The City Council approved and waived further reading of the ordinance.

ENVIRONMENTAL ASSESSMENT AND SPECIFIC PLAN AMENDMENT REVIEW FOR FILE NO. PSPA18-004: An Amendment to the Meredith International Centre Specific Plan, revising the sign standards/guidelines for freeway identification signs and for uses over 200,000 square feet in area, within the Urban Commercial land use district. Staff is recommending the adoption of an Addendum to the Meredith International Centre Environmental Impact Report (SCH# 2014051020), reviewed in conjunction with File Nos. PGPA13-005 and File No. PSPA14-003, and certified by the City Council on April 7, 2015. This project introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP). (APNs: 0110-311-52, 0110-311-53, 0110-311-54, 0110-311-55, 0110-321-29, 0110-321-68, 0110-321-72,

City of Ontario Planning Department
Monthly Activity Report—Actions
Month of October 2018

0110-321-73, 0110-321-74, 0110-321-75, 0110-321-76, 0110-321-77, 0110-321-78, 0110-321-79); **submitted by Real Development Solutions, LLC.** The Planning Commission recommended approval of this item on August 28, 2018, by a vote of 6 to 0.

Action: The City Council adopted a resolution approving the Amendment to the Meredith International Centre Specific Plan.

DEVELOPMENT ADVISORY BOARD MEETING

October 15, 2018

ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE NO. PDEV18-021:

A Development Plan to construct a 22,023 square foot combined heat and power plant on a 51.05 acre site, located at 5171 East Francis Street, within the (IH) Heavy Industrial zone. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, In-Fill Development) of the CEQA Guidelines. This project introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the ONT Airport Land Use Compatibility Plan (ALUCP); (APNs: 238-132-24) **submitted by New Indy Containerboard.**

Action: The Development Advisory Board approved the project subject to conditions.

ZONING ADMINISTRATOR MEETING

October 15, 2018

ENVIRONMENTAL ASSESSMENT AND CONDITIONAL USE PERMIT REVIEW FOR FILE NO.

PCUP18-027: A Conditional Use Permit (File No. PCUP18-027) request to establish a Type 41 ABC license (On-Sale Beer and Wine – Eating Place) in conjunction with a 2,160 square foot restaurant (Mariscos Laguna Azul) on 0.9 acres of land, located at 1635 East Fourth Street within the HDR-45 (High Density Residential) and ICC Overlay (Interim Community Commercial) zoning district. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Class 1, Existing Facilities) of the CEQA. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the ONT Airport Land Use Compatibility Plan (ALUCP). (APNs: 110-183-03 & 110-183-04) **submitted by Shawn Michelle Miller.**

Action: The Zoning Administrator approved the project subject to conditions.

City of Ontario Planning Department
Monthly Activity Report—Actions
Month of October 2018

CITY COUNCIL/HOUSING AUTHORITY MEETING

October 16, 2018

No Planning Department Items Scheduled

PLANNING/HISTORIC PRESERVATION COMMISSION MEETING

October 23, 2018

ENVIRONMENTAL ASSESSMENT AND SIGN PLAN REVIEW FOR FILE NO. PSGN18-112: A Sign Plan to construct a Freeway Identification Sign for the Meredith International Centre Specific Plan, generally located at the southerly terminus of QVC Way, within the Urban Commercial land use district of the Meredith International Centre Specific Plan. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15311 (Class 11, Accessory Structures) of the CEQA Guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP); (APNs: portion 0110-321-72 and portion 0110-321-79) **submitted by Craig Development Corporation.**

Action: The Planning Commission approved the project.

MILLS ACT CONTRACT REVIEW FOR FILE NO. PHP18-027: A Mills Act Contract for a 1,618 square foot Prairie style residential building, a Contributor within the El Morado Court Historic District, located at 122 East El Morado Court, within the LDR5 (Low Density Residential-2.1 to 5.0 DU/Acre) Zoning District. The Contract is not considered a project pursuant to Section 21065 of the CEQA Guidelines. (APN: 1048-242-02); **submitted by Tara Jessup.** City Council action is required.

Action: The Planning Commission recommended the City Council approve the project.

MILLS ACT CONTRACT REVIEW FOR FILE NO. PHP18-031: A Mills Act Contract for a historic olive processing plant and associated buildings on 1.66 acres of land, a Contributor within the College Park Historic District, located at 315 East Fourth Street, within the LDR5 (Low Density Residential-2.1 to 5.0 DU/Acre) Zoning District. The Contract is not considered a project pursuant to Section 21065 of the CEQA Guidelines. (APN: 1047-543-31); **submitted by Clifford C. Graber.** City Council action is required.

Action: Application withdrawn.

ENVIRONMENTAL ASSESSMENT, DEVELOPMENT AGREEMENT, TENTATIVE PARCEL MAP & DEVELOPMENT PLAN REVIEW FOR FILE NOS. PDA18-002, PMTT18-006 & PDEV18-014: A Development Agreement (File No. PDA18-002) between the City of Ontario and Colony Commerce Ontario East LP, a Delaware limited partnership, to establish the terms and conditions for the development of a Tentative Parcel Map No. 19904 (File No. PMTT18-006) which proposes

City of Ontario Planning Department
Monthly Activity Report—Actions
Month of October 2018

to subdivide approximately 85 acres of land into nine (9) parcels and two (2) letter lots, and a Development Plan (File No. PDEV18-014) to construct nine (9) industrial buildings totaling 1,685,420 square feet, for property located along the southwest corner of Merrill Avenue and Archibald Avenue within the Business Park and Industrial land use designations of the Colony Commerce Center East Specific Plan. The environmental impacts of this project were previously analyzed in conjunction with the Colony Commerce Center East Specific Plan (File No. PSP16-003) Environmental Impact Report (SCH# 2017031048) certified by City Council on May 1, 2018. This project introduces no new significant environmental impacts, and all previously-adopted mitigation measures shall be a condition of project approval. The proposed project is located within the Airport Influence Area of Ontario International Airport and Chino Airport, and was evaluated and found to be consistent with both policies and criteria of the Ontario International Airport and Chino Airport Land Use Compatibility Plans (ALUCP); (APNs: 0218-311-02, 0218-311-03, 0218-311-08, 0218-311-10) **submitted by Colony Commerce Ontario East LP, a Delaware Limited Partnership.** Development Agreement requires City Council action.

Action: Continued to the November 27, 2018, meeting.

ENVIRONMENTAL ASSESSMENT, GENERAL PLAN AMENDMENT REVIEW FOR FILE NO. PGPA18-005, AND ZONE CHANGE REVIEW FOR FILE NO. PZC-18-002: A General Plan (Policy Plan) Amendment (PGPA18-005) and Zone Change (File No. PZC-18-002) for 2.4 acres of land to [1] modify The Ontario Plan (TOP) Exhibit LU-01- Land Use Plan to establish a land use designation of Industrial (0.55 FAR); [2] modify the Future Buildout Table (Exhibit LU-03) to be consistent with the land use designation changes; and [3] establish a zoning designation of IG (General Industrial) to bring the property zoning into consistency with the Policy Plan. The project site is located within North Loop Circle, generally west of Etiwanda Avenue and south of the Interstate 10 Freeway, and currently does not have a land use designation, zoning designation, or APN assigned to the parcel. Staff is recommending the adoption of an Addendum to The Ontario Plan (File No. PGPA06-001) Environmental Impact Report (SCH# 2008101140) certified by City Council on January 27, 2010. This project introduces no new significant environmental impacts, and all previously-adopted mitigation measures are a condition of project approval. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP); (APNs: N/A) **City-initiated.** City Council action is required.

Action: The Planning Commission recommended the City Council approve the project.

ENVIRONMENTAL ASSESSMENT AND GENERAL PLAN AMENDMENT REVIEW FOR FILE NO. PGPA18-006: A General Plan Amendment to add text to The Ontario Plan (TOP) Exhibit LU-01 - Land Use Plan regarding parkland in the Ontario Ranch area. The environmental impacts of this project were previously analyzed in conjunction with The Ontario Plan (File No. PGPA06-001) Environmental Impact Report (SCH# 2008101140) certified by City Council on January 27, 2010. This project introduces no new significant environmental impacts, and all previously-adopted

City of Ontario Planning Department
Monthly Activity Report—Actions
Month of October 2018

mitigation measures are a condition of project approval. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP). The project site is also located within the Airport Influence area of Chino Airport and is consistent with policies and criteria set forth within the 2011 California Airport Land Use Planning Handbook published by the California Department of Transportation, Division of Aeronautics. (APNs: N/A) **City initiated.** City Council action is required.

Action: The Planning Commission recommended the City Council approve the project.

ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT CODE AMENDMENT REVIEW FOR FILE

NO. PDCA18-004: A Development Code Amendment to increase the allowable building/structure height from 55 feet to 80 feet within the IH (Heavy Industrial) zoning district. Staff is recommending the adoption of an Addendum to The Ontario Plan (File No. PGPA06-001) Environmental Impact Report (SCH# 2008101140), certified by the City of Ontario City Council on January 27, 2010. This project introduces no new significant environmental impacts, and all previously-adopted mitigation measures are a condition of project approval. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP). **City Initiated.** City Council action is required. (Continued from the September 25, 2018 meeting).

Action: The Planning Commission recommended the City Council approve the project.

Monthly Activity Report—New Applications

Month of October 2018

PCUP18-033:

Submitted by Adolfo Oseguera

A Conditional Use Permit to establish a 2,554-square foot crematorium on 2.13 acres of land located at 1445 West Brooks Street, within the IG (General Industrial) zoning district (APN: 1011-112-35). **Zoning Administrator action is required.**

PCUP18-034:

Submitted by Blackout Escape Room

A Conditional Use Permit to establish a 3,800-square foot Escape Room/Game Room Facility within an existing building on 8.7 acres of land located at 2403 South Vineyard Avenue, within the CC (Community Commercial) zoning district (APN: 0113-285-12). **Zoning Administrator action is required.**

PCUP18-035:

Submitted by Verizon Wireless

A modification to a previously approved Conditional Use Permit (File No. PCUP01-034) to establish an unmanned wireless telecommunications facility on an existing SCE tower on 8.746 acres of land located at 3791 South Archibald Avenue, within the UC (Utilities Corridor) zoning district (APN: 0218-771-63). **Zoning Administrator action is required.**

PDET18-004:

Submitted by Vivotien

A Determination of Use to establish whether the manufacturing of whole dried larvae is similar to, and of no greater intensity than other permitted or conditionally permitted land uses in the Light Industrial use designation of the Melrose Plaza Planned Unit Development (APN: 1049-092-18). **Planning Director action is required.**

PDEV18-032:

Submitted by Verizon Wireless

A Development Plan to construct a telecommunications facility with a 64-foot high antenna (mono-eucalyptus) and associated 280 square foot equipment enclosure on 12.8 acres of land located at 2450 South Vineyard Avenue, within the CC (Community Commercial) zoning district (APN: 0216-401-63). **Development Advisory Board and Planning Commission actions are required.**

PDEV18-033:

Submitted by Whitfield Associates, Inc.

A Development Plan to construct an approximate 72,433-square foot automobile dealership (Porsche) on 3 acres of land located on the south side of Inland Empire Boulevard, 367 feet east of QVC Way, within the Urban Commercial land use district of the Meredith International Centre Specific Plan (APN: 0110-321-73). **Development Advisory Board action is required.**

PGPA18-007:

Submitted by SL Ontario Development Company, LLC

A General Plan Amendment to change the land use designation on 59 acres of land from Open-Space Water to Low Density Residential (2.1 - 5 du/ac). The project area is bordered by Eucalyptus Avenue on the north, Bellegrave Avenue on the south, Mill Creek Avenue on the east, and Haven

Monthly Activity Report—New Applications

Month of October 2018

Avenue on the west (APNs: 0218-331-12, 0218-331-14, 0218-331-18, and 0218-331-25). **Planning Commission and City Council actions are required.**

PGPA18-008: **Submitted by Euclid Land Ventures, LLC**

A General Plan Amendment to [1] change the land use designation on 24 acres of land from Office Commercial to Business Park\Industrial, [2] change the land use designation on 18.7 acres of land from Low Density Residential to Business Park\Industrial, and [3] change the land use designation on 42 acres of land from General Commercial to Business Park\Industrial, located on property bordered by Eucalyptus Avenue on the north, Merrill Avenue on the South, Sultana Avenue on the east, and Euclid Avenue on the west. **Planning Commission and City Council actions are required.**

PHP-18-032: **Submitted by US Post Office**

A request for a bronze landmark plaque for the US Post Office Building, Local Landmark No. 39, located at 123 West Holt Boulevard (APN: 1049-057-01). **Staff action is required.**

PPRE18-003: **Submitted by Sierra Lakes Land Company, LLC**

A Preliminary Plan Review application for a proposed change to the land use designation for Planning Area 1 of the West Haven Specific Plan (APN: 0218-151-48). **Staff action is required.**

PSGN18-111: **Submitted by Williams Sign Co.**

A Sign Plan for the installation of two wall signs for WING STOP, located at 1305 East Fourth Street, within the CN (Neighborhood Commercial) zoning district (APN: 0108-381-33). **Staff action is required.**

PSGN18-112: **Submitted by Craig Development Corporation**

A Sign Plan to construct a Specific Plan Identification Freeway Sign for the Meredith International Centre Specific Plan, generally located at the southerly terminus of QVC Way, within the Urban Commercial land use district of the Meredith International Centre Specific Plan; (APNs: portion 0110-321-72 and portion 0110-321-79). **Staff action is required.**

PSGN18-113: **Submitted by San Pedro Sign Company**

A Sign Plan for the installation of three wall signs (north, west and south elevations) for YOSHINOYA JAPANESE KITCHEN, located at 4323 East Mills Circle, Suite 100, within the Ontario Mills Specific Plan (APN: 0238-014-46). **Staff action is required.**

PSGN18-114: **Submitted by Swain Sign, Inc.**

A Sign Plan for the installation of an additional wall sign for AMC THEATRES (north elevation), located at 4541 East Mills Circle North, within the Ontario Mills Specific Plan (APN: 0238-014-19).

Monthly Activity Report—New Applications

Month of October 2018

PSGN18-115:

Submitted by Swain Signs

A Sign Plan for the installation of one wall sign for WING STOP, located at 2252 South Euclid Avenue, within the CC (Community Commercial) zoning district (APN: 1051-051-72). **Staff action is required.**

PSGN18-116:

Submitted by Resource 4 Signs

A Sign Plan for the installation of a wall sign for HH RETAIL, located at 1480 South Carlos Avenue, within the IG (General Industrial) zoning district (APN: 0113-394-16). **Staff action is required.**

PSGN18-117:

Submitted by National Sign

A Sign Plan for the installation of three new wall signs (north, east and west elevations) and new architectural metalwork detail (west elevation) for EL POLLO LOCO, located at 1180 East Philadelphia Street, within the CC (Community Commercial) zoning district (APN: 1051-151-11). **Staff action is required.**

PSGN18-118:

Submitted by Electroicore Signs

A Sign Plan for the installation of one wall sign located at 636 East Holt Boulevard, within the CN (Neighborhood Commercial) zoning district (APN: 1049-093-06). **Staff action is required.**

PSGN18-119:

Submitted by Pneumatic Scale Angelus

A Sign Plan for the installation of one wall sign for PNEUMATIC SCALE ANGELUS, located at 2811 East Philadelphia Street, within the California Commerce Center Specific Plan (APN 0211-275-25). **Staff action is required.**

PSGN18-120:

Submitted by Sign Specialists Corporation

A Sign Plan for the reface of an existing complex identification sign for TransPark Industrial Center, to now be known as REXFORD EMPIRE COMMERCE CENTER, located at 3002 East Inland Empire Boulevard, within the TransPark Specific Plan (APN: 0210-191-16). **Staff action is required.**

PSGN18-121:

Submitted by Victoria Erwin

A Sign Plan for the installation of one wall sign and two directional signs located at 4195 East Inland Empire Boulevard, within the Ontario Center Specific Plan (APN 0210-501-32). **Staff action is required.**

PSGN18-122:

Submitted by Alexis Estrada

A Sign Plan for the installation of two wall signs and one monument sign for STEREO CITY, located at 503 East Holt Boulevard, within the CN (Neighborhood Commercial) zoning district (APN: 1048-522-11). **Staff action is required.**

Monthly Activity Report—New Applications

Month of October 2018

PSGN18-123: Submitted by **Iglesia Adventista Del Septimo Dia**

A Sign Plan for the installation of one brow-mounted sign for IGLESIA ADVENTISTA DEL SEPTIMO DIA, located at 316 West B Street, within the MU-1 (Downtown Mixed Use) zoning district (APN: 1048-575-10). **Staff action is required.**

PSGN18-124: Submitted by **Ken Le**

A Sign Plan for the installation of one wall sign for MJ CAFÉ & TEA HOUSE consistent with Sign Program No. PSGP07-007, located at 701 North Milliken Avenue, Suite C, within the Ontario Center Specific Plan (APN: 0210-211-43). **Staff action is required.**

PSGP18-004: Submitted by **Eamunn Pardini**

A revised Sign Program for the Transpark Specific Plan, located at 2890 through 2990 East Inland Empire Boulevard (APN: 0210-191-15). **Staff action is required.**

PSP-18-002: Submitted by **REDA, OLV**

A Specific Plan (Ontario Ranch Commerce Center West) to establish the land use districts, development standards, design guidelines and infrastructure improvements for the potential development of up to 1,787,000 square feet of General Industrial and Business Park land uses on 84.1 acres of land generally bordered by Eucalyptus Avenue on the north, Merrill Avenue on the South, Sultana Avenue on the east, and Euclid Avenue on the west (APNs: 1054-011-01, 1054-011-02, 1054-011-04; 1054-021-01, 1054-021-02; 1054-271-01, 1054-271-02, 1054-271-03; and 1054-281-01, 1054-281-02, 1054-281-03). **Planning Commission and City Council actions are required.**

PSPA18-009: Submitted by **SL Ontario Development Company, LLC**

A Specific Plan Amendment to the Subarea 29 Specific Plan to annex approximately 126 acres into the Specific Plan area, creating four additional planning areas (Planning Areas 32, 33, 34 and 35), bordered by Eucalyptus Avenue on the north, Bellegrave Avenue on the south, Mill Creek Avenue on the east and Haven Avenue on the west (APNs: 0218-331-12, 0218-331-14, 0218-331-18, and 0218-331-25). **Planning Commission and City Council actions are required.**

PTUP18-072: Submitted by **Armando Camarena**

Temporary Use Permit to conduct an auto/truck/equipment/utility equipment auction one day per month, located at 1687 South Bon View Avenue, within the IG (General Industrial) zoning district. **Staff action is required.**

PTUP18-073: Submitted by **Park Place Master**

A Temporary Use Permit for a networking event for real estate brokers and agents at 4955 South Parkplace Avenue, within the Subarea 29 Specific Plan. Event to be held on 10/18/2018, 11:00AM to 3:00PM. Anticipated attendance is 600 throughout the day. Includes one 50' x 60' tent. **Staff action is required.**

Monthly Activity Report—New Applications

Month of October 2018

PTUP18-074: Submitted by Aqua Caliente Clippers of Ontario

A Temporary Use Permit for a block party consisting of food vendors, giveaways, live DJ, and games, hosted by Aqua Caliente Clippers of Ontario, located at 1947 East Convention Center Way, within the Ontario Center Specific Plan. Event to be held on 10/13/2018. **Staff action is required.**

PTUP18-075: Submitted by Agency ETA

A Temporary Use Permit for a grand opening event for Les Schwab Tires, located at 1044 North Milliken Avenue, within the Ontario Mills Specific Plan. Event to be held on 10/18/2018 through 1/20/2018. **Staff action is required.**

PTUP18-076: Submitted by Bellevue Memorial Park

A Temporary Use Permit for a Day of the Dead Cultural Festival hosted by Bellevue Memorial Park, located at 1240 West G Street, within the OS-C (Open Space – Cemetery) zoning district. The event will be held on 11/3/2018. **Staff action is required.**

PTUP18-077: Submitted by Chelsea Coleman

A Temporary Use Permit for a Haunted House at the Granada Theatre, located at 303 North Euclid Avenue, within the MU-1 (Downtown Mixed-Use) zoning district. Event will be held on 10/26/2018 through 10/31/2018. **Staff action is required.**

PTUP18-078: Submitted by Lowes

A Temporary Use Permit for Lowes' Christmas tree sales lot, located at 2390 South Grove Avenue, within the CC (Community Commercial) zoning district. Includes a 75' x 68' tent. Event to be held on 11/17/2018 through 12/17/2018. **Staff action is required.**

PTUP18-079: Submitted by Home Depot

A Temporary Use Permit for a Christmas tree sales lot, located at 2980 South Euclid Avenue, within the Borba Village Specific Plan. Event will be held on 11/5/2018 through 12/24/2018. **Staff action is required.**

PTUP18-080: Submitted by Word of Life Christian Fellowship

A Temporary Use Permit for a wedding to be held at the Word of Life Christian Fellowship church, located at 1355 West Sixth Street, within the LDR-5 (Low Density Residential (2.1 – 5.0 du/ac)) zoning district. Event will be held on 11/3/2018. **Staff action is required.**

PTUP18-081: Submitted by The Office Bar

A Temporary Use Permit for a car show (approximately 60 to 70 cars and 15 motorcycles) hosted by The Office Bar, located at 2425 South Grove Avenue. Event will be held on 11/11/2018, 8:00AM to 3:00PM. **Staff action is required.**

Monthly Activity Report—New Applications

Month of October 2018

PVER18-041: **Submitted by Alexis King**

A Zoning Verification for 2285 South Ponderosa Avenue (APN: 1083-321-02). **Staff action is required.**

PVER18-042: **Submitted by Alexis King**

A Zoning Verification for 3800, 3900 and 4000 East Philadelphia Street (APNS: 1083-321-03, 1083-351-01, 0211-312-05, and 1083-351-05). **Staff action is required.**

PVER18-043: **Submitted by Whitney Meyers**

A Zoning Verification for 1352 West Fifth Street. **Staff action is required.**

PVER18-044: **Submitted by StanCorp Mortgage Investors, LLC**

A Zoning Verification for 3595 East Guasti Road (APN: 210-212-58). **Staff action is required.**

PVER18-045: **Submitted by Flores Insurance**

A Zoning Verification for 608 North Euclid Avenue (APN: 1048-361-10). **Staff action is required.**

PVER18-046: **Submitted by EMSL Analytical, Inc.**

A Zoning Verification for 4335 East Airport Drive (APN: 0238-185-30). **Staff action is required.**

PVER18-047: **Submitted by Barack Ferrazzano Kirschbaum & Nagelberg, LLP**

A Zoning Verification for the northwest corner of Riverside Drive and Milliken Avenue (APN: 1083-361-01). **Staff action is required.**

PVER18-048: **Submitted by Idessia Shanks**

A Zoning Verification for 4422 East Airport Drive (APN: 0238-185-47). **Staff action is required.**

PVER18-049: **Submitted by Edi Moore**

A Zoning Verification for 948 East D Street (APN: 1048-491-05). **Staff action is required.**

PWIL18-007: **Submitted by Nederend Family Partnership**

A Nonrenewal of Williamson Act Contract No. 71-333 on 42.59 acres of land generally located at the southwest corner of Bon View Avenue and Schafer Avenue, and the northeast corner of Campus Avenue and Edison Avenue (APNs: 1053-121-01, 1053-111-04, 1053-121-02, 1053-191-01 and 1053-301-02). **Planning Commission and City Council action is required.**