



## **CITY OF ONTARIO DEVELOPMENT ADVISORY BOARD**

### **AGENDA**

**May 18, 2020**

- ▶ **All documents for public review are on file in the Planning Department located in City Hall at 303 East “B” St., Ontario, CA 91764.**

**MEETING WILL BE HELD AT 1:30 PM IN ONTARIO CITY COUNCIL CHAMBERS  
LOCATED AT 303 East “B” St.**

Scott Ochoa, City Manager  
Scott Murphy, Executive Director, Development Agency  
John P. Andrews, Executive Director, Economic Development  
Kevin Shear, Building Official  
Cathy Wahlstrom, Planning Director  
Khoi Do, City Engineer  
Chief Derek Williams, Police Department  
Fire Marshal Paul Ehrman, Fire Department  
Scott Burton, Utilities General Manager  
Julie Bjork, Executive Director, Housing and Neighborhood Preservation

### **SPECIAL AND URGENT NOTICE ELIMINATING IN-PERSON PUBLIC PARTICIPATION AT CITY OF ONTARIO DEVELOPMENT ADVISORY BOARD MEETINGS**

**Due to the directives contained in the Governor’s Declarations of Emergency for the State of California (Executive Orders N-25-20 and N-29-20) and the Governor’s Stay at Home Order (Executive Order N-33-20), the Development Advisory Board for the City of Ontario is required to limit in-person attendance at the upcoming Development Advisory Board meeting. Members of the public may utilize alternative measures established by the City of Ontario to view the Development Advisory Board meeting and/or to communicate your**

opinions to the Development Advisory Board Chairman. To view the meeting, please go to <http://www.ontarioca.gov/agendas/dab> and follow the link on that webpage.

Members of the public who wish to provide comment on an item may do so in one of the following manners:

1. **EMAIL**: You can email comments to [planningdirector@ontarioca.gov](mailto:planningdirector@ontarioca.gov) no later than 12:30 PM on the day of the meeting. All comments received by the deadline will be printed for Development Advisory Board consideration before action is taken on that matter. Please identify the agenda item that you wish to address in your comments. All written comments will be included in the record.
2. **TELEPHONE BEFORE THE MEETING**: You can call (909) 395-2036 no later than 12:30 PM on the day of the meeting and let them know that you would like to make a comment on an agenda item.
3. **IN WRITING DURING THE MEETING**: The meeting will be broadcast utilizing software that allows members of the public to make written comments. Your written comments will be read by a staff member to the Development Advisory Board Chairman during their consideration of that item.

Any members of the public who require special assistance or a reasonable accommodation to participate in the meeting of the Development Advisory Board may contact Gwen Berendsen at (909) 395-2036 or [planningdirector@ontarioca.gov](mailto:planningdirector@ontarioca.gov) at least 24 hours prior to the meeting.

### **PUBLIC COMMENTS**

*Citizens wishing to address the Development Advisory Board on any matter that is not on the agenda may do so at this time. Please state your name and address clearly for the record and limit your remarks to five minutes.*

*Please note that while the Development Advisory Board values your comments, the members cannot respond nor take action until such time as the matter may appear on the forthcoming agenda.*

### **AGENDA ITEMS**

*For each of the items listed below the public will be provided an opportunity to speak. After a staff report is provided, the chairperson will open the public hearing. At that time the applicant will be allowed five (5) minutes to make a presentation on the case. Members of the public will then be allowed five (5) minutes each to speak. The Development Advisory Board may ask the speakers questions relative to the case and the testimony provided. The question period will not count against your time limit. After all persons have spoken, the applicant will be allowed three minutes to summarize or rebut any public testimony. The chairperson will then close the public hearing portion of the hearing and deliberate the matter.*



## **CONSENT CALENDAR ITEMS**

### **A. MINUTES APPROVAL**

Development Advisory Board Minutes of April 20, 2020, approved as written.

## **PUBLIC HEARING ITEMS**

### **B. ENVIRONMENTAL ASSESSMENT AND TENTATIVE TRACT MAP REVIEW**

**FOR FILE NO. PMTT19-020 (TT 20316)**: A Tentative Tract Map (File No. PMTT19-20 / TT 20316) for condominium purposes to subdivide 56.99 acres of land into 4 numbered residential lots and 12 lettered lots for common areas, portions of the Great Park, private streets, public utility easements and neighborhood landscape edges. The project is located at the northwest corner of Archibald Avenue and Eucalyptus Avenue, within Planning areas 1 thru 4 (Conventionally-Loaded Lane Homes) of the Parkside Specific Plan. The environmental impacts of this project were previously analyzed in an addendum to the Parkside Specific Plan File (No. PSP03-002) EIR (SCH# 2004011008) that was certified by the City Council on September 5, 2006. This application is consistent with the previously adopted EIR and introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP); (APNs: 0218-231-12, 0218-231-14, 0218-231-17, 0218-231-18, 0218-231-19, 0218-231-20, 0218-231-21, 0218-231-28, 0218-231-29, 0218-231-30, 0218-231-33, 0218-231-35 and 0218-231-38) **submitted by SC Ontario Development Company, LLC. Planning Commission action is required.**

#### **1. CEQA Determination**

No action necessary – use of an addendum to a previous EIR

#### **2. File No. PMTT19-020 (TT 20316)**

Motion to recommend Approval/Denial

### **C. ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW**

**FOR FILE NO. PDEV19-064**: A Development Plan to construct 540 single-family homes and a private recreational center on approximately 34.3 acres of land located at the northwest corner of Eucalyptus Avenue and Archibald Avenue, within Planning Areas 1-4 and Planning Area 23 of the Parkside Specific Plan. The environmental impacts of this project were analyzed in an Addendum to the Parkside Specific Plan (File No. PSP03-002) Environmental Impact Report (SCH# 2004011008) certified by the City Council on September 5, 2006. This Application introduces no new significant environmental impacts. All previously adopted mitigation measures shall be a condition of project approval and are incorporated herein by reference. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP); (APNs: 0218-231-35, 0218-231-33, 0218-231-30, 0218-231-29, 0218-231-28, 0218-231-22, 0218-231-21, 0218-231-20, 0218-231-19,

0218-231-18, 0218-231-17, 0218-231-14, and 0218-231-12 ) submitted by The New Home Company. Planning Commission action is required.

1. **CEQA Determination**

No action necessary – use of an addendum to a previous EIR

2. **File No. PDEV19-064** (Development Plan)

Motion to recommend Approval/Denial

- D. **ENVIRONMENTAL ASSESSMENT, DEVELOPMENT PLAN, AND CONDITIONAL USE PERMIT REVIEW FOR FILE NOS. PDEV18-022 AND PCUP18-021**: A Development Plan (File No. PDEV18-022) to construct a 6,870 square-foot industrial building in conjunction with a Conditional Use Permit (File No. PCUP18-021) to establish and operate a towing service, on 3.1 acres of land located at 580 East Belmont Street, within the IL (Light Industrial) zoning district. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15532 (Class 32, In-Fill Development Projects) of the CEQA Guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP); (APNs: 1049-491-01, 1049-491-02 and 1049-491-03) submitted by Four Sisters Enterprises LLC. Planning Commission action is required.

1. **CEQA Determination**

No action necessary – Exempt: CEQA Guidelines §15532

2. **File No. PCUP18-021** (Conditional Use Permit)

Motion to recommend Approval/Denial

3. **File No. PDEV18-022** (Development Plan)

Motion to recommend Approval/Denial

- E. **ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE NO. PDEV19-006**: A Development Plan to construct a 35,737 square foot industrial building on 1.48 acres of land located at 1533 West Holt Boulevard, within the IP (Industrial Park) zoning district. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, In-Fill Development Projects) of the CEQA Guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP); (APN: 1011-111-10) submitted by United Trust Realty Corporation. Planning Commission action is required.

1. **CEQA Determination**

No action necessary – Exempt: CEQA Guidelines §15332

2. **File No. PDEV19-006** (Development Plan)

Motion to recommend Approval/Denial

F. **ENVIRONMENTAL ASSESSMENT, TENTATIVE TRACT MAP, AND DEVELOPMENT PLAN REVIEW FOR FILE NOS. PMTT19-011 (TT 20291) AND PDEV19-043:**

A Tentative Tract Map (File No. PMTT19-011 / TT 20291) to subdivide 0.73-acre of land into a single lot for condominium purposes in conjunction with a Development Plan (File No. PDEV19-043) to construct 18 multiple-family dwellings located at 1005 and 1023 East Sixth Street, within the HDR-45 (High Density Residential - 25.1 to 45.0 DU/Acre) zoning district. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, In-Fill Development Projects) of the CEQA Guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP). (APNs: 1047-172-17 and 1047-172-22) **submitted by TAVK Holding LLC / T&S Allied Investment LLC. Planning Commission action is required.**

1 **CEQA Determination**

No action necessary – Exempt: CEQA Guidelines Section § 15332

2. **File No. PMTT19-011 (TT 20291)**

Motion to recommend Approval/Denial

3. **File No. PDEV19-043** (Development Plan)

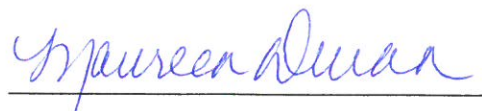
Motion to recommend Approval/Denial

If you wish to appeal a decision of the **Development Advisory Board**, you must do so within ten (10) days of the **Development Advisory Board** action. Please contact the **Planning Department** for information regarding the appeal process.

If you challenge any action of the **Development Advisory Board** in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the **Development Advisory Board** at, or prior to, the public hearing.

The next **Development Advisory Board** meets on **June 1, 2020**.

I, Maureen Duran, Office Specialist of the City of Ontario, or my designee, hereby certify that a true, accurate copy of the foregoing agenda was posted on or before **May 14, 2020**, at least 72 hours prior to the meeting per Government Code Section 54954.2 at 303 East “B” Street, Ontario.



**CITY OF ONTARIO**

**Development Advisory Board**

**Minutes**

**April 20, 2020**

**BOARD MEMBERS PRESENT VIA MICROSOFT TEAMS**

Rudy Zeledon, Chairman, Planning Department  
Kevin Shear, Building Department  
Charity Hernandez, Economic Development Agency  
Bryan Lirley, Engineering Department  
Paul Ehrman, Fire Department  
Joe De Sousa, Housing and Neighborhood Preservation  
Ahmed Aly, Municipal Utilities Company  
Emily Hernandez, Police Department

**BOARD MEMBERS ABSENT**

None

**STAFF MEMBERS PRESENT VIA MICROSOFT TEAMS**

Jeanie Irene Aguilo, Planning Department  
Antonio Alejos, Engineering Department  
Diane Ayala, Planning Department  
Michael Bhatanawin, Engineering Department  
Luis Batres, Planning Department  
Gwen Berendsen, Planning Department  
Maureen Duran, Planning Department  
Naiim Khoury, Engineering Department  
Lorena Mejia, Planning Department  
Alexis Vaughn, Planning Department  
Dean Williams, Engineering Department

**PUBLIC COMMENTS**

No one responded from via telephone.

**CONSENT CALENDAR ITEMS**

- A. APPROVAL OF MINUTES:** Motion to approve the minutes of the March 16, 2020, meeting of the Development Advisory Board was made by Mr. Shear; seconded by Ms. C. Hernandez; and approved by roll-call vote (5-0). Mr. Lirley recused himself as he did not attend this meeting.

**PUBLIC HEARING ITEMS**

**B. ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE NO.**

**PDEV19-014:** A Development Plan to construct a gasoline fueling station (Mobile) and 3,500 square foot convenience store on 0.97-acre of land located at the southwest corner of Philadelphia Street and Archibald Avenue, within the Support Commercial land use district of the Archibald Center Specific Plan. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, In-Fill Development Projects) of the CEQA Guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP); (APN: 1083-011-20). **Submitted by Atabak Youssefzadeh.**

Applicant Atabak Youssefzadeh was present via telephone. Mr. Zeledon asked if Mr. Youssefzadeh had reviewed the conditions. Mr. Youssefzadeh stated he did and agreed with the conditions of approval. Mr. Zeledon asked if there were any written comments or emails at which time Ms. Aguilo stated there were not. Mr. Zeledon entertained a motion for approval.

Motion to approve **File No. PDEV19-014** subject to conditions was made by Mr. Lirley; seconded by Mr. Shear; and approved by roll-call vote (7-0).

**C. ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE NO.**

**PDEV19-062:** A Development Plan to construct one industrial building totaling 61,130 square feet on 3.12 acres of land located at the southeast corner of East Jurupa Street and South Hudson Avenue, within the Light Industrial land use district of the California Commerce Center Specific Plan. The environmental impacts of this project were previously reviewed in conjunction with File No. PSPA18-002, a Specific Plan for which the Final Supplement EIR - California Commerce Center (SCH No. 2006061102) was adopted by the Ontario City Council on June 2, 2007, in conjunction with File No. PSPA06-006. This application introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan; (APNs: 0238-121-30 and 0238-121-31). **Submitted by Newcastle Partners, Inc.**

Mr. Zeledon spoke on this project making a clarification on the environmental description and stated it would be revised to reflect this clarification. Applicant Courtney Smith of Newcastle Partners, Inc., was present via telephone. Mr. Zeledon asked if she had reviewed the conditions of approval, at which time she stated she did. Mr. Zeledon asked Ms. Smith if she was in agreement with the environmental clarification. Ms. Smith stated she was and agreed to the conditions of approval. There were no written comments or emails. Mr. Zeledon entertained a motion for approval.

Motion to approve **File No. PDEV19-062** subject to conditions was made by Ms. E. Hernandez; seconded by Mr. Shear; and approved by roll-call vote (7-0).

- D. ENVIRONMENTAL ASSESSMENT, TENTATIVE PARCEL MAP, AND DEVELOPMENT PLAN REVIEW FOR FILE NOS. PMTT19-013 AND PDEV19-050:** A Tentative Parcel Map (File No. PMTT19-013) to subdivide 5 acres of land into a single parcel, in conjunction with a Development Plan (File No. PDEV19-050) to construct a 104,993 square-foot industrial building, located at the northwest corner of Sunkist Street and Campus Avenue, at 617 East Sunkist Street, within the IL (Light Industrial) zoning district. The environmental impacts of this project were previously analyzed with The Ontario Plan Environmental Impact Report (SCH# 2008101140), certified by the City Council on January 27, 2010, in conjunction with File No. PGPA06-001. This application introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP); (APN: 1049-232-21). **Submitted by Herdman Architecture and Design. Planning Commission action is required.**

Applicant Bridget Herdman of Herdman Architecture and Design was present via telephone. Mr. Zeledon asked if she reviewed the conditions of approval. Ms. Bridget stated she did and agreed to the conditions. There were no written comments or emails. Mr. Zeledon entertained a motion.

Motion recommending approval of **File Nos. PMTT19-013 and PDEV19-050** subject to conditions to the Planning Commission was made by Mr. Shear; seconded by Mr. Lirley and approved by roll-call vote (7-0).

- E. ENVIRONMENTAL ASSESSMENT, TENTATIVE TRACT MAP AND DEVELOPMENT PLAN REVIEW FOR FILE NOS. PMTT19-016 (TT 20308) AND PDEV19-054:** A Tentative Tract Map (File No. PMTT19-016) to subdivide 3.02 acres of land into one numbered lot and two lettered lots for condominium purposes in conjunction with a Development Plan (File No. PDEV19-054) to construct 72 multi-family residential units (Townhomes). The project is located at the southwest corner of Via Alba and Via Villagio, within the Residential land use district of the Piemonte Overlay-Ontario Center Specific Plan. The environmental impacts of this project were previously reviewed in conjunction with File No. PSPA16-003, for which a Mitigated Negative Declaration was adopted by the City Council on May 16, 2017. This application introduces no new significant environmental impacts, and all previously adopted mitigation measures are a condition of project approval. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP); (APNs: 0210-204-40). **Submitted by The New Home Company Southern California LLC. Planning Commission action is required.**

Applicant Holly Slevcove of The New Home Company Southern California, LLC, was present via telephone. Mr. Zeledon asked if she had reviewed the conditions. Ms. Slevcove stated she did, and New Home Company of Southern California agreed with the conditions presented. Mr. Sage McCleve of Lewis Company was present via telephone and spoke on the project. He wished to express his gratitude to the board members as well as the staff members who worked with him on this project. Mr. McCleve also wanted to confirm that the related file, File No. PSPA19-009, would also be going to Planning Commission with these projects. Mr. Zeledon confirmed it would. There were no written comments or emails. Mr. Zeledon entertained a motion.

Motion recommending approval of **File Nos. PMTT19-016 and PDEV19-054** subject to conditions to the Planning Commission was made by Mr. Shear; seconded by Ms. E. Hernandez; and approved by roll-call vote (7-0).



**F. ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE NO.**

**PDEV19-040:** A Development Plan to construct one industrial building totaling 211,358 square feet on 9.34 acres of land located at 1610 and 1612 South Cucamonga Avenue, within the IG (General Industrial) zoning district. The environmental impacts of this project were previously analyzed with The Ontario Plan (File No. PGPA06-001) Environmental Impact Report (SCH# 2008101140) certified by the City Council on January 27, 2010. This application introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP); (APN: 1050-201-02) **submitted by Alere Property Group LLC. Planning Commission action is required.**

Mr. Zeledon asked if a representative for the project was present via telephone at which time there was no response. Ms. Mejia stated she had spoken to the applicant previously and they had no questions or comments. There were no written comments or emails. Mr. Zeledon entertained a motion.

Motion recommending approval of **File No. PDEV19-040** subject to conditions to the Planning Commission was made by Mr. Shear; seconded by Mr. Aly; and approved by roll-call vote (7-0).

There being no further business, the meeting was adjourned.

Respectfully submitted,



Maureen Duran  
Recording Secretary



# Development Advisory Board Decision

May 18, 2020

**DECISION NO.:** [insert #]

**FILE NO.:** PMTT19-020 (TT20316)

**DESCRIPTION:** A Tentative Tract Map (File No. PMTT19-020/TT20316) for condominium purposes to subdivide 56.99 acres of land into 4 numbered residential lots and 12 lettered lots for common areas, portions of the Great Park, private streets, public utility easements and neighborhood landscape edges, located at the northwest corner of Archibald Avenue and Eucalyptus Avenue, within Planning areas 1 thru 4 (Conventionally-Loaded Lane Homes\Detached Green Court Cluster Homes) of the Parkside Specific Plan. (APN(s): 0218-231-12, 14,17-21, 28-30, 33, 35 and 38); **submitted by SC Ontario Development Company, LLC.**

## **Part I—BACKGROUND & ANALYSIS**

SC ONTARIO DEVELOPMENT COMPANY, LLC, (herein after referred to as “Applicant”) has filed an application requesting a Tentative Tract Map approval, File No. PMTT19-020/TT20316, as described in the subject of this Decision (herein after referred to as "Application" or "Project").

(1) **Project Setting:** The project site is comprised of 56.99 acres of land located at northwest corner of Archibald Avenue and Eucalyptus Avenue, within the Planning areas 1 through 4 (Conventionally-Loaded Lane Homes\Detached Green Court Cluster Homes) of the Parkside Specific Plan, and is depicted in Exhibit A—Aerial Photograph, attached. The project site has historically been used for agricultural purposes, primarily for field crop farming. The project site is presently developed and used for crop production. The natural vegetation and soil conditions that once occurred throughout the project area have been significantly altered through agricultural uses, leaving little to no native vegetation. In addition, the project area generally slopes southwest at a slope of approximately 0.8% to 2.0%. Existing land uses, General Plan and zoning designations, and specific plan land uses on and surrounding the project site are as follows:

	<b>Existing Land Use</b>	<b>General Plan Designation</b>	<b>Zoning Designation</b>	<b>Specific Plan Land Use</b>
<b>Site:</b>	Agricultural Corp Production	Medium Density Residential (11.1 – 25 du/ac), Neighborhood Commercial (0.40 FAR) and Open Space-Parkland	Parkside Specific Plan	Planning Areas 1 thru 4 (Conventionally Loaded Lane Homes), 17 and 18 (Townhome), 21 (Great Park), and 22 and 23 (Private Parks)
<b>North:</b>	Agricultural Corp Production	Low Density Residential (2.1 – 5 du/ac)	The Avenue Specific Plan	Low Density Residential
<b>South:</b>	Mass Graded Vacant Land	Low Density Residential (2. Commercial (0.40 FAR) 1 – 5 du/ac)	Subarea 29 Specific Plan	Neighborhood Commercial Conventional Small Low Density Residential
<b>East:</b>	Vacant	Medium Density Residential (11.1 – 25	Grand Park Specific Plan	High Density Residential

	<b>Existing Land Use</b>	<b>General Plan Designation</b>	<b>Zoning Designation</b>	<b>Specific Plan Land Use</b>
		du/ac) and Open Space-Parkland		Great Park
West:	Cucamonga Creek Channel	Open Space-Non-Recreation	Cucamonga Creek Channel	N/A

(2) **Project Description:**

(a) **Background** — The Parkside Specific Plan and the Environmental Impact Report (EIR) were approved by the City Council in September 2006. The Parkside Specific Plan established the land use designations, development standards, design guidelines and development capacity of 1,947 residential units and 115,000 square feet of commercial uses for the Specific Plan area. The Specific Plan is comprised of twenty-six (26) land use districts, incorporating nineteen (19) distinctive neighborhoods and offering a variety of residential products.

On July 25, 2006, the Planning Commission approved Tentative Tract Map 18048 (“A” Map) to facilitate the backbone infrastructure improvements (major streets, sewer, water and storm drain facilities) and the creation of a parcel lot for the future City Fire Station 9, recreational facility, parks and residential neighborhoods within the eastern portion of the Specific Plan area. Subsequently, on December 15, 2014, the Planning Commission approved Tentative Tract Map 18998 (File No. PMTT14-021), that revised the original approved Tentative Tract Map 18048 (“A” Map) to allow for the phasing of the map into two phases, reconfigure the previous loop street into two separate streets (Parkside Drive and Park Vista Drive), and merge various lots into single lots. The phasing of the Tentative Tract Map provided for the orderly build-out of the backbone infrastructure and laid the groundwork for the future “B” maps, further subdividing the parcels into residential neighborhoods.

The Applicant, SC Ontario Development Company, LLC, is requesting approval of Tentative Tract Map 20316 (File No. PMTT19-20) for condominium purposes to subdivide 56.99 acres of land into four (4) numbered residential lots and twelve (12) lettered lots for common areas, portions of the Great Park, private streets, public utility easements and neighborhood landscape edges. The project is located at the northwest corner of Archibald Avenue and Eucalyptus Avenue, within Planning areas 1 thru 4 (Conventionally-Loaded Lane Homes/Detached Green Court Cluster Homes) of the Parkside Specific Plan. In conjunction, with the Tentative Tract Map Application, the Applicant has submitted an Amendment to the Parkside Specific Plan (File No. PSPA19-007) to: [1] Reconfigure the residential Planning Areas 1 through 4, and 17 through 19; [2] Reconfigure the Great Park Planning Area 22 (east of the Cucamonga Creek Channel); [3] Revise internal circulation to improve access into the neighborhood commercial Planning Area 19; [4] Update and revise Residential Design Guidelines (Sections 7.1 through 7.6) to introduce new housing types and architectural styles; and [5] Update and revise Landscape Standards (Section 7.7). Approval of the proposed Tentative Tract Map (File No. PMTT19-020/TT20316) will be contingent upon Planning Commission and City Council Approval.

In addition, the proposed Tentative Tract Map 20316 will facilitate a Development Plan (File No. PDEV19-064), submitted by the New Home Company, to construct 540 conventional land loaded single family homes. The Development Plan will require Planning Commission review and approval.

(b) **Tract Map Subdivision** - The Tentative Tract Map 20316 proposes to subdivide 56.99 acres of land into four (4) numbered residential lots for condominium purposes and twelve (12) lettered lots for common areas, portions of the Great Park, private streets, public utility easements and neighborhood landscape edges. The 4 residential lots will provide for (Lots 1-4) for detached single-family conventional lane loaded and detached green court condominium homes. The lots range in size from 2.40 to 14.59 acres, consistent with the development regulations and standards of the Parkside Specific Plan. The twelve (12) lettered lots will accommodate the following:

- 1) Lot A: 1.32-acre private recreational facility.
- 2) Lots B, C and D: 16.84 acres of the Great Park.
- 3) Lots G and H: 50-foot wide landscaped "Neighborhood Edge" along the west side of Archibald Avenue.
- 4) Lots E and F: 35-foot wide Landscape "Neighborhood Edge" along the north side of Eucalyptus Avenue.
- 5) Lots J, K and L: Private interior tract streets with public utility easements.
- 6) Lot I: Provide an access road from Eucalyptus Avenue to the Cucamonga Creek Channel to the future regional trail.

The Tentative Tract Map will also implement the required infrastructure improvements to serve the site. These improvements include the backbone infrastructure and the internal street circulation for the residential neighborhoods (Private Streets A, B, C, E, F, G, H, I and J). The portion of the Great Park will be constructed at a future time. As part of the related Development Agreement (File No. PDA05-002), the Parkside Specific Plan will be developed in four phases. The first phase of the Development Agreement includes the following Infrastructure improvements:

- Archibald Avenue: The NMC builders have constructed the street improvements along the projects Archibald Avenue frontage that include, curb/gutter, four south bound lanes, a 26-foot-wide median, two north bound lanes and signalized in intersection at Archibald Avenue and Eucalyptus Avenue. The project will be required to construct the 50 wide neighborhood edge, along the projects Archibald Avenue frontage, that will include a 7-foot parkway, 5-foot sidewalk, an 8-foot wide multipurpose trail and 35-foot-wide landscape edge.
- Eucalyptus Avenue: Full half street improvements (two lanes, curb, gutter, sidewalk/parkway and neighborhood edge), from Archibald Avenue to Eucalyptus Avenue bridge approach slab. This includes two westbound lanes, curb, gutter, sidewalk, neighborhood edge, traffic signed at the primary community entrance, stripped median, one eastbound lane and a 5-foot shoulder on the south side of Eucalyptus along the project frontage. In addition, Eucalyptus Avenue Cucamonga Creek Channel bridge improvements (widening) will required.
- Parkside Drive: The project will construct Parkside Drive to its full width of 60 feet, that includes a 12-foot-wide parkway (7-foot landscape parkway and 5-foot sidewalk) on each side of the drive. Parkside Drive will be improved north to the City's future Fire Station 9. The City will be responsible to complete Parkside Drive as part of the development of the Fire Station 9.

Pursuant to the Development Agreement the City and the Applicant will jointly develop a plan for the timing and phasing of the development, funding, completion, and acquisition of each phase of design and construction of the Great Park.

(c) Site Access/Circulation - The project will have primary access from Eucalyptus Avenue, through signalized intersection. Secondary access will be provided from Parkside Drive, located on the northeast area of site, with access to Archibald Avenue.

(d) Open Space - The Tentative Tract Map will facilitate the construction of a 2.78-acre neighborhood park, sidewalks, parkways, and open space areas within the tract. TOP Policy PR1-1 requires new developments to provide a minimum of 2 acres of Private Park per 1,000 residents. The proposed project is required to provide 4.1 acres parkland to meet the minimum TOP private park requirement. To satisfy the park requirement, as part of the Development Agreement, the applicant will be required to construct and transfer the portions of the Great Park identified in the Parkside Specific Plan in four (4) phases to the City. In addition, the applicant (Owner) will enter a Development Impact Fee (DIF) credit and Reimbursement Agreement with City for the design and construction of the Great Park areas.

(e) CC&R's - As a Condition of Approval, CC&R's will be required to be prepared and recorded with the final map. The CC&R's will outline the maintenance responsibilities for the open space areas, recreation amenities, drive aisles, utilities and upkeep of the entire site to ensure the on-going maintenance of the common areas and facilities.

## **Part II—RECITALS**

WHEREAS, the Application is a project pursuant to the California Environmental Quality Act (Public Resources Code Section 21000 et seq.) ("CEQA") and an initial study has been prepared to determine possible environmental impacts; and

WHEREAS, the Parkside Specific Plan Environmental Impact Report (State Clearinghouse No. 2004011008) was certified on September 5, 2006, (hereinafter referred to as "Certified EIR"), in which development and use of the Project site was discussed; and

WHEREAS The environmental impacts of this project were analyzed in an Addendum to the Parkside Specific Plan (File No. PSP03-002) Environmental Impact Report (SCH# 2004011008) certified by the City Council on September 5, 2006. The City's "Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed. This Application introduces no new significant environmental impacts. All previously adopted mitigation measures shall be a condition of project approval, as they are applicable, and are incorporated herein by this reference; and

WHEREAS, the City's "Local Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board (hereinafter referred to as "DAB") the responsibility and authority to review and make recommendations to the Planning Commission on the subject Application; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan (hereinafter referred to as "ALUCP"), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, on May 18, 2020, the DAB of the City of Ontario conducted a hearing on the Application and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.

### **Part III—THE DECISION**

NOW, THEREFORE, IT IS HEREBY FOUND AND DETERMINED by the Development Advisory Board of the City of Ontario, as follows:

**SECTION 1: Housing Element Compliance.** Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the recommending body for the Project, the Development Advisory Board finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan. The project site is one of the properties listed in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix, and the proposed project is consistent with the number of dwelling units (540) and density (12 to 18 DU/Acre) specified in the Available Land Inventory. Per the Available Land Inventory, the Parkside Specific Plan is required to provide 1,947 dwelling units with an overall density range of between 9 and 21 DU/AC.

**SECTION 2: ALUCP Compliance.** The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land use Compatibility Plan, establishing the Airport Influence Area for Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the recommending body for the Project, the DAB has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the DAB, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

**SECTION 3: Concluding Facts and Reasons.** Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the facts and information set forth in Parts I (Background and Analysis) and II (Recitals), above, and the determinations set forth in Sections 1 and 2, above, the DAB hereby concludes as follows:

(1) **The proposed Tentative Tract/Parcel Map is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan, and applicable area and specific plans, and planned unit developments.** The proposed Tentative Tract/Parcel Map is located within the Medium Density Residential (11.1 – 25 du/ac) land use district of the Policy Plan Land Use Map, and the Planning areas 1 thru 4 (Conventionally-Loaded Lane Homes\Detached Green Court Cluster Homes), 17 and 18 (Townhome), 21 (Great Park), and 22 and 23 (Private Parks) of the Parkside Specific Plan. The proposed subdivision is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan, as the project will contribute to providing “a spectrum of housing types and price ranges that match the jobs in the City, and that make it possible for people to live and work in Ontario and maintain a quality of life” (Goal LU1). Furthermore, the project will promote the City’s policy to



“incorporate a variety of land uses and building types that contribute to a complete community where residents at all stages of life, employers, workers, and visitors, have a wide spectrum of choices of where they can live, work, shop, and recreate within Ontario” (Policy LU1-6 *Complete Community*).

(2) ***The design or improvement of the proposed Tentative Tract/Parcel Map is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan, and applicable specific plans and planned unit developments.*** The proposed Tentative Tract is located within the Medium Density Residential (11.1 – 25 du/ac) land use district of the Policy Plan Land Use Map, and the Planning areas 1 thru 4 (Conventionally-Loaded Lane Homes\Detached Green Court Cluster Homes), 17 and 18 (Townhome), 21 (Great Park), and 22 and 23 (Private Parks) of the Parkside Specific Plan. The proposed design or improvement of the subdivision is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan, as the project will contribute to providing “[a] high level of design quality resulting in public spaces, streetscapes, and developments that are attractive, safe, functional and distinct” (Goal CD2). Furthermore, the project will promote the City’s policy to “create distinct residential neighborhoods that are functional, have a sense of community, emphasize livability and social interaction, and are uniquely identifiable places through such elements as:

- A pattern of smaller, walkable blocks that promote access, activity and safety
- Variable setbacks and parcel sizes to accommodate a diversity of housing types
- Traffic calming measures to slow traffic and promote walkability while maintaining acceptable fire protection and traffic flows
- Floor plans that encourage views onto the street and de-emphasize the visual and physical dominance of garages (introducing the front porch as the “outdoor living room”), as appropriate
- Landscaped parkways, with sidewalks separated from the curb.” (Policy CD2-2 *Neighborhood Design*)

(3) ***The site is physically suitable for the type of development proposed.*** The project site meets the minimum lot area and dimensions of Planning areas 1 thru 4 (Conventionally-Loaded Lane Homes\Detached Green Court Cluster Homes), 17 and 18 (Townhome), 21 (Great Park), and 22 and 23 (Private Parks) of the Parkside Specific Plan, and is physically suitable for the type of residential and open space development proposed in terms of zoning, land use and development activity proposed, and existing and proposed site conditions.

(4) ***The site is physically suitable for the density/intensity of development proposed.*** The project site is proposed for residential and open space development at [a density of 13.5 DUs/acre (Planning Areas 1-4). The project site meets the minimum lot area and dimensions of the Planning areas 1 thru 4 (Conventionally-Loaded Lane Homes\Detached Green Court Cluster Homes) and 17 and 18 (Townhome), of the Parkside Specific Plan, and is physically suitable for this proposed density / intensity of development.

(5) ***The design of the subdivision or the proposed improvements thereon, are not likely to cause substantial environmental damage, or substantially and avoidably injure fish or wildlife, or their habitat.*** The project site is not located in an area that has been identified as containing species identified as a candidate, sensitive, or special status species in local or regional plans, policies or regulations or by the California Department of Fish and Wildlife or the U.S. Fish and Wildlife Service, nor does the site contain any riparian habitat or other sensitive natural community, and no wetland habitat is present on site; therefore, the design of the subdivision, or improvements proposed thereon, are not likely to cause substantial environmental damage, or substantially and avoidably injure fish or wildlife, or their habitat.

(6) ***The design of the subdivision, or the type of improvements thereon, are not likely to cause serious public health problems.*** The design of the proposed subdivision, and the infrastructure improvements existing or proposed on the project site, are not likely to cause serious public health

problems, as The project is not anticipated to involve the transport, use, or disposal of hazardous materials during either construction or project implementation, include the use of hazardous materials or volatile fuels, nor are there any known stationary commercial or industrial land uses within close proximity to the subject site that use/store hazardous materials to the extent that they would pose a significant hazard to visitors or occupants to the project site.

(7) **The design of the subdivision, or the type of improvements thereon, will not conflict with easements acquired by the public at large for access through, or use of property within, the proposed subdivision.** The proposed subdivision has provided for all necessary public easements and dedications for access through, or use of property within, the proposed subdivision. Furthermore, all such public easements and dedications have been designed pursuant to: (a) the requirements of the Policy Plan component of The Ontario Plan and applicable area plans; (b) applicable specific plans or planned unit developments; (c) applicable provisions of the City of Ontario Development Code; (d) applicable master plans and design guidelines of the City; and (e) applicable Standard Drawings of the City.

**SECTION 4: Development Advisory Board Action.** Based on the findings and conclusions set forth in Sections 1 through 3, above, the DAB hereby recommends the Planning Commission APPROVES the Application subject to each and every condition set forth in the Department reports included as Attachment A of this Decision, and incorporated herein by this reference.

**SECTION 5: Indemnification.** The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**SECTION 6: Custodian of Records.** The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

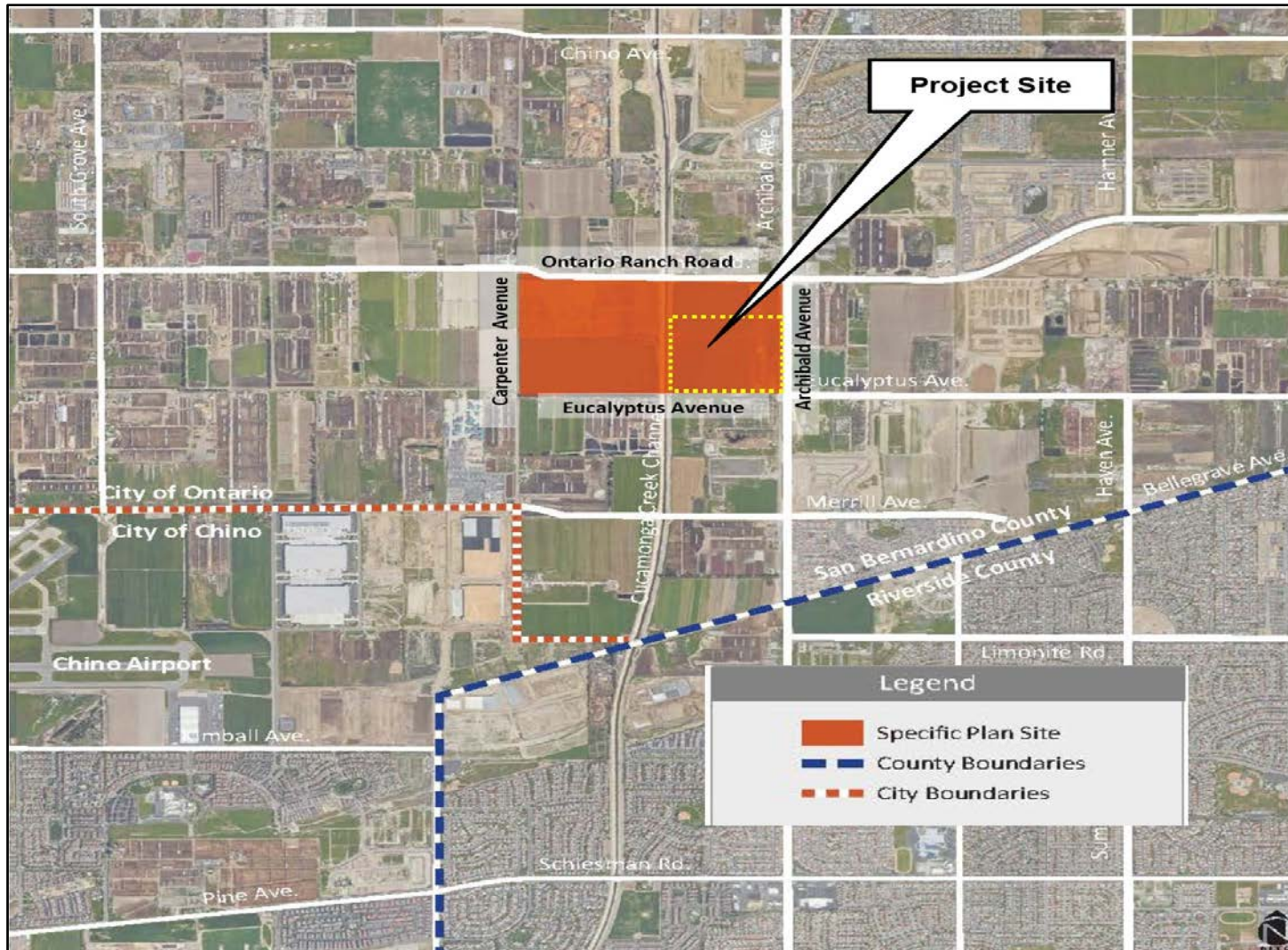
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APPROVED AND ADOPTED this 18<sup>th</sup> day of May 2020.

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Development Advisory Board Chairman

**Exhibit A—PROJECT LOCATION MAP**



**Exhibit B—Specific Plan Land Use Plan**

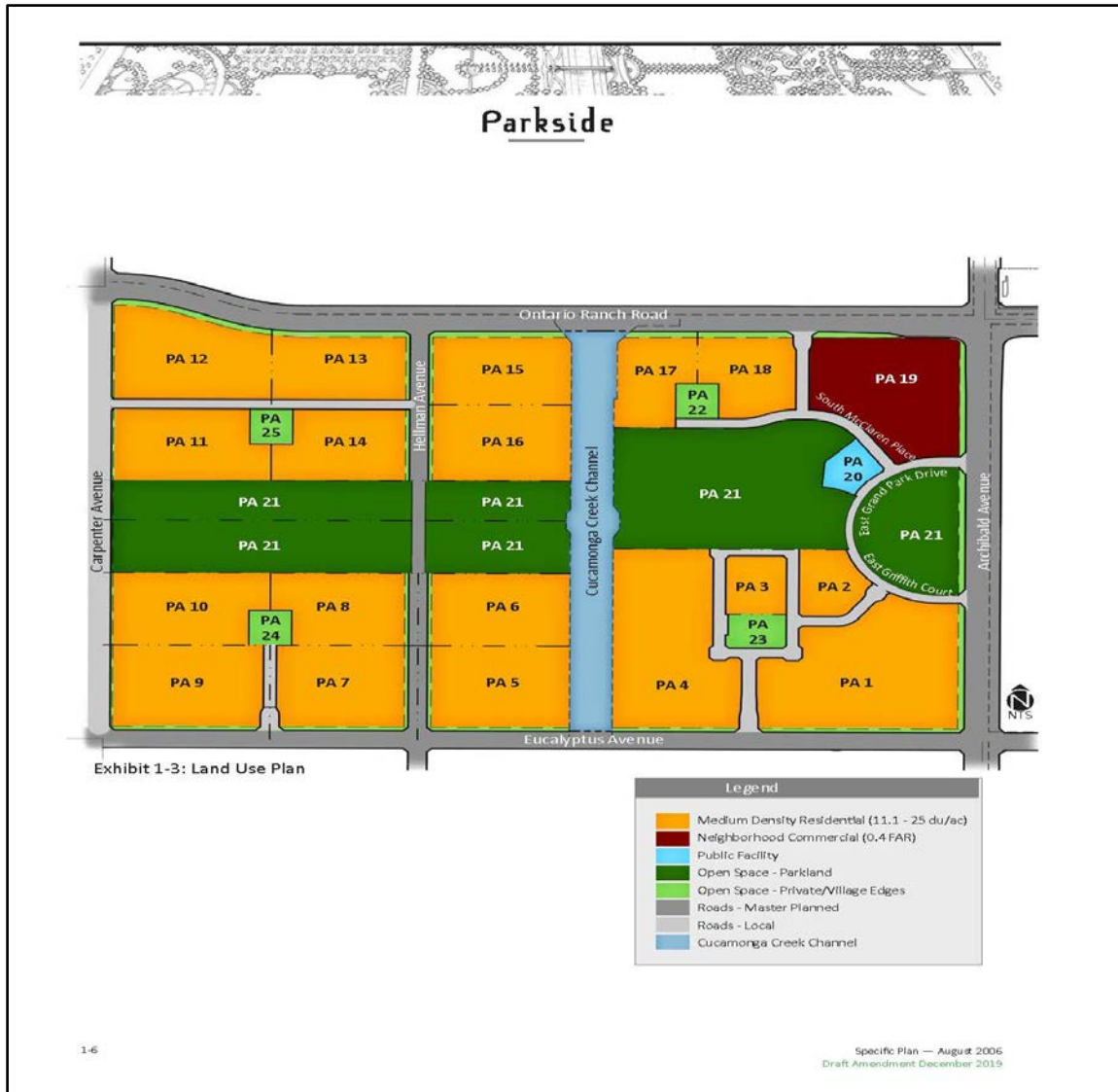






Exhibit C—Tentative Tract Map 20316 Continued

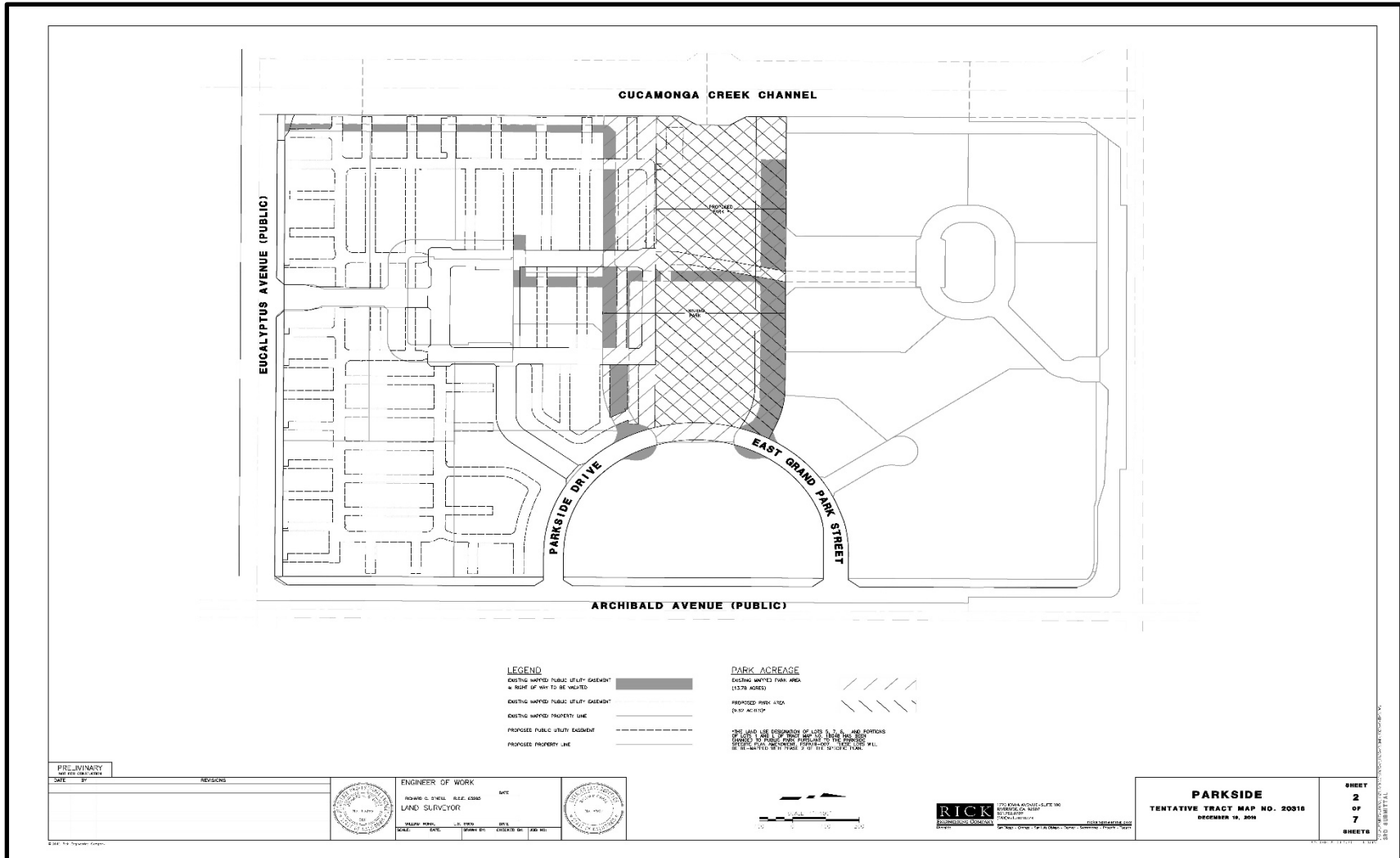




Exhibit C—Tentative Tract Map 20316 Continued

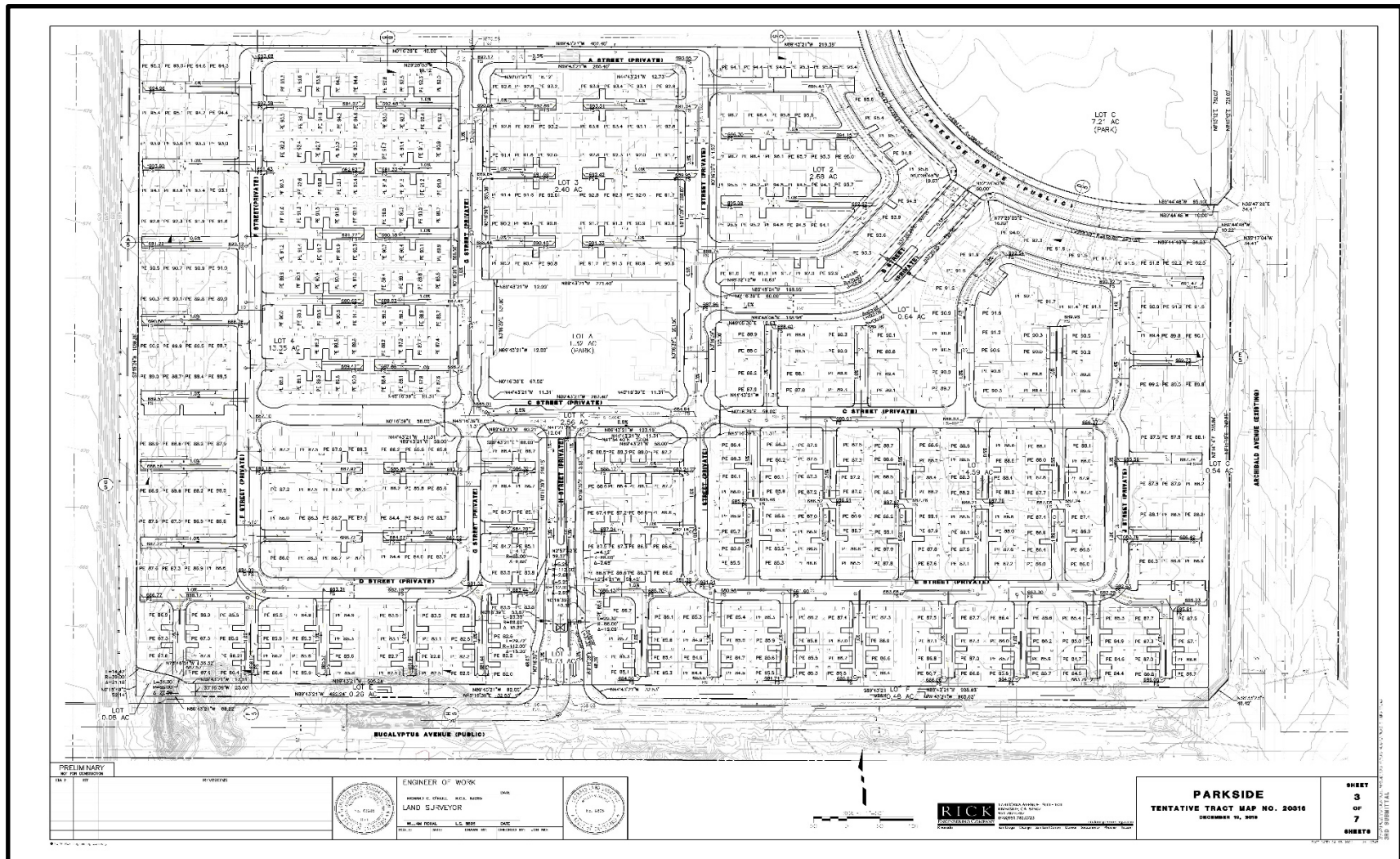


Exhibit C—Tentative Tract Map 20316 Continued

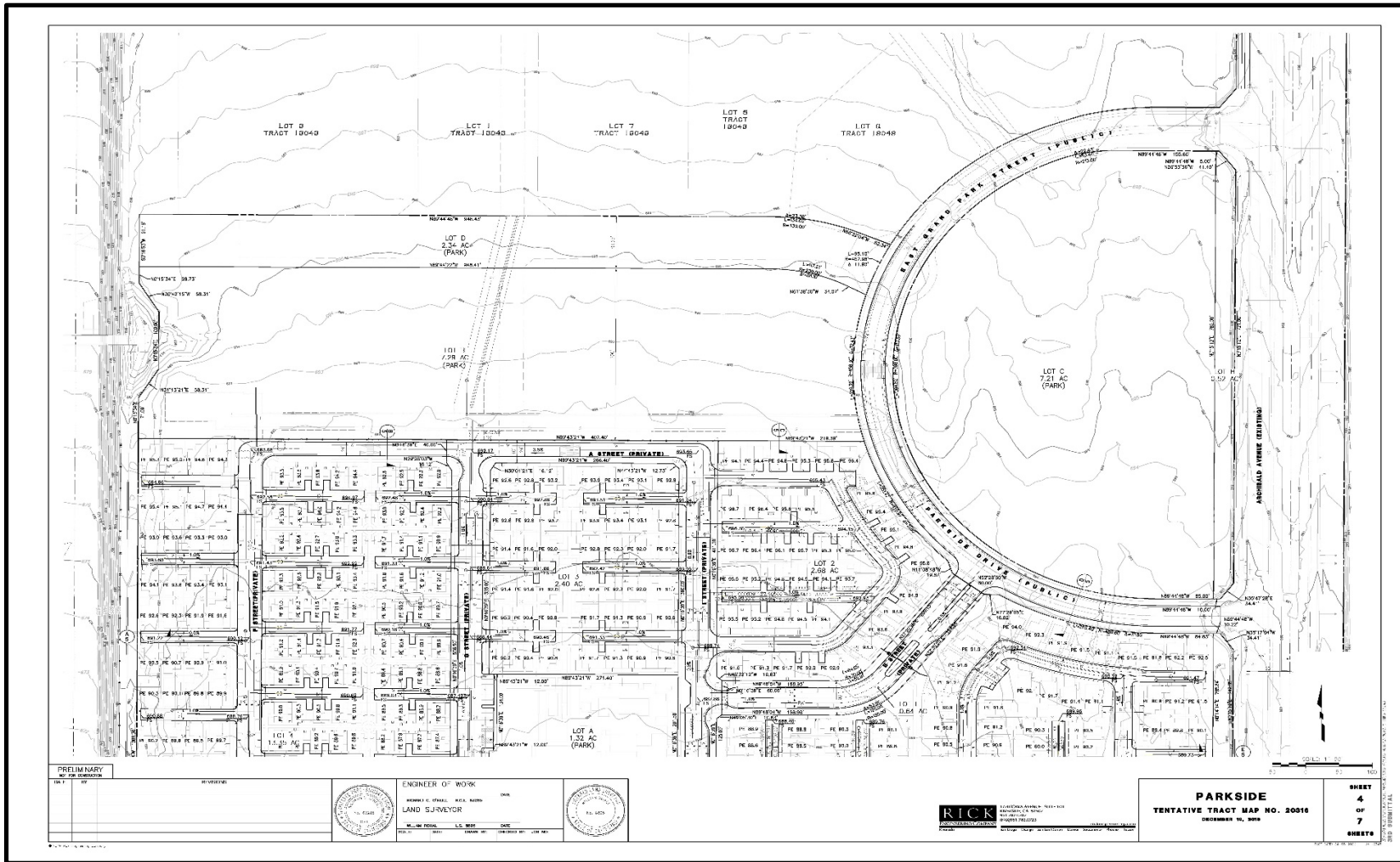


Exhibit C—Tentative Tract Map 20316 Continued

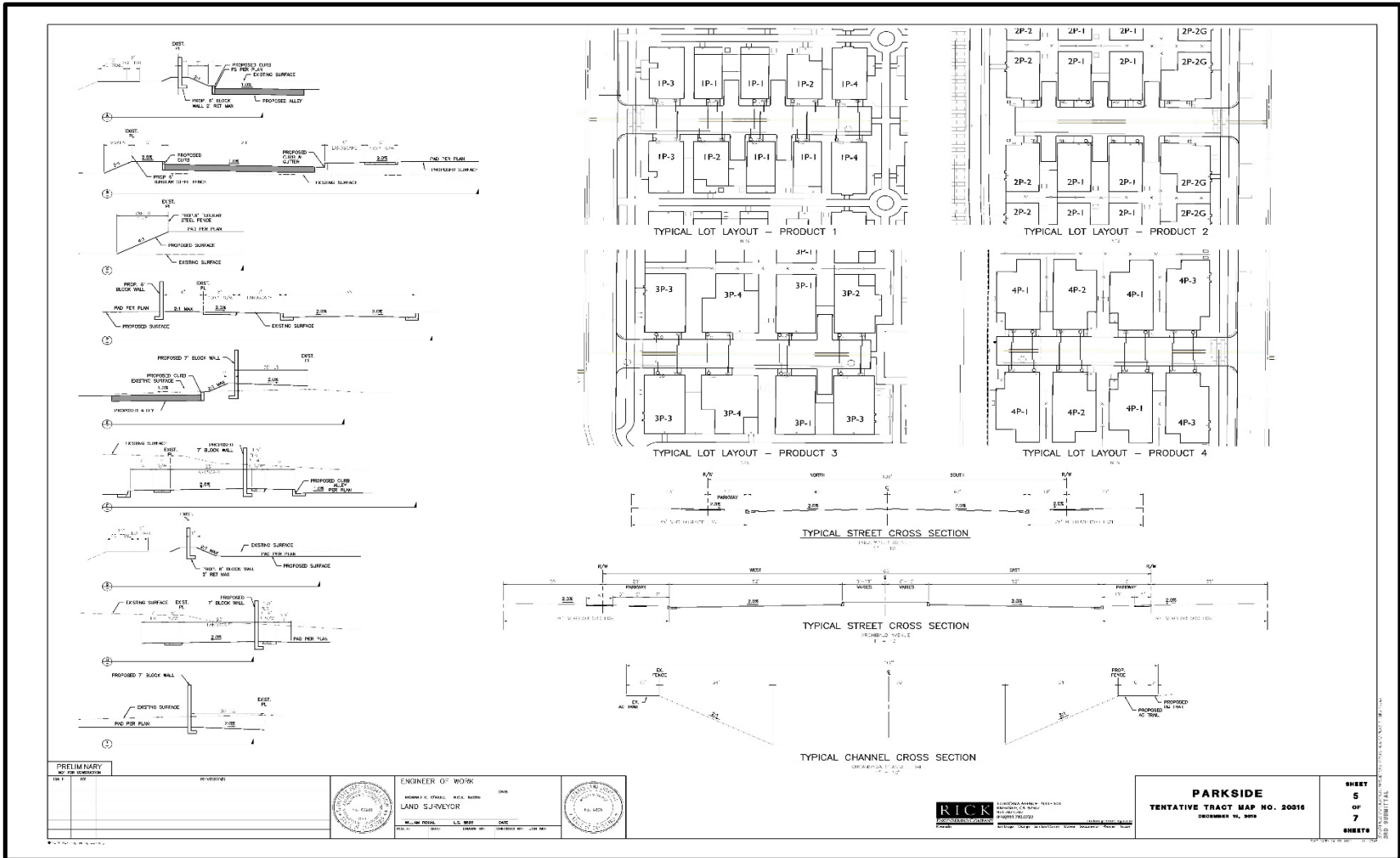
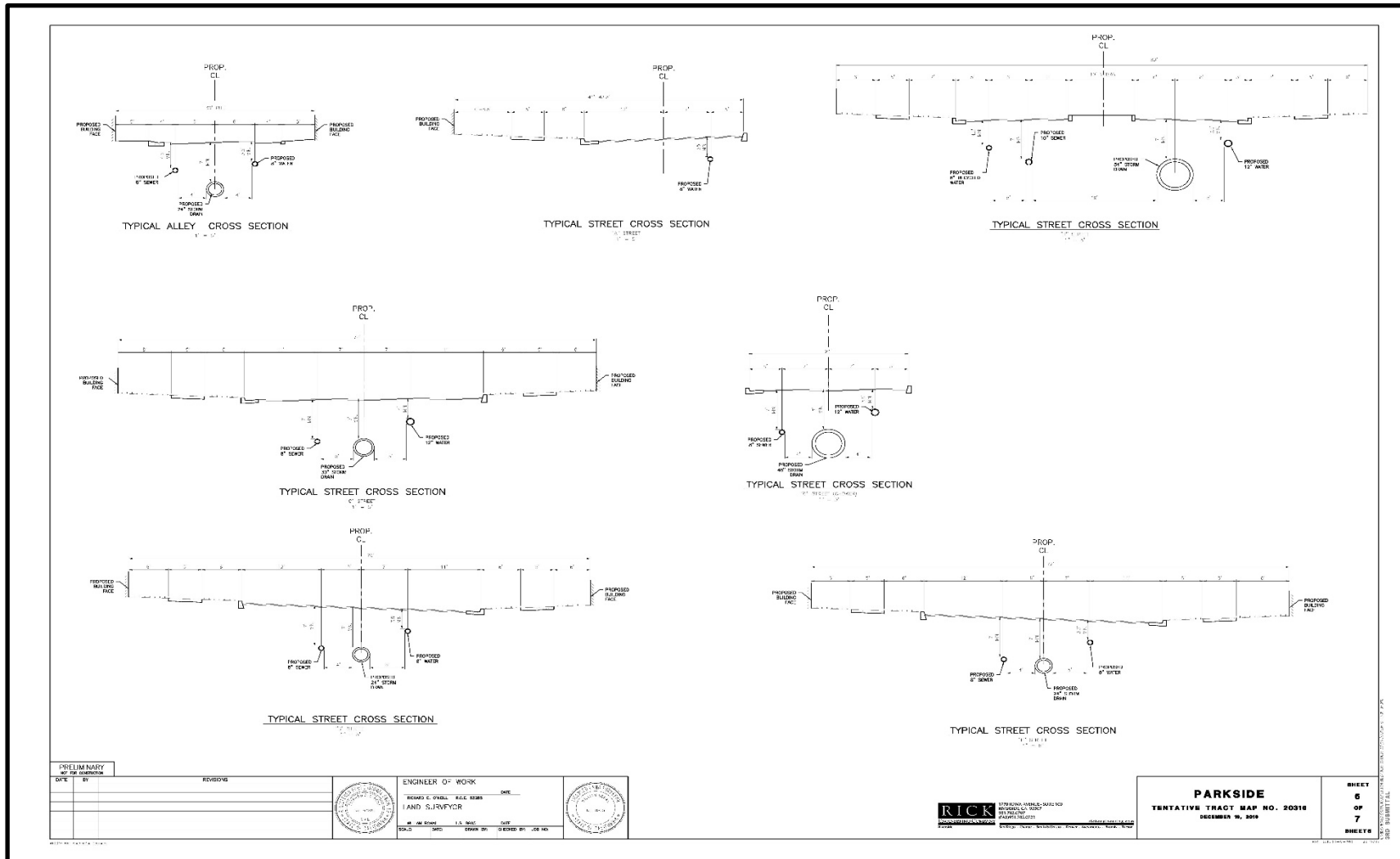




Exhibit C—Tentative Tract Map 20316 Continued



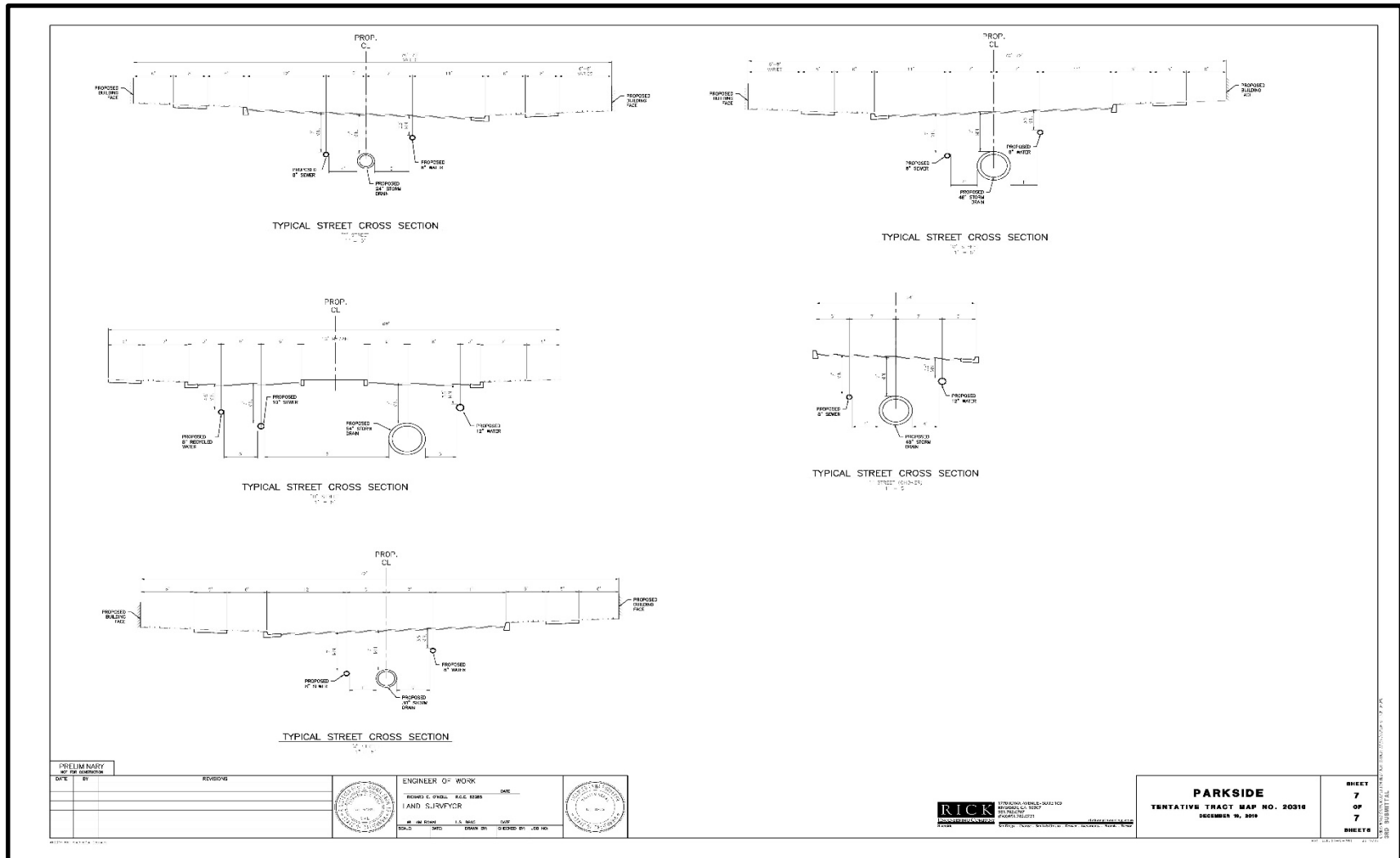
PRELIMINARY		REVISIONS			ENGINEER OF WORK RICK C. PHELPS, R.E. 2288 LAND SURVEYOR	
DATE	BY					

**RICK**  
 1779 POMA AVENUE, SUITE 102  
 BAYVIEW, CA 94027  
 (415) 338-7777  
 WWW.RICKSURVEYING.COM

**PARKSIDE**  
 TENTATIVE TRACT MAP NO. 20316  
 DECEMBER 16, 2019

SHEET  
**6**  
 OF  
**7**  
 SHEETS

Exhibit C—Tentative Tract Map 20316 Continued



## Attachment A—Departmental Conditions of Approval

*(Departmental conditions of approval follow this page)*





City of Ontario  
Planning Department  
303 East B Street  
Ontario, California 91764  
Phone: 909.395.2036  
Fax: 909.395.2420

## ***Planning Department Land Development Division Conditions of Approval***

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**Meeting Date:** May 18, 2020  
**File No:** PMTT19-020 (TT20316)  
**Related Files:** PSPA19-007 and PDEV19-064

**Project Description:** A Tentative Tract Map (File No. PMTT19-20/TT20316) for condominium purposes to subdivide 56.99 acres of land into 4 numbered residential lots and 12 lettered lots for common areas, portions of the Great Park, private streets, public utility easements and neighborhood landscape edges, located at the northwest corner of Archibald Avenue and Eucalyptus Avenue, within Planning areas 1 thru 4 (Conventionally-Loaded Lane Homes) of the Parkside Specific Plan (APN(s): 0218-231-12, 14, 17-21, 28-30, 33, 35 and 38); **submitted by SC Ontario Development Company, LLC.**

**Prepared By:** Rudy Zeledon, Assistant Planning Director  
Phone: 909.395.2422 (direct)  
Email: rzeledon@ontarioca.gov

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The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

**1.0 Standard Conditions of Approval.** The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

**2.0 Special Conditions of Approval.** In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

**2.1** The approval of Tentative Tract Map 20316 is contingent upon City Council approval the Amendment to the Parkside Specific Plan, File No. PSPA19-007.

**2.2** The approval of Tentative Tract Map 20316 is contingent upon City Council approval of the 4<sup>th</sup> Amendment the Development Agreement, File No. PDA05-002.

**2.3** Time Limits.

**(a)** Tentative Tract Map approval shall become null and void 2 years following the effective date of application approval or as specified in the related Development Agreement (File No. PDA05-002), unless the final parcel/tract map has been recorded, or a time extension has been approved by the Planning Commission pursuant to Development Code Section 2.02.025 (Time Limits and Extensions). This Permit does not supersede any individual time limits specified herein for performance of specific conditions or improvements.

**(b)** Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced,

and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

**2.4**     Subdivision Map.

**(a)**     The Final Tract Map shall be in conformance with the approved Tentative Tract Map on file with the City. Variations from the approved Tentative Tract Map may be reviewed and approved by the Planning Department. A substantial variation from the approved Tentative Tract Map may require review and approval by the Planning Commission, as determined by the Planning Director.

**(b)**     Tentative Tract Map approval shall be subject to all conditions, requirements and recommendations from all other departments/agencies provided on the attached reports/memorandums.

**(c)**     The subject Tentative Tract Map for condominium purposes shall require the recordation of a condominium plan concurrent with the recordation of the Final Tract Map and CC&Rs.

**(d)**     Pursuant to California Government Section 66474.9, the subdivider agrees that it will defend, indemnify, and hold harmless the City of Ontario or its agents, officers and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer of this subdivision, which action is brought within the time period provided for in Government Code Section 66499.37. The City of Ontario shall promptly notify the subdivider of any such claim, action or proceeding and the City of Ontario shall cooperate fully in the defense.

**2.5**     General Requirements. The Project shall comply with the following general requirements:

**(a)**     All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

**(b)**     The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

**(c)**     The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

**2.6**     Landscaping.

**(a)**     The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

**(b)**     Comply with the conditions of approval of the Planning Department; Landscape Planning Division.

**(c)**     Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

**(d)**     Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be

resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

**2.7** Walls and Fences. All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions) and Parkside Specific Plan standards and design criteria.

**2.8** Covenants, Conditions and Restrictions (CC&Rs)/Mutual Access and Maintenance Agreements.

(a) CC&Rs shall be prepared for the Project and shall be recorded prior to the issuance of a building permit.

(b) The CC&Rs shall be in a form and contain provisions satisfactory to the City. The articles of incorporation for the property owners association and the CC&Rs shall be reviewed and approved by the City.

(c) CC&Rs shall ensure reciprocal parking and access between parcels.

(d) CC&Rs shall ensure reciprocal parking and access between parcels, and common maintenance of:

(i) Landscaping and irrigation systems within common areas;

(ii) Landscaping and irrigation systems within parkways adjacent to the project site, including that portion of any public highway right-of-way between the property line or right-of-way boundary line and the curb line and also the area enclosed within the curb lines of a median divider (Ontario Municipal Code Section 7-3.03), pursuant to Ontario Municipal Code Section 5-22-02;

(iii) Shared parking facilities and access drives; and

(iv) Utility and drainage easements.

(e) CC&Rs shall include authorization for the City's local law enforcement officers to enforce City and State traffic and penal codes within the project area.

(f) The CC&Rs shall grant the City of Ontario the right of enforcement of the CC&R provisions.

(g) The CC&Rs shall include a parking (garage kept clear for vehicles) and solid waste enforcement plan.

(h) A specific methodology/procedure shall be established within the CC&Rs for enforcement of its provisions by the City of Ontario, if adequate maintenance of the development does not occur, such as, but not limited to, provisions that would grant the City the right of access to correct maintenance issues and assess the property owners association for all costs incurred.

**2.9** Disclosure Statements.

(a) A copy of the Public Report from the Department of Real Estate, prepared for the subdivision pursuant to Business and Professions Code Section 11000 et seq., shall be provided to each prospective buyer of the residential units and shall include a statement to the effect that:

(i) This tract is subject to noise from the Ontario International Airport and may be more severely impacted in the future.

(ii) Some of the property adjacent to this tract is zoned for agricultural uses and there could be fly, odor, or related problems due to the proximity of animals.

(iii) The area south of Riverside Drive lies within the San Bernardino County Agricultural Preserve. Dairies currently existing in that area are likely to remain for the foreseeable future.

(iv) This tract is part of a Landscape Maintenance District. The homeowner(s) will be assessed through their property taxes for the continuing maintenance of the district.

#### **2.10** Environmental Review.

(a) The environmental impacts of this project were analyzed in an Addendum to the Parkside Specific Plan (File No. PSP03-002) Environmental Impact Report (SCH# 2004011008) certified by the City Council on September 5, 2006. This application introduces no new significant environmental impacts. The City's "Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed. This Application introduces no new significant environmental impacts. All previously adopted mitigation measures are a condition of project approval, and are incorporated herein by this reference. All previously adopted mitigation measures shall be a condition of project approval, as they are applicable, and are incorporated herein by this reference.

(b) If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

(c) If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

**2.11** Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

#### **2.12** Additional Fees.

(a) Within 5 days following final application approval, the Notice of Determination (NOD) filing fee shall be provided to the Planning Department. The fee (\$50.00) shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act (CEQA). Failure to provide said fee within the time specified may result in a 180-day extension to the statute of limitations for the filing of a CEQA lawsuit.

(b) After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

#### **2.13** Additional Requirements.

(a) The applicant shall contact the Ontario Post Office to determine the size and location of mailboxes for this project. In addition, the location and design of the mailboxes shall be reviewed and approved by the Planning Department.

(b) Street naming and address numbering shall be consistent with Article 32, Section 9-13280 of the Development Code and subject to Planning, Building and Fire Department review and approval.

(c) Prior to the issuance of grading permits, (Rough or Precise Grading). Mitigation Measures (MM), from the Parkside Specific Plan EIR, pertaining to Grading Activities must be met prior to issuance of grading permits.

(d) Dairy Separation Requirement for Residential Development:

The following separation requirements from existing dairies/feed lots shall apply to new residential development or structures used for public assembly purposes from existing dairies/feed lots. A minimum 100' separation shall be required between a new residential, commercial or industrial development or structure used for public assembly and an existing animal feed trough, corral/pen or an existing dairy/feed lot including manure stockpiles and related wastewater detention basins. The 100-foot separation requirement may be satisfied by an off-site easement acceptable to the Planning Director with adjacent properties, submitted with the initial final map and recorded prior to or concurrent with the final map.

#### 2.14 Tribal Consultation

At the request of The Gabrieleno Band of Missions Indians – Kizh Nation, the applicant shall contact the tribal Chairman, Andrew Sales (<http://www.gabrielenoindians.org/>), prior to grading activities and shall be subject to following conditions:

(a) The project developer shall retain a Native American Monitor of Gabrieleño Ancestry to conduct a Native American Indian Sensitivity Training for construction personnel prior to commencement of any excavation activities. The training session shall include a handout and focus on how to identify Native American resources encountered during earthmoving activities and the procedures followed if resources are discovered, the duties of the Native American Monitor of Gabrieleño Ancestry and the general steps the Monitor would follow in conducting a salvage investigation.

(b) The project developer shall retain a Native American Monitor of Gabrieleño Ancestry to be on-site during all project-related, ground-disturbing construction activities (e.g., pavement removal, auguring, boring, grading, excavation, potholing, trenching, and grubbing) of previously undisturbed native soils to a maximum depth of 30 feet below ground surface. At their discretion, a Native American Monitor of Gabrieleño Ancestry can be present during the removal of dairy manure to native soil, but not at the developers' expense.

(c) A qualified archaeologist and a Native American Monitor of Gabrieleño Ancestry shall evaluate all archaeological resources unearthed by project construction activities. If the resources are Native American in origin, the Tribe shall coordinate with the developer regarding treatment and curation of these resources. Typically, the Tribe will request reburial or preservation for educational purposes. If archeological features are discovered, the archeologist shall report such findings to the Ontario Planning Director. If the archeological resources are found to be significant, the archeologist shall determine the appropriate actions, in cooperation with the City that shall be taken for exploration and/or salvage in compliance with CEQA Guidelines Section 15064.5(f).

(d) Prior to the start of ground disturbing activities, the developer shall arrange a designated site location within the footprint of the project for the respectful reburial of Tribal human remains and/or ceremonial objects. All human skeletal material discoveries shall be reported immediately to the County Coroner. The Native American Monitor shall immediately divert work a minimum of 50 feet from the discovery site and place an exclusion zone around the burial. The Native American Monitor shall notify the

construction manager who shall contact the San Bernardino County Coroner. All construction activity shall be diverted while the San Bernardino County Coroner determines if the remains are Native American. The discovery shall be confidential and secure to prevent further disturbance. If Native American, the San Bernardino County Coroner shall notify the Native American Heritage Commission (NAHC) as mandated by state law who will then appoint a Most Likely Descendent. In the case where discovered human remains cannot be documented and recovered on the same day, the remains shall be covered with muslin cloth and a steel plate that can be moved by heavy equipment placed over the excavation opening to protect the remains. If this type of steel plate is not available, a 24-hour guard shall be posted outside working hours. The Tribe shall make every effort to recommend diverting the project and keep the remains in situ and protected. If the project cannot be diverted, it may be determined that burials will be removed. If data recovery is approved by the Tribe, documentation shall be taken, which includes at a minimum detailed descriptive notes and sketches. Additional types of documentation shall be approved by the Tribe for data recovery purposes. Cremations will either be removed in bulk or means necessary to ensure complete recovery of all material. If the discovery of human remains includes four (4) or more burials, the location is considered a cemetery and a separate treatment plan shall be created. The project developer shall consult with the Tribe regarding avoidance of all cemetery sites. Once complete, a final report of all activities shall be submitted to the NAHC.

**(e)** No scientific study or the utilization of any invasive diagnostics shall be allowed to any Native American human remains.


**(f)** If the San Bernardino County Coroner determines the remains represent a historic non-Native American burial, the burial shall be treated in the same manner of respect with agreement of the San Bernardino County Coroner. Reburial will be in an appropriate setting. If the San Bernardino County Coroner determines the remains to be modern, the San Bernardino County Coroner shall take custody of the remains.

**(g)** Each occurrence of human remains and associated funerary objects shall be stored using opaque cloth bags. All human remains, funerary objects, sacred objects and objects of cultural patrimony shall be removed to a secure container on site if possible. These items shall be retained and reburied within six months of recovery. The site of reburial/repatriation shall be on the project site, but at a location agreed upon between the Tribe and the developer and protected in perpetuity. There shall be no publicity regarding any cultural materials recovered.

**CITY OF ONTARIO**  
**LANDSCAPE PLANNING DIVISION**  
 303 East "B" Street, Ontario, CA 91764

**DAB CONDITIONS OF APPROVAL**

**Sign Off**

  
 Jamie Richardson, Landscape Planner

4/20/2020  
 Date

Reviewer's Name:  
**Jamie Richardson, Landscape Planner**

Phone:  
**(909) 395-2615**

D.A.B. File No.:  
 PMTT19-020

Related Files:  
 PSPA19-007, PDEV19-064

Case Planner:  
 Rudy Zeledon

Project Name and Location:

Parkside  
 TM 20316

Applicant/Representative:

Damon Gascon – [damon.gascon@lewismc.com](mailto:damon.gascon@lewismc.com)  
 1156 N. Mountain Ave.  
 Upland, CA 91785

- |                                     |  |
|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <b>A Tentative Tract Map (dated 3/30/2020) has been approved with the consideration that the following conditions below be met upon submittal of the landscape construction documents.</b> |
| <input type="checkbox"/>            | <b>A Tentative Tract Map (dated) has not been approved. Corrections noted below are required prior to DAB approval.</b>  |

**CORRECTIONS REQUIRED**

1. Storm water infiltration devices located in landscape areas shall be reviewed and approved by the Landscape Planning Division prior to installation.
2. Northwest (Lot H) and southwest (Lot G) corners of Archibald Ave and Parkside Drive and northwest corner (Lots G and F) of Archibald Ave and Eucalyptus Ave and northeast and northwest of Eucalyptus Ave and H Street (Lots F, J and E); verify dimension and grade for required monumentation (see Parkside Specific Plan for detail). Adjacent walls shall not interfere with required monumentation.

**On Grading or Utility Construction Plans:**

3. Storm water infiltration devices located in parkways or other landscape areas shall be routed to this department to be reviewed and approved prior to permit approval or installation.
4. Note for decorative paving for all motor courts including the lots facing the parking rows aisles.
5. Note for compaction to not be greater than 85% at landscape areas; all finished grades 1 ½" below finished surfaces; landscaped slopes to be max 3:1.
6. Show or note transformers shall be located in planter areas, and set back 3' from paving for small transformers less than 4' high and 5' setback for large transformer greater than 4' high. Locate on level grade. Coordinate with landscape plans.
7. Show or note backflow devices shall be located in planter areas, and set back min 3' from paving Locate on level grade. Coordinate with landscape plans.
8. Provide a utility clear space 8' wide in parkways 30' apart for street trees. Move water meters, drain lines, light standards to the minimum spacing to allow space for street trees.
9. Show light standards 15' away from required tree locations.
10. Wall footings shall not restrict landscape; max 12" in front of footing with of 12" of cover.



11. Show on plans step outs at parking spaces adjacent to planters; 12" wide monolithic curb, 12" compacted decomposed granite or pavers adjacent to the 6" curb.
12. Wall openings for drainage overflow shall be max 4" wide.
13. Provide a solid surface path from driveway to side yard gate for entry and trash bin access.

# CITY OF ONTARIO

## MEMORANDUM

**TO:** PLANNING DEPARTMENT, Rudy Zeledon  
**FROM:** BUILDING DEPARTMENT, Kevin Shear  
**DATE:** October 23, 2019  
**SUBJECT:** PMTT19-020

- 
- The plan **does** adequately address the departmental concerns at this time.  
 No comments  
 Report below.

---

### Conditions of Approval

1. Standard Conditions of Approval apply.

KS:lr

# AIRPORT LAND USE COMPATIBILITY PLANNING

## CONSISTENCY DETERMINATION REPORT



Project File No.: PDEV19-064, PMTT19-020, PSPA19-007

Address: Northwest corner of Archibald Avenue and Eucalyptus Avenue

APN: 0218-231-12, 14, 17-21, 28-30, 33, 35 & 38

Existing Land Use: Vacant

Proposed Land Use: Parkside SPA to reconfigure Planning Areas and revise Residential/landscape standards; Subdivision for 56.99 acres into 16 lots; DP to construct 540 SF units

Site Acreage: 56.99 Proposed Structure Height: N/A

ONT-IAC Project Review: n/a

Airport Influence Area: ONT

Reviewed By: Lorena Mejia

Contact Info: 909-395-2276

Project Planner: Rudy Zeledon

Date: 5/7/2020

CD No.: 2019-087

PALU No.: n/a

### The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input type="radio"/> High Terrain Zone	<input type="radio"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input type="checkbox"/> FAA Notification Surfaces	<input type="radio"/> Recorded Overflight Notification
<input type="radio"/> Zone 2	<input type="radio"/> 65 - 70 dB CNEL	<input type="checkbox"/> Airspace Obstruction Surfaces	<input checked="" type="checkbox"/> Real Estate Transaction Disclosure
<input type="radio"/> Zone 3	<input type="radio"/> 60 - 65 dB CNEL	<input type="radio"/> Airspace Avigation Easement Area	
<input type="radio"/> Zone 4		Allowable Height: <u>200 FT +</u>	
<input type="radio"/> Zone 5			

### The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1   
  Zone 2   
  Zone 3   
  Zone 4   
  Zone 5   
  Zone 6

Allowable Height: 110- 200 FT

## CONSISTENCY DETERMINATION

This proposed Project is:  Exempt from the ALUCP     Consistent     Consistent with Conditions     Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

Real Estate Disclosure Required.

Airport Planner Signature: \_\_\_\_\_

# AIRPORT LAND USE COMPATIBILITY PLANNING

## CONSISTENCY DETERMINATION REPORT

CD No.: 2019-087  
PALU No.: \_\_\_\_\_

### PROJECT CONDITIONS

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the Airport Land Use Compatibility Plan (ALUCP) for ONT. The applicant is required to meet the Real Estate Transaction Disclosure in accordance with California Codes (Business and Professions Code Section 11010-11024). New residential subdivisions within an Airport Influence Area are required to file an application for a Public Report consisting of a Notice of Intention (NOI) and a completed questionnaire with the Department of Real Estate and include the following language within the NOI:

**NOTICE OF AIRPORT IN VICINITY:** This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you.



# CITY OF ONTARIO

## MEMORANDUM

**TO:** Rudy Zeledon, Assistant Planning Director  
Planning Department

**FROM:** Paul Ehrman, Deputy Fire Chief/Fire Marshal  
Fire Department

**DATE:** October 23, 2019

**SUBJECT:** PMTT19-020 – A Tentative Tract Map for Common Interest Subdivision purposes, to subdivide 53.03 acres of land into 4 numbered lots and 12 common lots, located at the northwest corner of Eucalyptus Avenue and Archibald Avenue, within Planning Areas 1 thru 4 of the Parkside Specific Plan (APN(s): 0218-231-12, 14, 17-21, 28-30, 33, 35 &38). Related File(s): [insert File #s].

- 
- The plan **does** adequately address Fire Department requirements at this time.
- Standard Conditions of Approval apply, as stated below.
- 

### **SITE AND BUILDING FEATURES:**

- A. 2013 CBC Type of Construction: Type V-B wood frame
- B. Type of Roof Materials: non-rated
- C. Ground Floor Area(s): Various
- D. Number of Stories: Two Story
- E. Total Square Footage: Various
- F. 2013 CBC Occupancy Classification(s): R-3, U

## **CONDITIONS OF APPROVAL:**

### **1.0 GENERAL**

- ☒ 1.1 The following are the Ontario Fire Department (“Fire Department”) requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards (“Standards.”) It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at [www.ontarioca.gov](http://www.ontarioca.gov), click on “Fire Department” and then on “Standards and Forms.”
- ☒ 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

### **2.0 FIRE DEPARTMENT ACCESS**

- ☒ 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See Standard #B-004.
- ☒ 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25’) inside and forty-five feet (45’) outside turning radius per Standard #B-005.
- ☒ 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150’) in length shall have an approved turn-around per Standard #B-002.
- ☒ 2.7 Any time PRIOR to on-site combustible construction and/or storage, a minimum twenty-four (24) ft. wide circulating all weather access roads shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved by fire department and other emergency services.

### **3.0 WATER SUPPLY**

- ☒ 3.1 The required fire flow per Fire Department standards, based on the 2016 California Fire Code, Appendix B, is 1500 gallons per minute (g.p.m.) for 2 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.
- ☒ 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300’) apart, per Engineering Department specifications.
- ☒ 3.4 The public water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

### **4.0 FIRE PROTECTION SYSTEMS**



- ☒ 4.3 An automatic fire sprinkler system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 13 D. All new fire sprinkler systems, except those in single family dwellings, which contain twenty (20) sprinkler heads or more shall be monitored by an approved listed supervising station. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.

## **5.0 BUILDING CONSTRUCTION FEATURES**

- ☒ 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- ☒ 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Homes that do not front street shall be provided with an address entry sign at the street. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.
- ☒ 5.3 Single station smoke alarms and carbon monoxide alarms are required to be installed per the California Building Code and the California Fire Code.
- ☒ 5.5 All residential chimneys shall be equipped with an approved spark arrester meeting the requirements of the California Building Code.



# CITY OF ONTARIO MEMORANDUM

TO: Scott Murphy, Development Director  
 Cathy Wahlstrom, Planning Director (Copy of memo only)  
 Diane Ayala, Advanced Planning Division (Copy of memo only)  
 Charity Hernandez, Economic Development  
 Kevin Shear, Building Official  
 Khoi Do, City Engineer  
 Jamie Richardson, Landscape Planning Division  
 Ahmed Aly, Municipal Utility Company  
 Emily Hernandez, Police Department  
 Paul Ehrman, Deputy Fire Chief/Fire Marshal  
 Jay Bautista, T. E., Traffic/Transportation Manager  
 Lorena Mejia, Airport Planning  
 Eric Woosley, Engineering/NPDES  
 Joe De Sousa, Code Enforcement (Copy of memo only)  
 Jimmy Chang, IT Department

FROM: Rudy Zeledon, Assistant Planning Director

DATE: October 22, 2019

SUBJECT: FILE #: PMTT19-020 Finance Acct#:

The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by .

- Note:
- Only DAB action is required
  - Both DAB and Planning Commission actions are required
  - Only Planning Commission action is required
  - DAB, Planning Commission and City Council actions are required
  - Only Zoning Administrator action is required

**PROJECT DESCRIPTION:** A Tentative Tract Map for Common Interest Subdivision purposes, to subdivide 53.03 acres of land into 4 numbered lots and 12 common lots, located at the northwest corner of Eucalyptus Avenue and Archibald Avenue, within Planning Areas 1 thru 4 of the Parkside Specific Plan (APN(s): 0218-231-12, 14, 17-21, 28-30, 33, 35 & 38). Related File(s): [insert File #s].

- The plan does adequately address the departmental concerns at this time.
  - No comments
  - Report attached (1 copy and email 1 copy)
  - Standard Conditions of Approval apply
- The plan does not adequately address the departmental concerns.
  - The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

POLICE  
Department

E. HERNANDEZ  
Signature

POLICE OFFICER  
Title

11/13/19  
Date



**ENGINEERING DEPARTMENT  
CONDITIONS OF APPROVAL**

(Engineering Services Division [Land Development Section and Environmental Section], Traffic & Transportation Division, Ontario Municipal Utilities Company and Information Technology & Management Services Department Conditions incorporated)

<input type="checkbox"/> DEVELOPMENT PLAN <input type="checkbox"/> OTHER	<input type="checkbox"/> PARCEL MAP <input checked="" type="checkbox"/> TRACT MAP <input checked="" type="checkbox"/> FOR CONDOMINIUM PURPOSES
<b>PROJECT FILE NO. TTM-20316</b>  <b>RELATED FILE NO(S). PMTT19-20</b>	
<input checked="" type="checkbox"/> ORIGINAL <input type="checkbox"/> REVISED: __/__/__	

**CITY PROJECT ENGINEER & PHONE NO:**      Jesus Plasencia, 909-395-2128

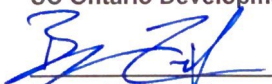
**CITY PROJECT PLANNER & PHONE NO:**      Diane Ayala, 909-395-2428

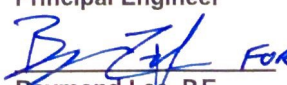
**DAB MEETING DATE:**      May 18, 2020

**PROJECT NAME / DESCRIPTION:**      TM-20316, a Tentative Tract Map to subdivide 53.03 acres of land into 4 numbered lots and 12 lettered lots for Condominium Purposes within the Parkside Specific Plan

**LOCATION:**      Northwest corner of Archibald Avenue and Eucalyptus Avenue

**APPLICANT:**      SC Ontario Development Company, LLC

**REVIEWED BY:**            5/13/20  
    Bryan Lirley, P.E.      Date  
    Principal Engineer

**APPROVED BY:**       FOR      5/13/20  
    Raymond Lee, P.E.      Date  
    Assistant City Engineer



**THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE GENERAL STANDARD CONDITIONS OF APPROVAL ADOPTED BY THE CITY COUNCIL (RESOLUTION NO. 2017-027) AND THE PROJECT SPECIFIC CONDITIONS OF APPROVAL SPECIFIED IN HEREIN. ONLY APPLICABLE CONDITIONS OF APPROVAL ARE CHECKED. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL APPLICABLE CONDITIONS OF APPROVAL PRIOR TO FINAL MAP APPROVAL, ISSUANCE OF PERMITS AND/OR OCCUPANCY CLEARANCE, AS SPECIFIED IN THIS REPORT.**

<b>1. PRIOR TO FINAL MAP APPROVAL, APPLICANT SHALL:</b>	<b>Check When Complete</b>
---	----------------------------

- 1.01 Dedicate to the City of Ontario in fee simple, the right-of-way, described below:** 
  - Eucalyptus Avenue to the ultimate ½ right-of-way of 54 feet from CL north along tract frontage
  - Archibald Avenue to the ultimate ½ right-of-way of 85 feet from CL west along tract frontage.
  - Parkside Drive/East Grand Park Street to the ultimate full right-of-way of 60 feet along tract frontage.
  - Lots B-D for public parks per the development agreement.
  - Lots E-H for landscape Neighborhood Edge and public utility purposes.
  - Corner P/L radius (corner cut-offs) throughout the tract per City standards.
- 1.02 Dedicate to the City of Ontario, the following easement(s):** 
  - Public utility easement (PUE) on public park (Lots B & D) for sewer and storm drain purposes.
  - Blanket PUE on all private streets/alleys (Lots 1-4 and Lettered Lots J-L) for storm drain, potable water, recycled water, sewer, and fiber optic purposes.
  - Public access easement for Cucamonga Channel trail on Lot I.
- 1.03 Restrict vehicular access to the site as follows: Only approved access points per the approved Parkside specific plan.**
- 1.04 Vacate the following street(s) and/or easement(s): Existing right-of-way and easements as identified in the approved tentative tract map.**
- 1.05 Submit a copy of a recorded private reciprocal use agreement or easement. The agreement or easement shall ensure, at a minimum, common ingress and egress and joint maintenance of all common access areas and drive aisles.**
- 1.06 Provide (original document) Covenants, Conditions and Restrictions (CC&Rs) as applicable to the project and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&Rs shall provide for, but not be limited to, common ingress and egress, joint maintenance responsibility for all common access improvements, common facilities, parking areas, utilities, median and landscaping improvements and drive approaches, in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project. The CC&Rs shall also address the maintenance and repair responsibility for public improvements/utilities (sewer, water, storm drain, recycled water, solid waste collection etc.) located within open space/easements. In the event of any maintenance or repair of these facilities, the City shall only restore disturbed areas to current City Standards. The Solid Waste Handling Plan shall be included in the CC&R's with a provision that the HOA will enforce can collection placement requirements of the Plan.**
- 1.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at [http://geotracker.waterboards.ca.gov/profile\\_report?global\\_id=T10000004658](http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658).**



- 1.08 File an application for Reapportionment of Assessment, together with payment of a reapportionment processing fee, for each existing assessment district listed below. Contact the Management Services Department at (909) 395-2124 regarding this requirement.
- 1.09 Prepare a fully executed Subdivision Agreement (on City approved format and forms) with accompanying security as required, or complete all public improvements.
- 1.10 Provide a monument bond (i.e. cash deposit) in an amount calculated by the City's approved cost estimate spreadsheet (available for download on the City's website: [www.ci.ontario.ca.us](http://www.ci.ontario.ca.us)) or as specified in writing by the applicant's Registered Engineer or Licensed Land Surveyor of Record and approved by the City Engineer, whichever is greater.
- 1.11 Provide a preliminary title report current to within 30 days.
- 1.12 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of three (3) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Management Services at (909) 395-2353 to initiate the CFD application process.
- 1.13 New Model Colony (NMC) Developments: 
  - 1) Provide evidence of final cancellation of Williamson Act contracts associated with this tract, prior to approval of any final subdivision map. Cancellation of contracts shall have been approved by the City Council.
  - 2) Provide evidence of sufficient storm water capacity availability equivalents (Certificate of Storm Water Treatment Equivalents).
  - 3) Provide evidence of sufficient water availability equivalents (Certificate of Net MDD Availability).
- 1.14 Other conditions: 
  - Lettered Lots J-L shall be private streets and labeled accordingly in the final map.
  - Public and private improvements shall be maintained in accordance with the Maintenance Responsibility matrix in the Parkside Specific Plan.
  - Dedicate a public utility easement on Lot B to the Chino Basin Desalter Authority
  - The applicant/developer shall obtain all right of way necessary to construct the required public improvements identified in Section 2.

**2. PRIOR TO ISSUANCE OF ANY PERMITS, APPLICANT SHALL:**

**A. GENERAL  
 ( Permits includes Grading, Building, Demolition and Encroachment )**

- 2.01 Record Tract Map No. 20316 pursuant to the Subdivision Map Act and in accordance with the City of Ontario Municipal Code.
- 2.02 Submit a duplicate photo mylar of the recorded map to the City Engineer's office.
- 2.03 Note that the subject parcels are recognized parcels in the City of Ontario per Tract Map 18048.
- 2.04 Note that the subject parcel is an 'unrecognized' parcel in the City of Ontario and shall require a Certificate of Compliance to be processed unless a deed is provided confirming the existence of the parcel prior to the date of \_\_\_\_\_.



**2.05 Apply for a:**  Certificate of Compliance with a Record of Survey;  Lot Line Adjustment

**Make a Dedication of Easement.**

**2.06 Provide (original document) Covenants, Conditions and Restrictions (CC&R's), as applicable to the project, and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&R's shall provide for, but not be limited to, common ingress and egress, joint maintenance of all common access improvements, common facilities, parking areas, utilities and drive approaches in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project. The CC&Rs shall also address the maintenance and repair responsibility for public improvements/utilities (sewer, water, storm drain, recycled water, solid waste collection, etc.) located within open space/easements. In the event of any maintenance or repair of these facilities, the City shall only restore disturbed areas to current City Standards. The Solid Waste Handling Plan shall be included in the CC&R's with a provision that the HOA will enforce can collection placement requirements of the Plan.**

**2.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at [http://geotracker.waterboards.ca.gov/profile\\_report?global\\_id=T10000004658](http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658).**

**2.08 Submit a soils/geology report.**

**2.09 Other Agency Permit/Approval: Submit a copy of the approved permit and/or other form of approval of the project from the following agency or agencies:**

- State of California Department of Transportation (Caltrans)
- San Bernardino County Road Department (SBCRD)
- San Bernardino County Flood Control District (SBCFCD) – See Condition No. 2.43**
- Federal Emergency Management Agency (FEMA)
- Cucamonga Valley Water District (CVWD) for sewer/water service
- United States Army Corps of Engineers (USACE) – See Condition No. 2.43**
- California Department of Fish & Game
- Inland Empire Utilities Agency (IEUA) – See Condition No. 2.23**
- Other: Chino Basin Desalter Authority – See Condition No. 1.14**

**2.10 Dedicate to the City of Ontario the right-of-way described below:**

\_\_\_\_\_ feet on \_\_\_\_\_

Property line corner 'cut-back' required at the intersection of \_\_\_\_\_ and \_\_\_\_\_.

**2.11 Dedicate to the City of Ontario the following easement(s):** \_\_\_\_\_

\_\_\_\_\_





- 2.12 New Model Colony (NMC) Developments:** 
  - 1) Submit a copy of the permit from the San Bernardino County Health Department to the Engineering Department and the Ontario Municipal Utilities Company (OMUC) for the destruction/abandonment of the on-site water well. The well shall be destroyed/abandoned in accordance with the San Bernardino County Health Department guidelines.
  - 2) Make a formal request to the City of Ontario Engineering Department for the proposed temporary use of an existing agricultural water well for purposes other than agriculture, such as grading, dust control, etc. Upon approval, the Applicant shall enter into an agreement with the City of Ontario and pay any applicable fees as set forth by said agreement.
  - 3) Design proposed retaining walls to retain up to a maximum of three (3) feet of earth. In no case shall a wall exceed an overall height of nine (9) feet (i.e. maximum 6-foot high wall on top of a maximum 3-foot high retaining wall.**
- 2.13 Submit a security deposit to the Engineering Department to guarantee construction of the public improvements required herein on Archibald Avenue and Eucalyptus Avenue valued at 100% of the approved construction cost estimate. Security deposit shall be in accordance with the City of Ontario Municipal Code. Security deposit will be eligible for release, in accordance with City procedure, upon completion and acceptance of said public improvements.
- 2.14 The applicant/developer shall submit all necessary survey documents prepared by a Licensed Surveyor registered in the State of California detailing all existing survey monuments in and around the project site. These documents are to be reviewed and approved by the City Survey Office.**
- 2.15 Pay all Development Impact Fees (DIF) to the Building Department. Storm Drain Development Impact Fee shall be paid to the Building Department. Final fee shall be determined based on the approved site plan.**
- 2.16 Other conditions: \_\_\_\_\_



**B. PUBLIC IMPROVEMENTS**  
 (See attached Exhibit 'A' for plan check submittal requirements.)

2.17 Design and construct full public improvements in accordance with the City of Ontario Municipal Code, current City standards and specifications, master plans and the adopted specific plan for the area, if any. These public improvements shall include, but not be limited to, the following (checked boxes):

Improvement	EUCALYPTUS AVENUE	ARCHIBALD AVENUE	PARKSIDE DRIVE	ONTARIO UTILITY EASEMENTS
<b>Curb and Gutter</b>	<input checked="" type="checkbox"/> <b>New; 42 ft. from C/L</b> <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input checked="" type="checkbox"/> <b>Replace damaged</b> <input checked="" type="checkbox"/> <b>Remove and replace</b>	<input checked="" type="checkbox"/> <b>New; 18 ft. from C/L both sides</b> <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace
<b>AC Pavement</b>	<input type="checkbox"/> Replacement <input checked="" type="checkbox"/> <b>Widen 40 ft from CL north and 26 feet from CL south along project frontage</b>	<input checked="" type="checkbox"/> <b>Replacement</b> <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input checked="" type="checkbox"/> <b>Widen 16 ft from CL both sides along project frontage</b>	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions
<b>PCC Pavement (Truck Route Only)</b>	<input type="checkbox"/> New <input checked="" type="checkbox"/> <b>Modify existing</b>	<input type="checkbox"/> New <input checked="" type="checkbox"/> <b>Modify existing</b>	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
<b>Drive Approach</b>	<input checked="" type="checkbox"/> <b>New</b> <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> <b>New</b> <input checked="" type="checkbox"/> <b>Remove and replace</b>	<input checked="" type="checkbox"/> <b>New</b> <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
<b>Sidewalk</b>	<input checked="" type="checkbox"/> <b>New</b> <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> <b>New</b> <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> <b>New</b> <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
<b>ADA Access Ramp</b>	<input checked="" type="checkbox"/> <b>New</b> <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> <b>New</b> <input checked="" type="checkbox"/> <b>Remove and replace</b>	<input checked="" type="checkbox"/> <b>New</b> <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
<b>Parkway</b>	<input checked="" type="checkbox"/> <b>Trees</b> <input checked="" type="checkbox"/> <b>Landscaping (w/irrigation)</b>	<input checked="" type="checkbox"/> <b>Trees</b> <input checked="" type="checkbox"/> <b>Landscaping (w/irrigation)</b>	<input checked="" type="checkbox"/> <b>Trees</b> <input checked="" type="checkbox"/> <b>Landscaping (w/irrigation)</b>	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)
<b>Raised Landscaped Median</b>	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input checked="" type="checkbox"/> <b>Remove and replace</b>	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
<b>Fire Hydrant</b>	<input checked="" type="checkbox"/> <b>New / Upgrade</b> <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input checked="" type="checkbox"/> <b>Relocation</b>	<input checked="" type="checkbox"/> <b>New / Upgrade</b> <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> <b>New / Upgrade</b> <input type="checkbox"/> Relocation



<b>Sewer</b> (see Sec. 2.C)	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral
<b>Water</b> (see Sec. 2.D)	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Service	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Service
<b>Recycled Water</b> (see Sec. 2.E)	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Service	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Service
<b>Traffic Signal System</b> (see Sec. 2.F)	<input checked="" type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input checked="" type="checkbox"/> <b>Modify existing</b>	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
<b>Traffic Signing and Striping</b> (see Sec. 2.F)	<input checked="" type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input checked="" type="checkbox"/> <b>Modify existing</b>	<input checked="" type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
<b>Street Light</b> (see Sec. 2.F)	<input checked="" type="checkbox"/> <b>New / Upgrade</b> <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> <b>New / Upgrade</b> <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> <b>New / Upgrade</b> <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation
<b>Bus Stop Pad or Turn-out</b> (see Sec. 2.F)	<input checked="" type="checkbox"/> New <input type="checkbox"/> Modify existing	<input checked="" type="checkbox"/> New <input checked="" type="checkbox"/> <b>Modify existing</b>	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
<b>Storm Drain</b> (see Sec. 2G)	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral
<b>Fiber Optics</b> (see Sec. 2K)	<input checked="" type="checkbox"/> <b>Conduit / Appurtenances</b>	<input checked="" type="checkbox"/> <b>Conduit / Appurtenances</b>	<input checked="" type="checkbox"/> <b>Conduit / Appurtenances</b>	<input checked="" type="checkbox"/> <b>Conduit / Appurtenances</b>
Overhead Utilities	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate
Removal of Improvements	_____	_____	_____	_____
<b>Other Improvements</b>	<b>Construct Eucalyptus Bridge at Cucamonga Creek Channel</b>	_____	_____	_____

**Specific notes for improvements listed in item no. 2.17, above:**

- AC pavement replacement, PCC modification, and landscape median replacement may be required on Archibald Avenue to accommodate proposed utility connections.
- Location of public utility systems in private streets/alleys shall be approved during final design review.
- Construct all interior private lettered street improvements per the approved Parkside specific plan.
- The off-site public improvements associated with the construction of Fire Station No. 9,



including but not limited to, improvements on Parkside Drive/East Grand Park Street and the traffic signal at the Archibald Avenue intersection, shall be constructed pursuant to the terms, conditions, and obligations under the Purchase and Sale Agreement and the License and Reimbursement Agreement, between the City of Ontario and the applicant.

- If Fire Station No. 9 street improvements on Parkside Drive/East Grand Park Street are not complete, the applicant/developer will be required to construct interim street improvements at the northern tract boundary (e.g. temporary turnaround).

- 2.18 Construct a 2" asphalt concrete (AC) grind and overlay on the following street(s): \_\_\_\_\_
- 2.19 Reconstruction of the full pavement structural section, per City of Ontario Standard Drawing number 1011, may be required based on the existing pavement condition and final street design. Minimum limits of reconstruction shall be along property frontage, from street centerline to curb/gutter.
- 2.20 Make arrangements with the Cucamonga Valley Water District (CVWD) to provide  water service  sewer service to the site. This property is within the area served by the CVWD and Applicant shall provide documentation to the City verifying that all required CVWD fees have been paid.
- 2.21 Overhead utilities shall be under-grounded, in accordance with Title 7 of the City's Municipal Code (Ordinance No. 2804 and 2892). Developer may pay in-lieu fee, approximately \_\_\_\_\_, for undergrounding of utilities in accordance with Section 7-7.303.e of the City's Municipal Code.
- 2.22 Other conditions: \_\_\_\_\_

**C. SEWER**

- 2.23 **The IEUA Eastern Trunk Sewer main is available for connection by this project in Archibald Avenue.**
- 2.24 Design and construct a sewer main extension. A sewer main is not available for direct connection. The closest main is approximately \_\_\_\_\_ feet away.
- 2.25 Submit documentation that shows expected peak loading values for modeling the impact of the subject project to the existing sewer system. The project site is within a deficient public sewer system area. Applicant shall be responsible for all costs associated with the preparation of the model. Based on the results of the analysis, Applicant may be required to mitigate the project impact to the deficient public sewer system, including, but not limited to, upgrading of existing sewer main(s), construction of new sewer main(s) or diversion of sewer discharge to another sewer.
- 2.26 **Other conditions:** 
  1. **Submit a Final Sewer Sub-Area Master Plan (SSAMP) for review and approval. The Final SSAMP shall refine and optimize the sewer design to the meet Sewer Master Plan Design Criteria. The Final SSAMP shall also demonstrate that portions of TM-18048 north of the project site can sewer through the project site and still meet Sewer Master Plan Design Criteria.**
  2. **Construct the following sewer improvements:**
    - 12-inch sewer main in Eucalyptus Avenue between "H" Street and Archibald Avenue.
    - 10-inch sewer main in "H" Street from Eucalyptus Avenue to "C" Street
    - 10-inch sewer main in "C" Street from "H" Street to "G" Street
    - 8-inch sewer main in "G" Street from "C" Street to "A" Street
    - 8-inch sewer main from "A" Street to northern tract boundary through future Great Park lots.



**D. WATER**

- 2.27 A 24-inch water main is available for connection by this project in Archibald Avenue. (Ref: Water plan bar code: W13403-W13404)
- 2.28 Design and construct a water main extension. A water main is not available for direct connection. The closest main is approximately \_\_\_\_\_ feet away.
- 2.29 Other conditions: 
  1. The units within this map exceed the equivalent water use of 500 residential units. Pursuant to the requirements of SB221 (Subdivision Map/California Government Code §66473.7 and Water Code §10910), this subdivision is required to have a Written Verification of Water Supply (WV). Prior to the approval of the Final Map for recordation a WV shall be prepared for this Tract Map and the WV must make the findings that there is sufficient water supply for the Tract Map in order for the Final Map to record. The applicant shall make a deposit with the City in order to authorize the preparation of the required WV and pay for the full costs of the preparation of the WV.
  2. Construct the following potable water improvements (unless completed by others):
    - 24-inch main in Eucalyptus Avenue from just east of the Cucamonga Creek Channel to Archibald Avenue.
    - 12-inch main in “H” Street from Eucalyptus Avenue to “C” Street.
    - 12-inch main in “C” Street from “H” Street to “I” Street.
    - 12-inch main in “I” Street from “C” Street to “B” Street
    - 12-inch main in “B” Street from “I” Street to Parkside Drive
    - 12-inch main in Parkside Drive/ East Grand Park Street from “B” Street to norther tract boundary
    - 8-inch mains within in-tract private streets, drives, and alleys connecting to proposed 12” mains

**E. RECYCLED WATER**

- 2.30 A 16-inch recycled water main is available for connection by this project in Archibald Avenue. (Ref: Recycled Water plan bar code: P10147-10148)
- 2.31 Design and construct an on-site recycled water system for this project. A recycled water main does exist in the vicinity of this project.
- 2.32 Design and construct an on-site recycled water ready system for this project. A recycled water main does not currently exist in the vicinity of this project, but is planned for the near future. If Applicant would like to connect to this recycled water main when it becomes available, the cost for the connection shall be borne solely by the Applicant.
- 2.33 Submit two (2) hard copies and one (1) electronic copy, in PDF format, of the Engineering Report (ER), for the use of recycled water, to the OMUC for review and subsequent submittal to the California Department of Public Health (CDPH) for final approval. 

Note: The OMUC and the CDPH review and approval process will be approximately three (3) months. Contact the Ontario Municipal Utilities Company at (909) 395-2647 regarding this requirement.
- 2.34 Other conditions: 
  1. The development shall comply with City Ordinance 2689 and make use of recycled water for all approved uses, including but not limited to landscape irrigation for HOA maintained areas and parks.
  2. Construct the following recycled water improvements (unless completed by others):
    - 16-inch main in Eucalyptus Avenue, from just east of Cucamonga Creek Channel to Archibald Avenue.
    - 8-inch main in Parkside Drive/East Grand Park Street form Archibald to northern tract boundary.
    - 8-inch main in “H” Street from Eucalyptus Avenue to “C” Street.
    - 8-inch main in “B” Street from Parkside Drive to “I” Street.



**F. TRAFFIC / TRANSPORTATION**

- 2.35 Submit a focused traffic impact study, prepared and signed by a Traffic/Civil Engineer registered in the State of California. The study shall address, but not be limited to, the following issues as required by the City Engineer: 
  - 1. On-site and off-site circulation
  - 2. Traffic level of service (LOS) at 'build-out' and future years
  - 3. Impact at specific intersections as selected by the City Engineer
  
- 2.36 **New traffic signal installations shall be added to Southern California Edison (SCE) customer account number # 2-20-044-3877.**
  
- 2.37 **Other conditions:** 
  - 1. **The applicant/developer shall construct the following improvements as a part of the map:**
    - Archibald Avenue ultimate frontage improvements (last lane, curb & gutter) from Ontario Ranch Road to Parkside Drive.
    - Archibald Avenue ultimate frontage improvements (last lane, curb & gutter, sidewalk, landscaping and street lights) from Parkside Drive to Eucalyptus Avenue.
    - Eucalyptus Avenue ultimate half-street plus one lane in the eastbound direction (curb & gutter, sidewalk, landscaping and street lights). This shall include pavement transitions to accommodate the construction of the Eucalyptus Avenue Bridge.
    - Parkside Drive/Grand Park Street ultimate curb-to-curb street along project frontage.
    - New Traffic Signal at Eucalyptus Avenue and H Street (centerline of H Street must align with tract entry on southside of Eucalyptus Avenue)
    - Traffic Signal Modification at Archibald Avenue and Eucalyptus Avenue as necessary to accommodate tract frontage improvements.
  - 2. **The applicant/developer shall be responsible to design and construct the pavement and striping transitions from existing conditions to the widened portions along the Archibald Avenue and Eucalyptus Avenue project frontages. Existing interim signing/striping beyond project frontages will need to be adjusted to accommodate ultimate widening being provided by the project on Archibald Avenue and Eucalyptus Avenue. Provide separate exhibit showing limits of existing signing/striping being revised.**
  - 3. **The applicant/developer shall sign Parkside Drive/Grand Park Street, Eucalyptus Avenue and Archibald Avenue No Parking/No Stopping in accordance with the City's Traffic and Transportation Design Guidelines. Parking restrictions on Parkside Drive/Grand Park Street may be evaluated as necessary to accommodate parking for the Park.**
  - 4. **The intersection of Parkside Drive (south loop) and Archibald Avenue shall be limited to right-turn ingress/egress only.**
  - 5. **The applicant/developer shall be responsible to design and construct the Cucamonga Creek Channel Trail improvements along the tract boundary consistent with the Parkside Specific Plan in accordance with the Development Agreement.**
  - 6. **The applicant/developer shall be responsible to design and construct bus turnouts on the west side of Archibald Avenue south of Grand Park Street (north loop) and south of Ontario Ranch Road to the satisfaction of the City Engineer and Omnitrans. The design shall be in accordance with Omnitrans' Bus Stop Design Guidelines. The work shall include, but is not limited to concrete sidewalk, shelter, signage and landscaping.**
  - 7. **The applicant/developer shall be responsible to design and construct a bus pad on the north side of Eucalyptus Avenue west of Archibald Avenue to the satisfaction of the City Engineer and Omnitrans. The design shall be in accordance with Omnitrans' Bus Stop Design Guidelines.**
  - 8. **Design/Construct the Eucalyptus Avenue Bridge or exercise the options specified in the development agreement.**





**G. DRAINAGE / HYDROLOGY**

- 2.38 A \_\_\_\_\_ inch storm drain main is available to accept flows from this project in \_\_\_\_\_. (Ref: Storm Drain plan bar code: \_\_\_\_\_)
- 2.39 **Submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California. The study shall be prepared in accordance with the San Bernardino County Hydrology Manual and City of Ontario standards and guidelines. Additional drainage facilities, including, but not limited to, improvements beyond the project frontage, may be required to be designed and constructed, by Applicant, as a result of the findings of this study.**
- 2.40 An adequate drainage facility to accept additional runoff from the site does not currently exist downstream of the project. Design and construct a storm water detention facility on the project site. 100-year post-development peak flow shall be attenuated such that it does not exceed 80% of pre-development peak flows, in accordance with the approved hydrology study and improvement plans.
- 2.41 Submit a copy of a recorded private drainage easement or drainage acceptance agreement to the Engineering Department for the acceptance of any increase to volume and/or concentration of historical drainage flows onto adjacent property, prior to approval of the grading plan for the project.
- 2.42 **Comply with the City of Ontario Flood Damage Prevention Ordinance (Ordinance No. 2409). The project site or a portion of the project site is within the Special Flood Hazard Area (SFHA) as indicated on the Flood Insurance Rate Map (FIRM) and is subject to flooding during a 100 year frequency storm. The site plan shall be subject to the provisions of the National Flood Insurance Program.**
- 2.43 **Other conditions:** 
  - 1. **Construct the following Storm Drain improvements (unless constructed by others):**
    - 60-inch storm drain on Eucalyptus Avenue from the Cucamonga Channel to approximately 860 feet east in accordance with the City Master Plan of Drainage (ECLP-XI-1). Obtain any necessary permits/approvals from the U.S. Army Corps of Engineers and the San Bernardino County Flood Control District for the proposed connection to the Cucamonga Channel.
    - 36-inch storm drain from Eucalyptus to in-tract private streets/alleys in accordance with the City Master Plan of Drainage (ECLP-XI-1).
    - 24 to 36-inch storm drain on Parkside Drive from Lot B to Archibald Avenue.
    - Storm drain for in-tract private streets/alleys and across Lots B & D. Storm drain located in alleys shall be owned and maintained by the HOA.

**H. STORM WATER QUALITY / NATIONAL POLLUTANT DISCHARGE AND ELIMINATION SYSTEM (NPDES)**

- 2.44 **401 Water Quality Certification/404 Permit – Submit a copy of any applicable 401 Certification or 404 Permit for the subject project to the City project engineer. Development that will affect any body of surface water (i.e. lake, creek, open drainage channel, etc.) may require a 401 Water Quality Certification from the California Regional Water Quality Control Board, Santa Ana Region (RWQCB) and a 404 Permit from the United States Army Corps of Engineers (USACE). The groups of water bodies classified in these requirements are perennial (flow year round) and ephemeral (flow during rain conditions, only) and include, but are not limited to, direct connections into San Bernardino County Flood Control District (SBCFCD) channels. If a 401 Certification and/or a 404 Permit are not required, a letter confirming this from Applicant’s engineer shall be submitted. Contact information: USACE (Los Angeles District) (213) 452-3414; RWQCB (951) 782-4130.**
- 2.45 **Submit a Water Quality Management Plan (WQMP). This plan shall be approved by the Engineering Department prior to approval of any grading plan. The WQMP shall be submitted, utilizing the current San Bernardino County Stormwater Program template, available at: <http://www.sbcounty.gov/dpw/land/npdes.asp>.**
- 2.46 **Design and construct a Connector Pipe Trash Screen or equivalent Trash Treatment Control Device, per catch basin located within or accepting flows tributary of a Priority Land Use (PLU) area that meets the Full Capture System definition and specifications, and is on the Certified List of the State Water Resources Control Board. The device shall be adequately sized per catch**



basin and include a deflector screen with vector control access for abatement application, vertical support bars, and removable component to facilitate maintenance and cleaning.

2.47 Other conditions: \_\_\_\_\_

#### J. SPECIAL DISTRICTS

2.48 File an application, together with an initial payment deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community facilities District Act of 1982. The application and fee shall be submitted a minimum four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact the Management Services Department at (909) 395-2353 to initiate the CFD application process.

2.49 Other conditions: \_\_\_\_\_

#### K. FIBER OPTIC

2.50 Design and construct fiber optic system to provide access to the City's conduit and fiber optic system per the City's Fiber Optic Master Plan. Building entrance conduits shall start from the closest OntarioNet hand hole constructed along the project frontage in the ROW and shall terminate in the main telecommunications room for each building. Conduit infrastructure shall interconnect with the primary and/or secondary backbone fiber optic conduit system at the nearest OntarioNet hand hole, generally located on Archibald Avenue. The City requires conduit infrastructure within a public utility easement on private streets/alleyways as may be necessary to provide service to all residential units.

2.51 Refer to the City's Fiber Optic Master Plan for design and layout guidelines. Contact the Information Technology Department at (909) 395-2000, regarding this requirement.

#### L. Solid Waste

2.52 A final Solid Waste Handling Plan Sheet shall be submitted with the Precise Grading Plan submittal for review and approval. Any park with a recreation center, building, or amenities that generate refuse shall require solid waste collection service with a trash enclosure and bins, unless otherwise approved by the City.

2.53 Other conditions:   
1. The applicant/developer shall submit a Final Integrated Waste Management Report (IWMMR) for review and approval with the Precise Grading Plan. This report shall address the management of all integrated waste (Refuse, Recycling, Organics, etc.). The IWMMR shall demonstrate compliance with the "Integrated Waste Management Report Requirements" document.  
2. The Developer shall provide the buyers of all residential units an informational disclosure with map exhibit showing the designated can placement locations for collections for their lot, based upon the designated collections locations on the Final Solid Waste Handling Plan. This informational disclosure with map exhibit shall be submitted with Precise Grading Plan for review and approval of Ontario Municipal Utility Company.



**3. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, APPLICANT SHALL:**

- 3.01** Set new monuments in place of any monuments that have been damaged or destroyed as a result of construction of the subject project. Monuments shall be set in accordance with City of Ontario standards and to the satisfaction of the City Engineer.
- 3.02** Complete all requirements for recycled water usage. 
  - 1) Procure from the OMUC a copy of the letter of confirmation from the California Department of Public Health (CDPH) that the Engineering Report (ER) has been reviewed and the subject site is approved for the use of recycled water.
  - 2) Obtain clearance from the OMUC confirming completion of recycled water improvements and passing of shutdown tests and cross connection inspection, upon availability/usage of recycled water.
  - 3) Complete education training of on-site personnel in the use of recycled water, in accordance with the ER, upon availability/usage of recycled water.
- 3.03** The applicant/developer shall submit all final survey documents prepared by a Licensed Surveyor registered in the State of California detailing all survey monuments that have been preserved, revised, adjusted or set along with any maps, corner records or Records of Survey needed to comply with these Conditions of Approvals and the latest edition of the California Professional Land Survey Act. These documents are to be reviewed and approved by the City Survey Office.
- 3.04** NMC Projects: For developments located at an intersection of any two collector or arterial streets, the applicant/developer shall set a monument if one does not already exist at that intersection. Contact the City Survey office for information on reference benchmarks, acceptable methodology and required submittals.
- 3.05** Confirm payment of all Development Impact Fees (DIF) to the Building Department.
- 3.06** Submit electronic copies (PDF and Auto CAD format) of all approved improvement plan studies and reports (i.e. hydrology, traffic, WQMP, etc.).

**4. PRIOR TO FINAL ACCEPTANCE, APPLICANT SHALL:**

- 4.01** Complete all Conditions of Approval listed under Sections 1-3 above.
- 4.02** Pay all outstanding fees pursuant to the City of Ontario Municipal Code, including but not limited to, plan check fees, inspection fees and Development Impact Fees.
- 4.03** The applicant/developer shall submit a written request for the City's final acceptance of the project addressed to the City Project Engineer. The request shall state that all Conditions of Approval have been completed and shall be signed by the applicant/developer. Upon receipt of the request, review of the request shall be a minimum of 10 business days. Conditions of Approval that are deemed incomplete by the City will cause delays in the acceptance process.



**EXHIBIT 'A'**  
**ENGINEERING DEPARTMENT**  
**First Plan Check Submittal Checklist**

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**Project Number: Tract Map No. 20316**

**The following items are required to be included with the first plan check submittal:**

1.  **A copy of this check list**
2.  **Payment of fee for Plan Checking**
3.  **One (1) copy of Engineering Cost Estimate (on City form) with engineer's wet signature and stamp.**
4.  **One (1) copy of project Conditions of Approval**
5.  **Two (2) sets of Potable and Recycled Water demand calculations (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size).**
6.  **Three (3) sets of Public Street improvement plan with street cross-sections**
7.  **Three (3) sets of Private Street improvement plan with street cross-sections**
8.  **Four (4) sets of Public Water improvement plan (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)**
9.  **Four (4) sets of Recycled Water improvement plan (include recycled water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size and an exhibit showing the limits of areas being irrigated by each recycled water meter)**
10.  **Four (4) sets of Public Sewer improvement plan**
11.  **Five (5) sets of Public Storm Drain improvement plan**
12.  **Three (3) sets of Public Street Light improvement plan**
13.  **Three (3) sets of Signing and Striping improvement plan**
14.  **Three (3) sets of Fiber Optic plan (include Auto CAD electronic submittal)**
15.  **Three (3) sets of Dry Utility plans within public right-of-way (at a minimum the plans must show existing and ultimate right-of-way, curb and gutter, proposed utility location including centerline dimensions, wall to wall clearances between proposed utility and adjacent public line, street work repaired per Standard Drawing No. 1306. Include Auto CAD electronic submittal)**
16.  **Three (3) sets of Traffic Signal improvement plan and One (1) copy of Traffic Signal Specifications with modified Special Provisions. Please contact the Traffic Division at (909) 395-2154 to obtain Traffic Signal Specifications.**
17.  **Two (2) copies of Water Quality Management Plan (WQMP), including one (1) copy of the approved Preliminary WQMP (PWQMP).**
18.  **One (1) copy of Hydrology/Drainage study**
19.  **One (1) copy of Soils/Geology report**
20.  **Payment for Final Map/Parcel Map processing fee**
21.  **Three (3) copies of Final Map/Parcel Map**



22.  **One (1) copy of approved Tentative Map**
23.  **One (1) copy of Preliminary Title Report (current within 30 days)**
24.  **One (1) copy of Traverse Closure Calculations**
25.  **One (1) set of supporting documents and maps (legible copies): referenced improvement plans (full size), referenced record final maps/parcel maps (full size, 18"x26"), Assessor's Parcel map (full size, 11"x17"), recorded documents such as deeds, lot line adjustments, easements, etc.**
26.  **Two (2) copies of Engineering Report and an electronic file (include PDF format electronic submittal) for recycled water use**
27.  **Other: As part of the precise grading plan submittal, provide a Final Utilities Systems Map (USM) that shows all existing and proposed Utilities (Potable Water, Recycled Water, Sewer, Storm Drain, and other utilities) including each of the City's public utilities' points of connection to the existing systems. A Copy of the Final USM shall be submitted with all public improvement plan submittals.**



# Development Advisory Board Decision

May 18, 2020

**DECISION NO.:** [insert #]

**FILE NO.:** PDEV19-064

**DESCRIPTION:** A Development Plan to construct 540 single-family detached homes and a private recreational center within a gated community on 34.30 acres of land located at the northwest corner of Eucalyptus Avenue and Archibald Avenue, within Planning Areas 1 through 4 and Planning Area 23 of the Parkside Specific Plan. (APNs: 0218-231-35, 0218-231-33, 0218-231-30, 0218-231-29, 0218-231-28, 0218-231-22, 0218-231-21, 0218-231-20, 0218-231-19, 0218-231-18, 0218-231-17, 0218-231-14, and 0218-231-12) **submitted by The New Home Company Southern California, LLC. Planning Commission action is required.**

## **Part I—BACKGROUND & ANALYSIS**

THE NEW HOME COMPANY OF SOUTHERN CALIFORNIA, LLC., (herein after referred to as “Applicant”) has filed an application requesting Development Plan approval, File No. PDEV19-064, as described in the subject of this Decision (herein after referred to as "Application" or "Project").

(1) **Project Setting:** The Project site is comprised of 34.30 acres of land located at the northwest corner of Eucalyptus Avenue and Archibald Avenue, and is depicted in Exhibit A—Project Location Map, attached. Existing land uses, General Plan and zoning designations, and specific plan land uses on and surrounding the Project site are as follows:

	<i>Existing Land Use</i>	<i>General Plan Designation</i>	<i>Zoning Designation</i>	<i>Specific Plan Land Use</i>
<i>Site</i>	Vacant Prev. Ag/Dairy Uses	Medium Density Residential	Parkside Specific Plan	PA 1 (8-10 Plex Detached Green Court Cluster Homes), PAs 2-4 (Conventionally-Loaded Lane Homes), and PA 23 Private Open Space
<i>North</i>	Vacant Prev. Ag/Dairy Uses	Open Space-Recreational	Parkside Specific Plan	PA 21 (Open Space Parkland/Great Park) and PA 26 (CDA Well Site/ Public Facility)
<i>South</i>	Vacant Prev. Ag/Dairy Uses	Low Density Residential and Neighborhood Commercial	Subarea 29 Specific Plan	PA 2 (Neighborhood Center) and PA 1 (Conventional Small Lot)
<i>East</i>	Vacant Prev. Ag/Dairy Uses	Open Space-Recreational	Grand Park Specific Plan	PA 8 High Density Residential and Great Park

	Existing Land Use	General Plan Designation	Zoning Designation	Specific Plan Land Use
West	Cucamonga Creek Channel	Medium Density Residential	Parkside Specific Plan	PA 5 (2 and 3-Story Townhomes/MDR) PA 6 (Motorcourt/MDR)

(2) **Project Description:**

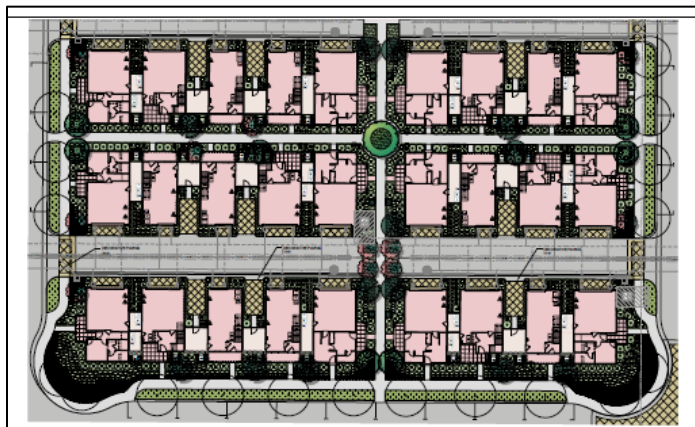
(a) Background — The Applicant is requesting the approval of a Development Plan to construct 540 detached single-family homes (170 8-Plex Detached Green Court Cluster Homes and 370 Conventionally-Loaded Lane Homes) and a 2,800 square foot recreational center within gated community on 34.30 acres of land located at the northwest corner of Eucalyptus Avenue and Archibald Avenue, within Planning Areas 1 through 4 (Medium Density Residential) and Planning Area 23 (Private Open Space) of the Parkside Specific Plan.

The Parkside Specific Plan and Environmental Impact Report (EIR) were approved by the City Council on September 5, 2006. The Parkside Specific Plan established the land use designations, development standards, and design guidelines for 250 acres of land, which includes the potential development of 1,947 dwelling units (*Exhibit B: The Parkside Specific Plan Land Use Map- Proposed Amendment, attached*). Related to the Development Plan request, are the following discretionary actions to be considered concurrently by the City:

- An Amendment to the Parkside Specific Plan (File No. PSPA19-007) to: [1] Reconfigure the residential Planning Areas 1 through 4, and 17 through 19; [2] Reconfigure the Great Park Planning Area 22 (east of the Cucamonga Creek Channel); [3] Revise internal circulation to improve access into the neighborhood commercial Planning Area 19; [4] Update and revise Residential Design Guidelines (Sections 7.1 through 7.6) to introduce new housing types and architectural styles; and [5] Update and revise Landscape Standards (Section 7.7).
- Tentative Tract Map 20316 (File No. PMTT19-020) for condominium purposes, to subdivide 56.99 acres of land into 4 numbered residential lots and 12 lettered lots for common areas, portions of the Great Park, private streets, public until easements and neighborhood landscape edges. The Project is located at the northwest corner of Archibald Avenue and Eucalyptus Avenue, within Planning areas 1 through 4 (Detached Green Court Cluster Homes and Conventionally-Loaded Lane Homes) of the Parkside Specific Plan.
- A Fourth Amendment to the Development Agreement (File No. PDA05-002) to modify the commencement of certain specific infrastructure associated with the development of Tentative Tract Map 20316 (File No. PMTT19-020), and conform to the revised development standards established by the Parkside Specific Plan Amendment (File No. PSPA19-007), located at the northwest corner of Eucalyptus Avenue and Archibald Avenue, within Planning Areas 1 through 4 of the Parkside Specific Plan.

(b) Site Design/Building Layout — The Project proposes the development of 540 detached single-family homes (170 8-Plex Detached Green Court Cluster Homes and 370 Conventionally-Loaded Lane Homes) and a 2,800 square foot recreational center within a gated community (see Exhibit C—Site Plan, attached).





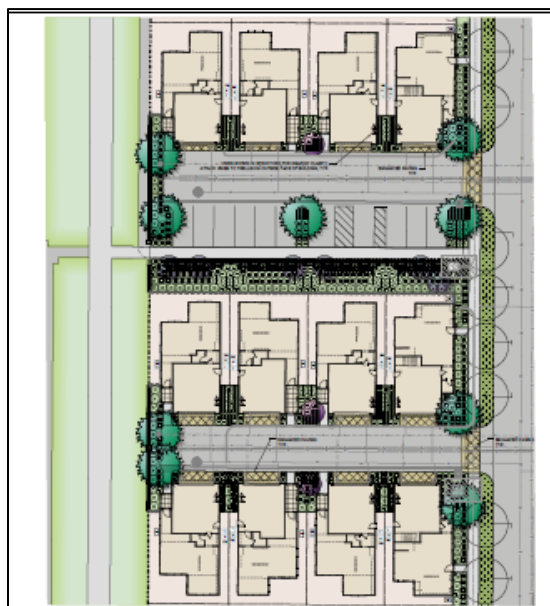
**Figure 3A: Conceptual Detached Green Court Cluster Homes (8-Plex)**

Product 1, the Detached Green Court Cluster, allows for a cluster of 8 single-family homes, with smaller and more efficient home footprints. The single-family homes are clustered around a green paseo, with primary entry access from a paseo or street for corner lots. Parking for residents are provided in garages or uncovered parking spaces. The products feature private side yards and patio areas. All driveways, including on-site parking and private lane (alley) entrances, will be treated with decorative paving. Landscaped paseos run horizontal and vertical, connecting pedestrian access throughout the site.

Product 1 is comprised of 170 three-story dwelling units (DUs) and includes 4 floor plans with three architectural styles per plan. The 4 floor plans are characterized as follows:

- Plan 1 (50 DUs): 1,090 square feet, 2 bedrooms, 2.5 baths, patio, deck, and one-car garage.
- Plan 2 (40 DUs): 1,458 square feet, 3 bedrooms, 2.5 baths, patio, deck, and 2-car garage.
- Plan 3 (40 DUs): 1,688 square feet, 4 bedrooms, 3.5 baths, patio, deck, and 2-car garage.
- Plan 4 (40 DUs): 1,783 square feet, 4 bedrooms, 3.5 baths, patio, deck, and 2-car garage.

Products 2 through 4 consist of conventionally-loaded lane, small lot single-family homes, which are characterized by a private lane (Alley) that provides garage access (a second driveway to access a one-car parking stall is provided on select units) and primary entry access into each unit, with the exception of street facing units that have primary entry access directly from a street. The products also feature private yards and patio areas.



**Figure 3A: Conceptual Conventionally-Loaded Lane Homes**

Product 2 (Conventionally-Loaded Lane Homes) will provide 136 DUs and includes 3 floor plans with three architectural styles per plan. Product 2 units will have 2-stories. The 3 floor plans are characterized as follows:

- Plan 1 (68 DUs): 1,020 square feet, 2 bedrooms, 2.5 baths, and one-car garage.
- Plan 2 (31 DUs): 1,046 square feet, 2 bedrooms, 2.5 baths, loft, and one-car garage.
- Plan 2G (37 DUs): 1,046 square feet, 2 bedrooms, 2.5 baths, loft, and 2-car garage.

Product 3 (Conventionally-Loaded Lane Homes) consists of 111 two-story DUs and includes 4 floor plans with three architectural styles per plan. The 4 floor plans are characterized as follows:

- Plan 1 (40 DUs): 1,351 square feet, 3 bedrooms, 2.5 baths, and 2-car tandem garage (option 4 bedroom/3 bathroom in lieu of tandem garage).
- Plan 2 (18 DUs): 1,404 square feet, 3 bedrooms, 2.5 baths, and 2-car garage.
- Plan 3 (39 DUs): 1,429 square feet, 3 bedrooms, 2.5 baths, and 2-car garage.
- Plan 4 (14 DUs): 1,550 square feet, 3 bedrooms, 2.5 baths, and 2-car garage.

Product 4 (Conventionally-Loaded Lane Homes) consists of 123 two-story DUs and includes 3 floor plans with three architectural styles per plan. The 3 floor plans are characterized as follows:

- Plan 1 (54 DUs): 1,595 square feet, 3 bedrooms, 2.5 baths, loft, porch, and 2-car garage.
- Plan 2 (35 DUs): 1,647 square feet, 4 bedrooms, 2.5 baths, loft, porch, and 2-car garage.
- Plan 3 (34 DUs): 1,790 square feet, 4 bedrooms, 2.5 baths, loft, and 2-car garage.

(c) Architecture — The Parkside Specific Plan allows for a variety of traditional American styles found throughout California and Ontario. These styles include American Traditional, Craftsman, and Mediterranean. The Project proposes 3 architectural styles from Parkside Specific Plan's Millennium Collection. This collection represents subtle differences in the architectural vocabulary using creative interpretation of traditional styles utilizing embellished statements and details to express an iconic style in a new vocabulary. Elevations can be abstracted architectural expressions of a recognizable style. These elevations are encouraged to push the artistic envelope of design to incorporate new, modern or alternative forms, details, and materials in the modern context of architecture. Styles within this series include the following (see *Exhibit D – Floor Plans and Elevations, attached*):

- Adaptive Farmhouse: This style blends the sleek clean lines of contemporary design with warm farmhouse charm to create a uniquely fresh take on this country living inspired style. Elements include hipped and gabled roofs, board and batten siding and stucco finishes, metal awnings, raised panel garage doors, and horizontal wood railing on balconies.
- Adaptive Mediterranean: Simplified details borrowed from traditional Mediterranean styles include streamline forms which move toward a modern and unpretentious aesthetic, including hipped and gable roofs. Elements include a combination of smooth and sand stucco finishes, recessed multiple paned windows, arched porch entries, raked eaves, and decorative foam frieze board under eave.
- Contemporary: Clean lines and ordered appearance best describes this particular style. Elements include hipped, gable and shed roofs, tight eaves, stucco and Cementous siding, metal awnings over entries, horizontal siding, and vertical banding of windows.

(d) Site Access/Circulation — The Project street frontage improvements along Eucalyptus Avenue, Archibald Avenue, Parkside Drive, and the Cucamonga Creek Channel will be constructed as a condition of Tentative Tract Map 20316 (File No. PMTT19-020) once approved. The Project will have a major community gateway with access from Eucalyptus Avenue and a secondary community gateway with access from Parkside Drive (see *Exhibit E – Conceptual Entry Gate Renderings, attached*). Additional pedestrian access gates will also be located on Eucalyptus Avenue, Archibald Avenue, and on the north end of the property connecting the neighborhood to the Great Park. The Project will have a series of 26-foot wide main loop streets, which connect to 24-foot wide private lanes. The Project will also have a network of landscapes paseos and walkways providing east-west and north-south connectivity throughout the site.

(e) Parking — As demonstrated in the Parking Summary Table below, the Project requires a total 1,080 parking spaces and 1,320 parking spaces have been provided. All proposed single-family homes provide 2 parking spaces with at least one space enclosed, which is consistent with the requirements of the Parkside Specific Plan. Two-car garages will be constructed for 391 units and the remaining 141 units will have a one-car garage and a second driveway to access a one-car parking space. In addition, 240 on-street guest parking spaces are distributed throughout the neighborhood community.

<b>Parking Summary Table</b>					
<b>Product</b>	<b>Number of Units</b>	<b>Required 2 Parking Spaces</b>	<b>On-Street Parking</b>	<b>Total Provided</b>	<b>+/- Parking</b>
SF Lane Loaded Cluster	540	1,080	240	1,320	+240
				2.4 spaces per unit	

(f) Landscaping/Open Space — Contingent upon approval of the Tentative Tract Map 20316 (File No. PMTT19-020), the Project will facilitate the construction of a centrally located recreation center, which includes a 2,800 square foot clubhouse, swimming pool and spa, barbeque area, dog park, yoga lawn, a larger event lawn on 1.32-acres of land, paseos, and parkways within the neighborhood community (see *Exhibit F – Clubhouse/Recreation Center Renderings, attached*). TOP Policy PR1-1 requires new developments to provide a minimum of 2 acres of Private Park per 1,000 residents. The proposed Project is required to provide 4.1 acres parkland to meet the minimum TOP private park requirement. To satisfy the park requirement, as part of the Development Agreement, the applicant will be required to construct and transfer the portions of the Great Park identified the Parkside Specific Plan in four phases, to the City. In addition, the applicant (Owner) will enter a Development Impact Fee (DIF) credit and Reimbursement Agreement with City for the design and construction of the Great Park areas.

**Part II—RECITALS**

WHEREAS, the Application is a project pursuant to the California Environmental Quality Act (Public Resources Code Section 21000 et seq.) ("CEQA"); and

WHEREAS, the environmental impacts of this Project were analyzed in an Addendum to the Parkside Specific Plan (File No. PSP03-002) Environmental Impact Report (SCH# 2004011008) certified by the City Council on September 5, 2006, and this Application introduces no new significant environmental impacts; and

WHEREAS, the City's "Local Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed; and

WHEREAS, the Application is a project pursuant to CEQA (Public Resources Code Section 21000 et seq.), and an initial study has been prepared to determine possible environmental impacts; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board ("DAB") the responsibility and authority to review and make recommendation to the Planning Commission on the subject Application; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan ("ALUCP"), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, on May 18, 2020, the DAB of the City of Ontario conducted a hearing on the Application and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.

### ***Part III—THE DECISION***

NOW, THEREFORE, IT IS HEREBY FOUND AND DETERMINED by the Development Advisory Board of the City of Ontario, as follows:

**SECTION 1: *Environmental Determination and Findings.*** As the recommending body for the Project, the DAB has reviewed and considered the information contained in the previous certified Parkside Specific Plan EIR (SCH# 2004011008) and supporting documentation. Based upon the facts and information contained in the previous certified Parkside Specific Plan EIR (SCH# 2004011008) and supporting documentation, the DAB finds as follows:

(1) The environmental impacts of this Project were previously reviewed in conjunction with the Parkside Specific Plan (File No. PSP05-002), for which an Environmental Impact Report (SCH# 2004011008) was certified by the City Council on February 6, 2007.

(2) The previous certified Parkside Specific Plan EIR (SCH# 2004011008) contains a complete and accurate reporting of the environmental impacts associated with the Project; and

(3) The previous certified Parkside Specific Plan EIR (SCH# 2004011008) was completed in compliance with CEQA and the Guidelines promulgated thereunder, and the City of Ontario Local CEQA Guidelines; and

(4) The previous certified Parkside Specific Plan EIR (SCH# 2004011008) reflects the independent judgment of the Planning Commission; and

(5) The proposed Project will introduce no new significant environmental impacts beyond those previously analyzed in the previous certified Parkside Specific Plan EIR (SCH# 2004011008) and all mitigation measures previously adopted with the certified Esperanza Specific Plan EIR (SCH# 2004011008) are incorporated herein by this reference.

**SECTION 2: *Subsequent or Supplemental Environmental Review Not Required.*** Based on the information presented to the DAB, and the specific findings set forth in Section 1, above, the DAB finds that the preparation of a subsequent or supplemental certified Parkside Specific Plan EIR (SCH# 2004011008) is not required for the Project, as the Project:

(1) Does not constitute substantial changes to the certified Parkside Specific Plan EIR (SCH# 2004011008) that will require major revisions to the certified Parkside Specific Plan EIR (SCH#: 2002061047) due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and

(2) Does not constitute substantial changes with respect to the circumstances under which the certified Parkside Specific Plan EIR (SCH# 2004011008) was prepared, that will require major revisions to the certified Parkside Specific Plan EIR (SCH# 2004011008) due to the involvement of new significant environmental effects or a substantial increase in the severity of the previously identified significant effects; and

(3) Does not contain new information of substantial importance that was not known and could not have been known with the exercise of reasonable diligence at the time the certified Parkside Specific Plan EIR (SCH# 2004011008) was certified/adopted, that shows any of the following:

(a) The Project will have one or more significant effects not discussed in the certified Parkside Specific Plan (SCH# 2004011008); or

(b) Significant effects previously examined will be substantially more severe than shown in the certified Parkside Specific Plan EIR (SCH# 2004011008); or

(c) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the Project, but the City declined to adopt such measures; or

(d) Mitigation measures or alternatives considerably different from those analyzed in the certified Parkside Specific Plan EIR (SCH# 2004011008) would substantially reduce one or more significant effects on the environment, but which the City declined to adopt.

**SECTION 3: Housing Element Compliance.** Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the recommending body for the Project, the DAB finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the Project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan. The Project site is one of the properties listed in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix, and the proposed Project is consistent with the maximum number of dwelling units (540) and density (18 DUs/AC) specified within the Parkside Specific Plan. Per the Available Land Inventory, the Parkside Specific Plan is required to provide 1,947 dwelling units with an overall density range of 9 to 21 DUs/AC.

**SECTION 4: Ontario International Airport Land Use Compatibility Plan (“ALUCP”) Compliance.** The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land use Compatibility Plan (“ALUCP”), establishing the Airport Influence Area for Ontario International Airport (“ONT”), which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the recommending body for the Project, the DAB has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the DAB, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

**SECTION 5: Concluding Facts and Reasons.** Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the specific findings set forth in Sections 1 through 4, above, the DAB hereby concludes as follows:

(1) ***The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.*** The proposed Project is located within the Medium Density Residential land use district of the Policy Plan Land Use Map, and the Parkside Specific Plan. The development standards and conditions under which the proposed Project will be constructed and maintained, is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan. The Development Plan has been required to comply with all provisions of the Parkside Specific Plan. Future neighborhoods within the Parkside Specific Plan and surrounding area will provide for diverse housing and highly amenitized neighborhoods that will be compatible in design, scale and massing to the proposed development; and

(2) ***The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located.*** The Project has been designed consistent with the requirements of the City of Ontario Development Code and the Parkside Specific Plan, including standards relative to the particular land use proposed (single-family residential), as-well-as building intensity, building and parking setbacks, building height, number of off-street parking and loading spaces, on-site and off-site landscaping, and fences, walls and obstructions; and

(3) ***The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed project.*** The Development Advisory Board has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the Parkside Specific Plan are maintained; [ii] the Project will not endanger the public health, safety or general welfare; [iii] the Project will not result in any significant environmental impacts; [iv] the Project will be in harmony with the area in which it is located; and [v] the Project will be in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan, and the Parkside Specific Plan. Additionally, the environmental impacts of this Project were previously reviewed in conjunction with the Parkside Specific Plan Environmental Impact Report (SCH# 2004011008). This application is consistent with the previously adopted EIR and introduces no new significant environmental impacts; and

(4) ***The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.*** The proposed Project has been reviewed for consistency with the general development standards and guidelines of the Parkside Specific Plan that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of off-street parking and loading spaces, parking lot dimensions, design and landscaping, bicycle parking, on-site landscaping, and fences and walls, as-well-as those development standards and guidelines specifically related to the particular land use being proposed (single-family residential homes). As a result of this review, the Development Advisory Board has determined that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the development standards and guidelines described in the Parkside Specific Plan.

**SECTION 6: Development Advisory Board Action.** Based on the findings and conclusions set forth in Sections 1 through 5, above, the DAB hereby recommends the Planning Commission APPROVES the Application subject to each and every condition set forth in the Department reports included as Attachment A of this Decision, and incorporated herein by this reference.

**SECTION 7: Indemnification.** The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul this

approval. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

SECTION 8: **Custodian of Records.** The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

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APPROVED AND ADOPTED this 18th day of May 2020.

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Development Advisory Board Chairman



**Exhibit A—PROJECT LOCATION MAP**



**Exhibit B—Parkside Specific Plan Land Use Map, Proposed Amendment**





Exhibit C—SITE PLAN



**Exhibit D—FLOOR PLANS AND ELEVATIONS – PRODUCT 1**



PLAN 3R ALT.

PLAN 1

PLAN 2

PLAN 4R

**PASEO**  
garage



PLAN 3

PLAN 3R ALT.

**MOTOR ENTRY**  
garage

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**STREET SCENE**  
Adaptive Mediterranean Elevation  
**NUVO PARKSIDE - PRODUCT 1**  
Ontario, California  
752.19016

02.14.20





Exhibit D—FLOOR PLANS AND ELEVATIONS – PRODUCT 1



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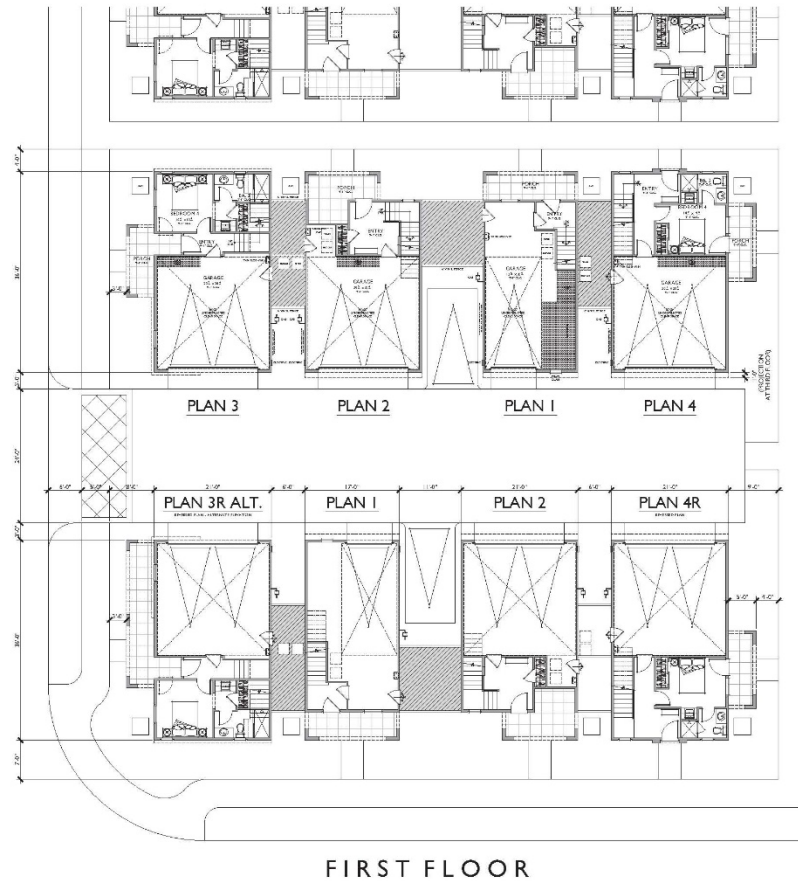


**STREET SCENE**  
Adaptive Mediterranean Elevation  
**NUVO PARKSIDE - PRODUCT 1**  
Ontario, California  
760.190.1166

02.14.20



**Exhibit D—FLOOR PLANS AND ELEVATIONS – PRODUCT 1**



FIRST FLOOR

**PLAN 1**  
 1,090 SQ. FT.  
 2 BEDROOMS / 2.5 BATHS  
 1 - CAR GARAGE / OWNER'S PARKING

FLOOR AREA TABLE	
1ST FLOOR	73 SQ. FT.
2ND FLOOR	478 SQ. FT.
3RD FLOOR	544 SQ. FT.
TOTAL	1,090 SQ. FT.
1 - CAR GARAGE	455 SQ. FT.
PORCH	85 SQ. FT.
DECK	85 SQ. FT.
PRIVATE OPEN SPACE	132 SQ. FT.

**PLAN 2**  
 1,458 SQ. FT.  
 3 BEDROOMS / 2.5 BATHS  
 2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	164 SQ. FT.
2ND FLOOR	554 SQ. FT.
3RD FLOOR	740 SQ. FT.
TOTAL	1,458 SQ. FT.
1 - CAR GARAGE	469 SQ. FT.
PORCH	101 SQ. FT.
DECK	101 SQ. FT.
PRIVATE OPEN SPACE	60 SQ. FT.

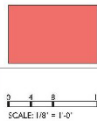
**PLAN 3**  
 1,688 SQ. FT.  
 4 BEDROOMS / 3.5 BATHS  
 2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	294 SQ. FT.
2ND FLOOR	673 SQ. FT.
3RD FLOOR	721 SQ. FT.
TOTAL	1,688 SQ. FT.
1 - CAR GARAGE	443 SQ. FT.
PORCH	89 SQ. FT.
DECK	60 SQ. FT.
PRIVATE OPEN SPACE	58 SQ. FT.

**PLAN 4**  
 1,783 SQ. FT.  
 4 BEDROOMS / 3.5 BATHS  
 2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	319 SQ. FT.
2ND FLOOR	686 SQ. FT.
3RD FLOOR	777 SQ. FT.
TOTAL	1,783 SQ. FT.
1 - CAR GARAGE	437 SQ. FT.
PORCH	70 SQ. FT.
DECK	70 SQ. FT.
PRIVATE YARD	120 SQ. FT.

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**COMPOSITE**  
**NUVO PARKSIDE - PRODUCT 1**  
 Ontario, California  
 752.19016

02.14.20



**Exhibit D— FLOOR PLANS AND ELEVATIONS – PRODUCT 1**



PLAN 3

PLAN 2

PLAN 1

PLAN 4

PLAN 3R ALT.  
REAR PORCH EXPANDED OPTION

PLAN 1

PLAN 2

PLAN 4R  
REAR PORCH EXPANDED OPTION

SECOND FLOOR

**PLAN 1**

1,090 SQ. FT.  
 2 BEDROOMS / 2.5 BATHS  
 1 - CAR GARAGE / OWNER'S PARKING

**FLOOR AREA TABLE**

1ST FLOOR	72 SQ. FT.
2ND FLOOR	473 SQ. FT.
3RD FLOOR	544 SQ. FT.
TOTAL	1,090 SQ. FT.
1 - CAR GARAGE	455 SQ. FT.
PORCH	85 SQ. FT.
DECK	85 SQ. FT.
PRIVATE OPEN SPACE	132 SQ. FT.

NOTE: SQUARE FOOTAGE AND AREA VALUES ARE APPROXIMATE AND FOR INFORMATION ONLY.

**PLAN 2**

1,458 SQ. FT.  
 3 BEDROOMS / 2.5 BATHS  
 2 - CAR GARAGE

**FLOOR AREA TABLE**

1ST FLOOR	164 SQ. FT.
2ND FLOOR	743 SQ. FT.
3RD FLOOR	551 SQ. FT.
TOTAL	1,458 SQ. FT.
2 - CAR GARAGE	469 SQ. FT.
PORCH	101 SQ. FT.
DECK	101 SQ. FT.
PRIVATE OPEN SPACE	60 SQ. FT.

NOTE: SQUARE FOOTAGE AND AREA VALUES ARE APPROXIMATE AND FOR INFORMATION ONLY.

**PLAN 3**

1,688 SQ. FT.  
 4 BEDROOMS / 3.5 BATHS  
 2 - CAR GARAGE

**FLOOR AREA TABLE**

1ST FLOOR	294 SQ. FT.
2ND FLOOR	673 SQ. FT.
3RD FLOOR	721 SQ. FT.
TOTAL	1,688 SQ. FT.
2 - CAR GARAGE	443 SQ. FT.
PORCH	89 SQ. FT.
DECK	60 SQ. FT.
PRIVATE OPEN SPACE	58 SQ. FT.

NOTE: SQUARE FOOTAGE AND AREA VALUES ARE APPROXIMATE AND FOR INFORMATION ONLY.

**PLAN 4**

1,783 SQ. FT.  
 4 BEDROOMS / 3.5 BATHS  
 2 - CAR GARAGE

**FLOOR AREA TABLE**

1ST FLOOR	319 SQ. FT.
2ND FLOOR	686 SQ. FT.
3RD FLOOR	777 SQ. FT.
TOTAL	1,783 SQ. FT.
2 - CAR GARAGE	457 SQ. FT.
PORCH	70 SQ. FT.
DECK	70 SQ. FT.
PRIVATE YARD	120 SQ. FT.

NOTE: SQUARE FOOTAGE AND AREA VALUES ARE APPROXIMATE AND FOR INFORMATION ONLY.

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**COMPOSITE**  
**NUVO PARKSIDE - PRODUCT 1**  
 Ontario, California  
 752.19016



SCALE: 1/8" = 1'-0"

02.14.20





**Exhibit D— FLOOR PLANS AND ELEVATIONS – PRODUCT 1**



**THIRD FLOOR**

**PLAN 1**  
 1,090 SQ. FT.  
 2 BEDROOMS / 2.5 BATHS  
 1 - CAR GARAGE / OWNER'S PARKING

FLOOR AREA TABLE	
1ST FLOOR	72 SQ. FT.
2ND FLOOR	473 SQ. FT.
3RD FLOOR	544 SQ. FT.
TOTAL	1,090 SQ. FT.
1 - CAR GARAGE	455 SQ. FT.
PORCH	85 SQ. FT.
DECK	85 SQ. FT.
PRIVATE OPEN SPACE	132 SQ. FT.

**PLAN 2**  
 1,458 SQ. FT.  
 3 BEDROOMS / 2.5 BATHS  
 2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	164 SQ. FT.
2ND FLOOR	554 SQ. FT.
3RD FLOOR	740 SQ. FT.
TOTAL	1,458 SQ. FT.
2 - CAR GARAGE	469 SQ. FT.
PORCH	101 SQ. FT.
DECK	101 SQ. FT.
PRIVATE OPEN SPACE	60 SQ. FT.

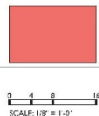
**PLAN 3**  
 1,688 SQ. FT.  
 4 BEDROOMS / 3.5 BATHS  
 2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	294 SQ. FT.
2ND FLOOR	673 SQ. FT.
3RD FLOOR	721 SQ. FT.
TOTAL	1,688 SQ. FT.
2 - CAR GARAGE	443 SQ. FT.
PORCH	89 SQ. FT.
DECK	60 SQ. FT.
PRIVATE OPEN SPACE	58 SQ. FT.

**PLAN 4**  
 1,783 SQ. FT.  
 4 BEDROOMS / 3.5 BATHS  
 2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	319 SQ. FT.
2ND FLOOR	686 SQ. FT.
3RD FLOOR	777 SQ. FT.
TOTAL	1,783 SQ. FT.
2 - CAR GARAGE	437 SQ. FT.
PORCH	70 SQ. FT.
DECK	70 SQ. FT.
PRIVATE YARD	120 SQ. FT.

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 Hayward, CA 94541, 510.885.8888  
 Fax: 510.885.8888



**COMPOSITE**  
**NUVO PARKSIDE - PRODUCT 1**  
 Ontario, California  
 752.19016

02.14.20



**Exhibit D— FLOOR PLANS AND ELEVATIONS – PRODUCT 2**



**STREET SCENE**  
Adaptive Farmhouse Elevation  
**NUVO PARKSIDE - PRODUCT 2**  
Ontario, California  
752.19013

02.14.20



**Exhibit D— FLOOR PLANS AND ELEVATIONS – PRODUCT 2**



FIRST FLOOR

**PLAN 1**  
 1,020 SQ. FT.  
 2 BEDROOMS / 2.5 BATHS / TECH  
 1 - CAR GARAGE / OWNER'S PARKING

FLOOR AREA TABLE	
1ST FLOOR	463 SQ. FT.
2ND FLOOR	557 SQ. FT.
TOTAL	1,020 SQ. FT.
1 - CAR GARAGE	217 SQ. FT.
PRIVATE OPEN SPACE	289 SQ. FT.

NOTE: SQUARE FOOTAGE NOT VPHI DUE TO METHOD OF CALCULATION.

**PLAN 2**  
 1,046 SQ. FT.  
 2 BEDROOMS / 2.5 BATHS / LOFT  
 1 - CAR GARAGE / OWNER'S PARKING

FLOOR AREA TABLE	
1ST FLOOR	448 SQ. FT.
2ND FLOOR	598 SQ. FT.
TOTAL	1,046 SQ. FT.
1 - CAR GARAGE	218 SQ. FT.
PRIVATE OPEN SPACE	289 SQ. FT.

NOTE: SQUARE FOOTAGE NOT VPHI DUE TO METHOD OF CALCULATION.

**PLAN 2G**  
 1,046 SQ. FT.  
 2 BEDROOMS / 2.5 BATHS / LOFT  
 2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	448 SQ. FT.
2ND FLOOR	598 SQ. FT.
TOTAL	1,046 SQ. FT.
2 - CAR GARAGE	429 SQ. FT.
PRIVATE OPEN SPACE	249 SQ. FT.

NOTE: SQUARE FOOTAGE NOT VPHI DUE TO METHOD OF CALCULATION.

STORAGE  
 PRIVATE OPEN SPACE

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**COMPOSITE**  
**NUVO PARKSIDE - PRODUCT 2**  
 Ontario, California

2201 Orange Drive, Suite 100  
 Newport Beach, CA 92660  
 Tel: +1 949 521 1300  
 Fax: +1 949 521 1508

SCALE: 1/8" = 1'-0"

752.19013

02.14.20



**Exhibit D— FLOOR PLANS AND ELEVATIONS – PRODUCT 2**



**PLAN 1**

1,020 SQ. FT.  
 2 BEDROOMS / 2.5 BATHS / TERR.  
 1 - CAR GARAGE / OWNER'S PARKING

**FLOOR AREA TABLE**

1ST FLOOR	463 SQ. FT.
2ND FLOOR	557 SQ. FT.
TOTAL	1,020 SQ. FT.
1 - CAR GARAGE	217 SQ. FT.
PRIVATE OPEN SPACE	289 SQ. FT.

**PLAN 2**

1,046 SQ. FT.  
 2 BEDROOMS / 2.5 BATHS / LOFT  
 1 - CAR GARAGE / OWNER'S PARKING

**FLOOR AREA TABLE**

1ST FLOOR	448 SQ. FT.
2ND FLOOR	598 SQ. FT.
TOTAL	1,046 SQ. FT.
1 - CAR GARAGE	218 SQ. FT.
PRIVATE OPEN SPACE	289 SQ. FT.

**PLAN 2G**

1,046 SQ. FT.  
 2 BEDROOMS / 2.5 BATHS / LOFT  
 2 - CAR GARAGE

**FLOOR AREA TABLE**

1ST FLOOR	448 SQ. FT.
2ND FLOOR	598 SQ. FT.
TOTAL	1,046 SQ. FT.
2 - CAR GARAGE	439 SQ. FT.
PRIVATE OPEN SPACE	249 SQ. FT.

**SECOND FLOOR**

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**COMPOSITE**  
**NUVO PARKSIDE - PRODUCT 2**  
 Ontario, California  
 752.19013



SCALE: 1/8" = 1'-0"

02.14.20



Exhibit D— FLOOR PLANS AND ELEVATIONS – PRODUCT 3



PLAN 3R ALT.

PLAN 4XR

PLAN 1XR

PLAN 3Y

PASEO  
STREET



PLAN 3Y

PLAN 2

PASEO  
STREET



**STREET SCENE**  
Contemporary Elevation  
**NUVO PARKSIDE - PRODUCT 3**  
Ontario, California  
752.19014

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Exhibit D— FLOOR PLANS AND ELEVATIONS – PRODUCT 3



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**STREET SCENE**  
Contemporary Elevation  
**NUVO PARKSIDE - PRODUCT 3**  
Ontario, California  
752.19014

02.14.20



**Exhibit D— FLOOR PLANS AND ELEVATIONS – PRODUCT 3**



**PLAN 1**

1,351 SQ. FT.  
 3 BEDROOMS / 2.5 BATHS  
 2 - CAR TANDIEM GARAGE / OWNER'S PARKING

FLOOR AREA TABLE	
1ST FLOOR	539 SQ. FT.
2ND FLOOR	813 SQ. FT.
TOTAL	1,351 SQ. FT.
1ST FLOOR AT OPT. BED 4	752 SQ. FT.
TOTAL AT OPT. BED 4	1,564 SQ. FT.
2 - CAR TANDIEM GARAGE	430 SQ. FT.
GARAGE AT OPT. BED 4	217 SQ. FT.
PORCH	15 SQ. FT.
PRIVATE OPEN SPACE	371 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY Slightly TO METHOD OF CALCULATION.

**PLAN 2**

1,404 SQ. FT.  
 3 BEDROOMS / 2.5 BATHS  
 2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	525 SQ. FT.
2ND FLOOR	879 SQ. FT.
TOTAL	1,404 SQ. FT.
2 - CAR GARAGE	452 SQ. FT.
OUTDOOR LIVING	80 SQ. FT.
PRIVATE OPEN SPACE	272 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY Slightly TO METHOD OF CALCULATION.

**PLAN 3**

1,429 SQ. FT.  
 3 BEDROOMS / 2.5 BATHS  
 2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	549 SQ. FT.
2ND FLOOR	879 SQ. FT.
TOTAL	1,429 SQ. FT.
2 - CAR GARAGE	453 SQ. FT.
PRIVATE OPEN SPACE	629 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY Slightly TO METHOD OF CALCULATION.

**PLAN 4**

1,550 SQ. FT.  
 3 BEDROOMS / 2.5 BATHS  
 2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	689 SQ. FT.
2ND FLOOR	861 SQ. FT.
TOTAL	1,550 SQ. FT.
2 - CAR GARAGE	453 SQ. FT.
PORCH	15 SQ. FT.
OUTDOOR LIVING	192 SQ. FT.
PRIVATE OPEN SPACE	472 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY Slightly TO METHOD OF CALCULATION.

PRIVATE OPEN SPACE

FIRST FLOOR

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 Fax: (949) 552-0546



**COMPOSITE**  
**NUVO PARKSIDE - PRODUCT 3**  
 Ontario, California

752.19014

0 4 8 12  
 SCALE: 1/8" = 1'-0"

02.14.20





**Exhibit D— FLOOR PLANS AND ELEVATIONS – PRODUCT 3**



**PLAN 1**

1,351 SQ. FT.  
 3 BEDROOMS / 2.5 BATHS  
 2 - CAR TANDEM GARAGE / OWNER'S PARKING

FLOOR AREA TABLE	
1ST FLOOR	539 SQ. FT.
2ND FLOOR	813 SQ. FT.
TOTAL	1,351 SQ. FT.
1ST FLOOR AT OPT. BED 4	752 SQ. FT.
TOTAL AT OPT. BED 4	1,564 SQ. FT.
2 - CAR TANDEM GARAGE	430 SQ. FT.
GARAGE AT OPT. BED 4	217 SQ. FT.
PORCH	15 SQ. FT.
PRIVATE OPEN SPACE	371 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY SLIGHTLY DUE TO CALCULATION.

**PLAN 2**

1,404 SQ. FT.  
 3 BEDROOMS / 2.5 BATHS  
 2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	525 SQ. FT.
2ND FLOOR	879 SQ. FT.
TOTAL	1,404 SQ. FT.
2 - CAR GARAGE	452 SQ. FT.
OUTDOOR LIVING	80 SQ. FT.
PRIVATE OPEN SPACE	272 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY SLIGHTLY DUE TO CALCULATION.

**PLAN 3**

1,429 SQ. FT.  
 3 BEDROOMS / 2.5 BATHS  
 2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	549 SQ. FT.
2ND FLOOR	879 SQ. FT.
TOTAL	1,429 SQ. FT.
2 - CAR GARAGE	455 SQ. FT.
PRIVATE OPEN SPACE	629 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY SLIGHTLY DUE TO CALCULATION.

**PLAN 4**

1,550 SQ. FT.  
 3 BEDROOMS / 2.5 BATHS  
 2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	689 SQ. FT.
2ND FLOOR	861 SQ. FT.
TOTAL	1,550 SQ. FT.
2 - CAR GARAGE	453 SQ. FT.
PORCH	15 SQ. FT.
OUTDOOR LIVING	102 SQ. FT.
PRIVATE OPEN SPACE	472 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY SLIGHTLY DUE TO CALCULATION.

SECOND FLOOR

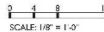
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**COMPOSITE**  
 NUVO PARKSIDE - PRODUCT 3  
 Ontario, California

752.19014



SCALE: 1/8" = 1'-0"

02.14.20



Exhibit D— FLOOR PLANS AND ELEVATIONS – PRODUCT 4



PLAN 3                      PLAN 1                      PLAN 2                      PLAN 1 ALT.

MOTOR COURT



PLAN 3    PLAN 3R ALT.

MOTOR ENTRY

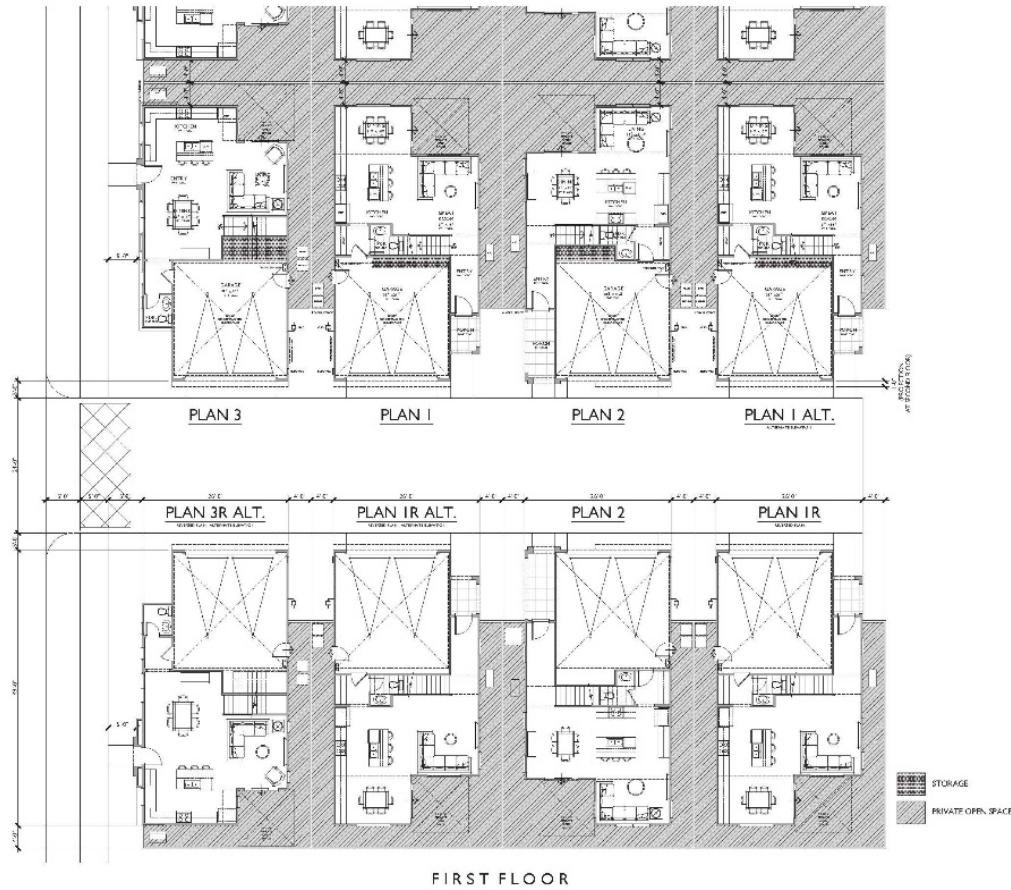


**STREET SCENE**  
Adaptive Farmhouse Elevation  
**NUVO PARKSIDE - PRODUCT 4**  
Oxnard, California  
752.19015

02.14.20



**Exhibit D— FLOOR PLANS AND ELEVATIONS – PRODUCT 4**



**PLAN 1**  
 1,595 SQ. FT.  
 3 BEDROOMS / 2.5 BATHS / LOFT  
 2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	633 SQ. FT.
2ND FLOOR	942 SQ. FT.
TOTAL	1,595 SQ. FT.
2 - CAR GARAGE	457 SQ. FT.
PORCH	35 SQ. FT.
PRIVATE OPEN SPACE	532 SQ. FT.

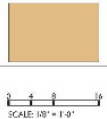
**PLAN 2**  
 1,647 SQ. FT.  
 4 BEDROOMS / 2.5 BATHS / LOFT  
 2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	639 SQ. FT.
2ND FLOOR	1,008 SQ. FT.
TOTAL	1,647 SQ. FT.
2 - CAR GARAGE	466 SQ. FT.
PORCH	67 SQ. FT.
PRIVATE OPEN SPACE	529 SQ. FT.

**PLAN 3**  
 1,790 SQ. FT.  
 4 BEDROOMS / 2.5 BATHS / LOFT  
 2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	681 SQ. FT.
2ND FLOOR	1,109 SQ. FT.
TOTAL	1,790 SQ. FT.
2 - CAR GARAGE	486 SQ. FT.
PRIVATE OPEN SPACE	322 SQ. FT.

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**COMPOSITE**  
**NUVO PARKSIDE - PRODUCT 4**  
 Ontario, California  
 752.19015

02.14.20



**Exhibit D— FLOOR PLANS AND ELEVATIONS – PRODUCT 4**



**PLAN 1**  
 1,595 SQ. FT.  
 3 BEDROOMS / 2.5 BATHS / LOFT  
 2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	653 SQ. FT.
2ND FLOOR	942 SQ. FT.
TOTAL	1,595 SQ. FT.
2 - CAR GARAGE	457 SQ. FT.
PORCH	35 SQ. FT.
PRIVATE OPEN SPACE	532 SQ. FT.

**PLAN 2**  
 1,647 SQ. FT.  
 4 BEDROOMS / 2.5 BATHS / LOFT  
 2 - CAR GARAGE

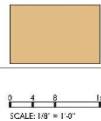
FLOOR AREA TABLE	
1ST FLOOR	639 SQ. FT.
2ND FLOOR	1,008 SQ. FT.
TOTAL	1,647 SQ. FT.
2 - CAR GARAGE	466 SQ. FT.
PORCH	67 SQ. FT.
PRIVATE OPEN SPACE	529 SQ. FT.

**PLAN 3**  
 1,790 SQ. FT.  
 4 BEDROOMS / 2.5 BATHS / LOFT  
 2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	681 SQ. FT.
2ND FLOOR	1,109 SQ. FT.
TOTAL	1,790 SQ. FT.
2 - CAR GARAGE	486 SQ. FT.
PRIVATE OPEN SPACE	322 SQ. FT.

SECOND FLOOR

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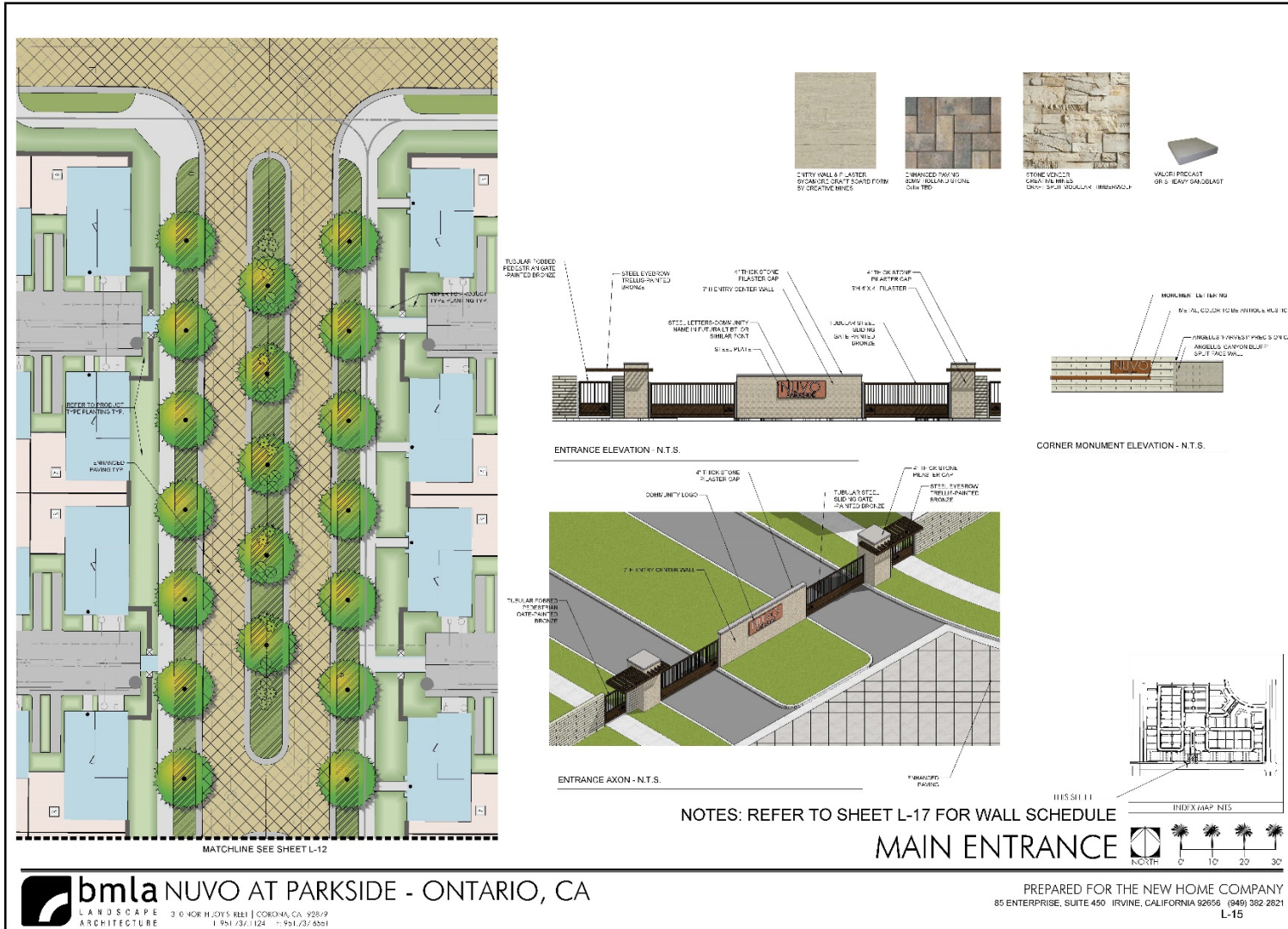
**COMPOSITE**  
**NUVO PARKSIDE - PRODUCT 4**  
 Ontario, California  
 752.19015

02.14.20





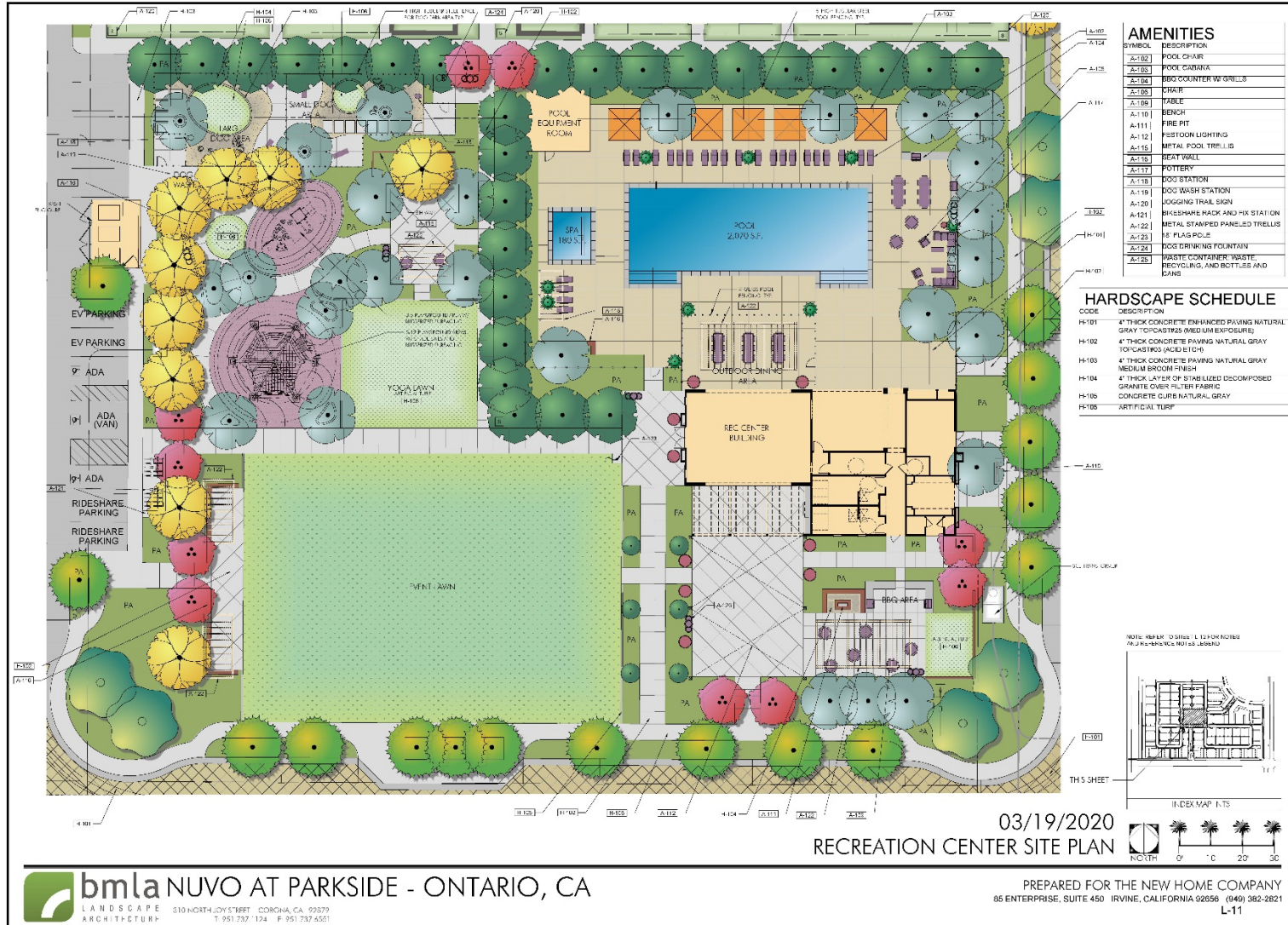
**Exhibit E — CONCEPTUAL ENTRY GATE RENDERINGS**



**bmla** LANDSCAPE ARCHITECTURE  
 3040R H. STY'S BLDG | CORONA, CA 92639  
 T 951.337.1124 F 951.337.6551

**NUVO AT PARKSIDE - ONTARIO, CA**

**Exhibit F—CLUBHOUSE/RECREATION CENTER SITE PLAN**



**Exhibit F—CLUBHOUSE/RECREATION CENTER RENDERINGS**



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ONTARIO, CA 91764  
752.19243

CONCEPTUAL ELEVATION  
NUVO PARKSIDE - RECREATION CENTER  
Ontario, California  
12.04.19





**Exhibit F—CLUBHOUSE/RECREATION CENTER RENDERING**



REAR  
SECONDARY ENTRY ELEVATION



LEFT  
POOL DECK ELEVATION

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CONCEPTUAL ELEVATION  
NUVO PARKSIDE - RECREATION CENTER  
Ontario, California  
752.19243

12.04.19



## Attachment A—Departmental Conditions of Approval

*(Departmental conditions of approval follow this page)*



City of Ontario  
Planning Department  
303 East B Street  
Ontario, California 91764  
Phone: 909.395.2036  
Fax: 909.395.2420

*Planning Department  
Land Development Division  
Conditions of Approval*

---

**Meeting Date:** May 18, 2020  
**File No:** PDEV19-064  
**Related Files:** PSPA19-007 and PMTT19-020

**Project Description:** A Development Plan to construct 540 single-family detached homes and a private recreational center within a gated community on 34.30 acres of land located at the northwest corner of Eucalyptus Avenue and Archibald Avenue, within Planning Areas 1-4 and Planning Area 23 of the Parkside Specific Plan. (APNs: 0218-231-35, 0218-231-33, 0218-231-30, 0218-231-29, 0218-231-28, 0218-231-22, 0218-231-21, 0218-231-20, 0218-231-19, 0218-231-18, 0218-231-17, 0218-231-14, and 0218-231-12) **submitted by The New Home Company Southern California, LLC.**

**Prepared By:** Diane Ayala, Senior Planner  
Phone: 909.395.2428 (direct)  
Email: dayala@ontarioca.gov

---

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

**1.0 Standard Conditions of Approval.** The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

**2.0 Special Conditions of Approval.** In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

**2.1 Contingent Approvals**

**(a)** The project is contingent on City Council approval of an amendment to the Parkside Specific Plan, File No. PSPA19-007 and Planning Commission approval of Tentative Tract Map (TT20316), File No. PMTT19-020. All conditions of approval adopted with referenced projects shall be incorporated herein by this reference.

**2.2 Time Limits**

**(a)** Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

**2.3 General Requirements** - The Project shall comply with the following general requirements:

**(a)** All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

**(b)** The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

**(c)** The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

#### **2.4** Landscaping

**(a)** The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

**(b)** Comply with the conditions of approval of the Planning Department, Landscape Planning Division.

**(c)** Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

**(d)** Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

#### **2.5** Walls and Fences

**(a)** All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions) and Parkside Specific Plan standards.

**(b)** Maximum wall heights are 4' along paseo trails and pedestrian pathways.

**(c)** Walls and fences shall be adequately setback from the front facades of buildings.

#### **2.6** Parking, Circulation and Access

**(a)** The Project shall comply with the applicable off-street parking, loading and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

**(b)** The gated vehicular entryways shall be constructed with enhanced pavement.

**(c)** Pedestrian pathways that cross driveways and drive aisles shall be delineated by enhanced paving treatments.

**(d)** All drive approaches shall be provided with an enhanced pavement treatment. The enhanced paving shall extend from the back of the approach apron, into the site, to the first intersecting drive aisle or parking space.

(e) All residential driveways, including parking spaces located on driveways shall be provided with an enhanced pavement treatment. The enhanced paving shall extend from the back of the approach apron, into the site, to the first intersecting drive aisle or parking space.

(f) Areas provided to meet the City's parking requirements, including off-street parking and loading spaces, access drives, and maneuvering areas, shall not be used for the outdoor storage of materials and equipment, nor shall it be used for any other purpose than parking.

(g) The required number of off-street parking spaces and/or loading spaces shall be provided at the time of site and/or building occupancy. All parking and loading spaces shall be maintained in good condition for the duration of the building or use.

(h) The number of parking spaces shall comply with the requirements of the Parkside Specific Plan.

(i) Parking spaces specifically designated and conveniently located for use by the physically disabled shall be provided pursuant to current accessibility regulations contained in State law (CCR Title 24, Part 2, Chapters 2B71, and CVC Section 22507.8).

(j) Bicycle parking facilities, including bicycle racks, lockers, and other secure facilities, shall be provided in conjunction with development projects pursuant to current regulations contained in CALGreen (CAC Title 24, Part 11).

## **2.7** Site Lighting

(a) All off-street parking facilities shall be provided with nighttime security lighting pursuant to Ontario Municipal Code Section 4-11.08 (Special Residential Building Provisions) and Section 4-11.09 (Special Commercial/Industrial Building Provisions), designed to confine emitted light to the parking areas. Parking facilities shall be lighted from sunset until sunrise daily and shall be operated by a photocell switch.

(b) Unless intended as part of a master lighting program, no operation, activity, or lighting fixture shall create illumination on any adjacent property.

## **2.8** Mechanical and Rooftop Equipment

(a) All exterior roof-mounted mechanical, heating and air conditioning equipment, and all appurtenances thereto, shall be completely screened from public view by parapet walls or roof screens that are architecturally treated to be consistent with the building architecture.

(b) All ground-mounted utility equipment and structures, such as tanks, transformers, HVAC equipment, and backflow prevention devices, shall be located out of view from a public street, or adequately screened through the use of landscaping and/or decorative low garden walls. Ground mounted AC units, which are located within the front or side yards of residential units, shall be "slim-line" dimensioned AC units unless it can be demonstrated that the AC unit can be adequately screened through landscape.

**2.9** Security Standards - The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

**2.10** Signs - All Project signage shall comply with the requirements of Ontario Development Code Division 8.1 (Sign Regulations).

**2.11** Sound Attenuation - The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noise levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

**2.12** Covenants, Conditions and Restrictions (CC&Rs)/Mutual Access and Maintenance Agreements

**(a)** CC&Rs shall be prepared for the Project pursuant to Tentative Tract Map, File No. PMTT19-020 (TT20316) and shall be recorded prior to the issuance of a building permit.

**(b)** The CC&Rs shall be in a form and contain provisions satisfactory to the City. The articles of incorporation for the property owners' association and the CC&Rs shall be reviewed and approved by the City.

**(c)** CC&Rs shall ensure reciprocal parking and access between parcels.

**(d)** CC&Rs shall ensure reciprocal parking and access between parcels, and common maintenance of:

- i.** Landscaping and irrigation systems within common areas
- ii.** Landscaping and irrigation systems within parkways adjacent to the project site, including that portion of any public highway right-of-way between the property line or right-of-way boundary line and the curb line and also the area enclosed within the curb lines of a median divider (Ontario Municipal Code Section 7-3.03), pursuant to Ontario Municipal Code Section 5-22-02
- iii.** Shared parking facilities and access drives
- iv.** Utility and drainage easements

**(e)** CC&Rs shall include authorization for the City's local law enforcement officers to enforce City and State traffic and penal codes within the project area.

**(f)** The CC&Rs shall grant the City of Ontario the right of enforcement of the CC&R provisions.

**(g)** A specific methodology/procedure shall be established within the CC&Rs for enforcement of its provisions by the City of Ontario, if adequate maintenance of the development does not occur, such as, but not limited to, provisions that would grant the City the right of access to correct maintenance issues and assess the property owners association for all costs incurred.

**2.13** Disclosure Statements

**(a)** A copy of the Public Report from the Department of Real Estate, prepared for the subdivision pursuant to Business and Professions Code Section 11000 et seq., shall be provided to each prospective buyer of the residential units and shall include a statement to the effect that:

- i.** This tract is subject to noise from the Ontario International Airport and may be more severely impacted in the future.
- ii.** Some of the property adjacent to this tract is zoned for agricultural uses and there could be fly, odor, or related problems due to the proximity of animals.
- iii.** The area south of Riverside Drive lies within the San Bernardino County Agricultural Preserve. Dairies currently existing in that area are likely to remain for the foreseeable future.
- iv.** This tract is part of a Landscape Maintenance District. The homeowner(s) will be assessed through their property taxes for the continuing maintenance of the district.

## **2.14** Environmental Review

**(a)** The environmental impacts of this project were analyzed in an Addendum to the Parkside Specific Plan (File No. PSP03-002) Environmental Impact Report (SCH# 2004011008) certified by the City Council on September 5, 2006. This application introduces no new significant environmental impacts. The City's "Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed. The previously adopted mitigation measures shall be a condition of project approval and are incorporated herein by this reference.

**(b)** If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

**(b)** If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

**2.15** Indemnification - The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

## **2.16** Additional Fees

**(a)** Within 5 days following final application approval, the Notice of Determination (NOD) filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act (CEQA). Failure to provide said fee within the time specified may result in a 180-day extension to the statute of limitations for the filing of a CEQA lawsuit.

**(b)** After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

**2.17** Additional Requirements - Tribal Consultation - At the request of The Gabrieleno Band of Missions Indians – Kizh Nation, all proposed future development entitlements within the Specific Plan boundary shall consult with The Gabrieleno Band of Missions Indians – Kizh Nation (Chairman, Andrew Sales @ <http://www.gabrielenoindians.org/>), prior to grading activities. In addition, the project shall be subject to following conditions:

**(a)** The project developer shall retain a Native American Monitor of Gabrieleño Ancestry to conduct a Native American Indian Sensitivity Training for construction personnel prior to commencement of any excavation activities. The training session shall include a handout and focus on how to identify Native American resources encountered during earthmoving activities and the procedures followed if resources are discovered, the duties of the Native American Monitor of Gabrieleño Ancestry and the general steps the Monitor would follow in conducting a salvage investigation.



**(b)** The project developer shall retain a Native American Monitor of Gabrieleño Ancestry to be on-site during all project-related, ground-disturbing construction activities (e.g., pavement removal, auguring, boring, grading, excavation, potholing, trenching, and grubbing) of previously undisturbed native soils to a maximum depth of 30 feet below ground surface. At their discretion, a Native American Monitor of Gabrieleño Ancestry can be present during the removal of dairy manure to native soil, but not at the developers' expense.

**(c)** A qualified archaeologist and a Native American Monitor of Gabrieleño Ancestry shall evaluate all archaeological resources unearthed by project construction activities. If the resources are Native American in origin, the Tribe shall coordinate with the developer regarding treatment and curation of these resources. Typically, the Tribe will request reburial or preservation for educational purposes. If archeological features are discovered, the archeologist shall report such findings to the Ontario Planning Director. If the archeological resources are found to be significant, the archeologist shall determine the appropriate actions, in cooperation with the City that shall be taken for exploration and/or salvage in compliance with CEQA Guidelines Section 15064.5(f).

**(d)** Prior to the start of ground disturbing activities, the developer shall arrange a designated site location within the footprint of the project for the respectful reburial of Tribal human remains and/or ceremonial objects. All human skeletal material discoveries shall be reported immediately to the County Coroner. The Native American Monitor shall immediately divert work a minimum of 50 feet from the discovery site and place an exclusion zone around the burial. The Native American Monitor shall notify the construction manager who shall contact the San Bernardino County Coroner. All construction activity shall be diverted while the San Bernardino County Coroner determines if the remains are Native American. The discovery shall be confidential and secure to prevent further disturbance. If Native American, the San Bernardino County Coroner shall notify the Native American Heritage Commission (NAHC) as mandated by state law who will then appoint a Most Likely Descendent. In the case where discovered human remains cannot be documented and recovered on the same day, the remains shall be covered with muslin cloth and a steel plate that can be moved by heavy equipment placed over the excavation opening to protect the remains. If this type of steel plate is not available, a 24-hour guard shall be posted outside working hours. The Tribe shall make every effort to recommend diverting the project and keep the remains in situ and protected. If the project cannot be diverted, it may be determined that burials will be removed. If data recovery is approved by the Tribe, documentation shall be taken, which includes at a minimum detailed descriptive notes and sketches. Additional types of documentation shall be approved by the Tribe for data recovery purposes. Cremations will either be removed in bulk or means necessary to ensure complete recovery of all material. If the discovery of human remains includes four (4) or more burials, the location is considered a cemetery and a separate treatment plan shall be created. The project developer shall consult with the Tribe regarding avoidance of all cemetery sites. Once complete, a final report of all activities shall be submitted to the NAHC.

**(e)** No scientific study or the utilization of any invasive diagnostics shall be allowed to any Native American human remains.

**(f)** If the San Bernardino County Coroner determines the remains represent a historic non-Native American burial, the burial shall be treated in the same manner of respect with agreement of the San Bernardino County Coroner. Reburial will be in an appropriate setting. If the San Bernardino County Coroner determines the remains to be modern, the San Bernardino County Coroner shall take custody of the remains.

**(g)** Each occurrence of human remains and associated funerary objects shall be stored using opaque cloth bags. All human remains, funerary objects, sacred objects and objects of cultural patrimony shall be removed to a secure container on site if possible. These items shall be retained and reburied within six months of recovery. The site of reburial/repatriation shall be on the project site, but at a location agreed upon between the Tribe and the developer and protected in perpetuity. There shall be no publicity regarding any cultural materials recovered.

**2.18** Additional Requirements

**(a)** The Ontario Climate Action Plan (CAP) requires new development to be 25% more efficient. The applicant has elected to utilize the Screening Tables provided in the CAP instead of preparing separate emissions calculations. By electing to utilize the Screening Tables the applicant shall be required to garner a minimum of 100 points to be consistent with the reduction quantities outlined in the CAP. The applicant shall identify on the construction drawings the items identified in the industrial Screening Tables.

**(b)** The following separation requirements from existing dairies/feed lots shall apply to new residential development or structures used for public assembly purposes from existing dairies/feed lots. A minimum 100' separation shall be required between a new residential, commercial or industrial development or structure used for public assembly and an existing animal feed trough, corral/pen or an existing dairy/feed lot including manure stockpiles and related wastewater detention basins. The 100-foot separation requirement may be satisfied by an off-site easement acceptable to the Planning Director with adjacent properties, submitted with the initial final map and recorded prior to or concurrent with the final map.

**(c)** Prior to issuance of the 151<sup>st</sup> home occupancy within TT 20316, the Recreation Center and park located on 1.32 acres of land on Lot A of TT 20316 shall be fully constructed.

**(c)** Prior to the first home occupancy, the applicant shall submit an HOA parking and solid waste pick-up enforcement plan for the community to be codified within the CC&R's, subject to Planning Department review and approval

**(d)** All applicable conditions of approval of Development Agreement (File No. PDA05-002) shall apply to this development.

**CITY OF ONTARIO**  
**LANDSCAPE PLANNING DIVISION**  
 303 East "B" Street, Ontario, CA 91764

**DAB CONDITIONS OF APPROVAL**

**Sign Off**

	4/20/20
Jamie Richardson, Sr. Landscape Planner	Date

Reviewer's Name: <b>Jamie Richardson, Sr. Landscape Planner</b>	Phone: <b>(909) 395-2615</b>
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D.A.B. File No.: PDEV19-064	Case Planner: Diane Ayala
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Project Name and Location:

Nuvo at Parkside  
 TM20316

Applicant/Representative:

The New Home Company – Holly Slevcove  
 85 Enterprise, Ste. 450  
 Aliso Viejo, CA 92656

**A Preliminary Landscape Plan (dated 4/2/20) meets the Standard Conditions for New Development and has been approved with the consideration that the following conditions below be met upon submittal of the landscape construction documents.**

**A Preliminary Landscape Plan (dated) has not been approved. Corrections noted below are required prior to Preliminary Landscape Plan approval.**

**A RESPONSE SHEET IS REQUIRED WITH RESUBMITTAL OR PLANS WILL BE RETURNED AS INCOMPLETE.**  
 Landscape construction plans with plan check number may be emailed to: [landscapeplancheck@ontarioca.gov](mailto:landscapeplancheck@ontarioca.gov)  
**DIGITAL SUBMITTALS MUST BE 10MB OR LESS.**

**Civil/ Site Plans**

1. Callout decorative paving for all motor courts and alleys.
2. Storm water infiltration devices located in landscape areas shall be reviewed and plans approved by the Landscape Planning Division prior to permit issuance. Any storm water devices in parkway areas shall not displace street trees.
3. Show backflow devices set back 4' from paving all sides. Locate on level grade
4. Locate utilities including light standards, fire hydrants, water, drain and sewer lines to not conflict with required tree locations. Coordinate civil plans with landscape plans.
5. Note for compaction to be no greater than 85% at landscape areas. All finished grades at 1 ½" below finished surfaces. Landscape slopes shall be maximum 3:1; change all 2:1 landscape slopes to meet the required 3:1.
6. Dimension, show and call out for step-outs at parking spaces adjacent to planters; a 12" wide monolithic concrete curb, DG paving or pavers with edging.
7. Typical lot drainage shall include a catch basin with gravel sump below each before exiting property; or connect to underground drainage system.

**Landscape Plans**

8. Callout decorative paving for all motor courts and alleys.
9. Vinyl fencing shall only be used where unseen from the public view.
10. Replace artificial turf at Hollywood Drives use stamped and/or colored concrete or decorative pavers. Replace artificial turf at community/rec center and dog parks; inland summers can reach temperatures of over 100 degrees; artificial turf increases surrounding temperatures up to 30 degrees making these spaces unusable to the community.
11. Show backflow devices with 36" high strappy leaf shrub screening and trash enclosures and transformers, a 4'-5' high evergreen hedge screening. Do not encircle utility, show as masses and

duplicate masses in other locations on regular intervals. Transformers shall be located in landscape areas that allow for screening on all sides; groundcover in front of access and shrubs on 3 sides. Coordinate with utility specialist.

12. Locate light standards, fire hydrants, water and sewer lines to not conflict with required tree locations. Coordinate civil plans with landscape plans.
13. Show all utilities on the landscape plans. Coordinate so utilities are clear of tree locations.
14. Coordinate with civil plans: Landscape slopes to be maximum 3:1; change all 2:1 landscape slopes to max. 3:1.
15. Provide larger canopy trees in larger open spaces.
16. Additional trees required; each lot shall have a minimum of one tree for front yards and one tree at alleys and private drives.
17. Provide a recycled/potable water meter exhibit showing what will be irrigated with what type of water, show meter type (recycled/potable) and locations; the Landscape Division will require a colored exhibit prior to plan check.
18. Relocate the "dog wash station" away from the park entries.
19. Typical lot drainage shall include a catch basin with gravel sump below each before exiting property; or connect to underground drainage system.
20. Residential projects shall include a 30" wide solid surface walkway (concrete, pavers, etc.) on at least one side to access the back yard and to move equipment or trash receptacles.
21. Provide phasing map for multi-phase projects.
22. After a project's entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council. Fees are:

Plan Check—5 or more acres.....	\$2,326.00
Inspection—Construction (up to 3 inspections per phase).....	\$278.00
Total.....	\$2,604.00
Inspection—Field – any additional.....	\$83.00

Landscape construction plans with building permit number for plan check may be emailed to:

[landscapeplancheck@ontarioca.gov](mailto:landscapeplancheck@ontarioca.gov)

# AIRPORT LAND USE COMPATIBILITY PLANNING

## CONSISTENCY DETERMINATION REPORT



Project File No.: PDEV19-064, PMTT19-020, PSPA19-007

Address: Northwest corner of Archibald Avenue and Eucalyptus Avenue

APN: 0218-231-12, 14, 17-21, 28-30, 33, 35 & 38

Existing Land Use: Vacant

Proposed Land Use: Parkside SPA to reconfigure Planning Areas and revise Residential/landscape standards; Subdivision for 56.99 acres into 16 lots; DP to construct 540 SF units

Site Acreage: 56.99 Proposed Structure Height: N/A

ONT-IAC Project Review: n/a

Airport Influence Area: ONT

Reviewed By: Lorena Mejia

Contact Info: 909-395-2276

Project Planner: Rudy Zeledon

Date: 5/7/2020

CD No.: 2019-087

PALU No.: n/a

### The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input type="radio"/> High Terrain Zone	<input type="radio"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input type="checkbox"/> FAA Notification Surfaces	<input type="radio"/> Recorded Overflight Notification
<input type="radio"/> Zone 2	<input type="radio"/> 65 - 70 dB CNEL	<input type="checkbox"/> Airspace Obstruction Surfaces	<input checked="" type="checkbox"/> Real Estate Transaction Disclosure
<input type="radio"/> Zone 3	<input type="radio"/> 60 - 65 dB CNEL	<input type="radio"/> Airspace Avigation Easement Area	
<input type="radio"/> Zone 4		Allowable Height: <u>200 FT +</u>	
<input type="radio"/> Zone 5			

### The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1   
  Zone 2   
  Zone 3   
  Zone 4   
  Zone 5   
  Zone 6

Allowable Height: 110- 200 FT

## CONSISTENCY DETERMINATION

This proposed Project is:  Exempt from the ALUCP     Consistent     Consistent with Conditions     Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

Real Estate Disclosure Required.

Airport Planner Signature: \_\_\_\_\_

# AIRPORT LAND USE COMPATIBILITY PLANNING

## CONSISTENCY DETERMINATION REPORT

CD No.: 2019-087  
PALU No.: \_\_\_\_\_

### PROJECT CONDITIONS

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the Airport Land Use Compatibility Plan (ALUCP) for ONT. The applicant is required to meet the Real Estate Transaction Disclosure in accordance with California Codes (Business and Professions Code Section 11010-11024). New residential subdivisions within an Airport Influence Area are required to file an application for a Public Report consisting of a Notice of Intention (NOI) and a completed questionnaire with the Department of Real Estate and include the following language within the NOI:

**NOTICE OF AIRPORT IN VICINITY:** This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you.



# CITY OF ONTARIO

## MEMORANDUM

**TO:** Diana Ayala, Senior Planner

**FROM:** Officer Emily Hernandez, Police Department

**DATE:** December 3, 2019

**SUBJECT:** PDEV19-064 – A DEVELOPMENT PLAN TO CONSTRUCT 506 SINGLE-FAMILY DWELLING DETACHED HOMES LOCATED AT THE NORTHWEST CORNER OF EUCALYPTUS AVENUE AND ARCHIBALD AVENUE.

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The “Standard Conditions of Approval” contained in Resolution No. 2017-027 for “Ontario Ranch Projects” apply. The applicant shall read and be thoroughly familiar with these conditions, including but not limited to, the requirements listed below.

- Required lighting for all walkways, driveways, doorways, parking areas, and other areas used by the public shall be provided and operate on photosensor at the prescribed foot-candle levels. Photometrics shall be provided to the Police Department. Photometrics shall include the types of fixtures proposed and demonstrate that such fixtures meet the vandal-resistant requirement. Planned landscaping shall not obstruct lighting.
- The Applicant shall comply with all construction site security requirements as stated in the Standard Conditions. This includes the provisions for perimeter lighting, site lighting, fencing and/or uniformed security.

The Applicant is invited to contact Officer Emily Hernandez at (909)408-1755 with any questions or concerns regarding these conditions.





# CITY OF ONTARIO

## MEMORANDUM

**TO:** Diane Ayala, Senior Planner  
Planning Department

**FROM:** Paul Ehrman, Deputy Fire Chief/Fire Marshal  
Fire Department

**DATE:** November 26, 2019

**SUBJECT:** PDEV19-064 – A Development Plan to construct 540 single-family homes on approximately 58 acres of land located at the northwest corner of Eucalyptus Avenue and Archibald Avenue, within Planning Area 2 (PA-2) of the Parkside Specific Plan (APNs: 0218-231-12, 0218-231-14, 0218-231-17, 0218-231-18, 0218-231-19, 0218-231-20, 0218-231-21, 0218-231-22, 0218-231-28, 0218-231-29, 0218-231-30, 0218-231-33, and 0218-231-35). Related File: TT 18048

- 
- The plan **does** adequately address Fire Department requirements at this time.
- Standard Conditions of Approval apply, as stated below.
- 

### **SITE AND BUILDING FEATURES:**

- A. 2016 CBC Type of Construction: Type V-B
- B. Type of Roof Materials: Ordinary
- C. Ground Floor Area(s): Varies
- D. Number of Stories: 2 - 3
- E. Total Square Footage: 1,090 to 1,790 Sq. Ft.
- F. 2016 CBC Occupancy Classification(s): R3

## **CONDITIONS OF APPROVAL:**

### **1.0 GENERAL**

- ☒ 1.1 The following are the Ontario Fire Department (“Fire Department”) requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards (“Standards.”) It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at [www.ontarioca.gov](http://www.ontarioca.gov), click on “Fire Department” and then on “Standards and Forms.”
- ☒ 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

### **2.0 FIRE DEPARTMENT ACCESS**

- ☒ 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See Standard #B-004.
- ☒ 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25’) inside and forty-five feet (45’) outside turning radius per Standard #B-005.
- ☒ 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150’) in length shall have an approved turn-around per Standard #B-002.
- ☒ 2.4 Access drive aisles which cross property lines shall be provided with CC&Rs, access easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of building plan check.
- ☒ 2.5 "No Parking-Fire Lane" signs and /or red painted curbs with lettering are required to be installed in interior access roadways, in locations where vehicle parking would obstruct the minimum clear width requirement. Installation shall be per Standard #B-001.
- ☒ 2.6 Security gates or other barriers on fire access roadways shall be provided with a Knox brand key switch or padlock to allow Fire Department access. See Standards #B-003, B-004 and H-001.
- ☒ 2.7 Any time PRIOR to on-site combustible construction and/or storage, a minimum twenty-four (24) ft. wide circulating all weather access roads shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved by fire department and other emergency services.

### **3.0 WATER SUPPLY**

- ☒ 3.1 The required fire flow per Fire Department standards, based on the 2016 California Fire Code, Appendix B, is 1500 gallons per minute (g.p.m.) for 2 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.
- ☒ 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300') apart, per Engineering Department specifications.
- ☒ 3.4 The water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

### **4.0 FIRE PROTECTION SYSTEMS**

- ☒ 4.2 Underground fire mains which cross property lines shall be provided with CC & R, easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of fire department plan check. The shared use of private fire mains or fire pumps is allowable only between immediately adjacent properties and shall not cross any public street.
- ☒ 4.3 An automatic fire sprinkler system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard. All new fire sprinkler systems, except those in single family dwellings, which contain twenty (20) sprinkler heads or more shall be monitored by an approved listed supervising station. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- ☒ 4.4 Wood frame buildings that are to be sprinkled shall have these systems in service (but not necessarily finalized) before the building is enclosed.

### **5.0 BUILDING CONSTRUCTION FEATURES**

- ☒ 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- ☒ 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.
- ☒ 5.3 Single station smoke alarms and carbon monoxide alarms are required to be installed per the California Building Code and the California Fire Code.
- ☒ 5.5 All residential chimneys shall be equipped with an approved spark arrester meeting the requirements of the California Building Code.



# CITY OF ONTARIO

## MEMORANDUM

TO: Scott Murphy, Development Director  
Cathy Wahlstrom, Planning Director (Copy of memo only)  
Diane Ayala, Advanced Planning Division (Copy of memo only)  
Charity Hernandez, Economic Development  
Kevin Shear, Building Official  
Khoi Do, City Engineer  
Jamie Richardson, Landscape Planning Division  
Ahmed Aly, Municipal Utility Company  
Emily Hernandez, Police Department  
Paul Ehrman, Deputy Fire Chief/Fire Marshal  
Jay Bautista, T. E., Traffic/Transportation Manager  
Lorena Mejia, Airport Planning  
Eric Woosley, Engineering/NPDES  
Joe De Sousa, Code Enforcement (Copy of memo only)  
Jimmy Chang, IT Department

FROM: Diane Ayala, Senior Planner

DATE: November 18, 2019

SUBJECT: FILE #: PDEV19-064 Finance Acct#:

The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Monday, December 2, 2019**.

- Note:
- Only DAB action is required
  - Both DAB and Planning Commission actions are required
  - Only Planning Commission action is required
  - DAB, Planning Commission and City Council actions are required
  - Only Zoning Administrator action is required

**PROJECT DESCRIPTION:** A Development Plan to construct 540 single-family detached homes, on approximately 58-acres of land, located on the northwest corner of Merrill Ave & Archibald Ave, within Planning Area 2 (PA-2) of Parkside Specific Plan (APNs: 0218-231-12, -14, -17, -18, -19, -20, -21, -22, -28, -29, -30, -33 & -35).

RELATED FILE: Tract Map (TM 18048)

- The plan does adequately address the departmental concerns at this time.
  - No comments
  - Report attached (1 copy and email 1 copy)
  - Standard Conditions of Approval apply
- The plan does not adequately address the departmental concerns.
  - The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

Broadband Operations      *Anna Vaca*      Sr. Systems Analyst      12/06/2019  
Department                                  Signature                                  Title                                  Date

1. The City of Ontario is developing a fiber-optic telecommunications system throughout the city commonly known as OntarioNet. The fiber-optic telecommunications system is capable of providing advanced Internet/data services to homes and businesses in feasible areas within the city. OntarioNet will provide community related services including: traffic management; online civic services; meter reading; educational services; and a variety of other community services. OntarioNet and the high-speed data services it provides will keep the city on par with the modern workforce and ever changing lifestyles of the people and the community.
2. Communication systems proposed on-site facilities will be placed underground within a duct and structure system to be installed by the developer, as illustrated in Exhibit A, "Fiber Optics Plan". Maintenance of the installed system will be the responsibility of the City and/or Special District fiber optic entity and not that of the developer, private homeowners association or private homeowners. Development of the project requires the installation by the developer of all fiber optic infrastructure necessary to service the project as a standalone development.
3. The City requires public utility easement for fiber optics on all private aisles/alley ways.
4. Trenching, joint trenching, and boring shall be used to install the fiber-optic conduits. Fiber-optic conduit placement will generally be in a joint trench with Street Light conduits or in a separate trench/bore and in the Right-of-Way (ROW) generally placed behind the sidewalk. Resulting conduit placement will be on the north side of street and the east side of street based on the direction of the street. Properly sized handholes shall be placed along the conduit path no greater than 500-feet apart in major streets and no greater than 300-feet apart within in-tract community streets. Handholes shall be strategically placed to allow for efficient entrance into commercial buildings, and residential properties and multi-dwelling units.
5. Structured Wiring – An integrated structured wiring system (low-voltage wiring) provides infrastructure for today's technology applications and the framework for the future technology advances. Requirements and benefits of a structured wiring system include:
  - Residential (single-family and multi-family), commercial and industrial developments shall adhere to the City's Structured Wiring ordinance
  - Allows for uniform receipt & distribution of technology services
  - Ensures scalability of wiring for future technology advances
  - Provides consistent & identical wiring protocols throughout developments
  - Enables the property infrastructure to interface efficiently with broadband networks for highest bandwidth capacity
  - Adoption of these standards will minimize retrofitting required to ensure new property owners are capable of the latest technologies and services
6. Building Entrance (Multi-family) - Design and install fiber optic conduit at a minimum depth of 36 inches. Trenching shall be per City Standard for Commercial Buildings. (1) 2-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct. Install locate/tracer wires minimum 12AWG within conduit bank and fiber warning tape 18-inch above the uppermost duct.
7. Multi-family and commercial properties shall terminate conduit in an electrical room adjacent to the wall no less than five inches above the finished floor. A 20" width X length 36" space shall be reserved on the plywood wall for OntarioNet equipment. This space shall be labeled "OntarioNet Only". Ontario Conduit shall be labeled "OntarioNet"
8. A minimum 1.5-inch joint use telecommunications conduit with pull-rope from the multi-family or commercial building communal telecom/electrical room/closet to each multi-family or commercial building unit shall be installed. See Structured Wiring Checklist on City's website for additional details.
9. A Fiber Optics Improvement Design Plan sheet should be part of the Design Plan submission and should be provided in digital format (PDF) as well, on future revisions

# CITY OF ONTARIO

## MEMORANDUM

**TO:** PLANNING DEPARTMENT, Diane Ayala  
**FROM:** BUILDING DEPARTMENT, Kevin Shear  
**DATE:** November 19, 2019  
**SUBJECT:** PDEV19-064

- 
- The plan **does** adequately address the departmental concerns at this time.  
 No comments  
 Report below.

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### Conditions of Approval

1. Standard Conditions of Approval apply.

KS:lr





# CITY OF ONTARIO

## MEMORANDUM

### ENGINEERING DEPARTMENT CONDITIONS OF APPROVAL

(Environmental Section, Information Technology & Management Services Department, Ontario Municipal Utilities Company and Traffic & Transportation Division Conditions incorporated)

**DATE:** May 13, 2020

**PROJECT:** PDEV19-064 - A Development Plan to construct 540 single-family homes on approximately 58 acres of land within Planning Areas 1-4 of the Parkside Specific Plan; Related File: TT20316, TM-18048, PMTT19-020

**APN:** 0218-231-12; 0218-231-14; 0218-231-17 to 0218-231-22; 0218-231-28 to 0218-231-22; 0218-231-33; 0218-231-35

**LOCATION:** Northwest Corner of Eucalyptus Avenue and Archibald Avenue

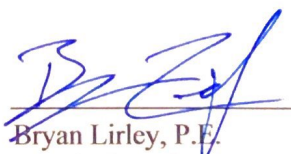
**PROJECT ENGINEER:** Jesus Plasencia, Senior Associate Civil Engineer (909) 395-2128

**PROJECT PLANNER:** Diane Ayala, Senior Planner (909) 395-2428

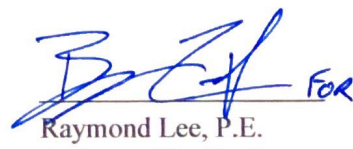
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**The following items are the Conditions of Approval for the subject project:**

1. Project shall comply with the requirements as set forth in the Amendment to the Standard Conditions of Approval for New Development Projects adopted by the City Council (Resolution No. 2017-027) on April 18, 2017.
2. The project shall be subject to completion of the required public improvements as specified in the Parkside Specific Plan, the Development Agreement, and the Conditions of Approval for TM-20316 and TM-18048.
3. The Applicant/Developer shall pay all Development Impact Fees (DIF) to the Building Department.
4. The applicant/developer shall prepare a fully executed Subdivision Agreement (on City approved format and forms) with accompanying security as required.

  
Bryan Lirley, P.E.  
Principal Engineer

5/13/20  
Date

 FOR  
Raymond Lee, P.E.  
Assistant City Engineer

5/13/20  
Date



# Development Advisory Board Decision

MAY 18, 2020

**DECISION NO.:**

**FILE NO.:** PCUP18-021

**DESCRIPTION:** A Conditional Use Permit to establish and operate a towing service on 3.1 acres of land located at 580 East Belmont Street, within the IL (Light Industrial) zoning district; (APNs: 1049-491-01, 1049-491-02 and 1049-491-03). **Submitted by Four Sisters Enterprises, LLC. Planning Commission action is required.**

## ***Part I—BACKGROUND & ANALYSIS***

FOUR SISTERS ENTERPRISES, LLC, (herein after referred to as “Applicant”) has filed an application requesting Conditional Use Permit approval, File No. PCUP18-021, as described in the subject of this Decision (herein after referred to as "Application" or "Project").

(1) **Project Setting:** The Project site is comprised of 3.1 gross acres of land located at the southwest corner of Belmont Street and Monterey Avenue, at 580 East Belmont Street, within the IL (Light Industrial) zoning district. The site is currently undeveloped and is bordered by Belmont Street to the north, Sultana Avenue to the west, Phillips Street to the south, and Southern Pacific Railroad and Monterey Avenue to the east and is depicted in Exhibit A—Project Location Map, attached. Existing land uses, General Plan and zoning designations, and specific plan land uses on and surrounding the Project site are as follows:

	<b><i>Existing Land Use</i></b>	<b><i>General Plan Designation</i></b>	<b><i>Zoning Designation</i></b>	<b><i>Specific Plan Land Use</i></b>
<i>Site:</i>	Vacant Land	Industrial	IL (Light Industrial)	N/A
<i>North:</i>	Metal Rebar Storage Yard	Industrial	IL (Light Industrial)	N/A
<i>South:</i>	Single-Family Homes	LDR (Low Density Residential)	LDR-5 (Low Density Residential)	N/A
<i>East:</i>	Southern Pacific Railroad & Single-Family Homes	Industrial & LDR (Low Density Residential)	IL (Light Industrial) / LDR-5 (Low Density Residential)	N/A
<i>West:</i>	Single-Family Homes	LMDR (Low Medium Density Residential)	MDR-11 (Medium Density Residential)	N/A

(2) **Project Description:**

(a) **Background** — On April 1, 2018, the applicant submitted a Conditional Use Permit Application requesting approval to establish and operate a towing service and motor vehicle impound storage yard, located at 580 East Belmont Street, in conjunction with a Development Plan Application (File No. PDEV18-022) to construct a 6,870 square foot industrial building having a floor area ratio (FAR) of 0.05 percent.

Conditional Use Permit — Pursuant to the Ontario Development Code, Conditional Use Permit approval is required to establish an outdoor automobile storage yard (tow yard) within the IL (Light Industrial) zoning district. A Conditional Use Permit is required in order to adequately review the potential impacts the use might have on the surrounding properties and eliminate or mitigate those impacts. Currently, Pepe's Towing operates another towing facility in City of Ontario, located at 810 East Main Street. The towing facility was approved with Conditional Use Permit File No. PCUP17-016 on February 21, 2018, by the Zoning Administrator.

The applicant is now requesting to establish and operate an additional vehicle towing facility and motor vehicle impound storage yard on the Project site. The proposed towing facility and vehicle impound storage yard, consists of a 79,569 square foot outdoor vehicle storage area that will accommodate up to 324 motor vehicles, a 6,870 square foot two-story industrial building, and an 800 square foot outdoor truck wash area. The industrial building is comprised of an office area, that includes a dispatch office, warehouse/storage area, and a vehicle evidence room. The evidence room will serve as a staging and storage area for non-operational vehicles that were involved in serious accidents that need to be secured for the Police Department inspections (see Exhibits G and H – First Story and Second Story Floor Plans, respectively).

Vehicles not involved in serious accidents will be kept within the outdoor storage yard area, which is screened by a decorative 8-foot tall masonry split face block wall, with decorative pilasters and cap, designed to match the new building. The towing service operation will have a staff of 3 full-time employees. The proposed business hours of operation are Monday thru Friday, 8:00 a.m. to 5:00 p.m. for fifty-weeks. Pepe's Towing serves as a contracted Rotational Towing Service with the City and therefore will be required to operate 24-hours, 7-days a week, after the first fifty days of operation.

(b) Site Design/Layout — The proposed building is located at the southeast corner of the Project site, fronting onto Monterey Avenue (to the east) and Philips Street (to the south). The new building is setback 48 feet along Belmont Street (north) property line, 10 feet from the (east) property line, 10 feet from Phillips Street (south) property line, and approximately 540 feet from Sultana Avenue (west) property line. The building's office and main entrance is situated at the northeast corner of the building, fronting onto Belmont Street. The employee and visitor parking area are located to the north and northwest of the building and is secured by an 8-foot tall decorative tube steel fence.

The motor vehicle impound yard is proposed on the westerly two-thirds of the Project site, covering 79,569 square feet and is designed to park 324 impounded vehicles. The yard area will be screened from public view by a decorative 8-foot tall wall consisting of split-face masonry block with decorative pilasters and cap, located along the north, west, and south sides of the Project site.

An 800 square foot (50 feet long by 16 feet wide) outdoor truck wash area and an above ground 1,000-gallon fuel tank are also proposed along the south side of the Project site, near the proposed building (see Exhibit C—Building Perspective, attached).

To ensure that the proposed truck wash will not generate noise levels beyond the City's allowed noise levels within the adjacent residential zones to the west, south and east of the Project site, a Noise Study was completed by the applicant. Per the Ontario Municipal Code Noise Ordinance, the maximum exterior noise level allowed within residential zoning districts is 65 decibels (dBA), between the hours of 7 a.m. to 10 p.m. According to the Noise Study, the exterior noise level generated by the truck wash area will not exceed 59 dBA; therefore, the proposed outdoor truck washing activities will comply with the City's maximum allowed exterior noise level for residential zoning districts and are not anticipated to adversely affect the adjacent residents.

(c) Site Access/Circulation — Primary vehicle access is provided by two driveways located along Belmont Street, immediately west of Monterey Avenue. A secondary vehicle access point is provided from Sultana Avenue, mid-block between Belmont and Philips Streets (see Exhibit B—Site Plan, attached).

(d) Site Access/Circulation — Primary vehicle access will be provided by two driveways, located along the northeast corner of the project site. Pedestrian access will be provided by sidewalks located along Belmont Street, Sultana Avenue, and Phillips Street (see Exhibit B – Site Plan, attached).

(e) Parking — The Project is required to provide a minimum of 16 off-street parking spaces and a total of 20 off-street parking spaces have been provided, exceeding the minimum number of required parking spaces. Parking was calculated as shown in Table 1 – Required Off-Street Parking, below.

<b>Table 1 – Required Off-Street Parking</b>			
<b>Proposed Use</b>	<b>Area</b>	<b>Parking Ratio</b>	<b>Required Parking</b>
Office:	1,056	4 spaces per 1,000 SF of Building GFA [exceeding 10% of building GFA, [approximately 475 SF]	2
Outdoor Vehicle Storage:	79,569	0.1 space per 1,000 GFA	8
Warehouse:	5,814	One space per 1,000 SF for first 20,000 GFA and 0.5 per 1,000 SF for building GFA greater than 20,000 SF; plus 1 tractor-trailer parking space per 4 dock-high loading doors; plus required parking for “general business offices” when those uses exceed 10% of building GFA (Gross Floor Area).	6
<b>Total Building Area:</b>	<b>6,870</b>		
<b>Total Parking Required:</b>			<b>16</b>
<b>Total Parking Provided:</b>			<b>20</b>

(f) Community Outreach — The Project site is surrounded by residential properties to the east, south, and west. To ensure community input from the surrounding residents, a Notice was mailed to all property owners within 300-feet of the Project site and a Notice in Spanish was mailed out on May 5, 2020. The intent of the notification was to inform the surrounding property owners of the proposed Project and to address any questions or concerns regarding the Project. To date, staff has received one phone call and one email requesting clarification of the proposed use. On May 11, 2020, a letter was received from a resident on Phillips Street, regarding the Project. In the letter, the resident raised concerns about the project and its increased impacts associated with air pollution emissions generated by heavy duty (diesel) trucks close to their neighborhood and a 24-hour operation. In addition, concerns were raised regarding recent traffic accidents at the intersection of Sultana Avenue and Phillips Street and safety concerns for children walking to the nearby schools.

The project area is surrounded by residential and existing industrial uses. To the east of the Project site, along Campus Avenue, are new and existing industrial uses that have increased truck traffic along Campus Avenue. However, the proposed tow-yard is considered a commercial use and does not have the same impacts as a typical industrial user. The proposed tow truck yard will operate with a total of 3 trucks, that include two Class A (flatbed) trucks and one Class C (heavy duty) truck. No diesel semi-trailer trucks will be used at the Project site. The Engineering Traffic Division has reviewed the Project for access and circulation and does not anticipate traffic or noise to increase beyond the traffic and noise that currently

exists on Sultana Avenue & Phillips Street and the surrounding area. In addition, the project will be required to perform certain street improvements, along the project's street frontages, that will increase safety for pedestrians in the area. The towing yard is not a 24-hours/7-days a week operation. Their standard business hours of operation are Monday thru Friday, from 8:00 a.m. to 5:00 p.m. and closed on Saturday & Sunday. Since the Applicant has a contract with the City of Ontario's Police Department, it will be required to operate for 24-hrs/7-days a week for two weeks out of the year. The remaining 50-weeks of the year, it will operate by the standard business hours of operation mentioned above.

### **Part II—RECITALS**

WHEREAS, the Application is a project pursuant to the California Environmental Quality Act, commencing with Public Resources Code Section 21000 (hereinafter referred to as "CEQA"); and

WHEREAS, the Project is exempt from CEQA pursuant to a categorical exemption (listed in CEQA Guidelines Article 19, commencing with Section 15300) and the application of that categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board ("DAB") the responsibility and authority to review and on the subject Application; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan (hereinafter referred to as "ALUCP"), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, on May 18, 2020, the DAB of the City of Ontario conducted a hearing on the Application and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.

### **Part III—THE DECISION**

NOW, THEREFORE, IT IS HEREBY FOUND AND DETERMINED by the Development Advisory Board of the City of Ontario, as follows:

**SECTION 1: *Environmental Determination and Findings.*** As the recommending body for the Project, the DAB has reviewed and considered the information contained in the administrative record for

the Project. Based upon the facts and information contained in the administrative record, including all written and oral evidence presented to the DAB, the DAB finds as follows:

(1) The Project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, Infill Development Projects) of the CEQA guidelines, which consists of projects characterized as infill development, and meets the following conditions:

- The Project is consistent with the applicable general plan designation and all applicable general plan policies, as well as the applicable zoning designation and regulations.
- The proposed development occurs within city limits, on a project site of no more than five acres and is substantially surrounded by urban uses.
- The Project site has no value as habitat for endangered, rare, or threatened species.
- Approval of the Project will not result in any significant effects relating to traffic, noise, air quality, or water quality.
- The Project site can be adequately served by all required utilities and public services.

(2) The application of the categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

(3) The determination of CEQA exemption reflects the independent judgment of the DAB.

**SECTION 2: Housing Element Compliance.** Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the recommending body for the Project, the DAB finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the Project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan, as the Project site is not one of the properties in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix.

**SECTION 3: ALUCP Compliance.** The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land use Compatibility Plan, establishing the Airport Influence Area for Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the recommending body for the Project, the DAB has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the DAB, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

**SECTION 4: Concluding Facts and Reasons.** Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the facts and information set forth in Parts I (Background and Analysis) and II (Recitals), above, and the specific findings set forth in Sections 1 through 3, above, the DAB hereby concludes as follows:

(1) **The scale and intensity of the proposed land use would be consistent with the scale and intensity of land uses intended for the particular zoning or land use district.** The proposed location of the Conditional Use Permit is in accord with the objectives and purposes of the City of Ontario



Development Code and the IL (Light Industrial) zoning district, and the scale and intensity of land uses intended for the zoning district in which the use is proposed to be located. Furthermore, the proposed towing yard facility will be established and operated consistent with the objectives and purposes, and development standards and guidelines, of the IL (Light Industrial) zoning district. In addition, the proposed industrial building & towing yard facility will be located toward the southeast corner of the property, adjacent to the Southern Pacific Railroad; and

(2) ***The proposed use at the proposed location, and the manner in which it will be operated and maintained, is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.*** The proposed industrial building and towing yard facility will be located within the industrial land use district of the Policy Plan Land Use Map, and the IL (Light Industrial) zoning district. The development standards, and the conditions of approval under which the proposed land use will be established, operated, and maintained, are consistent with the goals, policies, plans, and exhibits of the Vision, City Council Priorities, and Policy Plan (General Plan) components of The Ontario Plan. The proposed towing yard facility will provide infrastructure compatibility and will be aesthetically pleasing and in context with the community character (LU2-6). Furthermore, the proposed towing yard facility is consistent with City Council goals, such as: invest in the growth and evolution of the City's Economy, and focus resources in Ontario's commercial and residential neighborhoods; and

(3) ***The proposed use at the proposed location, and the manner in which it will be operated and maintained, is consistent with the objectives and requirements of the Development Code and any applicable specific plan or planned unit development.*** The proposed towing yard facility is located within the Industrial land use district, and the IL (Light Industrial) zoning district, and has been reviewed and conditioned to ensure the establishment, operation and maintenance of the proposed land use is consistent with all applicable objectives, purposes, standards, and guidelines of the Development Code and IL (Light Industrial) zoning district. The proposed tow yard facility & industrial building will be located on the southeast corner of the Project site and adjacent to the Southern Pacific Railroad. The towing yard area will be screened by 10-foot landscaping & an 8-foot tall, decorative split-face block wall, which will screen the towing yard parking area from public view; and

(4) ***The establishment, maintenance, and operation of the proposed use at the proposed location would not be detrimental or injurious to property and improvements within the vicinity, nor would it be detrimental to the health, safety, or general welfare of persons residing or working in the surrounding neighborhood.*** The Development Advisory Board has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the Development Code are maintained; [ii] the Project will not endanger the public health, safety or general welfare; [iii] the Project will not result in any significant environmental impacts; and [iv] the Project will be in harmony with the surrounding area in which it is proposed to be located.

**SECTION 5: *Development Advisory Board Action.*** Based on the findings and conclusions set forth in Sections 1 through 4, above, the DAB hereby recommends the Planning Commission APPROVES the Application subject to each and every condition set forth in the Department reports included as Attachment A of this Decision, and incorporated herein by this reference.

**SECTION 6: *Indemnification.*** The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**SECTION 7: *Custodian of Records.*** The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303

East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

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APPROVED AND ADOPTED this 18<sup>TH</sup> day of May 2020.

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Development Advisory Board Chairman

Exhibit A—PROJECT LOCATION MAP





Exhibit B—SITE PLAN

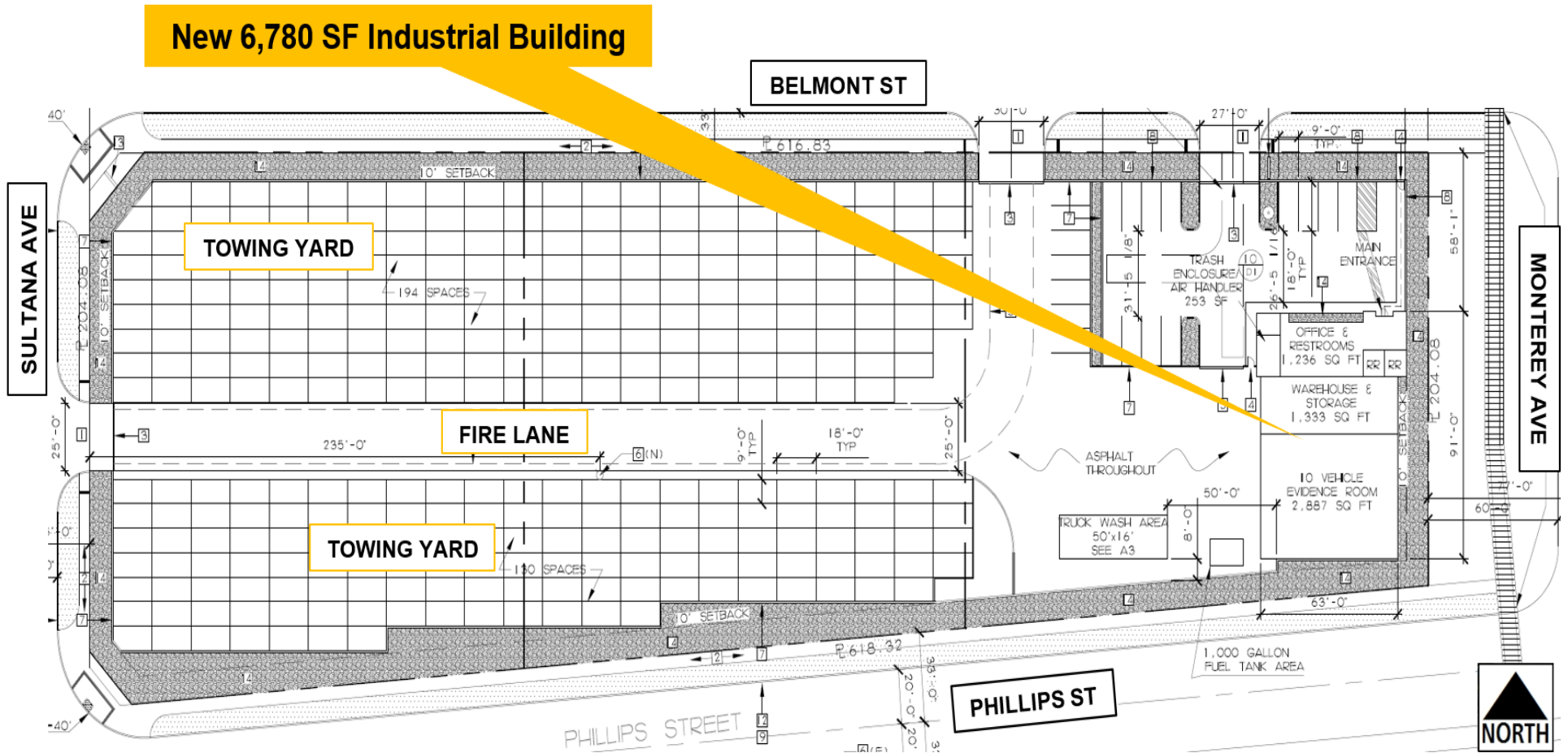


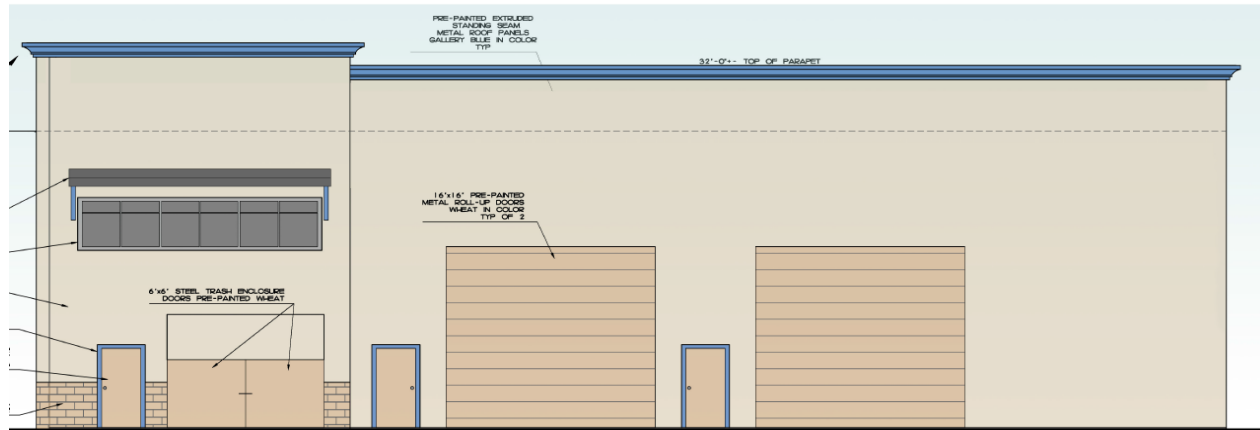
Exhibit C—BUILDING PERSPECTIVE



**Exhibit D—ELEVATIONS**



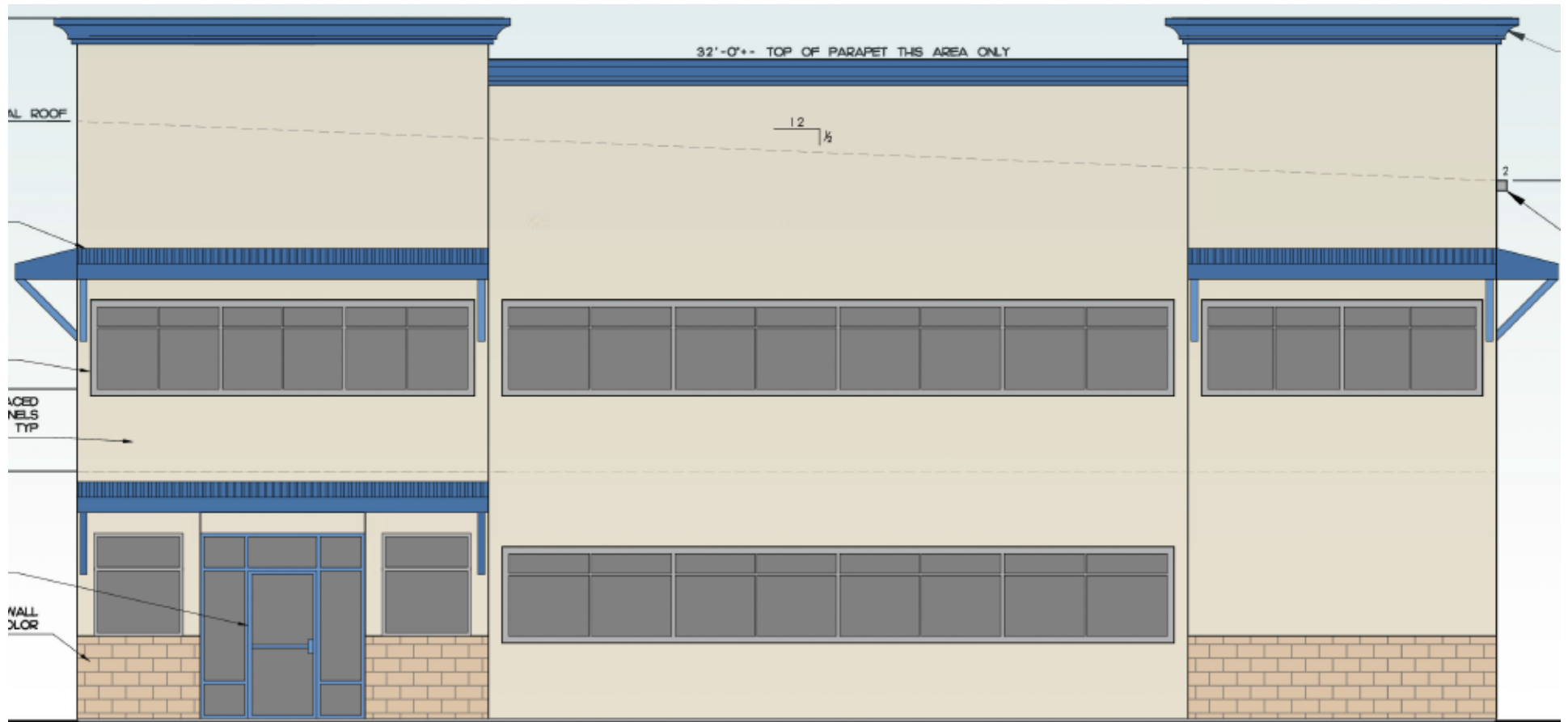
**EAST ELEVATION**



**WEST ELEVATION**



**Exhibit E—ELEVATIONS**



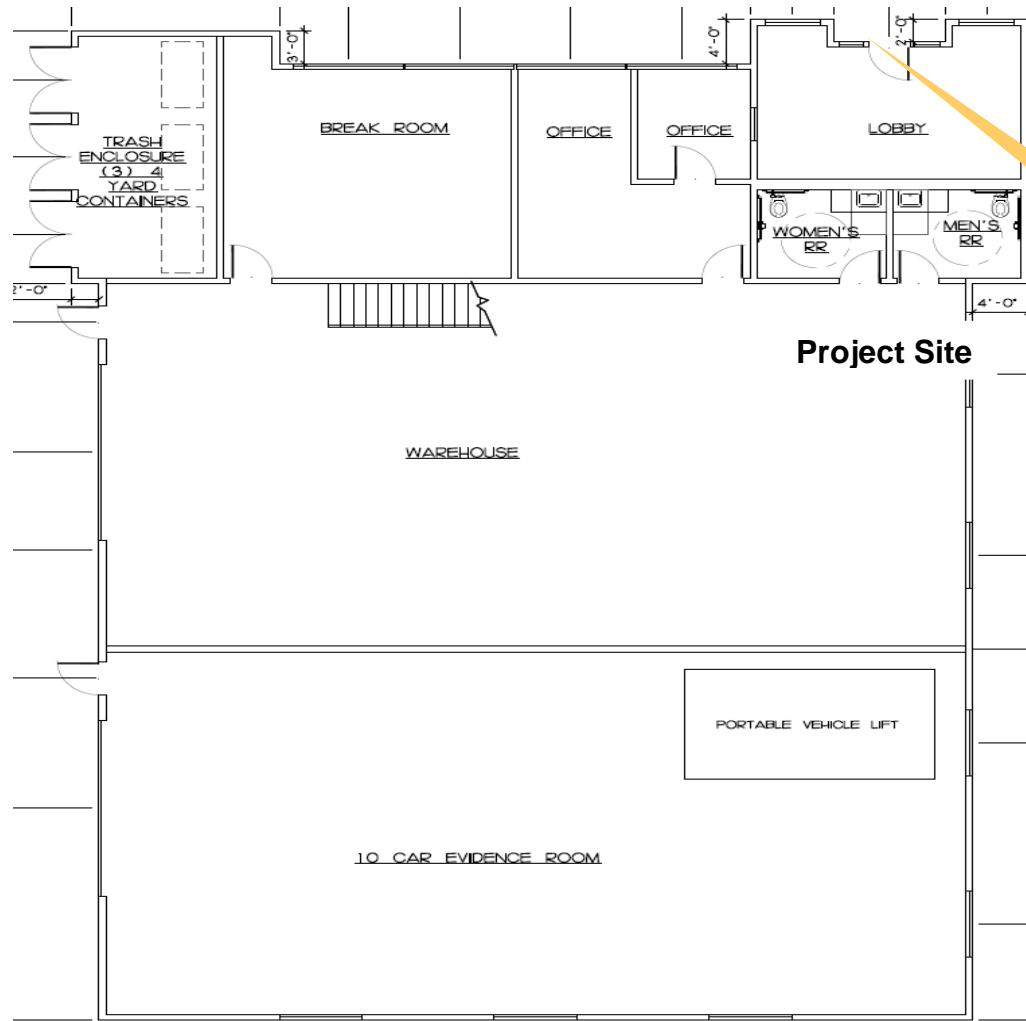
**NORTH ELEVATION**

**Exhibit F—ELEVATIONS**



**SOUTH ELEVATION**

**Exhibit G—FIRST STORY FLOOR PLAN**



**Main Entrance**

**Exhibit H—SECOND STORY FLOOR PLAN**

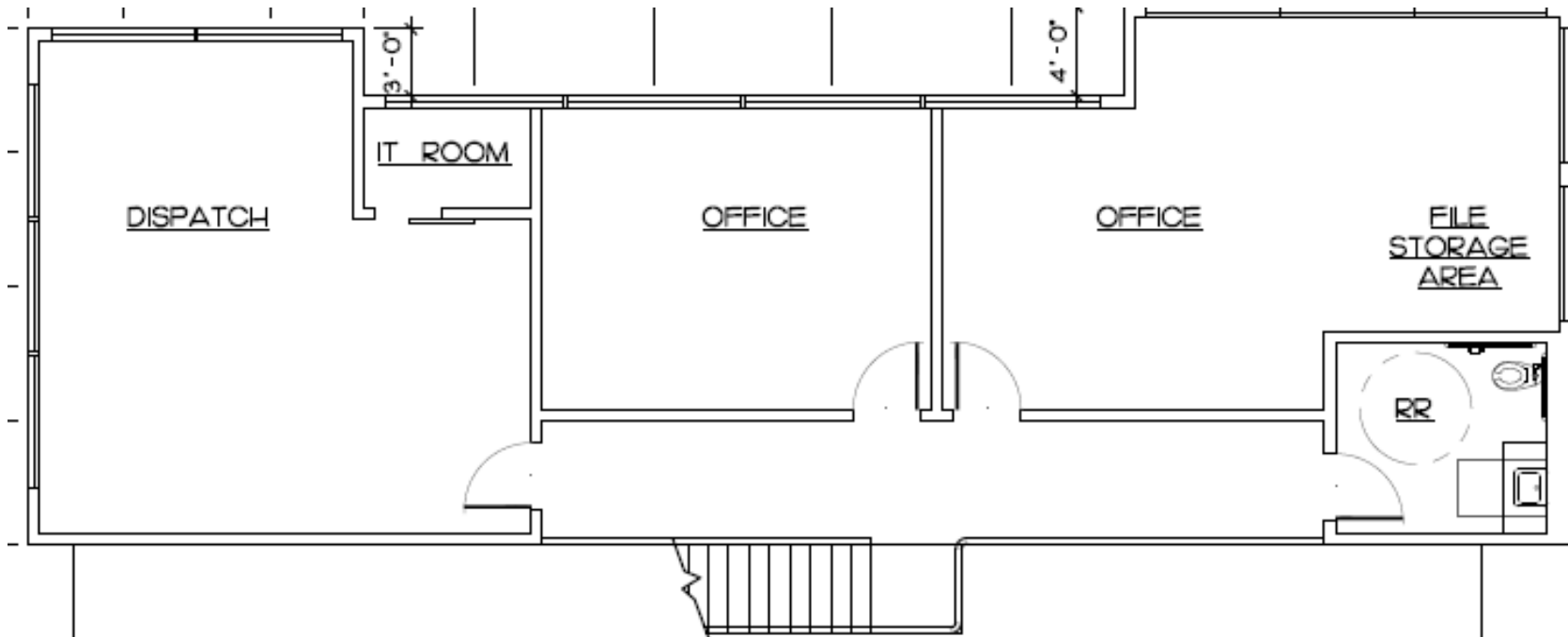
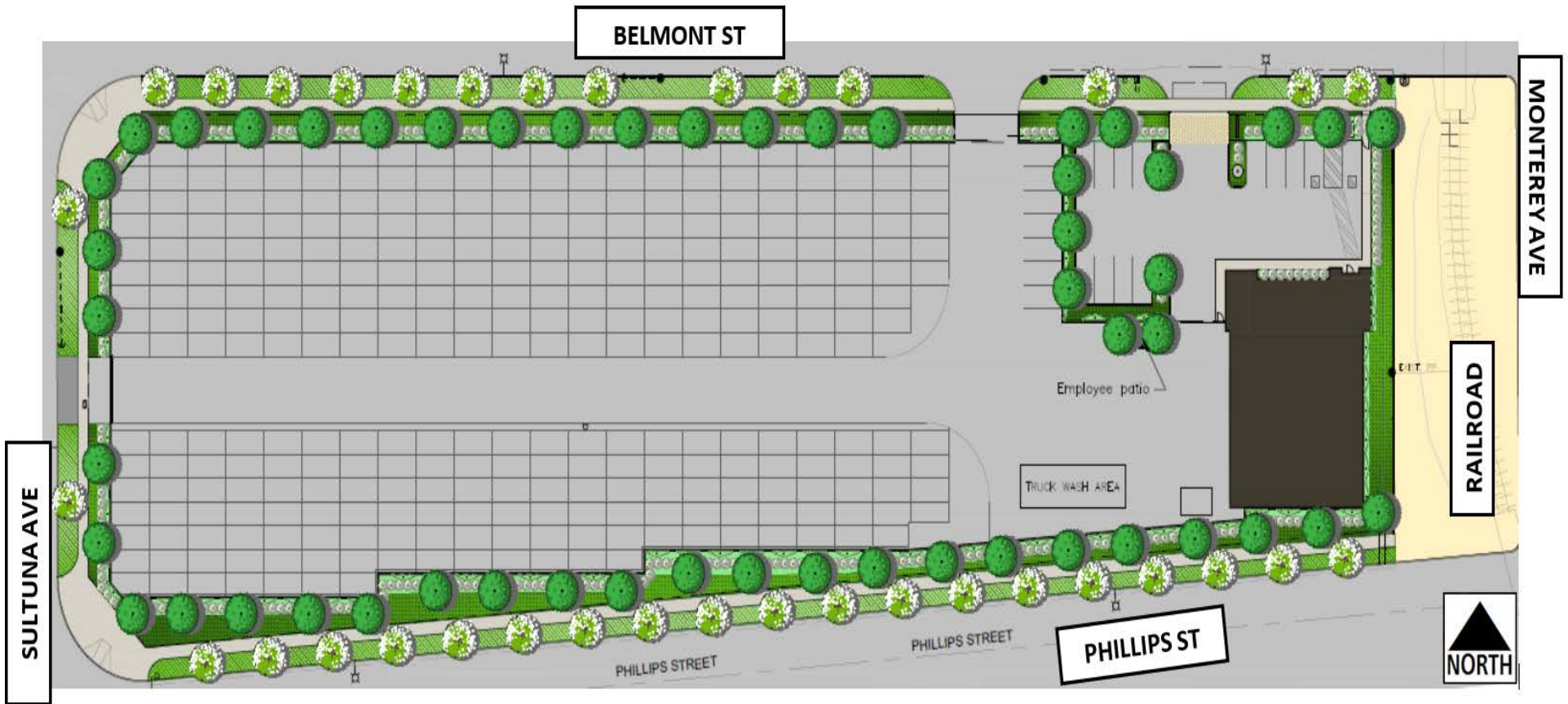


Exhibit I—LANDSCAPE PLAN





**Exhibit J—SITE PHOTOS**



**NORTHWEST CORNER VIEW OF PROJECT SITE (Belmont St & Sultana Ave)**



**SOUTHWEST CORNER VIEW OF PROJECT SITE (Sultana Ave & Phillips St)**



**Exhibit K—SITE PHOTOS**



**SOUTHEAST CORNER VIEW OF PROJECT SITE (Phillips St & Railroad Tracks)**



**NORTHEAST CORNER OF PROJECT SITE (Railroad & Belmont St)**

## Attachment A—Departmental Conditions of Approval

*(Departmental conditions of approval follow this page)*





City of Ontario  
Planning Department  
303 East B Street  
Ontario, California 91764  
Phone: 909.395.2036  
Fax: 909.395.2420

## ***Planning Department Land Development Division Conditions of Approval***

**Meeting Date:** May 18, 2020  
**File No:** PCUP18-021  
**Related Files:** PDEV18-022

**Project Description:** A Conditional Use Permit (File No. PCUP18-021) to establish and operate a towing service, on 3.1 acres of land located at 580 East Belmont Street, within the IL (Light Industrial) zoning district (APNs: 1049-501-12, 1049-501-13 and 1049-501-14); **submitted by Four Sisters Enterprises, LLC.**

**Prepared By:** Denny D. Chen, Associate Planner  
**Phone:** 909.395.2424 (direct)  
**Email:** dchen@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

**1.0 Standard Conditions of Approval.** The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

**2.0 Special Conditions of Approval.** In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

**2.1 Time Limits.**

(a) Development Plan approval shall become null and void 1 year following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

**2.2 General Requirements.** The Project shall comply with the following general requirements:

(a) All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

(b) The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

(c) The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

**2.3** Environmental Review.

(a) The proposed project is categorically exempt from the requirements of the California Environmental Quality Act of 1970 (CEQA), as amended, and the Guidelines promulgated thereunder, pursuant to Section 15332 (Class 32, In-Fill Development Projects) of the CEQA Guidelines, meeting the following conditions:

(i) The Project is consistent with the applicable general plan designation and all applicable general plan policies, as well as the applicable zoning designation and regulations;

(ii) The proposed development occurs within city limits, on a project site of no more than five acres, and is substantially surrounded by urban uses;

(iii) The project site has no value as habitat for endangered, rare, or threatened species;

(iv) Approval of the Project will not result in any significant effects relating to traffic, noise, air quality, or water quality; and

(v) The Project site can be adequately served by all required utilities and public services.

(b) If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

(c) If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

**2.4** Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**2.5** Additional Requirements.

(a) All new & proposed signage shall be reviewed and approved by the Planning Department and shall comply with the requirements of the Ontario Development Code – Sign Regulations (Division 8.1).

(b) A final site inspection shall be required from the Planning Department prior to Building Department's final occupancy.

(c) Pepe's Towing shall obtain and maintain an active City Business License.

(d) All applicable Conditions of Approval from other City departments shall be met and addressed by the applicant.

(e) The Conditional Use Permit is subject to all applicable provisions of the City's Rotational Towing Services Ordinance No. 3008.




**CITY OF ONTARIO  
LANDSCAPE PLANNING  
DIVISION**

303 East "B" Street, Ontario, CA 91764

**CONDITIONS OF APPROVAL**

Sign Off

  
Jamie Richardson, Sr. Landscape Planner

2/13/20  
Date

Reviewer's Name:  
**Jamie Richardson, Sr. Landscape Planner**

Phone:  
**(909) 395-2615**

D.A.B. File No.:  
PDEV18-022 Rev 4

Case Planner:  
Denny Chen

Project Name and Location:

**Pepe's Towing**  
554 E Belmont St.

Applicant/Representative:

Howard Parcell Company  
4854 Main St  
Yorba Linda, CA 92886

**A Preliminary Landscape Plan (dated 2/13/20) meets the Standard Conditions for New Development and has been approved with the consideration that the following conditions below be met upon submittal of the landscape construction documents.**

**A Preliminary Landscape Plan (dated) has not been approved. Corrections noted below are required prior to Preliminary Landscape Plan approval.**

**A RESPONSE SHEET IS REQUIRED WITH RESUBMITTAL OR PLANS WILL BE RETURNED AS INCOMPLETE**

**PREVIOUS COMMENTS – 11/13/19**

Civil/ Site Plans

1. The tree inventory identifies 48" of trunk diameter to be mitigated; Schinus mole No. 14.
  - a. New 15 gallon trees min 1" diameter trunk, in addition to trees required; total of 48 trees.
  - b. New 24" box trees min 1.5" diameter trunk, in addition to trees required; total of 32 trees
  - c. Upsizing trees on the plan one size larger such as 15 gallon to 24" box, or 24" to 36" box size.
  - d. Monetary value of the trees removed as identified in the "Guide for Plant Appraisal", approved certified arborist plant appraiser, or may be equal to the value of the installation cost of planting, fertilizing, staking and irrigating 15 gallon trees, (100\$ each) to the City of Ontario Historic Preservation Fund for city tree planting or city approved combination of the above items; total of \$4,800.
2. Show transformers and backflow devices located in planter areas and set back 4' from paving; dimension on plan. Locate on level grade. Coordinate with landscape plans.
3. ~~2/13/20 Spoke with Mr. George Estrada over the counter; locate the wall at the Belmont entry of the tow yard so the landscape planter is in the public parking lot. Provide an employee break area on the inside of the tow yard adjacent to the 4 public parking spaces include a table and/or bench and 2 broad canopy shade trees such as Platanus racemosa 24" box. Provide irrigation to trees and mulch.~~ 3/12/20 updated plans received. Condition has been addressed.

Landscape Plans

4. Locate light standards, fire hydrants, water and sewer lines to not conflict with required tree locations. Coordinate civil plans with landscape plans



# CITY OF ONTARIO MEMORANDUM

## Development Plan Review

Project: PDEV18-022 (PCUP18-021)

Date: February 13<sup>th</sup>, 2020

Location: 554 East Belmont Street

By: Nathan Kuan

*The following shall become conditions of approval for the project.*

Conditions:

1. The applicant/developer shall be responsible to design and construct the following streets to their ultimate half-width along the project frontage:
  - Sultana Avenue (66' R/W, 36' C/C)
  - Belmont Street (66' R/W, 36' C/C)
  - Phillips Street (66' R/W, 40' C/C)Improvements shall include, but not be limited to: concrete curb and gutter, sidewalk, LED street lights, landscaped parkways, signing & striping, and necessary pavement transitions as deemed necessary by the City Engineer.
2. The Applicant/Developer shall be responsible to design and construct in-fill public street lights and service pedestals along the property frontages of Sultana Avenue, Belmont Street and Phillips Street, in accordance with the Traffic and Transportation Design Guidelines Section 1.4 Street Light Plans, City of Ontario Standard Drawing No. 5101, and to the satisfaction of the City Engineer.
3. Driveways shall be designed and constructed in accordance with City of Ontario Standard Drawing No. 1204 for Commercial Driveway Approach.
4. Property frontages along Sultana Avenue, Belmont Street, Phillips Street and Monterey Avenue shall be signed "No Parking Anytime."
5. Proposed gates on Belmont Street shall remain open at all times during business hours.
6. The applicant/developer's engineer-of-record shall meet with City Engineering staff prior to starting signing/striping and/or street lighting design.
7. The applicant/developer shall obtain all rights-of-way necessary to construct all required improvements.
8. All landscaping, block walls, and other obstructions shall be compatible with the stopping sight distance requirements per City of Ontario Standard Drawing No. 1309.

nk;



# CITY OF ONTARIO

## MEMORANDUM

**TO:** PLANNING DEPARTMENT, Denny Chen  
**FROM:** BUILDING DEPARTMENT, Kevin Shear  
**DATE:** June 11, 2019  
**SUBJECT:** PDEV18-022

- 
- The plan **does** adequately address the departmental concerns at this time.
- No comments
- Report below.

---

### Conditions of Approval

1. See previous report for Conditions.

KS:lr

# CITY OF ONTARIO

## MEMORANDUM

**TO:** PLANNING DEPARTMENT, Denny Chen  
**FROM:** BUILDING DEPARTMENT, Kevin Shear  
**DATE:** June 27, 2018  
**SUBJECT:** PDEV18-022

- 
- The plan **does** adequately address the departmental concerns at this time.
- No comments
- Report below.

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### Conditions of Approval

1. The site address for this project will be 580 E Belmont St.
2. The lot lines are to be removed.

KS:lm



# CITY OF ONTARIO

## MEMORANDUM

**TO:** Denny Chen, Associate Planner  
Planning Department

**FROM:** Paul Ehrman, Deputy Fire Chief/Fire Marshal  
Fire Department

**DATE:** July 6, 2018

**SUBJECT:** PDEV18-022 - A Development Plan to construct a 6,660-square foot industrial building on 3.01 acres of land located at the southwest corner of Belmont Street and Monterey Avenue, at 554 East Belmont Street, within the IL (Light Industrial) zoning district (APNs: 1049-491-01, 1049-491-02 and 1049-491-03). Related File: PCUP18-021

- 
- The plan **does** adequately address Fire Department requirements at this time.
- Standard Conditions of Approval apply, as stated below.

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### **SITE AND BUILDING FEATURES:**

- A. 2016 CBC Type of Construction: V
- B. Type of Roof Materials: Ordinary
- C. Ground Floor Area(s): 5,460 Sq. Ft.
- D. Number of Stories: 2
- E. Total Square Footage: 6,660 Sq. Ft.
- F. 2016 CBC Occupancy Classification(s): B, S

## CONDITIONS OF APPROVAL:

### 1.0 GENERAL

- 1.1 The following are the Ontario Fire Department ("Fire Department") requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards ("Standards.") It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at [www.ontarioca.gov](http://www.ontarioca.gov), click on "Fire Department" and then on "Standards and Forms."
- 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

### 2.0 FIRE DEPARTMENT ACCESS

- 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See Standard #B-004.
- 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25') inside and forty-five feet (45') outside turning radius per Standard #B-005.
- 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150') in length shall have an approved turn-around per Standard #B-002.
- 2.4 Access drive aisles which cross property lines shall be provided with CC&Rs, access easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of building plan check.
- 2.5 "No Parking-Fire Lane" signs and /or red painted curbs with lettering are required to be installed in interior access roadways, in locations where vehicle parking would obstruct the minimum clear width requirement. Installation shall be per Standard #B-001.
- 2.6 Security gates or other barriers on fire access roadways shall be provided with a Knox brand key switch or padlock to allow Fire Department access. See Standards #B-003, B-004 and H-001.
- 2.7 Any time PRIOR to on-site combustible construction and/or storage, a minimum twenty-six (26) ft. wide circulating all weather access roads shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved by fire department and other emergency services..

### 3.0 WATER SUPPLY

- 3.1 The required fire flow per Fire Department standards, based on the 2016 California Fire Code, Appendix B, is 2000 gallons per minute (g.p.m.) for 2 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.
- 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300') apart, per Engineering Department specifications.
- 3.4 The water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

### 4.0 FIRE PROTECTION SYSTEMS

- 4.1 On-site private fire hydrants are required per Standard #D-005, and identified in accordance with Standard #D-002. Installation and locations(s) are subject to the approval of the Fire Department. An application with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- 4.2 Underground fire mains which cross property lines shall be provided with CC & R, easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of fire department plan check. The shared use of private fire mains or fire pumps is allowable only between immediately adjacent properties and shall not cross any public street.
- 4.4 Wood frame buildings that are to be sprinkled shall have these systems in service (but not necessarily finalized) before the building is enclosed.

### 5.0 BUILDING CONSTRUCTION FEATURES

- 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.
- 5.3 Single station smoke alarms and carbon monoxide alarms are required to be installed per the California Building Code and the California Fire Code.

- ☒ 5.6 Knox ® brand key-box(es) shall be installed in location(s) acceptable to the Fire Department. All Knox boxes shall be monitored for tamper by the building fire alarm system. See Standard #H-001 for specific requirements.
- ☒ 5.7 Placards shall be installed in acceptable locations on buildings that store, use or handle hazardous materials in excess of the quantities specified in the CFC. Placards shall meet the requirements of National Fire Protection Association (NFPA) Standard 704.

## 6.0 OTHER SPECIAL USES

- ☒ 6.1 The storage, use, dispensing, or handling of any hazardous materials shall be approved by the Fire Department, and adequate fire protection features shall be required. If hazardous materials are proposed, a Fire Department Hazardous Materials Information Packet, including Disclosure Form and Information Worksheet, shall be completed and submitted with Material Safety Data Sheets to the Fire Department along with building construction plans.
- ☒ 6.3 Underground fuel tanks, their associated piping and dispensers shall be reviewed, approved, and permitted by Ontario Building Department, Ontario Fire Department, and San Bernardino County Fire Department Hazardous Materials Division. In fueling facilities, an exterior emergency pump shut-off switch shall be provided.





# CITY OF ONTARIO

## MEMORANDUM

**TO:** Denny Chen, Planning Department

**FROM:** Douglas Sorel, Police Department

**DATE:** July 26, 2018

**SUBJECT:** PDEV18-022 & PCUP18-021: A DEVELOPMENT PLAN AND  
CONDITIONAL USE PERMIT TO ESTABLISH A TOW YARD AT 554  
EAST BELMONT STREET

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The "Standard Conditions of Approval" contained in Resolution No. 2017-027 and Ontario Development Code Section 5.03.310 apply. The applicant shall read and be thoroughly familiar with these conditions, including but not limited to, the requirements listed below.

- Required lighting for all walkways, driveways, doorways, parking areas, and other areas used by the public shall be provided and operate on photosensor. Photometrics shall be provided to the Police Department. Photometrics shall include the types of fixtures proposed and demonstrate that such fixtures meet the vandal-resistant requirement. Planned landscaping shall not obstruct lighting.
- Rooftop addresses shall be installed on the building as stated in the Standard Conditions. The numbers shall be at a minimum 3 feet tall and 1 foot wide, in reflective white paint on a flat black background, and oriented with the bottom of the numbers towards the addressed street.
- The Applicant shall comply with construction site security requirements as stated in the Standard Conditions.
- The indoor storage of motor vehicles shall comply with all requirements of the fire and building codes.
- All vehicles stored outdoors shall be screened from public view by a minimum 8-foot high decorative masonry block wall.
- All vehicles stored shall comply with the requirements for the base zoning district.

In addition to the Standard Conditions, the Ontario Police Department places the following conditions on the project:

- While the Applicant serves as a contracted Rotational Towing Service with the City of Ontario they shall comply with all terms of Title 4-19 of the Ontario Municipal Code and their current Professional Services Agreement with the City.

- The applicant will be responsible for keeping the grounds of the business clean from debris and litter.
- Graffiti abatement by the business owner/licensee, or management shall be immediate and on-going on the premises, but in no event shall graffiti be allowed unabated on the premises for more than 72 hours. Abatement shall take the form of removal, or shall be covered/painted over with a color reasonably matching the color of the existing building, structure, or other surface being abated. Additionally, the business owner/licensee, or management shall notify the City within 24 hours at (909) 395-2626 (graffiti hotline) of any graffiti elsewhere on the property not under the business owner/licensee's or management control so that it may be abated by the property owner and/or the City's graffiti team.

The Applicant is invited to contact Douglas Sorel at (909) 408-1873 with any question or concerns regarding these conditions.

# AIRPORT LAND USE COMPATIBILITY PLANNING CONSISTENCY DETERMINATION REPORT



Project File No.: PDEV18-022 & PCUP18-021  
 Address: 554 East Belmont Street  
 APN: 1049-491-01, 02 & 03  
 Existing Land Use: Vacant  
 Proposed Land Use: Development Plan and CUP to establish a tow yard and 6,600 SF 2-story industrial/warehouse building  
 Site Acreage: 3.01 ac Proposed Structure Height: 33 FT  
 ONT-IAC Project Review: N/A  
 Airport Influence Area: ONT

Reviewed By: Lorena Mejia  
 Contact Info: 909-395-2276  
 Project Planner: Rudy Zeledon  
 Date: 7/30/18  
 CD No.: 2018-036  
 PALU No.: n/a

## The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input type="radio"/> High Terrain Zone	<input type="radio"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input checked="" type="checkbox"/> FAA Notification Surfaces	<input checked="" type="checkbox"/> Recorded Overflight Notification
<input type="radio"/> Zone 2	<input checked="" type="checkbox"/> 65 - 70 dB CNEL	<input checked="" type="checkbox"/> Airspace Obstruction Surfaces	<input type="radio"/> Real Estate Transaction Disclosure
<input type="radio"/> Zone 3	<input type="radio"/> 60 - 65 dB CNEL	<input checked="" type="checkbox"/> Airspace Avigation Easement Area	
<input type="radio"/> Zone 4		Allowable Height: 110 FT	
<input type="radio"/> Zone 5			

## The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1   
  Zone 2   
  Zone 3   
  Zone 4   
  Zone 5   
  Zone 6  
 Allowable Height: \_\_\_\_\_

## CONSISTENCY DETERMINATION

This proposed Project is:  Exempt from the ALUCP   
 Consistent   
 Consistent with Conditions   
 Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

See Attached Conditions

Airport Planner Signature: 

# AIRPORT LAND USE COMPATIBILITY PLANNING

## CONSISTENCY DETERMINATION REPORT

CD No.: 2018-036  
PALU No.: \_\_\_\_\_

### PROJECT CONDITIONS

1. This project is located within Airspace Avigation Easement Area and is required to file and record an Avigation Easement with the Ontario International Airport Authority prior to obtaining a Certificate of Occupancy.





# Development Advisory Board Decision

MAY 18, 2020

**DECISION NO.:**

**FILE NO.:** PDEV18-022

**DESCRIPTION:** A Development Plan to construct a 6,870 square foot industrial building on 3.1 acres of land located at 580 East Belmont Street, within the IL (Light Industrial) zoning district; (APNs: 1049-491-01, 1049-491-02 and 1049-491-03). **Submitted by Four Sisters Enterprises, LLC. Planning Commission action is required.**

## **Part I—BACKGROUND & ANALYSIS**

FOUR SISTERS ENTERPRISES, LLC, (herein after referred to as “Applicant”) has filed an application requesting Development Plan approval, File No. PDEV18-022, as described in the subject of this Decision (herein after referred to as "Application" or "Project").

(1) **Project Setting:** The Project site is comprised of 3.1 gross acres of land located at the southwest corner of Belmont Street and Monterey Avenue, at 580 East Belmont Street, within the IL (Light Industrial) zoning district. The site is currently undeveloped and is bordered by Belmont Street to the north, Sultana Avenue to the west, Phillips Street to the south, and Southern Pacific Railroad and Monterey Avenue to the east and is depicted in Exhibit A—Project Location Map, attached. Existing land uses, General Plan and zoning designations, and specific plan land uses on and surrounding the Project site are as follows:

	<b>Existing Land Use</b>	<b>General Plan Designation</b>	<b>Zoning Designation</b>	<b>Specific Plan Land Use</b>
<i>Site:</i>	Vacant Land	Industrial	IL (Light Industrial)	N/A
<i>North:</i>	Metal Rebar Storage Yard	Industrial	IL (Light Industrial)	N/A
<i>South:</i>	Single-Family Homes	LDR (Low Density Residential)	LDR-5 (Low Density Residential)	N/A
<i>East:</i>	Southern Pacific Railroad & Single-Family Homes	Industrial & LDR (Low Density Residential)	IL (Light Industrial) / LDR-5 (Low Density Residential)	N/A
<i>West:</i>	Single-Family Homes	LMDR (Low Medium Density Residential)	MDR-11 (Medium Density Residential)	N/A

(2) **Project Description:**

(a) **Background** — On April 1, 2018, the Applicant submitted a Development Plan Application requesting approval to construct a 6,870 square foot industrial building having a floor area ratio (FAR) of 0.05 percent, in conjunction with a Conditional Use Permit (File No. PCUP18-021) to establish and operate a towing service and motor vehicle impound storage yard on located at 580 East Belmont Street.

(b) Site Design/Layout — The proposed building is located at the southeast corner of the Project site, fronting onto Monterey Avenue (to the east) and Philips Street (to the south). The new building is setback 48 feet along Belmont Street (north) property line, 10 feet from the (east) property line, 10 feet from Phillips Street (south) property line, and approximately 540 feet from Sultana Avenue (west) property line. The building’s office and main entrance is situated at the northeast corner of the building, fronting onto Belmont Street. The employee and visitor parking area is located to the north and northwest of the building and is secured by an 8-foot tall decorative tube steel fence.

The motor vehicle impound yard is proposed on the westerly two-thirds of the Project site, covering 79,569 square feet designed to park 324 impounded vehicles. The yard area will be screened from public view by a decorative 8-foot tall wall consisting of split-face masonry block with decorative pilasters and cap, located along the north, west, and south sides of the Project site.

An 800 square foot (50 feet long by 16 feet wide) outdoor truck wash area and an above ground 1,000-gallon fuel tank are also proposed along the south side of the Project site, near the proposed building (see Exhibit C—Building Perspective, attached).

To ensure that the proposed truck wash will not generate noise levels beyond the City’s allowed noise levels within the adjacent residential zones to the west, south and east of the Project site, a Noise Study was completed by the applicant. Per the Ontario Municipal Code Noise Ordinance, the maximum exterior noise level allowed within residential zoning districts is 65 decibels (dBA), between the hours of 7 a.m. to 10 p.m. According to the Noise Study, the exterior noise level generated by the truck wash area will not exceed 59 dBA; therefore, the proposed outdoor truck washing activities will comply with the City’s maximum allowed exterior noise level for residential zoning districts and are not anticipated to adversely affect the adjacent residents.

(c) Site Access/Circulation — Primary vehicle access is provided by two driveways located along Belmont Street, immediately west of Monterey Avenue. A secondary vehicle access point is provided from Sultana Avenue, mid-block between Belmont and Philips Streets (see Exhibit B—Site Plan, attached).

(d) Parking — The Project is required to provide a minimum of 16 off-street parking spaces and a total of 20 off-street parking spaces have been provided, exceeding the minimum number of required parking spaces. Parking was calculated as shown in Table 1 – Required Off-Street Parking, below.

<b>Table 1 – Required Off-Street Parking</b>			
<b>Proposed Use</b>	<b>Area</b>	<b>Parking Ratio</b>	<b>Required Parking</b>
Office:	1,056	4 spaces per 1,000 SF of Building GFA [exceeding 10% of building GFA, [approximately 475 SF]	2
Outdoor Vehicle Storage:	79,569	0.1 space per 1,000 GFA	8
Warehouse:	5,814	One space per 1,000 SF for first 20,000 GFA and 0.5 per 1,000 SF for building GFA greater than 20,000 SF; plus 1 tractor-trailer parking space per 4 dock-high loading doors; plus required parking for “general business offices” when those uses exceed 10% of building GFA (Gross Floor Area).	6



<b>Total Building Area:</b>	<b>6,870</b>		
<b>Total Parking Required:</b>			<b>16</b>
<b>Total Parking Provided:</b>			<b>20</b>

(e) Architecture — The proposed building elevations illustrate the type of high-quality architecture promoted by the Ontario Development Code's development standards and design guidelines. The building will be composed of pre-painted/smooth faced sheet metal wall panels that incorporate a contemporary architectural style (see Figure 2: Building Perspective). The building design incorporates articulation in the building footprint, incorporating a combination of recessed and popped-out wall areas, and articulation in the building parapet/roof line, which serves to accentuate the building's roofline. To accent the building design, the following materials, finishes, and fixtures have been incorporated into the design of the building:

- Vertical changes in building height that correspond to horizontal changes in the building footprint
- Smooth-faced, pre-painted metal panels
- Decorative metal awnings
- Double-glazed windows with a clear anodized mullion system
- Decorative split-face block at the base of the building
- Decorative cornices on all four sides of the building



**Figure 2 – Building Perspective**

(f) Landscaping — The Project proposes 15 percent landscape coverage, which meets the minimum 15% landscape coverage required by the Development Code's for corner lots located within the IL (Light Industrial) zoning district. The landscape pallet for the Project incorporates a mixture of 24-inch, 36-inch, and 48-inch box accent and shade trees. Some of the proposed trees include Raywood Ash, Western Redbud, Crape Myrtle, Purple Leaf Plum, Coast Live Oak, along with a variety of low water use grasses, shrubs, and groundcovers.

Additionally, the Project has provided the required 10-foot landscaped setback areas along all Project street frontages, including Belmont Street, Sultana Avenue, Phillips Street, and Monterey Avenue/Southern Pacific Railroad (see Exhibit I—Landscape Plan, attached).

(g) Utilities (Drainage, Sewer) — Public utilities (water and sewer) are available to serve the Project. Additionally, the Applicant has submitted a Preliminary Water Quality Management Plan (PWQMP), which establishes the Project's compliance with storm water discharge/water quality requirements. The PWQMP includes site design measures that capture runoff and pollutant transport by minimizing impervious surfaces and maximizing low impact development (LID) best management practices (BMPs), such as retention and infiltration, biotreatment, and evapotranspiration. The PWQMP proposes a vegetated swale designed to accept runoff from building roofs, parking lots and Project roadways, which lead to an underground stormwater infiltration system. The proposed underground infiltration system is located along the southeast portion of the site and any overflow drainage will be conveyed to the surrounding streets.

### **Part II—RECITALS**

WHEREAS, the Application is a project pursuant to the California Environmental Quality Act, commencing with Public Resources Code Section 21000 (hereinafter referred to as "CEQA"); and

WHEREAS, the Project is exempt from CEQA pursuant to a categorical exemption (listed in CEQA Guidelines Article 19, commencing with Section 15300) and the application of that categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board ("DAB") the responsibility and authority to review and on the subject Application; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan ("ALUCP"), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, on May 18, 2020, the DAB of the City of Ontario conducted a hearing on the Application and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.

### **Part III—THE DECISION**

NOW, THEREFORE, IT IS HEREBY FOUND AND DETERMINED by the Development Advisory Board of the City of Ontario, as follows:

**SECTION 1: *Environmental Determination and Findings.*** As the recommending body for the Project, the DAB has reviewed and considered the information contained in the administrative record for the Project. Based upon the facts and information contained in the administrative record, including all written and oral evidence presented to the DAB, the DAB finds as follows:

(1) The Project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, Infill Development Projects) of the CEQA guidelines, which consists of projects characterized as infill development, and meets all of the following conditions:

- The Project is consistent with the applicable general plan designation and all applicable general plan policies, as well as the applicable zoning designation and regulations.
- The proposed development occurs within city limits, on a project site of no more than five acres, and is substantially surrounded by urban uses.
- The Project site has no value as habitat for endangered, rare, or threatened species.
- Approval of the Project will not result in any significant effects relating to traffic, noise, air quality, or water quality.
- The Project site can be adequately served by all required utilities and public services.

(2) The application of the categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

(3) The determination of CEQA exemption reflects the independent judgment of the DAB.

**SECTION 2: *Housing Element Compliance.*** Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the recommending body for the Project, the DAB finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the Project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan, as the Project site is not one of the properties in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix.

**SECTION 3: *ALUCP Compliance.*** The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land use Compatibility Plan, establishing the Airport Influence Area for Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the recommending body for the Project, the DAB has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the DAB, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

**SECTION 4: Concluding Facts and Reasons.** Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the facts and information set forth in Parts I (Background and Analysis) and II (Recitals), above, and the specific findings set forth in Sections 1 through 3, above, the DAB hereby concludes as follows:

(1) **The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.** The proposed Project is located within the Industrial land use district of the Policy Plan Land Use Map, and the IL (Light Industrial) zoning district. The development standards and conditions under which the proposed Project will be constructed and maintained, is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan. The proposed towing yard facility will provide infrastructure compatibility and will be aesthetically pleasing and in context with the community character (LU2-6). Furthermore, the proposed development is consistent with City Council goals, such as: invest in the growth and evolution of the City's Economy, maintain the current high level of public safety, and focus resources in Ontario's commercial and residential neighborhoods; and

(2) **The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located.** The Project has been designed consistent with the requirements of the City of Ontario Development Code and the IL (Light Industrial) zoning district, as-well-as building intensity, building and parking setbacks, building height, number of off-street parking and loading spaces, on-site and off-site landscaping, and fences, walls and obstructions. In addition, the proposed industrial building will be construct on the southeast corner of the Project site. Furthermore, the proposed impound yard will be screened by landscaping and an 8-foot tall, decorative block wall, so that it will not be visible from public view; and

(3) **The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed project.** The Development Advisory Board has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the IL (Light Industrial) zoning district are maintained; [ii] the Project will not endanger the public health, safety or general welfare; [iii] the Project will not result in any significant environmental impacts; [iv] the Project will be in harmony with the area in which it is located; and [v] the Project will be in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan; and

(4) **The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.** The proposed Project has been reviewed for consistency with the general development standards and guidelines of the IL (Light Industrial) zoning district that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of off-street parking and loading spaces, parking lot dimensions, design and landscaping, bicycle parking, on-site landscaping, and fences and walls, as-well-as those development standards and guidelines. As a result of this review, the Development Advisory Board has determined that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the development standards and guidelines described in the IL (Light Industrial) zoning district.

**SECTION 5: Development Advisory Board Action.** Based on the findings and conclusions set forth in Sections 1 through 4, above, the DAB hereby recommends the Planning Commission APPROVES the Application subject to each and every condition set forth in the Department reports included as Attachment A of this Decision, and incorporated herein by this reference.

**SECTION 6: Indemnification.** The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**SECTION 7: Custodian of Records.** The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

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APPROVED AND ADOPTED this 18th day of May 2020.

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Development Advisory Board Chairman



Exhibit A—PROJECT LOCATION MAP





Exhibit B—SITE PLAN

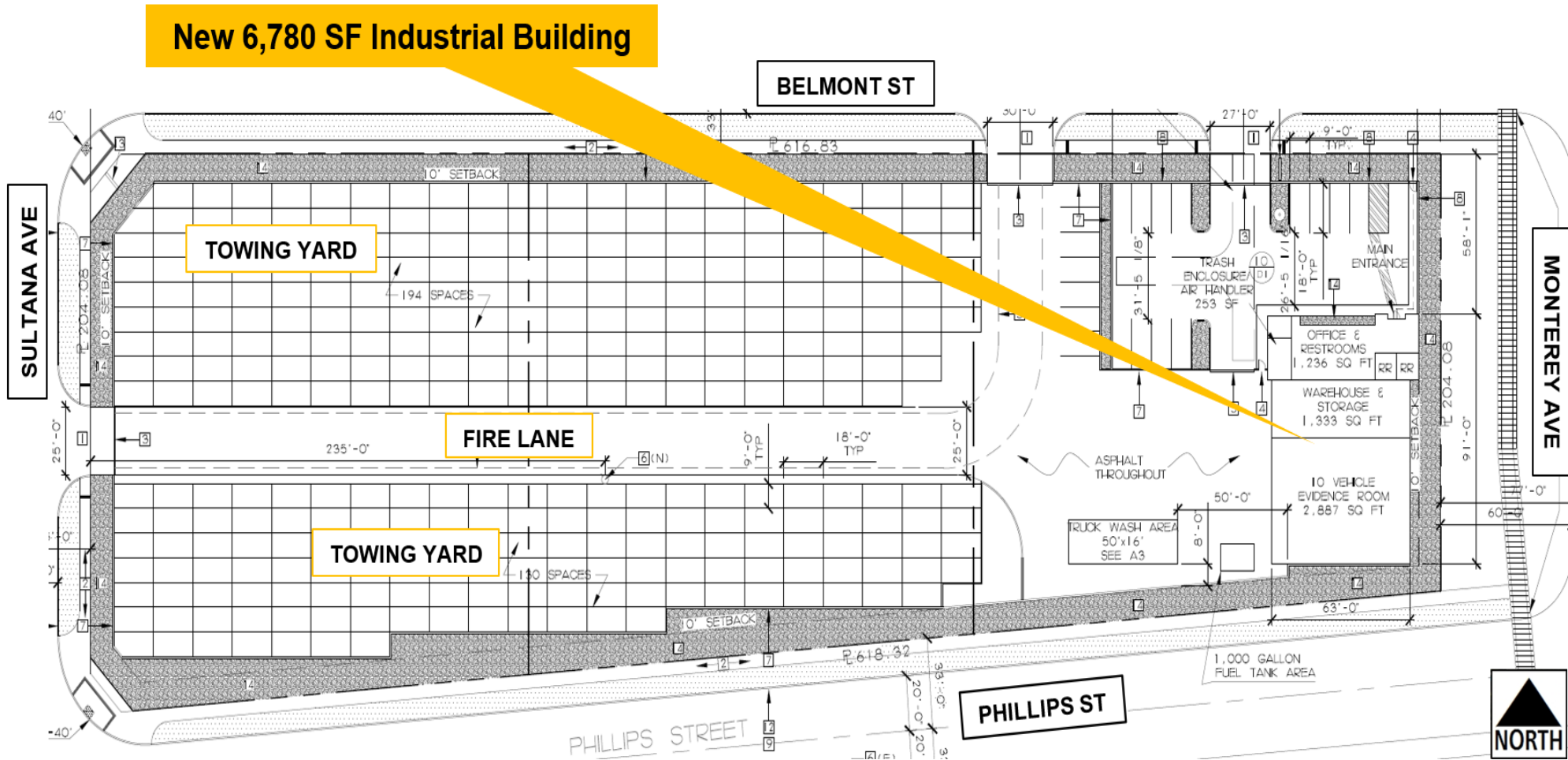
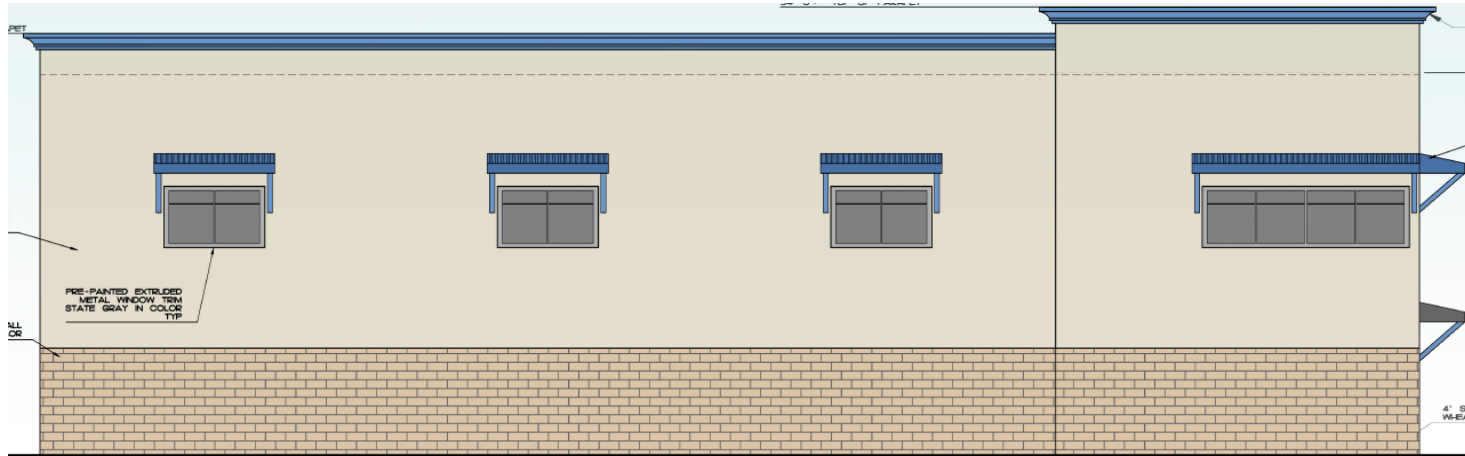


Exhibit C—BUILDING PERSPECTIVE

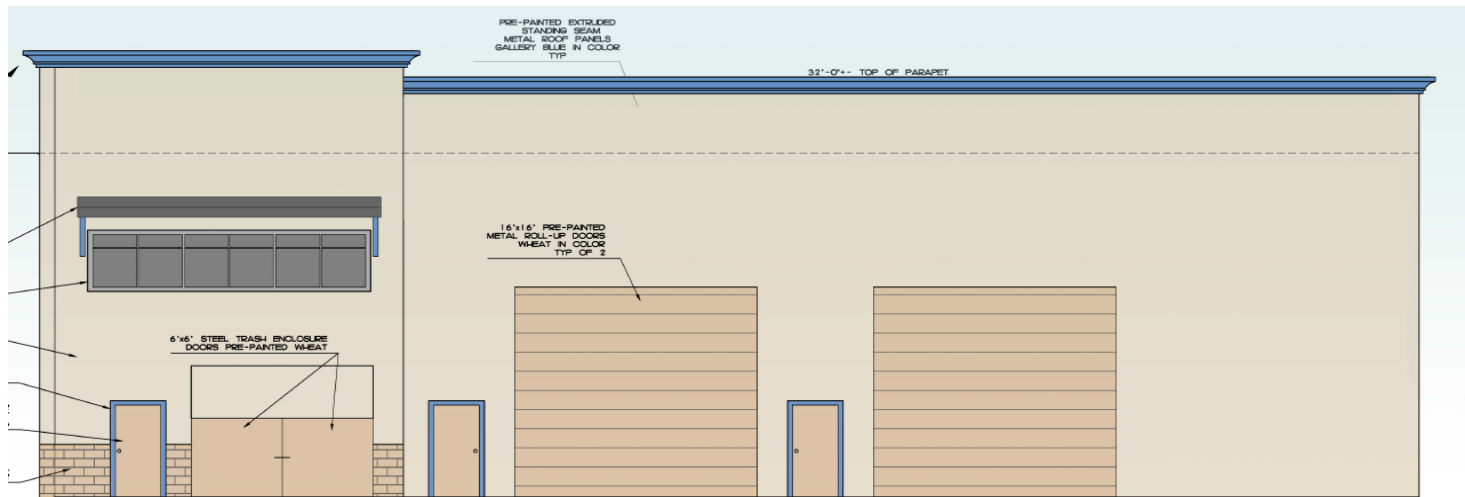


**Exhibit D—ELEVATIONS**



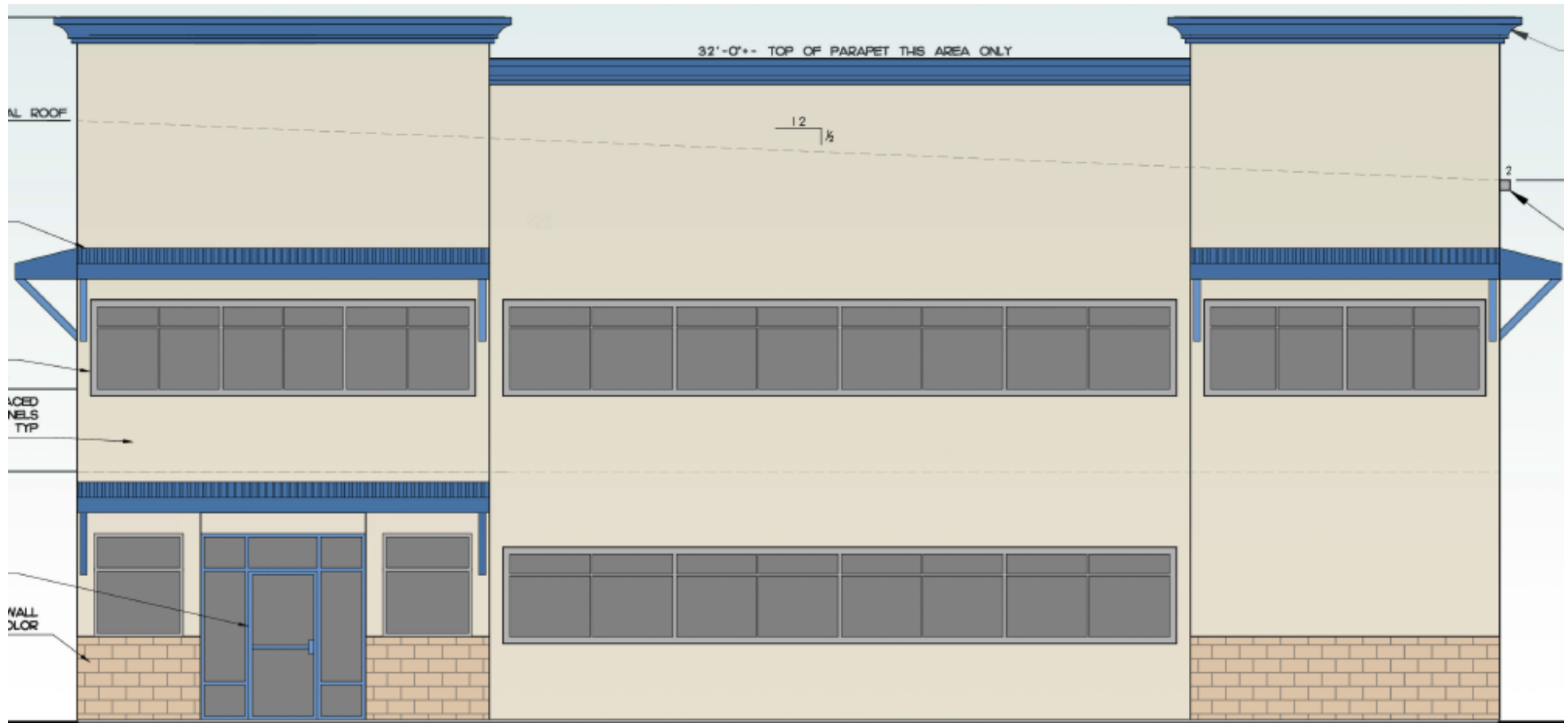
**EAST ELEVATION**

SCALE



**WEST ELEVATION**

**Exhibit E—ELEVATIONS**



**NORTH ELEVATION**

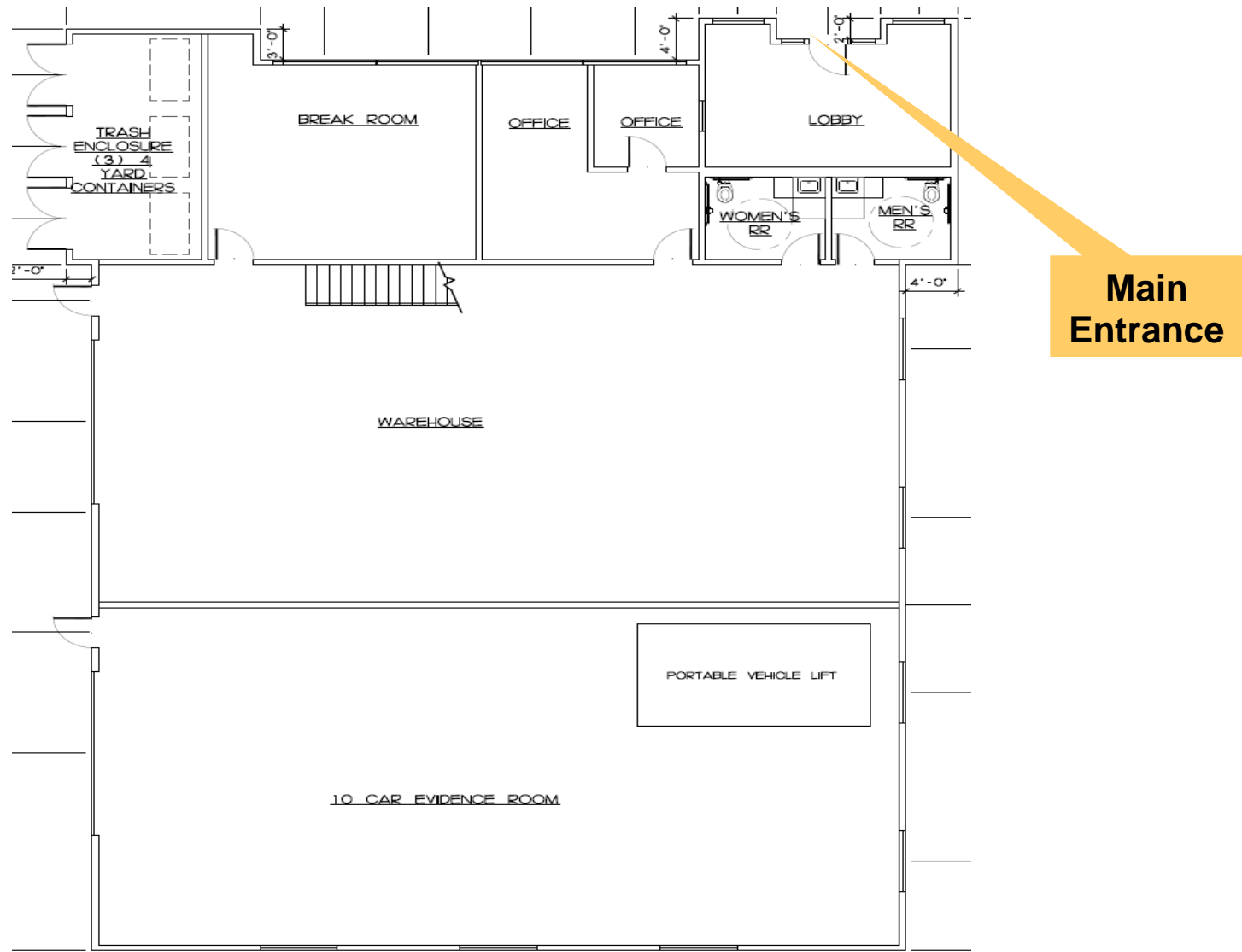
**Exhibit F—ELEVATIONS**



**SOUTH ELEVATION**



**Exhibit G—FIRST-STORY FLOOR PLAN**



**Exhibit H—SECOND-STORY FLOOR PLAN**

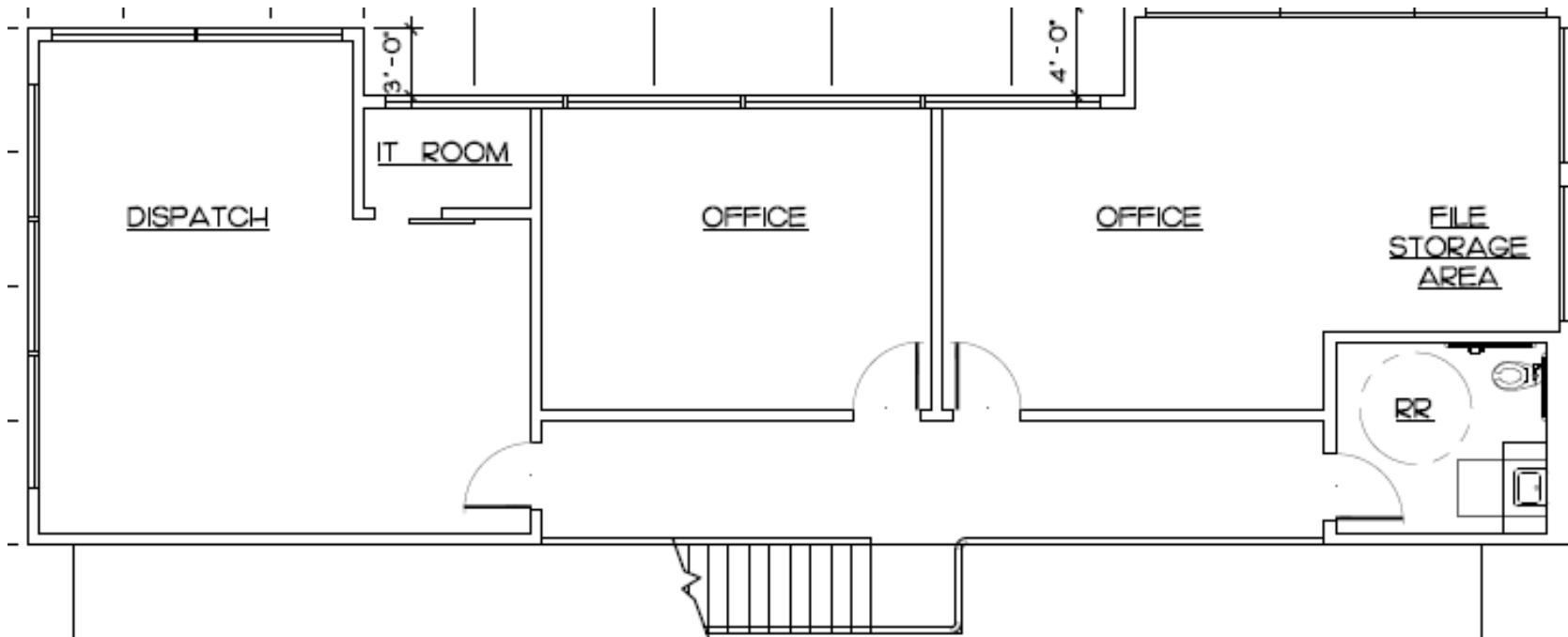
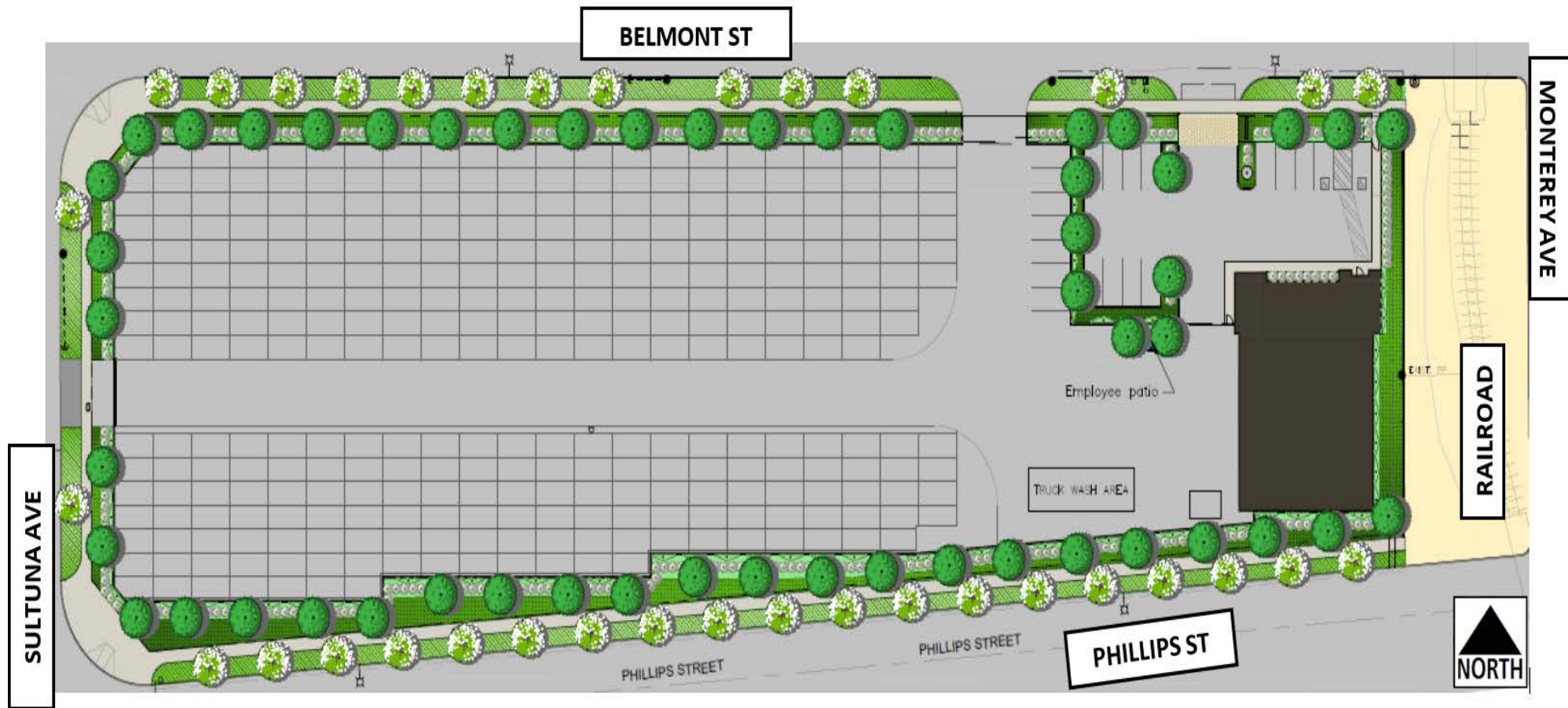


Exhibit I—LANDSCAPE PLAN



**Exhibit J—SITE PHOTOS**



**NORTHWEST CORNER VIEW OF PROJECT SITE (Belmont St & Sultana Ave)**



**SOUTHWEST CORNER VIEW OF PROJECT SITE (Sultana Ave & Phillips St)**



**Exhibit K—SITE PHOTOS**



**SOUTHEAST CORNER VIEW OF PROJECT SITE (Phillips St & Railroad Tracks)**



**NORTHEAST CORNER OF PROJECT SITE (Railroad & Belmont St)**



## Attachment A—Departmental Conditions of Approval

*(Departmental conditions of approval follow this page)*



City of Ontario  
Planning Department  
303 East B Street  
Ontario, California 91764  
Phone: 909.395.2036  
Fax: 909.395.2420


## ***Planning Department Land Development Division Conditions of Approval***

**Meeting Date:** May 18, 2020

**File No:** PDEV18-022

**Related Files:** PCUP18-021

**Project Description:** A Development Plan to construct a 6,870 square-foot industrial building on 3.1 acres of land, located at 580 East Belmont Street, within the IL (Light Industrial) zoning district. (APNs: 1049-491-01, 1049-491-02 and 1049-491-03); **submitted by Four Sisters Enterprises, LLC. Planning Commission action is required.**

**Prepared By:** Denny D. Chen, Associate Planner   
Phone: 909.395.2424 (direct)  
Email: dchen@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

**1.0 Standard Conditions of Approval.** The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

**2.0 Special Conditions of Approval.** In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

**2.1 Time Limits.**

(a) Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

**2.2 General Requirements.** The Project shall comply with the following general requirements:

(a) All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

(b) The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

(c) The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

**2.3** Landscaping.

(a) The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

(b) Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

(c) Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

(d) Any dead or missing landscaping shall be replaced and a sprinkler system shall be installed that is set to a timer.

(e) Outside plaza areas, in front of the office pods, shall feature decorative color paving.

**2.4** Walls and Fences. All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

**2.5** Parking, Circulation and Access.

(a) The Project shall comply with the applicable off-street parking, loading and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

(b) All drive approaches shall be provided with an enhanced color pavement treatment. The enhanced paving shall extend from the back of the approach apron, into the site, to the first intersecting drive aisle or parking space.

(c) Areas provided to meet the City's parking requirements, including off-street parking and loading spaces, access drives, and maneuvering areas, shall not be used for the outdoor storage of materials and equipment, nor shall it be used for any other purpose than parking.

(d) The required number of off-street parking spaces and/or loading spaces shall be provided at the time of site and/or building occupancy. All parking and loading spaces shall be maintained in good condition for the duration of the building or use.

(e) Parking spaces specifically designated and conveniently located for use by the physically disabled shall be provided pursuant to current accessibility regulations contained in State law (CCR Title 24, Part 2, Chapters 2B71, and CVC Section 22507.8).

(f) Bicycle parking facilities, including bicycle racks, lockers, and other secure facilities, shall be provided in conjunction with development projects pursuant to current regulations contained in CALGreen (CAC Title 24, Part 11).

**2.6** Outdoor Loading and Storage Areas.



(a) Loading facilities shall be designed and constructed pursuant to Development Code Division 6.03 (Off-Street Parking and Loading).

(b) Areas designated for off-street parking, loading, and vehicular circulation and maneuvering, shall not be used for the outdoor storage of materials or equipment.

(c) Outdoor loading and storage areas, and loading doors, shall be screened from public view pursuant to the requirements of Development Code Paragraph 6.02.025.A.2 (Screening of Outdoor Loading and Storage Areas, and Loading Doors) Et Seq.

(d) Outdoor loading and storage areas shall be provided with gates that are view-obstructing by one of the following methods:

(i) Construct gates with a perforated metal sheet affixed to the inside of the gate surface (50 percent screen); or

(ii) Construct gates with minimum one-inch square tube steel pickets spaced at maximum 2-inches apart.

(e) The minimum gate height for screen wall openings shall be established based upon the corresponding wall height, as follows:

<b>Screen Wall Height</b>	<b>Minimum Gate Height</b>
14 feet:	10 feet
12 feet:	9 feet
10 feet:	8 feet
8 feet:	8 feet
6 feet:	6 feet

## 2.7 Site Lighting.

(a) All off-street parking facilities shall be provided with nighttime security lighting pursuant to Ontario Municipal Code Section 4-11.08 (Special Residential Building Provisions) and Section 4-11.09 (Special Commercial/Industrial Building Provisions), designed to confine emitted light to the parking areas. Parking facilities shall be lighted from sunset until sunrise, daily, and shall be operated by a photocell switch.

(b) Unless intended as part of a master lighting program, no operation, activity, or lighting fixture shall create illumination on any adjacent property.

(c) Wall packs will not be allowed within the public view areas. All fixtures shall be decorative. Cut sheets shall be submitted to Planning during plan check review.

(d) Decorative light fixtures shall be used on the building to match the proposed architectural style. Applicant shall work with staff, during the plan check process, to final light locations.

## 2.8 Mechanical and Rooftop Equipment.

(a) All exterior roof-mounted mechanical, heating and air conditioning equipment, and all appurtenances thereto, shall be completely screened from public view by parapet walls or roof screens that are architecturally treated so as to be consistent with the building architecture.

(b) All ground-mounted utility equipment and structures, such as tanks, transformers, HVAC equipment, and backflow prevention devices, shall be located out of view from a public street, or adequately screened through the use of landscaping and/or decorative low garden walls.

**2.9** Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

**2.10** Signs. All Project signage shall comply with the requirements of Ontario Development Code Division 8.1 (Sign Regulations).

**2.11** Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noised levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

**2.12** Environmental Review.

(a) The proposed project is categorically exempt from the requirements of the California Environmental Quality Act of 1970 (CEQA), as amended, and the Guidelines promulgated thereunder, pursuant to Section 15332 (Class 32, In-Fill Development Projects) of the CEQA Guidelines, meeting the following conditions:

- (i) The Project is consistent with the applicable general plan designation and all applicable general plan policies, as well as the applicable zoning designation and regulations;
- (ii) The proposed development occurs within city limits, on a project site of no more than five acres, and is substantially surrounded by urban uses;
- (iii) The project site has no value as habitat for endangered, rare, or threatened species;
- (iv) Approval of the Project will not result in any significant effects relating to traffic, noise, air quality, or water quality; and
- (v) The Project site can be adequately served by all required utilities and public services.

(b) If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

(c) If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

**2.13** Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**2.14** Additional Fees.

(a) Within 5 days following final application approval, the Notice of Determination (NOD) filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County



"Clerk of the Board of Supervisors," along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act (CEQA). Failure to provide said fee within the time specified may result in a 180-day extension to the statute of limitations for the filing of a CEQA lawsuit.

(b) After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

**2.15** Additional Requirements.

(a) The proposed metal canopy over the office entrance and all canopies located on the first floor (North Elevation) shall project from the face of the building a minimum of 5-feet. All other metal canopies proposed on the second floor shall project a minimum of 4-feet. The applicant shall work with staff, during the plan check process, to finalize the dimensions/projections of the metal canopies.

(b) An 8-foot tall decorative masonry block wall with decorative cap, shall be constructed along the north, west, and south sides of the property to screen the towing yard area from public view. The minimum height of the proposed tubular steel/metal fence to be constructed along the east and north sides of the property shall be 8 feet, from grade level.

(c) All walls shall be painted with anti-graffiti paint to prevent tagging.

(d) The maximum height of fences and walls, within the project's front setback area, shall be 6 feet and shall be non-view obstructing type of fencing, such as wrought iron or tubular steel. Installation of chain link fences around the perimeter of the project site shall be prohibited. All steel/metal fencing shall be powder coated to prevent rust.

(e) Building roof projections shall have returns of a minimum length of 6-feet, to avoid a false front/unfinished appearance. Applicant shall work with staff during plan check process to finalize the minimum length of the roof returns along the building's North, East, South & West elevations, and wherever roof returns are required to be provided. If rear of towers will be visible, towers shall be enclosed on all sides.

(f) Applicant shall work with Planning Department staff during the plan check process, to ensure that all building elevations & architectural treatments are consistent with the approved building elevations and to also ensure that the project will feature a modern architecture style that exemplifies the high-quality architecture required by the Ontario Development Code Design Guidelines.

(g) A minimum of 16 on-site parking spaces shall be provided.

(h) Decorative paving shall be provided at the employee break area, on the two main driveway entries along Belmont Street, and on the driveway along Sultana Avenue.

(i) Applicant shall work with Planning staff, during the plan check process, to add a metal cover on the south side of the truck wash canopy, in order to screen the steel columns and the trucks utilizing the truck wash area. The metal cover and/or screen material shall match the proposed industrial building's color, texture & architecture.

(j) Additional decorative split-face block shall be added, along the building's north elevation, below the window area. The decorative block shall match the material and color on the two towers.



**ENGINEERING DEPARTMENT  
CONDITIONS OF APPROVAL**

(Engineering Services Division [Land Development Section and Environmental Section], Traffic & Transportation Division, Ontario  
Municipal Utilities Company and Information Technology & Management Services Department Conditions incorporated)

<input checked="" type="checkbox"/> DEVELOPMENT PLAN <input type="checkbox"/> OTHER	<input type="checkbox"/> PARCEL MAP <input type="checkbox"/> TRACT MAP <input type="checkbox"/> FOR CONDOMINIUM PURPOSES
<b>PROJECT FILE NO. PDEV18-022</b> <b>RELATED FILE NO(S). PCUP18-021</b>	
<input checked="" type="checkbox"/> ORIGINAL <input type="checkbox"/> REVISED: ___/___/___	

**CITY PROJECT ENGINEER & PHONE NO:**      **Jesus Plasencia, (909) 395-2128**

**CITY PROJECT PLANNER & PHONE NO:**      **Denny Chen, (909) 395-2424**

**DAB MEETING DATE:**      **May 18, 2020**

**PROJECT NAME / DESCRIPTION:**      **A Development Plan to construct a 6,870 square foot industrial building in conjunction with a CUP to establish and operate a towing service on 3.1 acres of land.**

**LOCATION:**      **580 East Belmont Street**

**APPLICANT:**      **Four Sisters Enterprises, LLC**

**REVIEWED BY:**      *Bryan Lirley*      5/5/20  
    Bryan Lirley, P.E.      Date  
    Principal Engineer

**APPROVED BY:**      *Raymond Lee*      5/7/20  
    Raymond Lee, P.E.      Date  
    Assistant City Engineer



**THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE GENERAL STANDARD CONDITIONS OF APPROVAL ADOPTED BY THE CITY COUNCIL (RESOLUTION NO. 2017-027) AND THE PROJECT SPECIFIC CONDITIONS OF APPROVAL SPECIFIED IN HEREIN. ONLY APPLICABLE CONDITIONS OF APPROVAL ARE CHECKED. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL APPLICABLE CONDITIONS OF APPROVAL PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, ISSUANCE OF PERMITS AND/OR OCCUPANCY CLEARANCE, AS SPECIFIED IN THIS REPORT.**

**1. PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, APPLICANT SHALL:** **Check When Complete**

- 1.01 Dedicate to the City of Ontario, the right-of-way, described below:   
 \_\_\_\_\_ feet on \_\_\_\_\_  
 Property line corner 'cut-back' required at the intersection of \_\_\_\_\_  
 and \_\_\_\_\_.
- 1.02 Dedicate to the City of Ontario, the following easement(s): \_\_\_\_\_   
 \_\_\_\_\_
- 1.03 Restrict vehicular access to the site as follows: \_\_\_\_\_
- 1.04 Vacate the following street(s) and/or easement(s): \_\_\_\_\_
- 1.05 Submit a copy of a recorded private reciprocal use agreement or easement. The agreement or easement shall ensure, at a minimum, common ingress and egress and joint maintenance of all common access areas and drive aisles.
- 1.06 Provide (original document) Covenants, Conditions and Restrictions (CC&Rs) as applicable to the project and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&Rs shall provide for, but not be limited to, common ingress and egress, joint maintenance responsibility for all common access improvements, common facilities, parking areas, utilities, median and landscaping improvements and drive approaches, in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project. The CC&Rs shall also address the maintenance and repair responsibility for public improvements/utilities (sewer, water, storm drain, recycled water, etc.) located within open space/easements. In the event of any maintenance or repair of these facilities, the City shall only restore disturbed areas to current City Standards.
- 1.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at [http://geotracker.waterboards.ca.gov/profile\\_report?global\\_id=T10000004658](http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658).
- 1.08 File an application for Reapportionment of Assessment, together with payment of a reapportionment processing fee, for each existing assessment district listed below. Contact the Management Services Department at (909) 395-2124 regarding this requirement.   
 (1) \_\_\_\_\_  
 (2) \_\_\_\_\_
- 1.09 Prepare a fully executed Subdivision Agreement (on City approved format and forms) with accompanying security as required, or complete all public improvements.





- 1.10 Provide a monument bond (i.e. cash deposit) in an amount calculated by the City's approved cost estimate spreadsheet (available for download on the City's website: [www.ci.ontario.ca.us](http://www.ci.ontario.ca.us)) or as specified in writing by the applicant's Registered Engineer or Licensed Land Surveyor of Record and approved by the City Engineer, whichever is greater.
- 1.11 Provide a preliminary title report current to within 30 days.
- 1.12 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of three (3) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Management Services at (909) 395-2353 to initiate the CFD application process.
- 1.13 New Model Colony (NMC) Developments: 
  - 1) Provide evidence of final cancellation of Williamson Act contracts associated with this tract, prior to approval of any final subdivision map. Cancellation of contracts shall have been approved by the City Council.
  - 2) Provide evidence of sufficient storm water capacity availability equivalents (Certificate of Storm Water Treatment Equivalents).
  - 3) Provide evidence of sufficient water availability equivalents (Certificate of Net MDD Availability).
- 1.14 Other conditions: \_\_\_\_\_

**2. PRIOR TO ISSUANCE OF ANY PERMITS, APPLICANT SHALL:**

**A. GENERAL  
 ( Permits includes Grading, Building, Demolition and Encroachment )**

- 2.01 Record Parcel Map/Tract Map No. \_\_\_\_\_ pursuant to the Subdivision Map Act and in accordance with the City of Ontario Municipal Code.
- 2.02 Submit a duplicate photo mylar of the recorded map to the City Engineer's office.
- 2.03 Note that the subject parcel is a recognized parcel in the City of Ontario per \_\_\_\_\_
- 2.04 Note that the subject parcel is an 'unrecognized' parcel in the City of Ontario and shall require a Certificate of Compliance to be processed unless a deed is provided confirming the existence of the parcel prior to the date of \_\_\_\_\_
- 2.05 Apply for a:  Conforming Grant Deed;  Lot Line Adjustment 
  - Make a Dedication of Easement (see Condition 2.11)
- 2.06 Provide (original document) Covenants, Conditions and Restrictions (CC&R's), as applicable to the project, and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&R's shall provide for, but not be limited to, common ingress and egress, joint maintenance of all common access improvements, common facilities, parking areas, utilities and drive approaches in addition to maintenance requirements established in the Water Quality Management Plan ( WQMP), as applicable to the project.



- 2.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at [http://geotracker.waterboards.ca.gov/profile\\_report?global\\_id=T10000004658](http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658).
- 2.08 **Submit a soils/geology report.**
- 2.09 **Other Agency Permit/Approval: Submit a copy of the approved permit and/or other form of approval of the project from the following agency or agencies:**
- State of California Department of Transportation (Caltrans)
  - San Bernardino County Road Department (SBCRD)
  - San Bernardino County Flood Control District (SBCFCD)
  - Federal Emergency Management Agency (FEMA)
  - Cucamonga Valley Water District (CVWD) for sewer/water service
  - United States Army Corps of Engineers (USACE)
  - California Department of Fish & Game
  - Inland Empire Utilities Agency (IEUA)
  - Other: Union Pacific Railroad**
- 2.10 **Dedicate to the City of Ontario the right-of-way described below:**
1. 33 feet north of centerline on Phillips Street along the project frontage.
  2. Property line corner 'cut-back' required at the intersection of Sultana Avenue and Belmont Street.
  3. Property line corner 'cut-back' required at the intersection of Sultana Avenue and Phillips Street.
- 2.11 **Dedicate to the City of Ontario the following easement(s) only if necessary:**
1. Sidewalk easement behind the proposed drive approaches located along Sultana Avenue and Belmont Street.
- 2.12 New Model Colony (NMC) Developments:
- 1) Submit a copy of the permit from the San Bernardino County Health Department to the Engineering Department and the Ontario Municipal Utilities Company (OMUC) for the destruction/abandonment of the on-site water well. The well shall be destroyed/abandoned in accordance with the San Bernardino County Health Department guidelines.
  - 2) Make a formal request to the City of Ontario Engineering Department for the proposed temporary use of an existing agricultural water well for purposes other than agriculture, such as grading, dust control, etc. Upon approval, the Applicant shall enter into an agreement with the City of Ontario and pay any applicable fees as set forth by said agreement.
  - 3) Design proposed retaining walls to retain up to a maximum of three (3) feet of earth. In no case shall a wall exceed an overall height of nine (9) feet (i.e. maximum 6-foot high wall on top of a maximum 3-foot high retaining wall).
- 2.13 **Submit a security deposit to the Engineering Department to guarantee construction of the public improvements required herein valued at 100% of the approved construction cost estimate. Security deposit shall be in accordance with the City of Ontario Municipal Code. Security deposit will be eligible for release, in accordance with City procedure, upon completion and acceptance of said public improvements.**





- 2.14 The applicant/developer shall submit all necessary survey documents prepared by a Licensed Surveyor registered in the State of California detailing all existing survey monuments in and around the project site. These documents are to be reviewed and approved by the City Survey Office.
- 2.15 Pay all Development Impact Fees (DIF) to the Building Department. Storm Drain Development Impact Fee, approximately \$69,139, shall be paid to the Building Department. Final fee shall be determined based on the approved site plan.
- 2.16 Other conditions:
  - 1. The applicant/developer shall process a Lot Line Adjustment and a Conforming Grant Deed in order to consolidate the site into one (1) parcel and render the subject property as a recognized parcel in the City of Ontario. The Lot Line Adjustment and Conforming Grant Deed shall be recorded prior to issuance of a building permit.



**B. PUBLIC IMPROVEMENTS**  
 (See attached Exhibit 'A' for plan check submittal requirements.)

2.17 Design and construct full public improvements in accordance with the City of Ontario Municipal Code, current City standards and specifications, master plans and the adopted specific plan for the area, if any. These public improvements shall include, but not be limited to, the following (checked boxes):

Improvement	Phillips Street	Sultana Avenue	Belmont Street	Monterey Avenue
<b>Curb and Gutter</b>	<input checked="" type="checkbox"/> New; 20 ft. from C/L north <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New; 18 ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New; 18 ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace
<b>AC Pavement</b>	<input checked="" type="checkbox"/> Replacement <sup>(1)</sup> <input checked="" type="checkbox"/> Widen 18 feet from C/L north along frontage, including pavm't transitions	<input checked="" type="checkbox"/> Replacement <sup>(1)</sup> <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input checked="" type="checkbox"/> Replacement <sup>(1)</sup> <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions
<b>PCC Pavement (Truck Route Only)</b>	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
<b>Drive Approach</b>	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New <input checked="" type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
<b>Sidewalk</b>	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input checked="" type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input checked="" type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
<b>ADA Access Ramp</b>	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
<b>Parkway</b>	<input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation)	<input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation)	<input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)
<b>Raised Landscaped Median</b>	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
<b>Fire Hydrant</b>	<input checked="" type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation





<b>Sewer</b> (see Sec. 2.C)	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
<b>Water</b> (see Sec. 2.D)	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Recycled Water (see Sec. 2.E)	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Traffic Signal System (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
<b>Traffic Signing and Striping</b> (see Sec. 2.F)	<input checked="" type="checkbox"/> New <input type="checkbox"/> Modify existing	<input checked="" type="checkbox"/> New <input type="checkbox"/> Modify existing	<input checked="" type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
<b>Street Light</b> (see Sec. 2.F)	<input checked="" type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation
Bus Stop Pad or Turn-out (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Storm Drain (see Sec. 2G)	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
<b>Fiber Optics</b> (see Sec. 2K)	<input checked="" type="checkbox"/> Conduit / Appurtenances	<input checked="" type="checkbox"/> Conduit / Appurtenances	<input checked="" type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances
<b>Overhead Utilities</b>	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input checked="" type="checkbox"/> Relocate <sup>(2)</sup>	<input checked="" type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate
<b>Removal of Improvements</b>	Remove existing metal poles			
<b>Other Improvements</b>				

Specific notes for improvements listed in item no. 2.17, above:

1. Refer to Condition of Approval No. 2.19.
2. Relocate existing power poles as needed to accommodate the construction of curb & gutter along the project frontage.

2.18 Construct a 2" asphalt concrete (AC) grind and overlay on the following street(s):



- 2.19 Reconstruction of the full pavement structural section on Phillips Street, Sultana Avenue, and Belmont Street, per City of Ontario Standard Drawing number 1011, may be required based on the existing pavement condition and final street design. A minimum 2" asphalt concrete grind and overly may be allowed in-lieu of the full pavement reconstruction if recommended by the soils engineer. Minimum limits of reconstruction shall be along property frontage, from street centerline to curb/gutter.
- 2.20 Make arrangements with the Cucamonga Valley Water District (CVWD) to provide  water service  sewer service to the site. This property is within the area served by the CVWD and Applicant shall provide documentation to the City verifying that all required CVWD fees have been paid.
- 2.21 Overhead utilities shall be under-grounded, in accordance with Title 7 of the City's Municipal Code (Ordinance No. 2804 and 2892).
- 2.22 Other conditions: \_\_\_\_\_

**C. SEWER**

- 2.23 An 8-inch sewer main is available for connection by this project in Belmont Street. (Ref: Sewer plan bar code: S12680)
- 2.24 Design and construct a sewer main extension. A sewer main is not available for direct connection. The closest main is approximately \_\_\_\_\_ feet away.
- 2.25 Submit documentation that shows expected peak loading values for modeling the impact of the subject project to the existing sewer system. The project site is within a deficient public sewer system area. Applicant shall be responsible for all costs associated with the preparation of the model. Based on the results of the analysis, Applicant may be required to mitigate the project impact to the deficient public sewer system, including, but not limited to, upgrading of existing sewer main(s), construction of new sewer main(s) or diversion of sewer discharge to another sewer.
- 2.26 Other conditions: 
  - 1. The Occupant of the building shall apply for a Wastewater Discharge Permit for their Establishment, and shall comply with all the requirements of their Wastewater Discharge Permit. Requirements of Wastewater Discharge Permit may include, but not limited to including: possibly installing a monitoring manhole, clarifier, or other sewer pretreatment equipment.

**D. WATER**

- 2.27 A \_\_\_\_\_ inch water main is available for connection by this project in \_\_\_\_\_. (Ref: Water plan bar code: \_\_\_\_\_)
- 2.28 Design and construct a water main extension. A water main is not available for direct connection. The closest main is approximately \_\_\_\_\_ feet away.
- 2.29 Other conditions: 
  - 1. Replace the existing 4" water line in Belmont, between Sultana and Monterey, with a new 12". All existing appurtenances shall be reconnected to the new 12" main via the installation of new service laterals (no coupling) from main to appurtenance. Upgrade any/all hydrants with breakaway check valve per City standards.
  - 2. Install one fire hydrant on the north side of Phillips Street (south side of property), connecting off the 1074 PZ water line, fronting the property.

**E. RECYCLED WATER**

- 2.30 A \_\_\_\_\_ inch recycled water main is available for connection by this project in \_\_\_\_\_. (Ref: Recycled Water plan bar code: \_\_\_\_\_)
- 2.31 Design and construct an on-site recycled water system for this project. A recycled water main does exist in the vicinity of this project.





2.32 Design and construct an on-site recycled water ready system for this project. A recycled water main does not currently exist in the vicinity of this project, but is planned for the near future. If Applicant would like to connect to this recycled water main when it becomes available, the cost for the connection shall be borne solely by the Applicant.

2.33 Submit two (2) hard copies and one (1) electronic copy, in PDF format, of the Engineering Report (ER), for the use of recycled water, to the OMUC for review and subsequent submittal to the California Department of Public Health (CDPH) for final approval.

Note: The OMUC and the CDPH review and approval process will be approximately three (3) months. Contact the Ontario Municipal Utilities Company at (909) 395-2647 regarding this requirement.

2.34 Other conditions: \_\_\_\_\_

#### F. TRAFFIC / TRANSPORTATION

2.35 Submit a focused traffic impact study, prepared and signed by a Traffic/Civil Engineer registered in the State of California. The study shall address, but not be limited to, the following issues as required by the City Engineer:

1. On-site and off-site circulation
2. Traffic level of service (LOS) at 'build-out' and future years
3. Impact at specific intersections as selected by the City Engineer

2.36 New traffic signal installations shall be added to Southern California Edison (SCE) customer account number # 2-20-044-3877.

2.37 **Other conditions:**

1. **The applicant/developer shall be responsible to design and construct the following streets to their ultimate half-width along the project frontage:**
  - Sultana Avenue (66'R/W, 36' C/C)
  - Belmont Street (66' R/W, 36' C/C)
  - Phillips Street (66' R/W, 40' C/C)**Improvements shall include, but not be limited to, concrete curb and gutter, sidewalk, LED street lights, landscaped parkways, signing & striping, and necessary pavement transitions as deemed necessary by the City Engineer.**
2. **The Applicant/Developer shall be responsible to design and construct in-fill public street lights along the property frontages of Sultana Avenue, Belmont Street and Phillips Street, in accordance with the Traffic and Transportation Design Guidelines Section 1.4 Street Light Plans, City of Ontario Standard Drawing No. 5101, and to the satisfaction of the City Engineer.**
3. **Driveways shall be designed and constructed in accordance with City of Ontario Standard Drawing No. 1204 for Commercial Driveway Approach.**
4. **Property frontages along Sultana Avenue, Belmont Street, Phillips Street and Monterey Avenue shall be signed "No Parking Anytime."**
5. **Proposed gates on Belmont Street shall remain open at all times during business hours.**
6. **The applicant/developer's engineer-of-record shall meet with City Engineering staff prior to starting signing/striping and/or street lighting design.**
7. **The applicant/developer shall obtain all rights-of-way necessary to construct all required improvements.**
8. **All landscaping, block walls, and other obstructions shall be compatible with the stopping sight distance requirements per City of Ontario Standard Drawing No. 1309.**





### G. DRAINAGE / HYDROLOGY

- 2.38 A \_\_\_\_\_ inch storm drain main is available to accept flows from this project in \_\_\_\_\_.  
(Ref: Storm Drain plan bar code: \_\_\_\_\_)
- 2.39 **Submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California. The study shall be prepared in accordance with the San Bernardino County Hydrology Manual and City of Ontario standards and guidelines. Additional drainage facilities, including, but not limited to, improvements beyond the project frontage, may be required to be designed and constructed, by Applicant, as a result of the findings of this study.**
- 2.40 **An adequate drainage facility to accept additional runoff from the site does not currently exist downstream of the project. Design and construct a storm water detention facility on the project site. 100-year post-development peak flow shall be attenuated such that it does not exceed 80% of pre-development peak flows, in accordance with the approved hydrology study and improvement plans.**
- 2.41 Submit a copy of a recorded private drainage easement or drainage acceptance agreement to the Engineering Department for the acceptance of any increase to volume and/or concentration of historical drainage flows onto adjacent property, prior to approval of the grading plan for the project.
- 2.42 Comply with the City of Ontario Flood Damage Prevention Ordinance (Ordinance No. 2409). The project site or a portion of the project site is within the Special Flood Hazard Area (SFHA) as indicated on the Flood Insurance Rate Map (FIRM) and is subject to flooding during a 100 year frequency storm. The site plan shall be subject to the provisions of the National Flood Insurance Program.
- 2.43 **Other conditions:**
  - 1. **The applicant/developer shall pay an in-lieu fee for future storm drain in Sultana Avenue along project frontage valued at \$75,454.**

### H. STORM WATER QUALITY / NATIONAL POLLUTANT DISCHARGE AND ELIMINATION SYSTEM (NPDES)

- 2.44 401 Water Quality Certification/404 Permit – Submit a copy of any applicable 401 Certification or 404 Permit for the subject project to the City project engineer. Development that will affect any body of surface water (i.e. lake, creek, open drainage channel, etc.) may require a 401 Water Quality Certification from the California Regional Water Quality Control Board, Santa Ana Region (RWQCB) and a 404 Permit from the United States Army Corps of Engineers (USACE). The groups of water bodies classified in these requirements are perennial (flow year round) and ephemeral (flow during rain conditions, only) and include, but are not limited to, direct connections into San Bernardino County Flood Control District (SBCFCD) channels.  
If a 401 Certification and/or a 404 Permit are not required, a letter confirming this from Applicant's engineer shall be submitted.  
Contact information: USACE (Los Angeles District) (213) 452-3414; RWQCB (951) 782-4130.
- 2.45 **Submit a Water Quality Management Plan (WQMP). This plan shall be approved by the Engineering Department prior to approval of any grading plan. The WQMP shall be submitted, utilizing the current San Bernardino County Stormwater Program template, available at: <http://www.sbcounty.gov/dpw/land/npdes.asp>.**
- 2.46 Design and construct a Connector Pipe Trash Screen or equivalent Trash Treatment Control Device, per catch basin located within or accepting flows tributary of a Priority Land Use (PLU) area that meets the Full Capture System definition and specifications, and is on the Certified List of the State Water Resources Control Board. The device shall be adequately sized per catch basin and include a deflector screen with vector control access for abatement application, vertical support bars, and removable component to facilitate maintenance and cleaning.



- 2.47 Other conditions:
1. **Activities resulting in land disturbance of one acre or more is required to obtain coverage under the Construction General Permit (CGP). The owner is the legally responsible person (LRP) of the site and shall have a Stormwater Pollution Prevention Plan (SWPPP) developed and submitted through the SMARTS website at <https://smarts.waterboards.ca.gov/smarts/faces/SwSmartsLogin.xhtml>**

#### J. SPECIAL DISTRICTS

- 2.48 File an application, together with an initial payment deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community facilities District Act of 1982. The application and fee shall be submitted a minimum four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact the Financial Services Department at (909) 395-2353 to initiate the CFD application process.
- 2.49 Other conditions: \_\_\_\_\_

#### K. FIBER OPTIC

- 2.50 **Design and construct fiber optic system to provide access to the City's conduit and fiber optic system per the City's Fiber Optic Master Plan. Building entrance conduits shall start from the closest OntarioNet hand hole constructed along the project frontage in the ROW and shall terminate in the main telecommunications room for each building. Conduit infrastructure shall interconnect with the primary and/or secondary backbone fiber optic conduit system at the nearest OntarioNet hand hole if within close proximity. If there is no OntarioNet handhole, conduit infrastructure shall terminate at either end of project frontage in a handhole.**
- 2.51 **Refer to the City's Fiber Optic Master Plan and other related documents on the City website for design and layout guidelines. Contact the Information Technology Department at (909) 395-2000, for more information regarding the requirement to install fiber optic improvements.**

#### L. Solid Waste

- 2.52 Onsite solid waste shall be designed in accordance with the City's Solid Waste Manual location at:   
<http://www.ontarioca.gov/municipal-utilities-company/solid-waste>
- 2.53 Other conditions:
1. **Prior to approval of the any building permits, the Conceptual Solid Waste Handling Plan needs to be updated and converted into a Final Solid Waste Handling Plan Sheet and shall be submitted accompanying the Precise Grading Plan Submittal to the City/OMUC for review and approval. See "Solid Waste Handling Plan (SWHP) Requirements" document for details.**
  2. **The applicant shall submit an Integrated Waste Management Report for review and approval with the Precise Grading Plan. This report shall address the management of all integrated waste (Refuse, Recycling, Organics, etc.). The IWMMR shall demonstrate compliance with the "Integrated Waste Management Report Requirements" document.**





**3. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, APPLICANT SHALL:**

- 3.01 Set new monuments in place of any monuments that have been damaged or destroyed as a result of construction of the subject project. Monuments shall be set in accordance with City of Ontario standards and to the satisfaction of the City Engineer.
- 3.02 Complete all requirements for recycled water usage. 
  - 1) Procure from the OMUC a copy of the letter of confirmation from the California Department of Public Health (CDPH) that the Engineering Report (ER) has been reviewed and the subject site is approved for the use of recycled water.
  - 2) Obtain clearance from the OMUC confirming completion of recycled water improvements and passing of shutdown tests and cross connection inspection, upon availability/usage of recycled water.
  - 3) Complete education training of on-site personnel in the use of recycled water, in accordance with the ER, upon availability/usage of recycled water.
- 3.03 The applicant/developer shall submit all final survey documents prepared by a Licensed Surveyor registered in the State of California detailing all survey monuments that have been preserved, revised, adjusted or set along with any maps, corner records or Records of Survey needed to comply with these Conditions of Approvals and the latest edition of the California Professional Land Survey Act. These documents are to be reviewed and approved by the City Survey Office.
- 3.04 NMC Projects: For developments located at an intersection of any two collector or arterial streets, the applicant/developer shall set a monument if one does not already exist at that intersection. Contact the City Survey office for information on reference benchmarks, acceptable methodology and required submittals.
- 3.05 Confirm payment of all Development Impact Fees (DIF) to the Building Department.
- 3.06 Submit electronic copies (PDF and Auto CAD format) of all approved improvement plans, studies and reports (i.e. hydrology, traffic, WQMP, etc.).

**4. PRIOR TO FINAL ACCEPTANCE, APPLICANT SHALL:**

- 4.01 Complete all Conditions of Approval listed under Sections 1-3 above.
- 4.02 Pay all outstanding fees pursuant to the City of Ontario Municipal Code, including but not limited to, plan check fees, inspection fees and Development Impact Fees.
- 4.03 The applicant/developer shall submit a written request for the City's final acceptance of the project addressed to the City Project Engineer. The request shall state that all Conditions of Approval have been completed and shall be signed by the applicant/developer. Upon receipt of the request, review of the request shall be a minimum of 10 business days. Conditions of Approval that are deemed incomplete by the City will cause delays in the acceptance process.



**EXHIBIT 'A'**

**ENGINEERING DEPARTMENT  
First Plan Check Submittal Checklist**

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**Project Number: PDEV18-022**

**The following items are required to be included with the first plan check submittal:**

1.  **A copy of this check list**
2.  **Payment of fee for Plan Checking**
3.  **One (1) copy of Engineering Cost Estimate (on City form) with engineer's wet signature and stamp.**
4.  **One (1) copy of project Conditions of Approval**
5.  Two (2) sets of Potable and Recycled Water demand calculations (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size).
6.  **Three (3) sets of Public Street improvement plan with street cross-sections**
7.  Three (3) sets of Private Street improvement plan with street cross-sections
8.  **Four (4) sets of Public Water improvement plan (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)**
9.  Four (4) sets of Recycled Water improvement plan (include recycled water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size and an exhibit showing the limits of areas being irrigated by each recycled water meter)
10.  Four (4) sets of Public Sewer improvement plan
11.  Five (5) sets of Public Storm Drain improvement plan
12.  **Three (3) sets of Public Street Light improvement plan**
13.  **Three (3) sets of Signing and Striping improvement plan**
14.  **Three (3) sets of Fiber Optic plan (include Auto CAD electronic submittal)**
15.  **Three (3) sets of Dry Utility plans within public right-of-way (at a minimum the plans must show existing and ultimate right-of-way, curb and gutter, proposed utility location including centerline dimensions, wall to wall clearances between proposed utility and adjacent public line, street work repaired per Standard Drawing No. 1306. Include Auto CAD electronic submittal)**
16.  Three (3) sets of Traffic Signal improvement plan and One (1) copy of Traffic Signal Specifications with modified Special Provisions. Please contact the Traffic Division at (909) 395-2154 to obtain Traffic Signal Specifications.
17.  **Two (2) copies of Water Quality Management Plan (WQMP), including one (1) copy of the approved Preliminary WQMP (PWQMP).**
18.  **One (1) copy of Hydrology/Drainage study**
19.  **One (1) copy of Soils/Geology report**
20.  Payment for Final Map/Parcel Map processing fee
21.  Three (3) copies of Final Map/Parcel Map



- 22.  One (1) copy of approved Tentative Map
- 23.  **One (1) copy of Preliminary Title Report (current within 30 days)**
- 24.  One (1) copy of Traverse Closure Calculations
- 25.  One (1) set of supporting documents and maps (legible copies): referenced improvement plans (full size), referenced record final maps/parcel maps (full size, 18"x26"), Assessor's Parcel map (full size, 11"x17"), recorded documents such as deeds, lot line adjustments, easements, etc.
- 26.  Two (2) copies of Engineering Report and an electronic file (include PDF format electronic submittal) for recycled water use
- 27.  **Other: Update the sewer improvement plan for Belmont Street to show the proposed service connection to the project site.**




**CITY OF ONTARIO  
LANDSCAPE PLANNING  
DIVISION**

303 East "B" Street, Ontario, CA 91764

**CONDITIONS OF APPROVAL**

Sign Off

  
Jamie Richardson, Sr. Landscape Planner

2/13/20  
Date

Reviewer's Name:  
**Jamie Richardson, Sr. Landscape Planner**

Phone:  
**(909) 395-2615**

D.A.B. File No.:  
PDEV18-022 Rev 4

Case Planner:  
Denny Chen

Project Name and Location:

**Pepe's Towing**  
554 E Belmont St.

Applicant/Representative:

Howard Parcell Company  
4854 Main St  
Yorba Linda, CA 92886

**A Preliminary Landscape Plan (dated 2/13/20) meets the Standard Conditions for New Development and has been approved with the consideration that the following conditions below be met upon submittal of the landscape construction documents.**

**A Preliminary Landscape Plan (dated) has not been approved. Corrections noted below are required prior to Preliminary Landscape Plan approval.**

**A RESPONSE SHEET IS REQUIRED WITH RESUBMITTAL OR PLANS WILL BE RETURNED AS INCOMPLETE**

**PREVIOUS COMMENTS – 11/13/19**

Civil/ Site Plans

1. The tree inventory identifies 48" of trunk diameter to be mitigated; Schinus mole No. 14.
  - a. New 15 gallon trees min 1" diameter trunk, in addition to trees required; total of 48 trees.
  - b. New 24" box trees min 1.5" diameter trunk, in addition to trees required; total of 32 trees
  - c. Upsizing trees on the plan one size larger such as 15 gallon to 24" box, or 24" to 36" box size.
  - d. Monetary value of the trees removed as identified in the "Guide for Plant Appraisal", approved certified arborist plant appraiser, or may be equal to the value of the installation cost of planting, fertilizing, staking and irrigating 15 gallon trees, (100\$ each) to the City of Ontario Historic Preservation Fund for city tree planting or city approved combination of the above items; total of \$4,800.
2. Show transformers and backflow devices located in planter areas and set back 4' from paving; dimension on plan. Locate on level grade. Coordinate with landscape plans.
3. ~~2/13/20 Spoke with Mr. George Estrada over the counter; locate the wall at the Belmont entry of the tow yard so the landscape planter is in the public parking lot. Provide an employee break area on the inside of the tow yard adjacent to the 4 public parking spaces include a table and/or bench and 2 broad canopy shade trees such as Platanus racemosa 24" box. Provide irrigation to trees and mulch.~~ 3/12/20 updated plans received. Condition has been addressed.

Landscape Plans

4. Locate light standards, fire hydrants, water and sewer lines to not conflict with required tree locations. Coordinate civil plans with landscape plans



# CITY OF ONTARIO MEMORANDUM

## Development Plan Review

Project: PDEV18-022 (PCUP18-021)

Date: February 13<sup>th</sup>, 2020

Location: 554 East Belmont Street

By: Nathan Kuan

*The following shall become conditions of approval for the project.*

Conditions:

1. The applicant/developer shall be responsible to design and construct the following streets to their ultimate half-width along the project frontage:
  - Sultana Avenue (66' R/W, 36' C/C)
  - Belmont Street (66' R/W, 36' C/C)
  - Phillips Street (66' R/W, 40' C/C)Improvements shall include, but not be limited to: concrete curb and gutter, sidewalk, LED street lights, landscaped parkways, signing & striping, and necessary pavement transitions as deemed necessary by the City Engineer.
2. The Applicant/Developer shall be responsible to design and construct in-fill public street lights and service pedestals along the property frontages of Sultana Avenue, Belmont Street and Phillips Street, in accordance with the Traffic and Transportation Design Guidelines Section 1.4 Street Light Plans, City of Ontario Standard Drawing No. 5101, and to the satisfaction of the City Engineer.
3. Driveways shall be designed and constructed in accordance with City of Ontario Standard Drawing No. 1204 for Commercial Driveway Approach.
4. Property frontages along Sultana Avenue, Belmont Street, Phillips Street and Monterey Avenue shall be signed "No Parking Anytime."
5. Proposed gates on Belmont Street shall remain open at all times during business hours.
6. The applicant/developer's engineer-of-record shall meet with City Engineering staff prior to starting signing/striping and/or street lighting design.
7. The applicant/developer shall obtain all rights-of-way necessary to construct all required improvements.
8. All landscaping, block walls, and other obstructions shall be compatible with the stopping sight distance requirements per City of Ontario Standard Drawing No. 1309.

nk;

# CITY OF ONTARIO MEMORANDUM

**TO:** PLANNING DEPARTMENT, Denny Chen  
**FROM:** BUILDING DEPARTMENT, Kevin Shear  
**DATE:** June 11, 2019  
**SUBJECT:** PDEV18-022

- 
- The plan **does** adequately address the departmental concerns at this time.
- No comments
- Report below.

---

### Conditions of Approval

1. See previous report for Conditions.

KS:lr

# CITY OF ONTARIO

## MEMORANDUM

**TO:** PLANNING DEPARTMENT, Denny Chen  
**FROM:** BUILDING DEPARTMENT, Kevin Shear  
**DATE:** June 27, 2018  
**SUBJECT:** PDEV18-022

- 
- The plan **does** adequately address the departmental concerns at this time.
- No comments
- Report below.

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### Conditions of Approval

1. The site address for this project will be 580 E Belmont St.
2. The lot lines are to be removed.

KS:lm





# CITY OF ONTARIO

## MEMORANDUM

**TO:** Denny Chen, Associate Planner  
Planning Department

**FROM:** Paul Ehrman, Deputy Fire Chief/Fire Marshal  
Fire Department

**DATE:** July 6, 2018

**SUBJECT:** PDEV18-022 - A Development Plan to construct a 6,660-square foot industrial building on 3.01 acres of land located at the southwest corner of Belmont Street and Monterey Avenue, at 554 East Belmont Street, within the IL (Light Industrial) zoning district (APNs: 1049-491-01, 1049-491-02 and 1049-491-03). Related File: PCUP18-021

- 
- The plan **does** adequately address Fire Department requirements at this time.
- Standard Conditions of Approval apply, as stated below.
- 

### **SITE AND BUILDING FEATURES:**

- A. 2016 CBC Type of Construction: V
- B. Type of Roof Materials: Ordinary
- C. Ground Floor Area(s): 5,460 Sq. Ft.
- D. Number of Stories: 2
- E. Total Square Footage: 6,660 Sq. Ft.
- F. 2016 CBC Occupancy Classification(s): B, S



## CONDITIONS OF APPROVAL:

### 1.0 GENERAL

- 1.1 The following are the Ontario Fire Department ("Fire Department") requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards ("Standards.") It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at [www.ontarioca.gov](http://www.ontarioca.gov), click on "Fire Department" and then on "Standards and Forms."
- 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

### 2.0 FIRE DEPARTMENT ACCESS

- 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See Standard #B-004.
- 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25') inside and forty-five feet (45') outside turning radius per Standard #B-005.
- 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150') in length shall have an approved turn-around per Standard #B-002.
- 2.4 Access drive aisles which cross property lines shall be provided with CC&Rs, access easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of building plan check.
- 2.5 "No Parking-Fire Lane" signs and /or red painted curbs with lettering are required to be installed in interior access roadways, in locations where vehicle parking would obstruct the minimum clear width requirement. Installation shall be per Standard #B-001.
- 2.6 Security gates or other barriers on fire access roadways shall be provided with a Knox brand key switch or padlock to allow Fire Department access. See Standards #B-003, B-004 and H-001.
- 2.7 Any time PRIOR to on-site combustible construction and/or storage, a minimum twenty-six (26) ft. wide circulating all weather access roads shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved by fire department and other emergency services..

### 3.0 WATER SUPPLY

- ☒ 3.1 The required fire flow per Fire Department standards, based on the 2016 California Fire Code, Appendix B, is 2000 gallons per minute (g.p.m.) for 2 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.
- ☒ 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300') apart, per Engineering Department specifications.
- ☒ 3.4 The water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

### 4.0 FIRE PROTECTION SYSTEMS

- ☒ 4.1 On-site private fire hydrants are required per Standard #D-005, and identified in accordance with Standard #D-002. Installation and locations(s) are subject to the approval of the Fire Department. An application with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- ☒ 4.2 Underground fire mains which cross property lines shall be provided with CC & R, easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of fire department plan check. The shared use of private fire mains or fire pumps is allowable only between immediately adjacent properties and shall not cross any public street.
- ☒ 4.4 Wood frame buildings that are to be sprinkled shall have these systems in service (but not necessarily finalized) before the building is enclosed.

### 5.0 BUILDING CONSTRUCTION FEATURES

- ☒ 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- ☒ 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.
- ☒ 5.3 Single station smoke alarms and carbon monoxide alarms are required to be installed per the California Building Code and the California Fire Code.

- ☒ 5.6 Knox ® brand key-box(es) shall be installed in location(s) acceptable to the Fire Department. All Knox boxes shall be monitored for tamper by the building fire alarm system. See Standard #H-001 for specific requirements.
- ☒ 5.7 Placards shall be installed in acceptable locations on buildings that store, use or handle hazardous materials in excess of the quantities specified in the CFC. Placards shall meet the requirements of National Fire Protection Association (NFPA) Standard 704.

## 6.0 OTHER SPECIAL USES

- ☒ 6.1 The storage, use, dispensing, or handling of any hazardous materials shall be approved by the Fire Department, and adequate fire protection features shall be required. If hazardous materials are proposed, a Fire Department Hazardous Materials Information Packet, including Disclosure Form and Information Worksheet, shall be completed and submitted with Material Safety Data Sheets to the Fire Department along with building construction plans.
- ☒ 6.3 Underground fuel tanks, their associated piping and dispensers shall be reviewed, approved, and permitted by Ontario Building Department, Ontario Fire Department, and San Bernardino County Fire Department Hazardous Materials Division. In fueling facilities, an exterior emergency pump shut-off switch shall be provided.



# CITY OF ONTARIO

## MEMORANDUM

**TO:** Denny Chen, Planning Department

**FROM:** Douglas Sorel, Police Department

**DATE:** July 26, 2018

**SUBJECT:** PDEV18-022 & PCUP18-021: A DEVELOPMENT PLAN AND  
CONDITIONAL USE PERMIT TO ESTABLISH A TOW YARD AT 554  
EAST BELMONT STREET

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The "Standard Conditions of Approval" contained in Resolution No. 2017-027 and Ontario Development Code Section 5.03.310 apply. The applicant shall read and be thoroughly familiar with these conditions, including but not limited to, the requirements listed below.

- Required lighting for all walkways, driveways, doorways, parking areas, and other areas used by the public shall be provided and operate on photosensor. Photometrics shall be provided to the Police Department. Photometrics shall include the types of fixtures proposed and demonstrate that such fixtures meet the vandal-resistant requirement. Planned landscaping shall not obstruct lighting.
- Rooftop addresses shall be installed on the building as stated in the Standard Conditions. The numbers shall be at a minimum 3 feet tall and 1 foot wide, in reflective white paint on a flat black background, and oriented with the bottom of the numbers towards the addressed street.
- The Applicant shall comply with construction site security requirements as stated in the Standard Conditions.
- The indoor storage of motor vehicles shall comply with all requirements of the fire and building codes.
- All vehicles stored outdoors shall be screened from public view by a minimum 8-foot high decorative masonry block wall.
- All vehicles stored shall comply with the requirements for the base zoning district.

In addition to the Standard Conditions, the Ontario Police Department places the following conditions on the project:

- While the Applicant serves as a contracted Rotational Towing Service with the City of Ontario they shall comply with all terms of Title 4-19 of the Ontario Municipal Code and their current Professional Services Agreement with the City.

- The applicant will be responsible for keeping the grounds of the business clean from debris and litter.
- Graffiti abatement by the business owner/licensee, or management shall be immediate and on-going on the premises, but in no event shall graffiti be allowed unabated on the premises for more than 72 hours. Abatement shall take the form of removal, or shall be covered/painted over with a color reasonably matching the color of the existing building, structure, or other surface being abated. Additionally, the business owner/licensee, or management shall notify the City within 24 hours at (909) 395-2626 (graffiti hotline) of any graffiti elsewhere on the property not under the business owner/licensee's or management control so that it may be abated by the property owner and/or the City's graffiti team.

The Applicant is invited to contact Douglas Sorel at (909) 408-1873 with any question or concerns regarding these conditions.



# AIRPORT LAND USE COMPATIBILITY PLANNING CONSISTENCY DETERMINATION REPORT



Project File No.: PDEV18-022 & PCUP18-021  
 Address: 554 East Belmont Street  
 APN: 1049-491-01, 02 & 03  
 Existing Land Use: Vacant  
 Proposed Land Use: Development Plan and CUP to establish a tow yard and 6,600 SF 2-story industrial/warehouse building  
 Site Acreage: 3.01 ac Proposed Structure Height: 33 FT  
 ONT-IAC Project Review: N/A  
 Airport Influence Area: ONT

Reviewed By: Lorena Mejia  
 Contact Info: 909-395-2276  
 Project Planner: Rudy Zeledon  
 Date: 7/30/18  
 CD No.: 2018-036  
 PALU No.: n/a

## The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input type="radio"/> High Terrain Zone	<input type="radio"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input checked="" type="checkbox"/> FAA Notification Surfaces	<input checked="" type="checkbox"/> Recorded Overflight Notification
<input type="radio"/> Zone 2	<input checked="" type="checkbox"/> 65 - 70 dB CNEL	<input checked="" type="checkbox"/> Airspace Obstruction Surfaces	<input type="radio"/> Real Estate Transaction Disclosure
<input type="radio"/> Zone 3	<input type="radio"/> 60 - 65 dB CNEL	<input checked="" type="checkbox"/> Airspace Avigation Easement Area	
<input type="radio"/> Zone 4		Allowable Height: 110 FT	
<input type="radio"/> Zone 5			

## The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1   
  Zone 2   
  Zone 3   
  Zone 4   
  Zone 5   
  Zone 6  
 Allowable Height: \_\_\_\_\_

## CONSISTENCY DETERMINATION

This proposed Project is:  Exempt from the ALUCP   
 Consistent   
 Consistent with Conditions   
 Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

See Attached Conditions

Airport Planner Signature: \_\_\_\_\_

# AIRPORT LAND USE COMPATIBILITY PLANNING

## CONSISTENCY DETERMINATION REPORT

CD No.: 2018-036

PALU No.: \_\_\_\_\_

### PROJECT CONDITIONS

1. This project is located within Airspace Avigation Easement Area and is required to file and record an Avigation Easement with the Ontario International Airport Authority prior to obtaining a Certificate of Occupancy.



# Development Advisory Board Decision

May 18, 2020

**DECISION NO.:** [insert #]

**FILE NO.:** PDEV19-006

**DESCRIPTION:** A Development Plan to construct a 35,737 square foot industrial building on 1.48-acres of land located at 1533 West Holt Boulevard, within the IP (Industrial Park) zoning district; (APN: 1011-111-10) submitted by **United Trust Realty Corporation. Planning Commission action is required.**

## ***Part I—BACKGROUND & ANALYSIS***

UNITED TRUST REALTY CORPORATION, (herein after referred to as “Applicant”) has filed an application requesting Development Plan approval, File No. PDEV19-006, as described in the subject of this Decision (herein after referred to as "Application" or "Project").

(1) **Project Setting:** The Project site is comprised of 1.48 acres of land located at the southeast corner of Holt Boulevard and Benson Avenue, at 1533 West Holt Boulevard, and is depicted in Exhibit A—Project Location Map, attached. Existing land uses, General Plan and zoning designations, and specific plan land uses on and surrounding the Project site are as follows:

	<b><i>Existing Land Use</i></b>	<b><i>General Plan Designation</i></b>	<b><i>Zoning Designation</i></b>	<b><i>Specific Plan Land Use</i></b>
<i>Site:</i>	Vacant	Business Park	IP (Industrial Park)	n/a
<i>North:</i>	Commercial (Playa Sol Restaurant & Liquor Store)	HDR (High Density Residential)	HDR-45 (25.1 to 45.0 Units/Acre)	n/a
<i>South:</i>	Vacant & Industrial	Business Park	IP (Industrial Park)	n/a
<i>East:</i>	Commercial/Industrial	Business Park	IP (Industrial Park)	n/a
<i>West:</i>	Use Car Dealership	City of Montclair	City of Montclair	n/a

(2) **Project Description:**

(a) **Site Design/Building Layout** —The Applicant is requesting Development Plan approval to construct an industrial building totaling 35,737 square feet, with a floor area ratio (FAR) of 0.55 percent. The Proposed building is situated at the northwest corner of the site and is set back 20 feet from the Holt Boulevard (front) property line (10-feet will be dedicated to the City for the future widening of Holt Boulevard), 23 feet from the Benson Avenue (street side) property line, 0-feet from the south (rear) property line, and 135 feet from the east property line. Off-street parking is located on the east side of the building, adjacent to the front office entrance and fronting onto Holt Boulevard (see Exhibit B—Site Plan, attached).

An enclosed yard area is located on the east side of the building, which is screened from public view by a combination of the building and a decorative 10-foot high screen wall that has been designed to match the building architecture. A tubular steel fence, 10 feet in height, is proposed along the south and east interior property lines.



(b) Site Access/Circulation — The Project is proposed with one point of vehicular access along the Holt Boulevard frontage. The proposed driveway provides full access; however, because Holt Boulevard is designated as a divided arterial in the City's Master Plan of Streets and Highways, the driveway will be limited to right-in/right-out access when the future median is installed.

(c) Parking — The Project has provided off-street parking pursuant to the "Warehouse and Distribution Speculative" parking standards specified in the Ontario Development Code. The building requires a total of 26 parking spaces and one truck parking space. The Project will provide 28 parking spaces and one truck parking space, exceeding the minimum requirement; therefore, no parking shortage is anticipated.

(d) Architecture — The proposed industrial warehouse building will be of concrete tilt-up construction and designed in a contemporary architectural style that exemplifies the high-quality architecture promoted by the Ontario Development Code and the Ontario Plan. Special attention has been given to the use of color, massing, building form, materials, and architectural details (see Figure 1: Building Perspective, Exhibits E and F—Exterior Elevations, attached).



**Figure 1: Building Perspective**

This is exemplified through the use of:

- Extensive use of glazing on storefront and along the architectural tower facing Holt Boulevard and Benson Avenue
- Articulation in building footprint and building roof lines
- Incorporation of playful horizontal and vertical reveal lines over windows and on all architectural towers around the building
- Incorporation of architectural towers along the north, east and west elevations

- Incorporation of decorative steel black canopies
- Incorporation of five different building colors to add more interest

(e) Landscaping — The Ontario Development Code requires a minimum 15 percent landscape coverage for corner parcels, which the Project meets. The Project provides a 23-foot landscaped setback along Benson Avenue, 20-foot landscape setback along Holt Boulevard (10-feet will be dedicated to the City for the future widening of Holt Boulevard), a 5-foot landscaped setback along the east property line, and a 7-foot landscape setback along the south property line. In addition, landscaping will be provided within the interior area of the parking lot. The proposed landscape plan incorporates a combination of 48-inch, 36-inch, and 24-inch box trees, in addition to a variety of shrubs and ground cover. Proposed trees include Chitalpa Decentness (Pink Dawn), Pistachia Chinensis, Magnolia (Little Gem), Cercidium X (Desert Museum), Cercis Occidentalis (Western Redbud), Podocarpus Gracilior (Fern Pine), and Rhus Lancea (African Sumac) (see Exhibit C—Landscape Plan, attached).

The front office entry area and the entry driveway have been designed with decorative paving. In addition, a 22-foot by 22-foot outdoor employee area has been incorporated at the southeast corner of the Project site. The employee area design includes outdoor furniture (2 pre-cast concrete tables with seats), enhanced paving, a shade tree, and accent ground cover.

(f) Utilities (drainage, sewer) —Public utilities (water and sewer) are available to serve the Project. Additionally, the applicant has submitted a Preliminary Water Quality Management Plan (PWQMP), which establishes the Project's compliance with storm water discharge/water quality requirements. The PWQMP includes site design measures that capture runoff and pollutant transport by minimizing impervious surfaces and maximizes low impact development (LID) best management practices (BMPs), such as retention and infiltration, bio treatment, and evapotranspiration. The PWQMP proposes catch basins and underground infiltration chambers located beneath the truck yard area, which are designed to accept runoff from building roofs, parking lots and Project drive aisles.

## **Part II—RECITALS**

WHEREAS, the Application is a project pursuant to the California Environmental Quality Act, commencing with Public Resources Code Section 21000 (hereinafter referred to as "CEQA"); and

WHEREAS, the Project is exempt from CEQA pursuant to a categorical exemption (listed in CEQA Guidelines Article 19, commencing with Section 15300) and the application of that categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board ("DAB") the responsibility and authority to review and make recommendation to Planning Commission on the subject Application; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and



WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan (hereinafter referred to as "ALUCP"), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, on May 18, 2020, the DAB of the City of Ontario conducted a hearing on the Application and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.

### ***Part III—THE DECISION***

NOW, THEREFORE, IT IS HEREBY FOUND AND DETERMINED by the Development Advisory Board of the City of Ontario, as follows:

**SECTION 1:** ***Environmental Determination and Findings.*** As the recommending body for the Project, the DAB has reviewed and considered the information contained in the administrative record for the Project. Based upon the facts and information contained in the administrative record, including all written and oral evidence presented to the DAB, the DAB finds as follows:

(1) The Project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, In-Fill Development Projects) of the CEQA Guidelines, and meets the following conditions:

- The Project is consistent with the applicable general plan designation and all applicable general plan policies, as well as the applicable zoning designation and regulations.
- The proposed development occurs within city limits, on a project site of no more than five acres and is substantially surrounded by urban uses.
- The Project site has no value as habitat for endangered, rare, or threatened species.
- Approval of the Project will not result in any significant effects relating to traffic, noise, air quality, or water quality.
- The Project site can be adequately served by all required utilities and public services.

(2) The application of the categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

(3) The determination of CEQA exemption reflects the independent judgment of the DAB.

**SECTION 2:** ***Housing Element Compliance.*** Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the recommending body for the Project, the DAB finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the Project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan, as the Project site is not one of the properties in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix.

**SECTION 3: ALUCP Compliance.** The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land use Compatibility Plan, establishing the Airport Influence Area for Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the recommending body for the Project, the DAB has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the DAB, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

**SECTION 4: Concluding Facts and Reasons.** Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the facts and information set forth in Parts I (Background and Analysis) and II (Recitals), above, and the specific findings set forth in Sections 1 through 3, above, the DAB hereby concludes as follows:

(1) ***The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.*** The proposed Project is located within the Business Park district of the Policy Plan Land Use Map, and the IP (Industrial Park) zoning district. The development standards and conditions under which the proposed Project will be constructed and maintained, is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan. The proposed development is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan, as the Project will contribute to the establishment of a dynamic, progressive city containing distinct neighborhoods and districts that foster a positive sense of identity and belonging among residents, visitors, and businesses (Goal CD1). Furthermore, the Project will promote the City's policy to take actions that are consistent with the City being a leading urban center in Southern California while recognizing the diverse character of our existing viable neighborhoods (Policy CD1-1); and

(2) ***The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located.*** The Project has been designed consistent with the requirements of the City of Ontario Development Code and the IP (Industrial Park) zoning district, including standards relative to the particular land use proposed (industrial building), as-well-as building intensity, building and parking setbacks, building height, number of off-street parking and loading spaces, on-site and off-site landscaping, and fences, walls and obstructions. The Project is proposing a FAR of 0.55, which is compatible with other similar industrial projects that have been reviewed, and approved by the Development Advisory Board and/or Planning Commission; and

(3) ***The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed project.*** The Development Advisory Board has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the Development Code are maintained; [ii] the Project will not endanger the public health, safety or general welfare; [iii] the Project will not result in any significant environmental impacts; [iv] the Project will be in harmony with the area in which it is located;

and [v] the Project will be in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan; and

(4) ***The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.*** The proposed Project has been reviewed for consistency with the general development standards and guidelines of the Development code that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of off-street parking and loading spaces, parking lot dimensions, design and landscaping, bicycle parking, on-site landscaping, and fences and walls, as-well-as those development standards and guidelines specifically related to the particular land use being proposed (industrial building). As a result of this review, the Development Advisory Board has determined that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the development standards and guidelines described in the Development Code.

**SECTION 5: Development Advisory Board Action.** Based on the findings and conclusions set forth in Sections 1 through 4, above, the DAB hereby recommends Planning Commission APPROVES the Application subject to each and every condition set forth in the Department reports included as Attachment A of this Decision, and incorporated herein by this reference.

**SECTION 6: Indemnification.** The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**SECTION 7: Custodian of Records.** The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

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APPROVED AND ADOPTED this 18th day of May 2020.

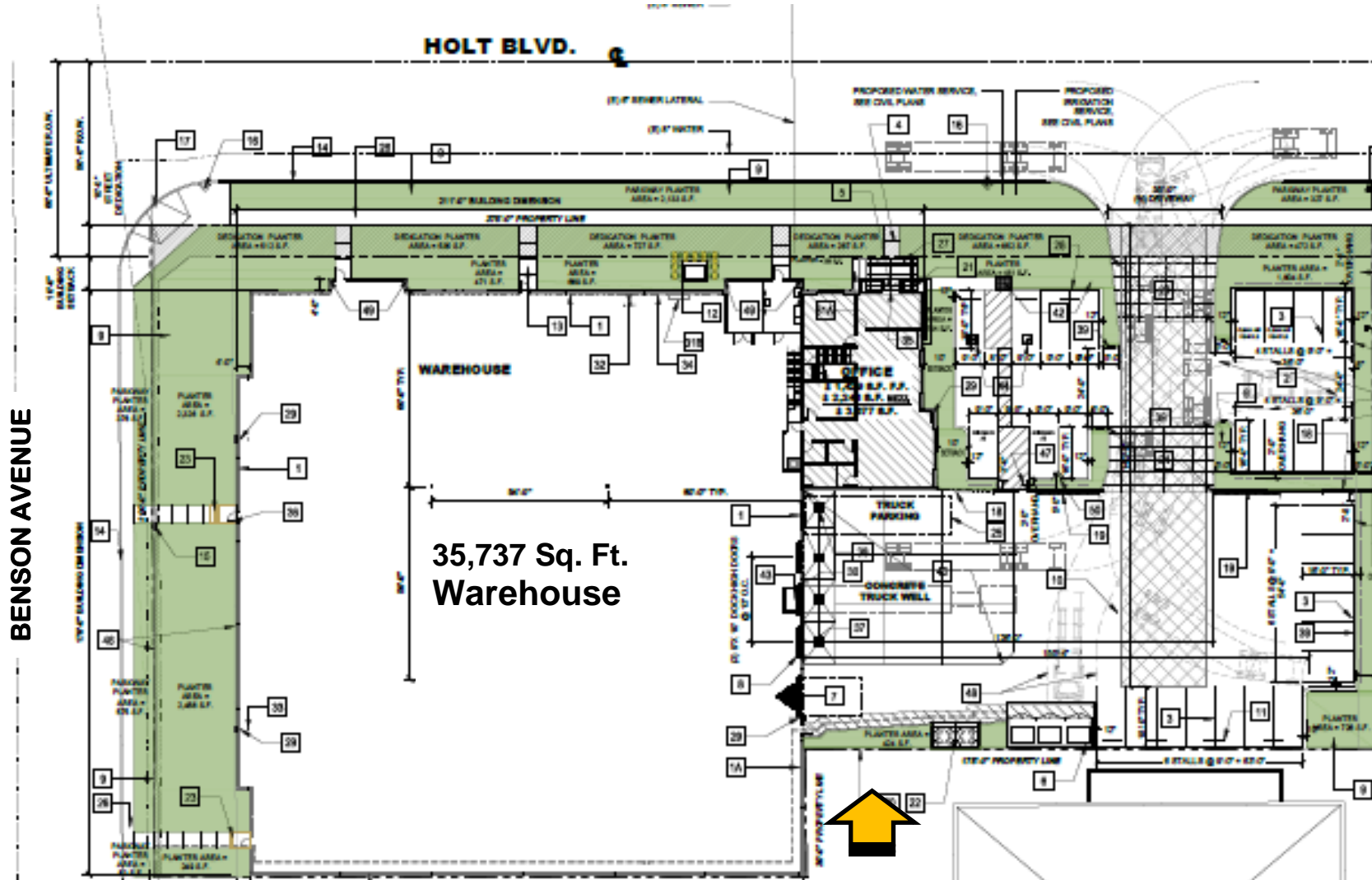
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Development Advisory Board Chairman

**Exhibit A—PROJECT LOCATION MAP**

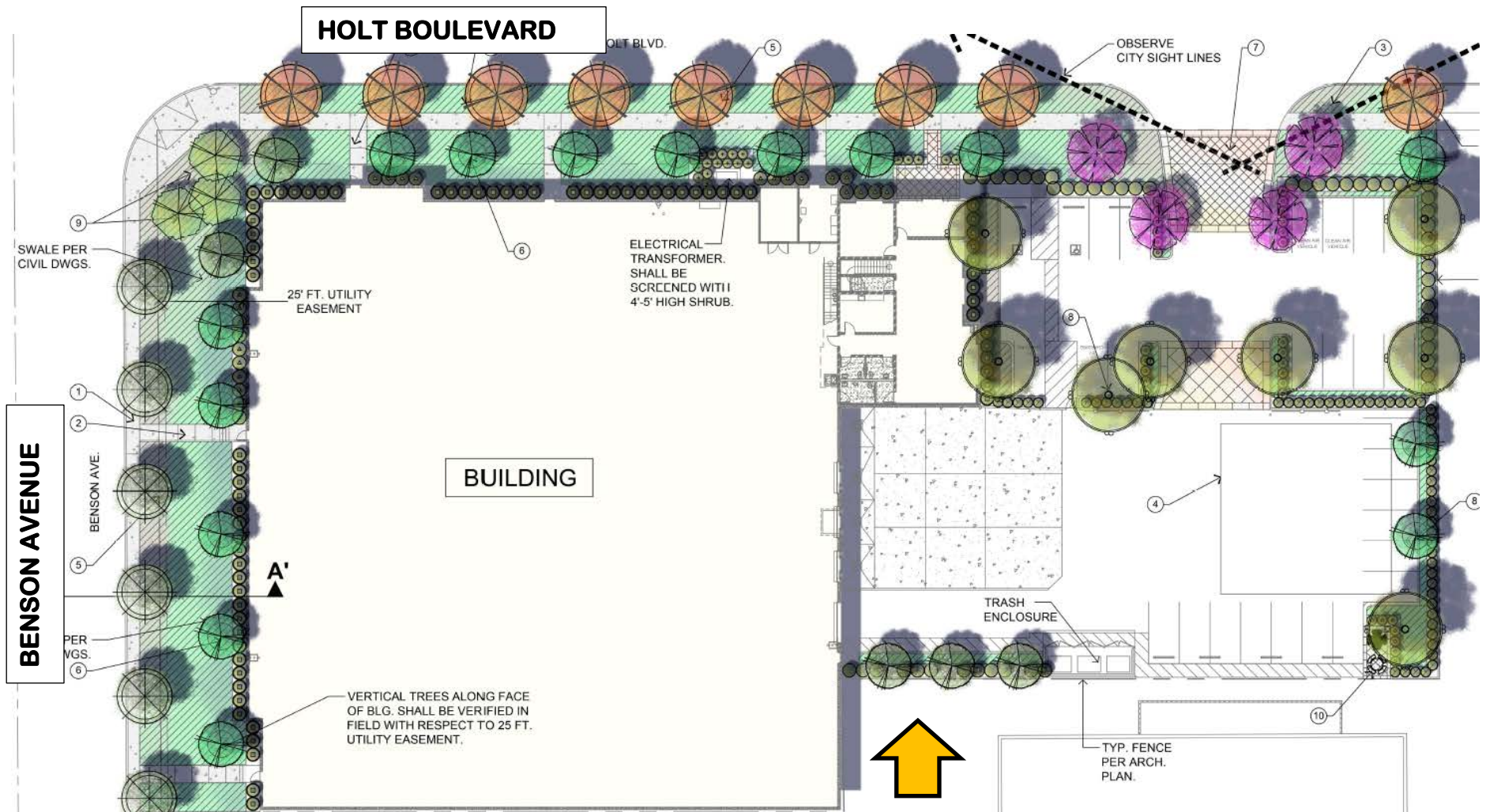


**Exhibit B—SITE PLAN**





**Exhibit C—LANDSCAPE PLAN**



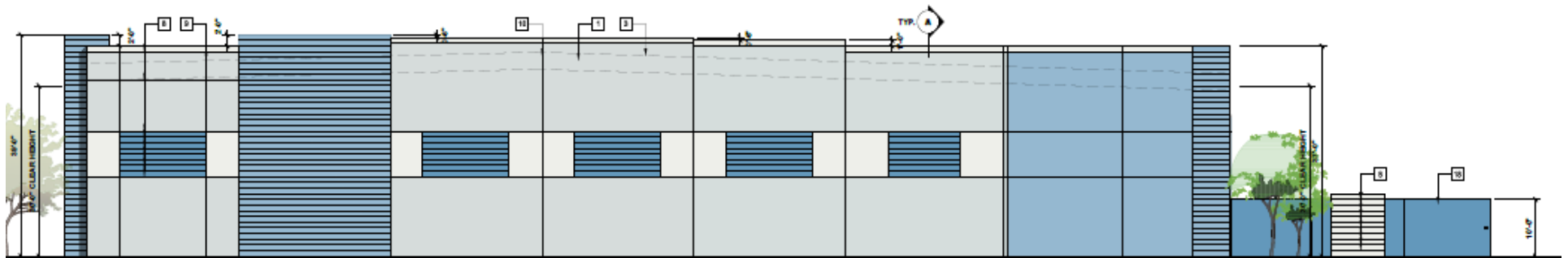
**Exhibit D—COLOR PERSPECTIVE**



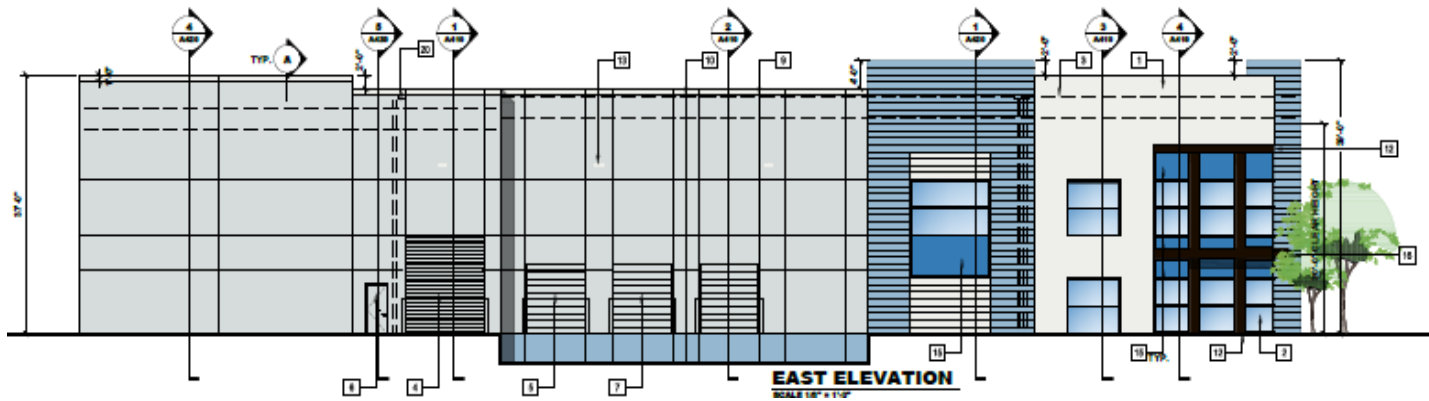
**Exhibit E—EXTERIOR ELEVATIONS**



**Exhibit F—EXTERIOR ELEVATIONS**



**SOUTH ELEVATION**  
 SCALE 1/8" = 1'-0"

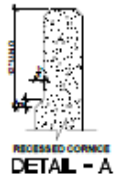


**EAST ELEVATION**  
 SCALE 1/8" = 1'-0"

**COLOR SCHEDULE (EXTERIOR COLORS)**

FIELD COLOR	LAZY GRAY SW6254	
ACCENT 1 COLOR	OLYMPUS WHITE SW9283	
ACCENT 2 COLOR	BLUESY NOTE SW9064	
TRIM COLOR	TRICORN BLACK SW9258	
GLAZING	PPG SOLAR BLUE LOW-E SOLARBAN 90 (2) DUAL GLAZING	
SPANDREL GLAZING	PPG SOLAR BLUE LOW-E SOLARBAN 90 W BLUE BACKING	

\* NOTE: ALL MULLIONS AND WINDOW FRAMES TO BE BLACK





**Exhibit G—COLORS & MATERIAL BOARD**

1 FIELD COLOR: SW6254 LAZY GRAY

2 ACCENT 1 COLOR: SW6253 OLYMPUS WHITE

3 ACCENT 2 COLOR: SW9064 BLUESY NOTE

4 PPG SOLARBAN BLUE - GLASS

5 SPANDREL GLASS BLUE BACK

6 ACCENT 3 COLOR: SW6256 TRICORN BLACK

7 2" REVEAL @ 12" O.C. TYPICAL

8 STEEL METAL CANOPY @ ENTRANCE

9 ENTRANCE GLAZING, TYPICAL

MATERIALS BOARD  
**MB**  
 architecture  
 371 Evergreen Dr., Brea CA 92821  
 www.crespoarchitecture.com  
 657.217.4303

**HOLT & BENSON INDUSTRIAL**  
 1533 W. HOLT BLVD., ONTARIO, CA - CONCRETE TILT UP WAREHOUSE / OFFICE BUILDING PDEV19-006



## Attachment A—Departmental Conditions of Approval

*(Departmental conditions of approval follow this page)*



City of Ontario  
Planning Department  
303 East B Street  
Ontario, California 91764  
Phone: 909.395.2036  
Fax: 909.395.2420

## ***Planning Department Land Development Division Conditions of Approval***

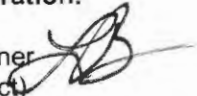
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**Meeting Date:** May 18, 2020

**File No:** PDEV19-006

**Related Files:** n/a

**Project Description:** A Development Plan to construct a 35,737 square foot industrial building on 1.48-acres of land located at 1533 W. Holt Boulevard, within the Industrial Park (IP) zoning district (APN: 01011-111-10); **submitted by United Trust Realty Corporation.**

**Prepared By:** Luis E. Batres, Senior Planner   
Phone: 909.395.2431 (direct)  
Email: [Lbatres@ontarioca.gov](mailto:Lbatres@ontarioca.gov)

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The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

**1.0 Standard Conditions of Approval.** The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

**2.0 Special Conditions of Approval.** In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

**2.1 Time Limits.**

(a) Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

**2.2 General Requirements.** The Project shall comply with the following general requirements:

(a) All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

(b) The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

(c) The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

**2.3**     Landscaping.

(a)     The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

(b)     Comply with the conditions of approval of the Planning Department; Landscape Planning Division.

(c)     Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

(d)     Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

**2.4**     Walls and Fences. All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

**2.5**     Parking, Circulation and Access.

(a)     The Project shall comply with the applicable off-street parking, loading and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

(b)     All drive approaches shall be provided with an enhanced pavement treatment. The enhanced paving shall extend from the back of the approach apron, into the site, to the first intersecting drive aisle or parking space.

(c)     Areas provided to meet the City's parking requirements, including off-street parking and loading spaces, access drives, and maneuvering areas, shall not be used for the outdoor storage of materials and equipment, nor shall it be used for any other purpose than parking.

(d)     The required number of off-street parking spaces and/or loading spaces shall be provided at the time of site and/or building occupancy. All parking and loading spaces shall be maintained in good condition for the duration of the building or use.

(e)     Parking spaces specifically designated and conveniently located for use by the physically disabled shall be provided pursuant to current accessibility regulations contained in State law (CCR Title 24, Part 2, Chapters 2B71, and CVC Section 22507.8).

(f)     Bicycle parking facilities, including bicycle racks, lockers, and other secure facilities, shall be provided in conjunction with development projects pursuant to current regulations contained in CALGreen (CAC Title 24, Part 11).

**2.6**     Outdoor Loading and Storage Areas.

(a)     Loading facilities shall be designed and constructed pursuant to Development Code Division 6.03 (Off-Street Parking and Loading).

(b)     Areas designated for off-street parking, loading, and vehicular circulation and maneuvering, shall not be used for the outdoor storage of materials or equipment.

(c) Outdoor loading and storage areas, and loading doors, shall be screened from public view pursuant to the requirements of Development Code Paragraph 6.02.025.A.2 (Screening of Outdoor Loading and Storage Areas, and Loading Doors) Et Seq.

(d) Outdoor loading and storage areas shall be provided with gates that are view-obstructing by one of the following methods:

(i) Construct gates with a perforated metal sheet affixed to the inside of the gate surface (50 percent screen); or

(ii) Construct gates with minimum one-inch square tube steel pickets spaced at maximum 2-inches apart.

(e) The minimum gate height for screen wall openings shall be established based upon the corresponding wall height, as follows:

<b>Screen Wall Height</b>	<b>Minimum Gate Height</b>
14 feet:	10 feet
12 feet:	9 feet
10 feet:	8 feet
8 feet:	8 feet
6 feet:	6 feet

**2.7 Site Lighting.**

(a) All off-street parking facilities shall be provided with nighttime security lighting pursuant to Ontario Municipal Code Section 4-11.08 (Special Residential Building Provisions) and Section 4-11.09 (Special Commercial/Industrial Building Provisions), designed to confine emitted light to the parking areas. Parking facilities shall be lighted from sunset until sunrise, daily, and shall be operated by a photocell switch.

(b) Unless intended as part of a master lighting program, no operation, activity, or lighting fixture shall create illumination on any adjacent property.

(c) Applicant shall work with staff during the plan check process to incorporate some decorative up and down lighting at key architectural and landscape areas of the project.

**2.8 Mechanical and Rooftop Equipment.**

(a) All exterior roof-mounted mechanical, heating and air conditioning equipment, and all appurtenances thereto, shall be completely screened from public view by parapet walls or roof screens that are architecturally treated so as to be consistent with the building architecture.

(b) All ground-mounted utility equipment and structures, such as tanks, transformers, HVAC equipment, and backflow prevention devices, shall be located out of view from a public street, or adequately screened through the use of landscaping and/or decorative low garden walls.

**2.9 Security Standards.** The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

**2.10** Signs. All Project signage shall comply with the requirements of Ontario Development Code Division 8.1 (Sign Regulations).

**2.11** Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noised levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

**2.12** Covenants, Conditions and Restrictions (CC&Rs)/Mutual Access and Maintenance Agreements.

(a) CC&Rs shall be prepared for the Project and shall be recorded prior to the issuance of a building permit.

(b) The CC&Rs shall be in a form and contain provisions satisfactory to the City. The articles of incorporation for the property owners association and the CC&Rs shall be reviewed and approved by the City.

(c) CC&Rs shall ensure reciprocal parking and access between parcels.

(d) CC&Rs shall ensure reciprocal parking and access between parcels, and common maintenance of:

(i) Landscaping and irrigation systems within common areas;

(ii) Landscaping and irrigation systems within parkways adjacent to the project site, including that portion of any public highway right-of-way between the property line or right-of-way boundary line and the curb line and also the area enclosed within the curb lines of a median divider (Ontario Municipal Code Section 7-3.03), pursuant to Ontario Municipal Code Section 5-22-02;

(iii) Shared parking facilities and access drives; and

(iv) Utility and drainage easements.

(e) CC&Rs shall include authorization for the City's local law enforcement officers to enforce City and State traffic and penal codes within the project area.

(f) The CC&Rs shall grant the City of Ontario the right of enforcement of the CC&R provisions.

(g) A specific methodology/procedure shall be established within the CC&Rs for enforcement of its provisions by the City of Ontario, if adequate maintenance of the development does not occur, such as, but not limited to, provisions that would grant the City the right of access to correct maintenance issues and assess the property owners association for all costs incurred.

**2.13** Disclosure Statements.

(a) A copy of the Public Report from the Department of Real Estate, prepared for the subdivision pursuant to Business and Professions Code Section 11000 et seq., shall be provided to each prospective buyer of the residential units and shall include a statement to the effect that:

(i) This tract is subject to noise from the Ontario International Airport and may be more severely impacted in the future.

(ii) Some of the property adjacent to this tract is zoned for agricultural uses and there could be fly, odor, or related problems due to the proximity of animals.

(iii) The area south of Riverside Drive lies within the San Bernardino County Agricultural Preserve. Dairies currently existing in that area are likely to remain for the foreseeable future.



(iv) This tract is part of a Landscape Maintenance District. The homeowner(s) will be assessed through their property taxes for the continuing maintenance of the district.

**2.14** Environmental Review.

(a) If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

(b) If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

**2.15** Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**2.16** Additional Fees.

(a) Within 5 days following final application approval, the Notice of Determination (NOD) filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act (CEQA). Failure to provide said fee within the time specified may result in a 180-day extension to the statute of limitations for the filing of a CEQA lawsuit.

(b) After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

**2.17** Additional Requirements.

(a) Applicant shall work with staff during the plan check process to pop-out or inset portions of the building along the Benson Avenue frontage, so that the two architectural towers project out and or are inset into the building footprint to match the north architectural towers.

(b) Decorative steel canopies shall be incorporated on all architectural towers along Holt Boulevard and Benson Avenue to match the color perspective that was submitted with the project.

(c) Decorative paving shall be provided outside of the office plaza area and shall extend out to the public sidewalk and adjacent parking lot. Paving shall incorporate an attractive design.

(d) All architectural towers shall be enclosed on all four sides if the back sides will be visible from public views. Treatment shall also be provided on all sides.



**ENGINEERING DEPARTMENT  
CONDITIONS OF APPROVAL**

(Engineering Services Division [Land Development Section and Environmental Section], Traffic & Transportation Division, Ontario Municipal Utilities Company and Information Technology & Management Services Department Conditions incorporated)

<input checked="" type="checkbox"/> DEVELOPMENT PLAN <input type="checkbox"/> OTHER	<input type="checkbox"/> PARCEL MAP <input type="checkbox"/> TRACT MAP <input type="checkbox"/> FOR CONDOMINIUM PURPOSES
<b>PROJECT FILE NO. PDEV19-006</b>  <b>RELATED FILE NO(S). LLA19-001</b>	
<input checked="" type="checkbox"/> ORIGINAL <input type="checkbox"/> REVISED: ___/___/___	

**CITY PROJECT ENGINEER & PHONE NO:** Michael Bhatanawin, P.E. (909) 395-2130

**CITY PROJECT PLANNER & PHONE NO:** Luis Batres (909) 395-2431

**DAB MEETING DATE:** May 18, 2020

**PROJECT NAME / DESCRIPTION:** A Development Plan to construct a 33,489 square foot industrial building, on 1.51 acres of land within the IP (Industrial park) zoning district

**LOCATION:** Southeast corner of Holt Boulevard and Benson Avenue

**APPLICANT:** United Trust Realty Corporation

**REVIEWED BY:** 4/28/20  
 Bryan Lirley, P.E.      Date  
 Principal Engineer

**APPROVED BY:** 4/28/20  
 Raymond Lee, P.E.      Date  
 Assistant City Engineer



**THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE GENERAL STANDARD CONDITIONS OF APPROVAL ADOPTED BY THE CITY COUNCIL (RESOLUTION NO. 2017-027) AND THE PROJECT SPECIFIC CONDITIONS OF APPROVAL SPECIFIED IN HEREIN. ONLY APPLICABLE CONDITIONS OF APPROVAL ARE CHECKED. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL APPLICABLE CONDITIONS OF APPROVAL PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, ISSUANCE OF PERMITS AND/OR OCCUPANCY CLEARANCE, AS SPECIFIED IN THIS REPORT.**

**1. PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, APPLICANT SHALL:** Check When Complete

- 1.01 Dedicate to the City of Ontario, the right-of-way, described below:   
\_\_\_\_\_ feet on \_\_\_\_\_  
Property line corner 'cut-back' required at the intersection of \_\_\_\_\_  
and \_\_\_\_\_.
- 1.02 Dedicate to the City of Ontario, the following easement(s): \_\_\_\_\_   
\_\_\_\_\_
- 1.03 Restrict vehicular access to the site as follows: \_\_\_\_\_
- 1.04 Vacate the following street(s) and/or easement(s): \_\_\_\_\_
- 1.05 Submit a copy of a recorded private reciprocal use agreement or easement. The agreement or easement shall ensure, at a minimum, common ingress and egress and joint maintenance of all common access areas and drive aisles.
- 1.06 Provide (original document) Covenants, Conditions and Restrictions (CC&Rs) as applicable to the project and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&Rs shall provide for, but not be limited to, common ingress and egress, joint maintenance responsibility for all common access improvements, common facilities, parking areas, utilities, median and landscaping improvements and drive approaches, in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project. The CC&Rs shall also address the maintenance and repair responsibility for public improvements/utilities (sewer, water, storm drain, recycled water, etc.) located within open space/easements. In the event of any maintenance or repair of these facilities, the City shall only restore disturbed areas to current City Standards.
- 1.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at [http://geotracker.waterboards.ca.gov/profile\\_report?global\\_id=T10000004658](http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658).
- 1.08 File an application for Reapportionment of Assessment, together with payment of a reapportionment processing fee, for each existing assessment district listed below. Contact the Management Services Department at (909) 395-2124 regarding this requirement.   
(1) \_\_\_\_\_  
(2) \_\_\_\_\_
- 1.09 Prepare a fully executed Subdivision Agreement (on City approved format and forms) with accompanying security as required, or complete all public improvements.





- 1.10 Provide a monument bond (i.e. cash deposit) in an amount calculated by the City's approved cost estimate spreadsheet (available for download on the City's website: [www.ci.ontario.ca.us](http://www.ci.ontario.ca.us)) or as specified in writing by the applicant's Registered Engineer or Licensed Land Surveyor of Record and approved by the City Engineer, whichever is greater.
- 1.11 Provide a preliminary title report current to within 30 days.
- 1.12 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of three (3) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Management Services at (909) 395-2353 to initiate the CFD application process.
- 1.13 New Model Colony (NMC) Developments: 
  - 1) Provide evidence of final cancellation of Williamson Act contracts associated with this tract, prior to approval of any final subdivision map. Cancellation of contracts shall have been approved by the City Council.
  - 2) Provide evidence of sufficient storm water capacity availability equivalents (Certificate of Storm Water Treatment Equivalents).
  - 3) Provide evidence of sufficient water availability equivalents (Certificate of Net MDD Availability).
- 1.14 Other conditions: \_\_\_\_\_

**2. PRIOR TO ISSUANCE OF ANY PERMITS, APPLICANT SHALL:**

**A. GENERAL  
 ( Permits Includes Grading, Building, Demolition and Encroachment )**

- 2.01 Record Parcel Map/Tract Map No. \_\_\_\_\_ pursuant to the Subdivision Map Act and in accordance with the City of Ontario Municipal Code.
- 2.02 Submit a duplicate photo mylar of the recorded map to the City Engineer's office.
- 2.03 **Note that the subject parcel is a recognized parcel in the City of Ontario per the Nemaha Tract per map recorded in Book 11, Page 47 of maps, in the office of the County Recorder of the County of San Bernardino.**
- 2.04 Note that the subject parcel is an 'unrecognized' parcel in the City of Ontario and shall require a Certificate of Compliance to be processed unless a deed is provided confirming the existence of the parcel prior to the date of \_\_\_\_\_ .
- 2.05 Apply for a:  Certificate of Compliance with a Record of Survey;  Lot Line Adjustment 
  - Make a Dedication of Easement.
- 2.06 Provide (original document) Covenants, Conditions and Restrictions (CC&R's), as applicable to the project, and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&R's shall provide for, but not be limited to, common ingress and egress, joint maintenance of all common access improvements, common facilities, parking areas, utilities and drive approaches in addition to maintenance requirements established in the Water Quality Management Plan ( WQMP), as applicable to the project.



- 2.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at [http://geotracker.waterboards.ca.gov/profile\\_report?global\\_id=T10000004658](http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658).
- 2.08 **Submit a soils/geology report.**
- 2.09 Other Agency Permit/Approval: Submit a copy of the approved permit and/or other form of approval of the project from the following agency or agencies:
- State of California Department of Transportation (Caltrans)
  - San Bernardino County Road Department (SBCRD)
  - San Bernardino County Flood Control District (SBCFCD)
  - Federal Emergency Management Agency (FEMA)
  - Cucamonga Valley Water District (CVWD) for sewer/water service
  - United States Army Corps of Engineers (USACE)
  - California Department of Fish & Game
  - Inland Empire Utilities Agency (IEUA)
  - Other: \_\_\_\_\_
- 2.10 **Dedicate to the City of Ontario the right-of-way described below:**
1. **Holt Boulevard to the half ultimate right-of-way width of 60 feet along the project frontage**
  2. **Benson Avenue to the ultimate right-of-way width of 44 feet along the project frontage**
  3. **Property line corner 'cut-back' required at the intersection of Holt Boulevard and Benson Avenue**
- 2.11 Dedicate to the City of Ontario the following easement(s): \_\_\_\_\_
- \_\_\_\_\_
- 2.12 **New Model Colony (NMC) Developments:**
- 1) Submit a copy of the permit from the San Bernardino County Health Department to the Engineering Department and the Ontario Municipal Utilities Company (OMUC) for the destruction/abandonment of the on-site water well. The well shall be destroyed/abandoned in accordance with the San Bernardino County Health Department guidelines.
  - 2) Make a formal request to the City of Ontario Engineering Department for the proposed temporary use of an existing agricultural water well for purposes other than agriculture, such as grading, dust control, etc. Upon approval, the Applicant shall enter into an agreement with the City of Ontario and pay any applicable fees as set forth by said agreement.
  - 3) Design proposed retaining walls to retain up to a maximum of three (3) feet of earth. In no case shall a wall exceed an overall height of nine (9) feet (i.e. maximum 6-foot high wall on top of a maximum 3-foot high retaining wall).
- 2.13 **Submit a security deposit to the Engineering Department to guarantee construction of the public improvements required herein valued at 100% of the approved construction cost estimate. Security deposit shall be in accordance with the City of Ontario Municipal Code. Security deposit will be eligible for release, in accordance with City procedure, upon completion and acceptance of said public improvements.**





- 2.14 The applicant/developer shall submit all necessary survey documents prepared by a Licensed Surveyor registered in the State of California detailing all existing survey monuments in and around the project site. These documents are to be reviewed and approved by the City Survey Office.
- 2.15 Pay all Development Impact Fees (DIF) to the Building Department. Storm Drain Development Impact Fee, approximately \$33,809, shall be paid to the Building Department. Final fee shall be determined based on the approved site plan.
- 2.16 Other conditions: \_\_\_\_\_



**B. PUBLIC IMPROVEMENTS**  
 (See attached Exhibit 'A' for plan check submittal requirements.)

**2.17** Design and construct full public improvements in accordance with the City of Ontario Municipal Code, current City standards and specifications, master plans and the adopted specific plan for the area, if any. These public improvements shall include, but not be limited to, the following (checked boxes):

Improvement	Holt Boulevard	Benson Avenue	Street 3	Street 4
<b>Curb and Gutter</b>	<input checked="" type="checkbox"/> New; 36 ft. from C/L (A) <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace
<b>AC Pavement</b>	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions
<b>PCC Pavement (Truck Route Only)</b>	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
<b>Drive Approach</b>	<input checked="" type="checkbox"/> New <input checked="" type="checkbox"/> Remove and replace (A)	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
<b>Sidewalk</b>	<input type="checkbox"/> New <input checked="" type="checkbox"/> Remove and replace (A, B)	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
<b>ADA Access Ramp</b>	<input type="checkbox"/> New <input checked="" type="checkbox"/> Remove and replace (C)	<input type="checkbox"/> New <input checked="" type="checkbox"/> Remove and replace (C)	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
<b>Parkway</b>	<input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation)	<input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)
<b>Raised Landscaped Median</b>	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
<b>Fire Hydrant</b>	<input checked="" type="checkbox"/> Upgrade (see Sec. 2.D) <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation





<b>Sewer</b> (see Sec. 2.C)	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
<b>Water</b> (see Sec. 2.D)	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Recycled Water (see Sec. 2.E)	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Traffic Signal System (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Traffic Signing and Striping (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
<b>Street Light</b> (see Sec. 2.F)	<input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation
Bus Stop Pad or Turn-out (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Storm Drain (see Sec. 2.G)	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
<b>Fiber Optics</b> (see Sec. 2.K)	<input checked="" type="checkbox"/> Conduit / Appurtenances	<input checked="" type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances
Overhead Utilities	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate
Removal of Improvements	_____	_____	_____	_____
Other Improvements	_____	_____	_____	_____

**Specific notes for Improvements listed in item no. 2.17, above:**

- A. Remove existing drive approach on Holt Blvd and replace with curb, gutter and sidewalk per City standards.
- B. Remove existing asphalt sidewalk on Holt Blvd and replace with concrete sidewalk per City standards.
- C. Remove and replace the existing sidewalk ramp at the SEC of Holt Blvd & Benson Ave to meet current City standards. This includes but is not limited to relocating traffic signal appurtenances (e.g. pullbox) outside the ramp to accommodate the new ramp configuration.



- 2.18 Construct a 2" asphalt concrete (AC) grind and overlay on the following street(s): \_\_\_\_\_
- 2.19 Reconstruction of the full pavement structural section, per City of Ontario Standard Drawing number 1011, may be required based on the existing pavement condition and final street design. Minimum limits of reconstruction shall be along property frontage, from street centerline to curb/gutter.
- 2.20 Make arrangements with the Cucamonga Valley Water District (CVWD) to provide  water service  sewer service to the site. This property is within the area served by the CVWD and Applicant shall provide documentation to the City verifying that all required CVWD fees have been paid.
- 2.21 **Overhead utilities shall be under-grounded, in accordance with Title 7 of the City's Municipal Code (Ordinance No. 2804 and 2892). Developer may pay in-lieu fee, approximately \$63,798, for undergrounding of utilities in Benson Avenue along the project frontage in accordance with Section 7-7.303.e of the City's Municipal Code (\$350 / LF and for 182.78 LF Benson Ave frontage).**
- 2.22 **Other conditions:** 
  - A. **Slurry seal pavement on Holt Boulevard and Benson Avenue from centerline to curb and gutter along project frontage**

**C. SEWER**

- 2.23 **A 8 inch sewer main is available for connection by this project in Holt Boulevard. (Ref: Sewer plan bar code: S11220)**
- 2.24 Design and construct a sewer main extension. A sewer main is not available for direct connection. The closest main is approximately \_\_\_\_\_ feet away.
- 2.25 Submit documentation that shows expected peak loading values for modeling the impact of the subject project to the existing sewer system. The project site is within a deficient public sewer system area. Applicant shall be responsible for all costs associated with the preparation of the model. Based on the results of the analysis, Applicant may be required to mitigate the project impact to the deficient public sewer system, including, but not limited to, upgrading of existing sewer main(s), construction of new sewer main(s) or diversion of sewer discharge to another sewer.
- 2.26 Other conditions: \_\_\_\_\_

**D. WATER**

- 2.27 **A 10 inch water main is available for connection by this project in Holt Boulevard (Ref: Water plan bar code: W12028)**
- 2.28 Design and construct a water main extension. A water main is not available for direct connection. The closest main is approximately \_\_\_\_\_ feet away.
- 2.29 **Other conditions:** 
  - A. **Relocate existing water main to be outside of the proposed sidewalk and into the street, and upgrade it from the 14" to a 16" water main in Benson Avenue from the tee at the intersection of Benson and Holt to the southerly project property line. Also, use two-45 degrees elbows on each end to transition back to the tee and the southerly transition to the existing 14" water main OR Developer to pay an in-lieu fee for the work aforementioned directly above in the amount of \$36,000 which were agreed upon between the developer and OMUC.**
  - B. **Upgrade the existing two fire hydrants in Holt Blvd with a break-off check valve per City standards.**

**E. RECYCLED WATER**

- 2.30 A \_\_\_\_\_ inch recycled water main is available for connection by this project in \_\_\_\_\_. (Ref: Recycled Water plan bar code: \_\_\_\_\_)
- 2.31 Design and construct an on-site recycled water system for this project. A recycled water main does exist in the vicinity of this project.





- 2.32 Design and construct an on-site recycled water ready system for this project. A recycled water main does not currently exist in the vicinity of this project, but is planned for the near future. If Applicant would like to connect to this recycled water main when it becomes available, the cost for the connection shall be borne solely by the Applicant.
  - 2.33 Submit two (2) hard copies and one (1) electronic copy, in PDF format, of the Engineering Report (ER), for the use of recycled water, to the OMUC for review and subsequent submittal to the California Department of Public Health (CDPH) for final approval.
- Note: The OMUC and the CDPH review and approval process will be approximately three (3) months. Contact the Ontario Municipal Utilities Company at (909) 395-2647 regarding this requirement.
- 2.34 Other conditions: \_\_\_\_\_

**F. TRAFFIC / TRANSPORTATION**

- 2.35 Submit a focused traffic impact study, prepared and signed by a Traffic/Civil Engineer registered in the State of California. The study shall address, but not be limited to, the following issues as required by the City Engineer: 
  - 1. On-site and off-site circulation
  - 2. Traffic level of service (LOS) at 'build-out' and future years
  - 3. Impact at specific intersections as selected by the City Engineer
- 2.36 New traffic signal installations shall be added to Southern California Edison (SCE) customer account number # 2-20-044-3877.
- 2.37 Other conditions: 
  - A. Holt Boulevard is designated as a divided arterial in the City's Master Plan of Streets and Highways. The proposed driveway on Holt Blvd shall be limited to right-turn access only when the future median is installed.
  - B. Design and construct in-fill public street lights along project frontages of Holt Blvd and Benson Ave. Street lighting shall be LED-type and in accordance with City's Traffic and Transportation Design Guidelines.
  - C. Design and construct proposed driveways in accordance with City Std. No. 1204.
  - D. Holt Blvd and Benson Ave shall be signed "No Parking Anytime".
  - E. All landscaping, block walls, and other obstructions shall be compatible with the stopping sight distance requirements per City Std. No. 1309.
  - F. The Applicant/Developer's engineer-of-record shall meet with City Engineering staff prior to starting street lighting design plans.

**G. DRAINAGE / HYDROLOGY**

- 2.38 A \_\_\_\_\_ inch storm drain main is available to accept flows from this project in \_\_\_\_\_ (Ref: Storm Drain plan bar code: \_\_\_\_\_)
- 2.39 Submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California. The study shall be prepared in accordance with the San Bernardino County Hydrology Manual and City of Ontario standards and guidelines. Additional drainage facilities, including, but not limited to, improvements beyond the project frontage, may be required to be designed and constructed, by Applicant, as a result of the findings of this study.
- 2.40 An adequate drainage facility to accept additional runoff from the site does not currently exist downstream of the project. Design and construct a storm water detention facility on the project site. 100 year post-development peak flow shall be attenuated such that it does not exceed 80% of pre-development peak flows, in accordance with the approved hydrology study and improvement plans.
- 2.41 Submit a copy of a recorded private drainage easement or drainage acceptance agreement to the Engineering Department for the acceptance of any increase to volume and/or concentration of historical drainage flows onto adjacent property, prior to approval of the grading plan for the project.





- 2.42 Comply with the City of Ontario Flood Damage Prevention Ordinance (Ordinance No. 2409). The project site or a portion of the project site is within the Special Flood Hazard Area (SFHA) as indicated on the Flood Insurance Rate Map (FIRM) and is subject to flooding during a 100 year frequency storm. The site plan shall be subject to the provisions of the National Flood Insurance Program.
- 2.43 Other conditions: 
  - A. Pay an in-lieu fee, approximately \$159,000, for the construction of the proposed 96" storm drain line in Benson Avenue along the project frontage.

**H. STORM WATER QUALITY / NATIONAL POLLUTANT DISCHARGE AND ELIMINATION SYSTEM (NPDES)**

- 2.44 401 Water Quality Certification/404 Permit – Submit a copy of any applicable 401 Certification or 404 Permit for the subject project to the City project engineer. Development that will affect any body of surface water (i.e. lake, creek, open drainage channel, etc.) may require a 401 Water Quality Certification from the California Regional Water Quality Control Board, Santa Ana Region (RWQCB) and a 404 Permit from the United States Army Corps of Engineers (USACE). The groups of water bodies classified in these requirements are perennial (flow year round) and ephemeral (flow during rain conditions, only) and include, but are not limited to, direct connections into San Bernardino County Flood Control District (SBCFCD) channels.  
If a 401 Certification and/or a 404 Permit are not required, a letter confirming this from Applicant's engineer shall be submitted.  
Contact information: USACE (Los Angeles District) (213) 452-3414; RWQCB (951) 782-4130.
- 2.45 Submit a Water Quality Management Plan (WQMP). This plan shall be approved by the Engineering Department prior to approval of any grading plan. The WQMP shall be submitted, utilizing the current San Bernardino County Stormwater Program template, available at: <http://www.sbcounty.gov/dpw/land/npdes.asp>.
- 2.46 Design and construct a Connector Pipe Trash Screen or equivalent Trash Treatment Control Device, per catch basin located within or accepting flows tributary of a Priority Land Use (PLU) area that meets the Full Capture System definition and specifications, and is on the Certified List of the State Water Resources Control Board. The device shall be adequately sized per catch basin and include a deflector screen with vector control access for abatement application, vertical support bars, and removable component to facilitate maintenance and cleaning.
- 2.47 Other conditions: \_\_\_\_\_

**J. SPECIAL DISTRICTS**

- 2.48 File an application, together with an initial payment deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community facilities District Act of 1982. The application and fee shall be submitted a minimum four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact the Financial Services Department at (909) 395-2353 to initiate the CFD application process.
- 2.49 Other conditions: \_\_\_\_\_

**K. FIBER OPTIC**

- 2.50 Design and construct fiber optic system to provide access to the City's conduit and fiber optic system per the City's Fiber Optic Master Plan. Building entrance conduits shall start from the closest OntarioNet hand hole constructed along the project frontage in the ROW and shall terminate in the main telecommunications room for each building. Conduit infrastructure shall interconnect with the primary and/or secondary backbone fiber optic conduit system at the nearest OntarioNet hand hole.





- 2.51 Refer to the City's Fiber Optic Master Plan for design and layout guidelines. Contact the Information Technology Department at (909) 395-2000, regarding this requirement.

#### L. SOLID WASTE

- 2.52 Onsite solid waste shall be designed in accordance with the City's Solid Waste Manual location at:

<http://www.ontarioca.gov/municipal-utilities-company/solid-waste>

- 2.53 Other conditions:

- A. Prior to approval of the any building permits, the Conceptual Solid Waste Handling Plan needs to be updated and converted in to a Final Solid Waste Handling Plan Sheet and shall be submitted accompanying the Precise Grading Plan Submittal to the City/OMUC for review and approval. See "Solid Waste Handling Plan (SWHP) Requirements" document for details.
- B. The applicant shall submit an Integrated Waste Management Report for review and approval with the Precise Grading Plan. This report shall address the management of all integrated waste (Refuse, Recycling, Organics, etc.). The IWMR shall demonstrate compliance with the "Integrated Waste Management Report Requirements" document.

#### 3. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, APPLICANT SHALL:

- 3.01 Set new monuments in place of any monuments that have been damaged or destroyed as a result of construction of the subject project. Monuments shall be set in accordance with City of Ontario standards and to the satisfaction of the City Engineer.

- 3.02 Complete all requirements for recycled water usage.

1) Procure from the OMUC a copy of the letter of confirmation from the California Department of Public Health (CDPH) that the Engineering Report (ER) has been reviewed and the subject site is approved for the use of recycled water.

2) Obtain clearance from the OMUC confirming completion of recycled water improvements and passing of shutdown tests and cross connection inspection, upon availability/usage of recycled water.

3) Complete education training of on-site personnel in the use of recycled water, in accordance with the ER, upon availability/usage of recycled water.

- 3.03 The applicant/developer shall submit all final survey documents prepared by a Licensed Surveyor registered in the State of California detailing all survey monuments that have been preserved, revised, adjusted or set along with any maps, corner records or Records of Survey needed to comply with these Conditions of Approvals and the latest edition of the California Professional Land Survey Act. These documents are to be reviewed and approved by the City Survey Office.

- 3.04 NMC Projects: For developments located at an intersection of any two collector or arterial streets, the applicant/developer shall set a monument if one does not already exist at that intersection. Contact the City Survey office for information on reference benchmarks, acceptable methodology and required submittals.

- 3.05 Confirm payment of all Development Impact Fees (DIF) to the Building Department.

- 3.06 Submit electronic copies (PDF and Auto CAD format) of all approved improvement plans, studies and reports (i.e. hydrology, traffic, WQMP, etc.).

#### 4. PRIOR TO FINAL ACCEPTANCE, APPLICANT SHALL:

- 4.01 Complete all Conditions of Approval listed under Sections 1-3 above.



- 4.02 **Pay all outstanding fees pursuant to the City of Ontario Municipal Code, including but not limited to, plan check fees, inspection fees and Development Impact Fees.**
  
- 4.03 **The applicant/developer shall submit a written request for the City's final acceptance of the project addressed to the City Project Engineer. The request shall state that all Conditions of Approval have been completed and shall be signed by the applicant/developer. Upon receipt of the request, review of the request shall be a minimum of 10 business days. Conditions of Approval that are deemed incomplete by the City will cause delays in the acceptance process.**



**EXHIBIT 'A'**

**ENGINEERING DEPARTMENT  
First Plan Check Submittal Checklist**

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Project Number: PDEV19-006, and/or Parcel Map/Tract Map No. \_\_\_\_\_

**The following items are required to be included with the first plan check submittal:**

1.  **A copy of this check list**
2.  **Payment of fee for Plan Checking**
3.  **One (1) copy of Engineering Cost Estimate (on City form) with engineer's wet signature and stamp.**
4.  **One (1) copy of project Conditions of Approval**
5.  **Two (2) sets of Potable and Recycled Water demand calculations (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size).**
6.  **Three (3) sets of Public Street Improvement plan with street cross-sections**
7.  **Three (3) sets of Private Street improvement plan with street cross-sections**
8.  **Four (4) sets of Public Water improvement plan (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)**
9.  **Four (4) sets of Recycled Water improvement plan (include recycled water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size and an exhibit showing the limits of areas being irrigated by each recycled water meter)**
10.  **Four (4) sets of Public Sewer Improvement plan**
11.  **Five (5) sets of Public Storm Drain improvement plan**
12.  **Three (3) sets of Public Street Light improvement plan**
13.  **Three (3) sets of Signing and Striping improvement plan**
14.  **Three (3) sets of Fiber Optic plan (include Auto CAD electronic submittal)**
15.  **Three (3) sets of Dry Utility plans within public right-of-way (at a minimum the plans must show existing and ultimate right-of-way, curb and gutter, proposed utility location including centerline dimensions, wall to wall clearances between proposed utility and adjacent public line, street work repaired per Standard Drawing No. 1306. Include Auto CAD electronic submittal)**
16.  **Three (3) sets of Traffic Signal improvement plan and One (1) copy of Traffic Signal Specifications with modified Special Provisions. Please contact the Traffic Division at (909) 395-2154 to obtain Traffic Signal Specifications.**
17.  **Two (2) copies of Water Quality Management Plan (WQMP), including one (1) copy of the approved Preliminary WQMP (PWQMP).**
18.  **One (1) copy of Hydrology/Drainage study**
19.  **One (1) copy of Soils/Geology report**
20.  **Payment for Final Map/Parcel Map processing fee**
21.  **Three (3) copies of Final Map/Parcel Map**






- 22.  One (1) copy of approved Tentative Map
- 23.  One (1) copy of Preliminary Title Report (current within 30 days)
- 24.  One (1) copy of Traverse Closure Calculations
- 25.  One (1) set of supporting documents and maps (legible copies): referenced improvement plans (full size), referenced record final maps/parcel maps (full size, 18"x26"), Assessor's Parcel map (full size, 11"x17"), recorded documents such as deeds, lot line adjustments, easements, etc.
- 26.  Two (2) copies of Engineering Report and an electronic file (include PDF format electronic submittal) for recycled water use
- 27.  Other: \_\_\_\_\_

**CITY OF ONTARIO**  
**LANDSCAPE PLANNING DIVISION**  
 303 East "B" Street, Ontario, CA 91764

**CONDITIONS OF APPROVAL**

Sign Off

  
 Jamie Richardson, Sr. Landscape Planner

07/02/2019  
 Date

Reviewer's Name:  
**Jamie Richardson, Sr. Landscape Planner**

Phone:  
**(909) 395-2615**

D.A.B. File No.:  
 PDEV19-006

Case Planner:  
 Luis Batres

Project Name and Location:  
 Holt and Benson Industrial  
 1533 W Holt Blvd  
 Applicant/Representative:  
 United Trust Realty Henry Hong/ Ignacio Crespo  
 371 Evergreen Dr.  
 Brea Ca 92821

<input checked="" type="checkbox"/>	<b>A Preliminary Landscape Plan (dated 2/5/2020) meets the Standard Conditions for New Development and has been approved with the consideration that the following conditions below be met upon submittal of the landscape construction documents.</b>
<input type="checkbox"/>	<b>A Preliminary Landscape Plan (dated) has not been approved. Corrections noted below are required prior to Preliminary Landscape Plan approval.</b>

**A RESPONSE SHEET IS REQUIRED WITH RESUBMITTAL OR PLANS WILL BE RETURNED AS INCOMPLETE**

1. Call out utilities on grading and landscape plans
2. After a project's entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council. Fees are:
  - Plan Check—less than 5 acres .....\$1,301.00
  - Inspection—Construction (up to 3 inspections per phase).....\$278.00
  - Total.....\$1,579.00
  - Inspection—Field – any additional..... \$83.00

Landscape construction plans with building permit number for plan check may be emailed to:  
[landscapeplancheck@ontarioca.gov](mailto:landscapeplancheck@ontarioca.gov)

**Civil/Site Plans**

3. Civil plan: Show planter areas per site plan (east of office building).
4. Show backflow devices set back 4' from paving all sides. Locate on level grade. Show backflows on private property not in the right of way.
5. Locate utilities including light standards, fire hydrants, and water, drain and sewer lines to not conflict with required tree locations; provide utility plan or show on site /civil plans.
6. Dimension all planters to have a minimum 5' wide inside dimension.
7. Identify what type of utilities are or will be located within the easement along Benson Ave.

**Landscape Plans**

8. Western perimeter calls out for swale per civil, however civil plans show a slope *not* a swale. Coordinate with civil to configure western perimeter.
9. If swale, outline edges, utilize arrows to demonstrate water flow, and ensure it is less than 40% of the perimeter's landscape area.
10. Show backflow devices with 36" high strappy leaf shrub screening and trash enclosures and transformers, a 4'-5' high evergreen hedge screening. Screen backflows and utilities with shrub masses. Continue the areas of shrub massing in the adjacent landscape areas.
11. Show all utilities on the landscape plans. Coordinate so utilities are clear of tree locations. Show light stds. 15' clear of required tree locations. Provide utility plan or show on site/civil plans.

12. Add small tree at parking row ends near building (do not use Rhus), consider *Podocarpus gracilior* near building.
13. Provide broad canopy trees in planters adjacent to parking spaces, consider *Quercus ilex*.
14. Provide larger accent trees at entry (consider *Quercus agrifolia* or *suber*). Replace *Magnolia* 'Little Gem' with *Cercis canadensis* 'Oklahoma' or *Tristania laurina*.
15. Show parkway landscape max 18" high: such as *Baccharis*, *Lonicera*, *Kurapia* etc. and street trees spaced 30' apart. Alternate background trees so future mature tree growth does not interfere with adjacent canopies.
16. Street trees for this project are: *Fraxinus oxycarpa* 'Raywood' on Holt and *Cercis Canadensis* 'Oklahoma' on Benson or *Tristania laurina*
17. Show 8' diameter of mulch only at new trees. Detail irrigation dripline outside of root zone.
18. Call out all fences and walls, materials and heights. Show mowstrips where fences end at PL.
19. Landscape construction plans shall meet the requirements of the Landscape Development Guidelines. See <http://www.ontarioca.gov/landscape-planning/standards>



# CITY OF ONTARIO

## MEMORANDUM

**TO:** Luis Batres, Senior Planner  
Planning Department

**FROM:** Paul Ehrman, Deputy Fire Chief/Fire Marshal  
Fire Department

**DATE:** February 5, 2019

**SUBJECT:** PDEV19-006 - A Development Plan to construct a 35,435 square foot concrete tilt-up industrial building on 1.51 acres of land within the IP, Industrial Park zone located at the south east corner of Holt Boulevard and Benson Avenue at 1533 W. Holt Boulevard. APN: 1011-111-10 Related File: LLA19-001

- 
- The plan **does** adequately address Fire Department requirements at this time.
- Standard Conditions of Approval apply, as stated below.

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### **SITE AND BUILDING FEATURES:**

- A. 2016 CBC Type of Construction: Type II B
- B. Type of Roof Materials: Panelized
- C. Ground Floor Area(s): 33,323 Sq. Ft.
- D. Number of Stories: 2
- E. Total Square Footage: 35,435 Sq. Ft.
- F. 2016 CBC Occupancy Classification(s): S, B



## CONDITIONS OF APPROVAL:

### 1.0 GENERAL

- 1.1 The following are the Ontario Fire Department ("Fire Department") requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards ("Standards.") It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at [www.ontarioca.gov](http://www.ontarioca.gov), click on "Fire Department" and then on "Standards and Forms."
- 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

### 2.0 FIRE DEPARTMENT ACCESS

- 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See Standard #B-004.
- 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25') inside and forty-five feet (45') outside turning radius per Standard #B-005.
- 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150') in length shall have an approved turn-around per Standard #B-002.
- 2.4 Access drive aisles which cross property lines shall be provided with CC&Rs, access easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of building plan check.
- 2.5 "No Parking-Fire Lane" signs and /or red painted curbs with lettering are required to be installed in interior access roadways, in locations where vehicle parking would obstruct the minimum clear width requirement. Installation shall be per Standard #B-001.
- 2.6 Security gates or other barriers on fire access roadways shall be provided with a Knox brand key switch or padlock to allow Fire Department access. See Standards #B-003, B-004 and H-001.
- 2.7 Any time PRIOR to on-site combustible construction and/or storage, a minimum twenty-six (26) ft. wide circulating all weather access roads shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved by fire department and other emergency services..

### 3.0 WATER SUPPLY

- 3.1 The required fire flow per Fire Department standards, based on the 2016 California Fire Code, Appendix B, is 2000 gallons per minute (g.p.m.) for 4 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.
- 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300') apart, per Engineering Department specifications.
- 3.4 The water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

### 4.0 FIRE PROTECTION SYSTEMS

- 4.2 Underground fire mains which cross property lines shall be provided with CC & R, easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of fire department plan check. The shared use of private fire mains or fire pumps is allowable only between immediately adjacent properties and shall not cross any public street.
- 4.3 An automatic fire sprinkler system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard ~~Choose an item.~~ All new fire sprinkler systems, except those in single family dwellings, which contain twenty (20) sprinkler heads or more shall be monitored by an approved listed supervising station. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- 4.5 Fire Department Connections (FDC) shall be located on the address side of the building within one hundred fifty feet (150') of a public fire hydrant on the same side of the street. Provide identification for all fire sprinkler control valves and fire department connections per Standard #D-007. Raised curbs adjacent to Fire Department connection(s) shall be painted red, five feet either side, per City standards.
- 4.6 A fire alarm system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 72. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- 4.7 Portable fire extinguishers are required to be installed prior to occupancy per Standard #C-001. Please contact the Fire Prevention Bureau to determine the exact number, type and placement required.

## 5.0 BUILDING CONSTRUCTION FEATURES

- 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.
- 5.6 Knox ® brand key-box(es) shall be installed in location(s) acceptable to the Fire Department. All Knox boxes shall be monitored for tamper by the building fire alarm system. See Standard #H-001 for specific requirements.
- 5.7 Placards shall be installed in acceptable locations on buildings that store, use or handle hazardous materials in excess of the quantities specified in the CFC. Placards shall meet the requirements of National Fire Protection Association (NFPA) Standard 704.

## 6.0 OTHER SPECIAL USES

- 6.1 The storage, use, dispensing, or handling of any hazardous materials shall be approved by the Fire Department, and adequate fire protection features shall be required. If hazardous materials are proposed, a Fire Department Hazardous Materials Information Packet, including Disclosure Form and Information Worksheet, shall be completed and submitted with Material Safety Data Sheets to the Fire Department along with building construction plans.
- 6.2 Any High Piled Storage, or storage of combustible materials greater than twelve (12') feet in height for ordinary (Class I-IV) commodities or storage greater than six feet (6') in height of high hazard (Group A plastics, rubber tires, flammable liquids, etc.) shall be approved by the Fire Department, and adequate fire protection features shall be required. If High Piled Storage is proposed, a Fire Department High Piled Storage Worksheet shall be completed and detailed racking plans or floor plans submitted prior to occupancy of the building.
- 6.3 Underground fuel tanks, their associated piping and dispensers shall be reviewed, approved, and permitted by Ontario Building Department, Ontario Fire Department, and San Bernardino County Fire Department Hazardous Materials Division. In fueling facilities, an exterior emergency pump shut-off switch shall be provided.



# CITY OF ONTARIO

## MEMORANDUM

**TO:** Luis Batres, Planning Department

**FROM:** Douglas Sorel, Police Department

**DATE:** February 4, 2019

**SUBJECT:** PDEV19-006 – A DEVELOPMENT PLAN TO CONSTRUCT AN INDUSTRIAL BUILDING AT THE SOUTHEAST CORNER OF BENSON AVE. AND HOLT BLVD.

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The “Standard Conditions of Approval” contained in Resolution No. 2017-027 apply. The applicant shall read and be thoroughly familiar with these conditions, including, but not limited to, the requirements below.

- Required lighting for walkways, driveways, doorways, parking lots, hallways and other areas used by the public shall be provided. Lights shall operate via photosensor. Photometrics shall be provided to the Police Department and include the types of fixtures proposed and demonstrate that such fixtures meet the vandal-resistant requirement. Planned landscaping shall not obstruct lighting.
- Rooftop addresses shall be installed on the buildings as stated in the Standard Conditions. The numbers shall be at a minimum 3 feet tall and 1 foot wide, in reflective white paint on a flat black background, and oriented with the bottom of the numbers towards the addressed street.
- The Applicant shall comply with construction site security requirements as stated in the Standard Conditions.

The Applicant is invited to contact Douglas Sorel at (909) 408-1873 with any questions or concerns regarding these conditions.



# AIRPORT LAND USE COMPATIBILITY PLANNING

## CONSISTENCY DETERMINATION REPORT



Project File No.: PDEV19-006  
 Address: 1533 W Holt Blvd  
 APN: 1011-111-10  
 Existing Land Use: Vacant  
 Proposed Land Use: Construct a 35,435 SF Industrial Building  
 Site Acreage: 1.51 acres Proposed Structure Height: 39 ft  
 ONT-IAC Project Review: n/a  
 Airport Influence Area: ONT

Reviewed By: Lorena Mejia  
 Contact Info: 909-395-2276  
 Project Planner: Luis Batres  
 Date: 3/4/19  
 CD No.: 2019-002  
 PALU No.: n/a

### The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input type="radio"/> High Terrain Zone	<input type="radio"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input checked="" type="checkbox"/> FAA Notification Surfaces	<input checked="" type="checkbox"/> Recorded Overflight Notification
<input type="radio"/> Zone 2	<input type="radio"/> 65 - 70 dB CNEL	<input checked="" type="checkbox"/> Airspace Obstruction Surfaces	<input type="radio"/> Real Estate Transaction Disclosure
<input type="radio"/> Zone 3	<input checked="" type="checkbox"/> 60 - 65 dB CNEL	<input type="radio"/> Airspace Avigation Easement Area	
<input type="radio"/> Zone 4		Allowable Height: 200 ft plus	
<input type="radio"/> Zone 5			

### The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1   
  Zone 2   
  Zone 3   
  Zone 4   
  Zone 5   
  Zone 6  
 Allowable Height: \_\_\_\_\_

### CONSISTENCY DETERMINATION

This proposed Project is:  Exempt from the ALUCP   
 Consistent   
 Consistent with Conditions   
 Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

Airport Planner Signature: 

# CITY OF ONTARIO MEMORANDUM

**TO:** PLANNING DEPARTMENT, Luis Batres  
**FROM:** BUILDING DEPARTMENT, Kevin Shear  
**DATE:** January 23, 2019  
**SUBJECT:** PDEV19-006

- 
- The plan **does** adequately address the departmental concerns at this time.  
 No comments  
 Report below.

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### Conditions of Approval

1. Standard Conditions of Approval apply.
2. The site address will be 1533 W Holt Blvd

KS:lm



# Development Advisory Board Decision

May 18, 2020

**DECISION NO.:** [insert #]

**FILE NO.:** PMTT19-011 (TT 20291)

**DESCRIPTION:** A Tentative Tract Map to subdivide 0.73-acre of land into a single lot for condominium purposes, located at 1005 and 1023 East Sixth Street, within the HDR-45 (High Density Residential - 25.1 to 45.0 DU/Acre) zoning district; (APNs: 1047-172-17 and 1047-172-22) **submitted by TAVK Holding LLC / T&S Allied Investment LLC. Planning Commission action is required.**

## ***Part I—BACKGROUND & ANALYSIS***

TAVK HOLDING LLC / T&S ALLIED INVESTMENT LLC, (herein after referred to as “Applicant”) has filed an application requesting Tentative Tract Map approval, File No. PMTT19-011 (TT 20291), as described in the subject of this Decision (herein after referred to as "Application" or "Project").

(1) **Project Setting:** The Project site is comprised of 0.73 acres of land located at 1005 and 1023 East Sixth Street and is depicted in Exhibit A—Project Location Map, attached. Existing land uses, General Plan and zoning designations, and specific plan land uses on and surrounding the Project site are as follows:

	<b><i>Existing Land Use</i></b>	<b><i>General Plan Designation</i></b>	<b><i>Zoning Designation</i></b>	<b><i>Specific Plan Land Use</i></b>
<i>Site:</i>	Single Family Residential	HDR (High Density Residential)	HDR-45 (High Density Residential - 25.1 to 45.0 DU/Acre)	N/A
<i>North:</i>	Multi-Family Residential	HDR (High Density Residential)	HDR-45 (High Density Residential - 25.1 to 45.0 DU/Acre)	N/A
<i>South:</i>	Single Family Residential	HDR (High Density Residential)	HDR-45 (High Density Residential - 25.1 to 45.0 DU/Acre)	N/A
<i>East:</i>	Single Family Residential	HDR (High Density Residential)	HDR-45 (High Density Residential - 25.1 to 45.0 DU/Acre)	N/A
<i>West:</i>	Bright Star Montessori Preschool	HDR (High Density Residential)	HDR-45 (High Density Residential - 25.1 to 45.0 DU/Acre)	N/A

(2) **Project Description:**

(a) **Background** — On July 19, 2019, TAVK Holding LLC / T&S Allied Investment LLC (“Applicant”), submitted a Tentative Tract Map application requesting to subdivide the Project site into a single lot for condominium purposes. A Development Plan application (File No. PDEV19-043) was submitted in conjunction with the Tentative Tract Map, requesting approval to construct 18 multiple-family dwellings on the Project site.

(b) Tentative Tract Map —The Tentative Tract Map will facilitate the construction of the above-mentioned Development Plan and the future sale of individual units within the Project. The single-lot condominium plan will be recorded with the Department of Real Estate and will delineate the airspace for each unit, parking, common areas and access. The Tentative Tract Map is 0.73-acre in size. The Development Code requires development projects within the HDR-45 zoning district to have a minimum lot size of 2.5-acres. The Development Code also states that if parcel is substandard and is a legally recognized parcel, the parcel is permitted to be developed provided that the minimum density requirements of the zoning district are met. The Project is providing 18 units and meets the minimum density requirement of the HDR-45 zoning district (25.1 dwelling units per acre). The proposed map will include Covenants, Conditions and Restrictions (CC&Rs) which will establish rules and regulations for the property owners' association. In addition, the CC&Rs will be recorded with the final map to ensure access and common maintenance of landscaped areas, common open space area, parking facilities, and utility and drainage easements.

### **Part II—RECITALS**

WHEREAS, the Application is a project pursuant to the California Environmental Quality Act, commencing with Public Resources Code Section 21000 (hereinafter referred to as "CEQA"); and

WHEREAS, the Project is exempt from CEQA pursuant to a categorical exemption (listed in CEQA Guidelines Article 19, commencing with Section 15300) and the application of that categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board ("DAB") the responsibility and authority to review and make recommendation to the Planning Commission on the subject Application; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan (hereinafter referred to as "ALUCP"), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, on May 18, 2020, the DAB of the City of Ontario conducted a hearing on the Application and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.



### **Part III—THE DECISION**

NOW, THEREFORE, IT IS HEREBY FOUND AND DETERMINED by the Development Advisory Board of the City of Ontario, as follows:

**SECTION 1: *Environmental Determination and Findings.*** As the recommending body for the Project, the DAB has reviewed and considered the information contained in the administrative record for the Project. Based upon the facts and information contained in the administrative record, including all written and oral evidence presented to the DAB, the DAB finds as follows:

(1) The Project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, In-Fill Development Projects) of the CEQA Guidelines, which consists of: [1] the Project is consistent with the applicable general plan designation and all applicable general plan policies, as well as the applicable zoning designation and regulations; [2] the proposed development occurs within city limits, on a project site of no more than five acres, and is substantially surrounded by urban uses; [3] the Project site has no value as habitat for endangered, rare, or threatened species; [4] approval of the Project will not result in any significant effects relating to traffic, noise, air quality, or water quality; and [5] the Project site can be adequately served by all required utilities and public services.

(2) The application of the categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

(3) The determination of CEQA exemption reflects the independent judgment of the DAB.

**SECTION 2: *Housing Element Compliance.*** Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the recommending body for the Project, the DAB finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the Project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan, as the Project site is not one of the properties in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix.

**SECTION 3: *ALUCP Compliance.*** The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land use Compatibility Plan, establishing the Airport Influence Area for Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the recommending body for the Project, the DAB has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the DAB, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

**SECTION 4: *Concluding Facts and Reasons.*** Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the facts and information set forth in Parts I

(Background and Analysis) and II (Recitals), above, and the specific findings set forth in Sections 1 through 3, above, the DAB hereby concludes as follows:

(1) **The proposed Tentative Tract Map is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan, and applicable area and specific plans, and planned unit developments.** The proposed Tentative Tract Map is located within the High Density Residential land use district of the Policy Plan Land Use Map, and the HDR-45 (High Density Residential - 25.1 to 45.0 DU/Acre) zoning district. The proposed subdivision is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan, as the Project will contribute to providing “a spectrum of housing types and price ranges that match the jobs in the City, and that make it possible for people to live and work in Ontario and maintain a quality of life” (Goal LU1). Furthermore, the Project will promote the City’s policy to “incorporate a variety of land uses and building types that contribute to a complete community where residents at all stages of life, employers, workers, and visitors, have a wide spectrum of choices of where they can live, work, shop, and recreate within Ontario” (Policy LU1-6 Complete Community); and

(2) **The design or improvement of the proposed Tentative Tract Map is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan, and applicable specific plans and planned unit developments.** The proposed Tentative Tract Map is located within the High Density Residential land use district of the Policy Plan Land Use Map, and the HDR-45 (High Density Residential - 25.1 to 45.0 DU/Acre) zoning district. The proposed design or improvement of the subdivision is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan, as the Project will contribute to providing “[a] high level of design quality resulting in public spaces, streetscapes, and developments that are attractive, safe, functional and distinct” (Goal CD2). Furthermore, the Project will promote the City’s policy to “create distinct residential neighborhoods that are functional, have a sense of community, emphasize livability and social interaction, and are uniquely identifiable places through such elements as:

- A pattern of smaller, walkable blocks that promote access, activity and safety
- Variable setbacks and parcel sizes to accommodate a diversity of housing types
- Traffic calming measures to slow traffic and promote walkability while maintaining acceptable fire protection and traffic flows
- Floor plans that encourage views onto the street and de-emphasize the visual and physical dominance of garages (introducing the front porch as the “outdoor living room”), as appropriate
- Landscaped parkways, with sidewalks separated from the curb (Policy CD2-2 Neighborhood Design)

(3) **The site is physically suitable for the type of development proposed.** The Project site is located within the HDR-45 (High Density Residential - 25.1 to 45.0 DU/Acre) zoning district, and is physically suitable for the type of residential development proposed in terms of zoning, land use and development activity proposed, and existing and proposed site conditions.

(4) **The site is physically suitable for the density/intensity of development proposed.** The Project site is proposed for residential development at a density of 25.1 DUs/acre. The Project site is located within the HDR-45 (High Density Residential - 25.1 to 45.0 DU/Acre) zoning district and is physically suitable for this proposed density/intensity of development.

(5) **The design of the subdivision or the proposed improvements thereon, are not likely to cause substantial environmental damage, or substantially and avoidably injure fish or wildlife, or their habitat.** The Project site is not located in an area that has been identified as containing species identified as a candidate, sensitive, or special status species in local or regional plans, policies or regulations or by the California Department of Fish and Wildlife or the U.S. Fish and Wildlife Service, nor

does the site contain any riparian habitat or other sensitive natural community, and no wetland habitat is present on site; therefore, the design of the subdivision, or improvements proposed thereon, are not likely to cause substantial environmental damage, or substantially and avoidably injure fish or wildlife, or their habitat.

(6) ***The design of the subdivision, or the type of improvements thereon, are not likely to cause serious public health problems.*** The design of the proposed subdivision, and the improvements existing or proposed on the Project site, are not likely to cause serious public health problems, as the Project is not anticipated to involve the transport, use, or disposal of hazardous materials during either construction or Project implementation, include the use of hazardous materials or volatile fuels, nor are there any known stationary commercial or industrial land uses within close proximity to the subject site that use/store hazardous materials to the extent that they would pose a significant hazard to visitors or occupants to the Project site.

(7) ***The design of the subdivision, or the type of improvements thereon, will not conflict with easements acquired by the public at large for access through, or use of property within, the proposed subdivision.*** The proposed subdivision has provided for all necessary public easements and dedications for access through, or use of property within, the proposed subdivision. Furthermore, all such public easements and dedications have been designed pursuant to: (a) the requirements of the Policy Plan component of The Ontario Plan and applicable area plans; (b) applicable specific plans or planned unit developments; (c) applicable provisions of the City of Ontario Development Code; (d) applicable master plans and design guidelines of the City; and (e) applicable Standard Drawings of the City.

**SECTION 5: Development Advisory Board Action.** Based on the findings and conclusions set forth in Sections 1 through 4, above, the DAB hereby recommends the Planning Commission APPROVES the Application subject to each and every condition set forth in the Department reports included as Attachment A of this Decision, and incorporated herein by this reference.

**SECTION 6: Indemnification.** The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**SECTION 7: Custodian of Records.** The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

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APPROVED AND ADOPTED this 18th day of May 2020.

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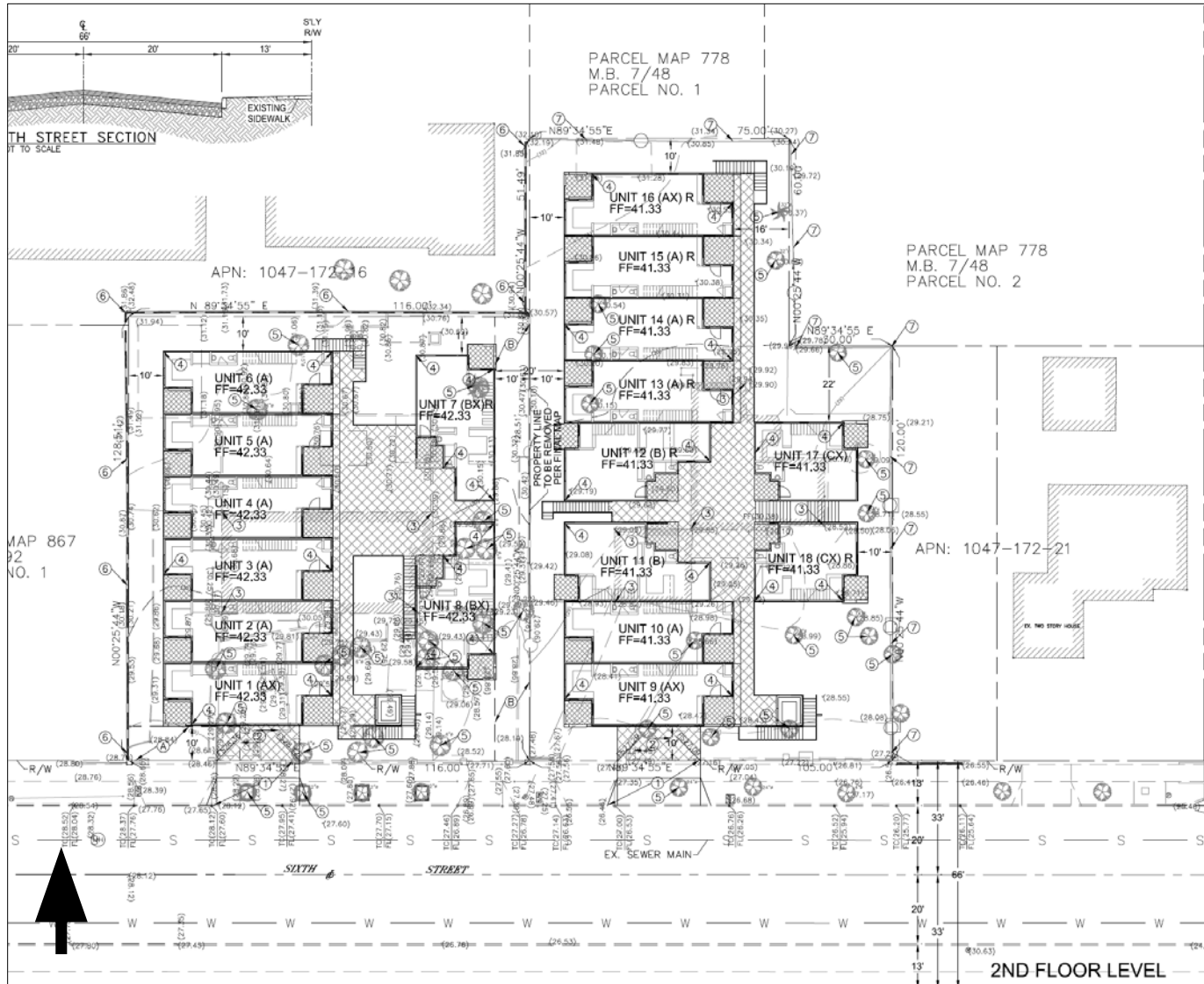
Development Advisory Board Chairman

Exhibit A—PROJECT LOCATION MAP





Exhibit B—Tentative Tract Map No. 20291



## Attachment A—Departmental Conditions of Approval

*(Departmental conditions of approval follow this page)*



City of Ontario  
Planning Department  
303 East B Street  
Ontario, California 91764  
Phone: 909.395.2036  
Fax: 909.395.2420

*Planning Department  
Land Development Division  
Conditions of Approval*

**Meeting Date:** May 18, 2020

**File No:** PMTT19-011 / TT 20291

**Related Files:** PDEV19-043

**Project Description:** A Tentative Tract Map (File No. PMTT19-011 / TT 20291) to subdivide 0.73-acre of land into a single lot for condominium purposes, located at 1005 and 1023 East Sixth Street, within the HDR-45 (High Density Residential - 25.1 to 45.0 DU/Acre) zoning district. (APNs: 1047-172-17 and 1047-172-22); **submitted by TAVK Holding LLC / T&S Allied Investment LLC.**

**Prepared By:** Jeanie Irene Aguilo, Associat  
Phone: 909.395.2418 (direct)  
Email: jaguilo@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

**1.0 Standard Conditions of Approval.** The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

**2.0 Special Conditions of Approval.** In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

**2.1** Time Limits.

**(a)** Tentative Parcel/Tract Map approval shall become null and void 2 years following the effective date of application approval, unless the final parcel/tract map has been recorded, or a time extension has been approved by the Planning Commission pursuant to Development Code Section 2.02.025 (Time Limits and Extensions). This Permit does not supersede any individual time limits specified herein for performance of specific conditions or improvements.

**(b)** Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

**2.2** Subdivision Map.

**(a)** The Final Tract/Parcel Map shall be in conformance with the approved Tentative Tract/Parcel Map on file with the City. Variations from the approved Tentative Tract/Parcel Map may be reviewed and approved by the Planning Department. A substantial variation from the approved Tentative

Tract/Parcel Map may require review and approval by the Planning Commission, as determined by the Planning Director.

**(b)** Tentative Tract/Parcel Map approval shall be subject to all conditions, requirements and recommendations from all other departments/agencies provided on the attached reports/memorandums.

**(c)** The subject Tentative Tract/Parcel Map for condominium purposes shall require the recordation of a condominium plan concurrent with the recordation of the Final Tract/Parcel Map and CC&Rs.

**(d)** Pursuant to California Government Section 66474.9, the subdivider agrees that it will defend, indemnify, and hold harmless the City of Ontario or its agents, officers and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer of this subdivision, which action is brought within the time period provided for in Government Code Section 66499.37. The City of Ontario shall promptly notify the subdivider of any such claim, action or proceeding and the City of Ontario shall cooperate fully in the defense.

**2.3** General Requirements. The Project shall comply with the following general requirements:

**(a)** All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

**(b)** The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

**(c)** The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

**2.4** Covenants, Conditions and Restrictions (CC&Rs)/Mutual Access and Maintenance Agreements.

**(a)** CC&Rs shall be prepared for the Project and shall be recorded prior to the issuance of a building permit.

**(b)** The CC&Rs shall be in a form and contain provisions satisfactory to the City. The articles of incorporation for the property owners association and the CC&Rs shall be reviewed and approved by the City.

**(c)** CC&Rs shall ensure reciprocal parking and access between parcels.

**(d)** CC&Rs shall ensure reciprocal parking and access between parcels, and common maintenance of:

**(i)** Landscaping and irrigation systems within common areas

**(ii)** Landscaping and irrigation systems within parkways adjacent to the project site, including that portion of any public highway right-of-way between the property line or right-of-way boundary line and the curb line and also the area enclosed within the curb lines of a median divider (Ontario Municipal Code Section 7-3.03), pursuant to Ontario Municipal Code Section 5-22-02

**(iii)** Shared parking facilities and access drives



(iv) Utility and drainage easements

(e) CC&Rs shall include authorization for the City's local law enforcement officers to enforce City and State traffic and penal codes within the project area.

(f) The CC&Rs shall grant the City of Ontario the right of enforcement of the CC&R provisions.

(g) A specific methodology/procedure shall be established within the CC&Rs for enforcement of its provisions by the City of Ontario, if adequate maintenance of the development does not occur, such as, but not limited to, provisions that would grant the City the right of access to correct maintenance issues and assess the property owners association for all costs incurred.

## 2.5 Disclosure Statements.

(a) A copy of the Public Report from the Department of Real Estate, prepared for the subdivision pursuant to Business and Professions Code Section 11000 et seq., shall be provided to each prospective buyer of the residential units and shall include a statement to the effect that:

(i) This tract is subject to noise from the Ontario International Airport and may be more severely impacted in the future.

## 2.6 Environmental Review.

(a) The proposed project is categorically exempt from the requirements of the California Environmental Quality Act of 1970 (CEQA), as amended, and the Guidelines promulgated thereunder, pursuant to **Section 15332 (Class 32, In-Fill Development Projects)** of the CEQA Guidelines, meeting the following conditions:

(i) The Project is consistent with the applicable general plan designation and all applicable general plan policies, as well as the applicable zoning designation and regulations;

(ii) The proposed development occurs within city limits, on a project site of no more than five acres, and is substantially surrounded by urban uses;

(iii) The project site has no value as habitat for endangered, rare, or threatened species;

(iv) Approval of the Project will not result in any significant effects relating to traffic, noise, air quality, or water quality; and

(v) The Project site can be adequately served by all required utilities and public services.

(b) If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

(c) If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

2.7 Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of

Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**2.8**     Additional Fees.

**(a)**     Within 5 days following final application approval, the Notice of Determination (NOD) filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act (CEQA). Failure to provide said fee within the time specified may result in a 180-day extension to the statute of limitations for the filing of a CEQA lawsuit.

**(b)**     After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.



## ENGINEERING DEPARTMENT CONDITIONS OF APPROVAL

(Engineering Services Division [Land Development Section and Environmental Section], Traffic & Transportation Division, Ontario Municipal Utilities Company and Information Technology & Management Services Department Conditions incorporated)

<input checked="" type="checkbox"/> <b>DEVELOPMENT PLAN</b> <input type="checkbox"/> OTHER	<input type="checkbox"/> PARCEL MAP <input checked="" type="checkbox"/> <b>TRACT MAP</b> <input type="checkbox"/> FOR CONDOMINIUM PURPOSES
<b>PROJECT FILE NO. <u>TM-20291</u></b>  <b>RELATED FILE NO(S). <u>PMTT19-011 &amp; PDEV19-043</u></b>	
<input checked="" type="checkbox"/> <b>ORIGINAL</b> <input type="checkbox"/> REVISED: <u>  </u> / <u>  </u> / <u>  </u>	

**CITY PROJECT ENGINEER & PHONE NO:** Antonio Alejos *X.A.* (909) 395-2384

**CITY PROJECT PLANNER & PHONE NO:** Jeanie Aguilo (909) 395-2418

**DAB MEETING DATE:** May 18<sup>th</sup>, 2020

**PROJECT NAME / DESCRIPTION:** TM-20291, a Tentative Tract Map to subdivide 0.76 acres of land into one common lot for condominium purposes.

**LOCATION:** 1005 & 1023 East Sixth Street

**APPLICANT:** Tzyh Der Sun

**REVIEWED BY:**

Bryan Lirley, P.E.  
 Principal Engineer

4/22/20  
 Date

**APPROVED BY:**

Raymond Lee, P.E.  
 Assistant City Engineer

5/1/20  
 Date



**THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE GENERAL STANDARD CONDITIONS OF APPROVAL ADOPTED BY THE CITY COUNCIL (RESOLUTION NO. 2017-027) AND THE PROJECT SPECIFIC CONDITIONS OF APPROVAL SPECIFIED IN HEREIN. ONLY APPLICABLE CONDITIONS OF APPROVAL ARE CHECKED. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL APPLICABLE CONDITIONS OF APPROVAL PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, ISSUANCE OF PERMITS AND/OR OCCUPANCY CLEARANCE, AS SPECIFIED IN THIS REPORT.**

**1. PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, APPLICANT SHALL: Check When Complete**

- 1.01 Dedicate to the City of Ontario, the right-of-way, described below:   
 \_\_\_\_\_ feet on \_\_\_\_\_  
 Property line corner 'cut-back' required at the intersection of \_\_\_\_\_  
 and \_\_\_\_\_.
- 1.02 Dedicate to the City of Ontario, the following easement(s): \_\_\_\_\_   
 \_\_\_\_\_
- 1.03 Restrict vehicular access to the site as follows: \_\_\_\_\_
- 1.04 Vacate the following street(s) and/or easement(s): \_\_\_\_\_
- 1.05 Submit a copy of a recorded private reciprocal use agreement or easement. The agreement or easement shall ensure, at a minimum, common ingress and egress and joint maintenance of all common access areas and drive aisles.
- 1.06 **Provide (original document) Covenants, Conditions and Restrictions (CC&Rs) as applicable to the project and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&Rs shall provide for, but not be limited to, common ingress and egress, joint maintenance responsibility for all common access improvements, common facilities, parking areas, utilities, landscaping improvements and drive approaches, in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project. The CC&Rs shall also address the maintenance and repair responsibility for public improvements/utilities (sewer, water, storm drain, recycled water, etc.) located within open space/easements. In the event of any maintenance or repair of these facilities, the City shall only restore disturbed areas to current City Standards.**
- 1.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at [http://geotracker.waterboards.ca.gov/profile\\_report?global\\_id=T10000004658](http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658).
- 1.08 File an application for Reapportionment of Assessment, together with payment of a reapportionment processing fee, for each existing assessment district listed below. Contact the Management Services Department at (909) 395-2124 regarding this requirement.   
 (1) \_\_\_\_\_  
 (2) \_\_\_\_\_
- 1.09 **Prepare a fully executed Subdivision Agreement (on City approved format and forms) with accompanying security as required, or complete all public improvements.**





- 1.10 Provide a monument bond (i.e. cash deposit) in an amount calculated by the City's approved cost estimate spreadsheet (available for download on the City's website: [www.ontarioca.gov](http://www.ontarioca.gov)) or as specified in writing by the applicant's Registered Engineer or Licensed Land Surveyor of Record and approved by the City Engineer, whichever is greater.
- 1.11 Provide a preliminary title report current to within 30 days.
- 1.12 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of three (3) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Management Services at (909) 395-2353 to initiate the CFD application process.
- 1.13 New Model Colony (NMC) Developments: 
  - 1) Provide evidence of final cancellation of Williamson Act contracts associated with this tract, prior to approval of any final subdivision map. Cancellation of contracts shall have been approved by the City Council.
  - 2) Provide evidence of sufficient storm water capacity availability equivalents (Certificate of Storm Water Treatment Equivalents).
  - 3) Provide evidence of sufficient water availability equivalents (Certificate of Net MDD Availability).
- 1.14 Other conditions: \_\_\_\_\_

**2. PRIOR TO ISSUANCE OF ANY PERMITS, APPLICANT SHALL:**

**A. GENERAL  
 ( Permits includes Grading, Building, Demolition and Encroachment )**

- 2.01 Record Tract Map No. 20291 pursuant to the Subdivision Map Act and in accordance with the City of Ontario Municipal Code.
- 2.02 Submit a duplicate photo mylar of the recorded map to the City Engineer's office.
- 2.03 Note that the subject parcel is a recognized parcel in the City of Ontario per \_\_\_\_\_
- 2.04 Note that the subject parcel is an 'unrecognized' parcel in the City of Ontario and shall require a Certificate of Compliance to be processed unless a deed is provided confirming the existence of the parcel prior to the date of \_\_\_\_\_
- 2.05 Apply for a:  Certificate of Compliance with a Record of Survey;  Lot Line Adjustment 
  - Make a Dedication of Easement.
- 2.06 Provide (original document) Covenants, Conditions and Restrictions (CC&R's), as applicable to the project, and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&R's shall provide for, but not be limited to, common ingress and egress, joint maintenance of all common access improvements, common facilities, parking areas, utilities and drive approaches in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project.



2.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at [http://geotracker.waterboards.ca.gov/profile\\_report?global\\_id=T10000004658](http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658).

2.08 **Submit a soils/geology report.**

2.09 Other Agency Permit/Approval: Submit a copy of the approved permit and/or other form of approval of the project from the following agency or agencies:

- State of California Department of Transportation (Caltrans)
- San Bernardino County Road Department (SBCRD)
- San Bernardino County Flood Control District (SBCFCD)
- Federal Emergency Management Agency (FEMA)
- Cucamonga Valley Water District (CVWD) for sewer/water service
- United States Army Corps of Engineers (USACE)
- California Department of Fish & Game
- Inland Empire Utilities Agency (IEUA)
- Other: \_\_\_\_\_

2.10 Dedicate to the City of Ontario the right-of-way described below:   
 \_\_\_\_\_ feet on \_\_\_\_\_  
 Property line corner 'cut-back' required at the intersection of \_\_\_\_\_  
 and \_\_\_\_\_.

2.11 Dedicate to the City of Ontario the following easement(s): \_\_\_\_\_   
 \_\_\_\_\_

2.12 New Model Colony (NMC) Developments:

- 1) Submit a copy of the permit from the San Bernardino County Health Department to the Engineering Department and the Ontario Municipal Utilities Company (OMUC) for the destruction/abandonment of the on-site water well. The well shall be destroyed/abandoned in accordance with the San Bernardino County Health Department guidelines.
- 2) Make a formal request to the City of Ontario Engineering Department for the proposed temporary use of an existing agricultural water well for purposes other than agriculture, such as grading, dust control, etc. Upon approval, the Applicant shall enter into an agreement with the City of Ontario and pay any applicable fees as set forth by said agreement.
- 3) Design proposed retaining walls to retain up to a maximum of three (3) feet of earth. In no case shall a wall exceed an overall height of nine (9) feet (i.e. maximum 6-foot high wall on top of a maximum 3-foot high retaining wall).

2.13 **Submit a security deposit to the Engineering Department to guarantee construction of the public improvements required herein valued at 100% of the approved construction cost estimate. Security deposit shall be in accordance with the City of Ontario Municipal Code. Security deposit will be eligible for release, in accordance with City procedure, upon completion and acceptance of said public improvements.**



- 2.14 The applicant/developer shall submit all necessary survey documents prepared by a Licensed Surveyor registered in the State of California detailing all existing survey monuments in and around the project site. These documents are to be reviewed and approved by the City Survey Office.
- 2.15 Pay all Development Impact Fees (DIF) to the Building Department. Final fee shall be determined based on the approved site plan.
- 2.16 Other conditions: \_\_\_\_\_





**B. PUBLIC IMPROVEMENTS**  
 (See attached Exhibit 'A' for plan check submittal requirements.)

- 2.17 Design and construct full public improvements in accordance with the City of Ontario Municipal Code, current City standards and specifications, master plans and the adopted specific plan for the area, if any. These public improvements shall include, but not be limited to, the following (checked boxes):

Improvement	Sixth St	Street 2	Street 3	Street 4
<b>Curb and Gutter</b> (see Sec. 2.F)	<input checked="" type="checkbox"/> <b>Remove and replace</b> <input type="checkbox"/> Replace damaged	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged
<b>AC Pavement</b> (see Sec. 2.18)	<input checked="" type="checkbox"/> <b>Replacement</b> <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions
<b>PCC Pavement</b> (Truck Route Only)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
<b>Drive Approach</b> (see Sec. 2.F)	<input checked="" type="checkbox"/> <b>New</b> <input checked="" type="checkbox"/> <b>In-fill existing driveway approach no longer to be used</b>	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
<b>Sidewalk</b> (see Sec. 2.F)	<input checked="" type="checkbox"/> <b>Replace damaged</b>	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
<b>ADA Access Ramp</b>	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
<b>Parkway</b> (see Sec. 2.F)	<input checked="" type="checkbox"/> <b>Trees</b> <input checked="" type="checkbox"/> <b>Landscaping (w/irrigation)</b>	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)
<b>Raised Landscaped Median</b>	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
<b>Fire Hydrant</b> (see Sec. 2.D)	<input checked="" type="checkbox"/> <b>New / Upgrade</b> <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation





<b>Sewer</b> (see Sec. 2.C)	<input checked="" type="checkbox"/> <b>New lateral w/ clean-outs &amp; monitoring man-hole</b>	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
<b>Water</b> (see Sec. 2.D)	<input checked="" type="checkbox"/> <b>New service for domestic use only w/ meter &amp; backflow device</b> <input checked="" type="checkbox"/> <b>New service for irrigation use only w/ meter &amp; backflow device</b> <input checked="" type="checkbox"/> <b>New service for fire use only w/ DCDA</b>	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Recycled Water (see Sec. 2.E)	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Traffic Signal System (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Traffic Signing and Striping (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
<b>Street Light</b> (see Sec. 2.F)	<input checked="" type="checkbox"/> <b>New</b>	<input type="checkbox"/> New / Upgrade	<input type="checkbox"/> New / Upgrade	<input type="checkbox"/> New / Upgrade
Bus Stop Pad or Turn-out (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Storm Drain (see Sec. 2G)	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
<b>Fiber Optics</b> (see Sec. 2K)	<input checked="" type="checkbox"/> <b>Conduit / Appurtenances</b>	<input type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances
Overhead Utilities	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate
<b>Removal of Improvements</b> (see Sec. 2.F)	<input checked="" type="checkbox"/> <b>Abandon existing utilities no longer to be used</b> <input checked="" type="checkbox"/> <b>Remove all hardscape within parkway landscape areas</b>	_____	_____	_____



Other Improvements				
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**Specific notes for improvements listed in item no. 2.17, above:**

1. If there is a utility conflict during the construction of the proposed improvements that requires the relocation of existing utility devices, utility lines/poles, etc. Ultimate location of these utilities shall be in accordance with City Standard Drawing Numbers 1216 and 1217.
2. Existing improvements no longer to be used shall be abandoned or removed per the latest City Design Guidelines/Standard Drawings. All services/laterals shall be abandoned at the point of connection with the main.
3. The applicant/developer shall submit delta revisions to approved Potable Water, Recycled Water, and Sewer Improvement plans which reflect the installation of the proposed service laterals, and/or abandonment of unused existing service laterals. Delta revisions shall be submitted to the City for review and approval.

- 2.18 Construct a 2" asphalt concrete (AC) grind and overlay on the following street(s): 
  1. Sixth Street - Minimum limits of construction shall be along the entire property frontage, from street centerline to curb/gutter.
- 2.19 Reconstruction of the full pavement structural section, per City of Ontario Standard Drawing number 1011, may be required based on the existing pavement condition and final street design. Minimum limits of reconstruction shall be along property frontage, from street centerline to curb/gutter.
- 2.20 Make arrangements with the Cucamonga Valley Water District (CVWD) to provide  water service  sewer service to the site. This property is within the area served by the CVWD and Applicant shall provide documentation to the City verifying that all required CVWD fees have been paid.
- 2.21 Overhead utilities shall be under-grounded, in accordance with Title 7 of the City's Municipal Code (Ordinance No. 2804 and 2892). Developer may pay in-lieu fee, approximately \_\_\_\_\_, for undergrounding of utilities in accordance with Section 7-7.303.e of the City's Municipal Code.
- 2.22 Other conditions: \_\_\_\_\_

**C. SEWER**

- 2.23 An 8-inch sewer main is available for connection by this project in Sixth Street. (Ref: Sewer plan bar code: S12580)
- 2.24 Design and construct a sewer main extension. A sewer main is not available for direct connection. The closest main is approximately \_\_\_\_\_ feet away.
- 2.25 Submit documentation that shows expected peak loading values for modeling the impact of the subject project to the existing sewer system. The project site is within a deficient public sewer system area. Applicant shall be responsible for all costs associated with the preparation of the model. Based on the results of the analysis, Applicant may be required to mitigate the project impact to the deficient public sewer system, including, but not limited to, upgrading of existing sewer main(s), construction of new sewer main(s) or diversion of sewer discharge to another sewer.
- 2.26 Other conditions: 
  1. The applicant/developer shall install two (2) sewer laterals to the existing 8-inch sewer main in Sixth Street and equip each lateral with a monitoring manhole and clean-outs behind the property line per the latest City Design Guidelines/Standard Drawings.

**D. WATER**

- 2.27 An 8-inch water main is available for connection by this project in Sixth Street. (Ref: Water Drawing Number: Unknown)
- 2.28 Design and construct a water main extension. A water main is not available for direct connection. The closest main is approximately \_\_\_\_\_ feet away.





- 2.29 Other conditions:**
1. The applicant/developer shall install at minimum one (1) fire hydrant along Sixth Street property frontage per City Standard Drawing Number 4101.
  2. The applicant/developer shall install two (2) domestic water services to the existing 8-inch domestic water main in Sixth Street and equip a backflow device to the service behind the property line per the latest City Design Guidelines/Standard Drawings.
  3. The applicant/developer shall install at minimum one (1) separate water service (for irrigation purposes only) to the existing 8-inch domestic water main in Sixth Street and equip a backflow device to the service behind the property line per the latest City Design Guidelines/Standard Drawings.
  4. The applicant/developer shall install at minimum one (1) fire service to the existing 8-inch domestic water main in Sixth Street and equip the service with a DCDA behind the property line per the latest City Design Guidelines/Standard Drawings.

**E. RECYCLED WATER**

- 2.30 A recycled water main is not available for connection by this project. (Ref: Recycled Water Drawing Number: None)**
- 2.31 Design and construct an on-site recycled water system for this project. A recycled water main does exist in the vicinity of this project.
- 2.32 Design and construct an on-site recycled water ready system for this project. A recycled water main does not currently exist in the vicinity of this project, but is planned for the near future. If Applicant would like to connect to this recycled water main when it becomes available, the cost for the connection shall be borne solely by the Applicant.
- 2.33 Submit two (2) hard copies and one (1) electronic copy, in PDF format, of the Engineering Report (ER), for the use of recycled water, to the OMUC for review and subsequent submittal to the California Department of Public Health (CDPH) for final approval.
- Note: The OMUC and the CDPH review and approval process will be approximately three (3) months. Contact the Ontario Municipal Utilities Company at (909) 395-2647 regarding this requirement.
- 2.34 Other conditions: \_\_\_\_\_

**F. TRAFFIC / TRANSPORTATION**

- 2.35 Submit a focused traffic impact study, prepared and signed by a Traffic/Civil Engineer registered in the State of California. The study shall address, but not be limited to, the following issues as required by the City Engineer:
1. On-site and off-site circulation
  2. Traffic level of service (LOS) at 'build-out' and future years
  3. Impact at specific intersections as selected by the City Engineer
- 2.36 New traffic signal installations shall be added to Southern California Edison (SCE) customer account number # 2-20-044-3877.
- 2.37 Other conditions:**
1. The applicant/developer shall replace the existing type 'A' curb along the entire property frontage with new curb and gutter per City Standard Drawing Number 1201.
  2. The applicant/developer shall construct all new driveway approaches per City Standard Drawing Number 1203.
  3. The applicant/developer shall in-fill the existing driveway approach no longer to be used with full height curb/gutter, parkway landscaping and sidewalk per the latest City Design Guidelines/Standard Drawings.
  4. The applicant/developer shall replace any sidewalk panels currently damaged or damaged during construction per City Standard Drawing Number 1209.





5. The applicant/developer shall install parkway trees/landscaping along Sixth Street property frontage per the Landscape Planning Division Requirements.
6. All landscaping, block walls and other obstructions in the parkway shall be compatible with the stopping sight distance requirements per City Standard Drawing Number 1309.
7. The applicant/developer shall be responsible to design and construct in-fill public street lights along Sixth Street property frontage. Street lighting shall be LED-type and in accordance with City's Traffic and Transportation Design Guidelines.
8. The applicant/developer shall remove all hardscape (concrete, rocks, etc.) from the within the parkway landscape area along the entire property frontage per Landscape Planning Division Requirements.

**G. DRAINAGE / HYDROLOGY**

- 2.38 A storm drain main is not available to accept flows from this project. (Ref: Storm Drain Drawing Number: None)
- 2.39 Submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California. The study shall be prepared in accordance with the San Bernardino County Hydrology Manual and City of Ontario standards and guidelines. Additional drainage facilities, including, but not limited to, improvements beyond the project frontage, may be required to be designed and constructed, by Applicant, as a result of the findings of this study.
- 2.40 An adequate drainage facility to accept additional runoff from the site does not currently exist downstream of the project. Design and construct a storm water detention facility on the project site. 100-year post-development peak flow shall be attenuated such that it does not exceed 80% of pre-development peak flows, in accordance with the approved hydrology study and improvement plans.
- 2.41 Submit a copy of a recorded private drainage easement or drainage acceptance agreement to the Engineering Department for the acceptance of any increase to volume and/or concentration of historical drainage flows onto adjacent property, prior to approval of the grading plan for the project.
- 2.42 Comply with the City of Ontario Flood Damage Prevention Ordinance (Ordinance No. 2409). The project site or a portion of the project site is within the Special Flood Hazard Area (SFHA) as indicated on the Flood Insurance Rate Map (FIRM) and is subject to flooding during a 100 year frequency storm. The site plan shall be subject to the provisions of the National Flood Insurance Program.
- 2.43 Other conditions: \_\_\_\_\_

**H. STORM WATER QUALITY / NATIONAL POLLUTANT DISCHARGE AND ELIMINATION SYSTEM (NPDES)**

- 2.44 401 Water Quality Certification/404 Permit – Submit a copy of any applicable 401 Certification or 404 Permit for the subject project to the City project engineer. Development that will affect any body of surface water (i.e. lake, creek, open drainage channel, etc.) may require a 401 Water Quality Certification from the California Regional Water Quality Control Board, Santa Ana Region (RWQCB) and a 404 Permit from the United States Army Corps of Engineers (USACE). The groups of water bodies classified in these requirements are perennial (flow year round) and ephemeral (flow during rain conditions, only) and include, but are not limited to, direct connections into San Bernardino County Flood Control District (SBCFCD) channels.  
 If a 401 Certification and/or a 404 Permit are not required, a letter confirming this from Applicant's engineer shall be submitted.  
 Contact information: USACE (Los Angeles District) (213) 452-3414; RWQCB (951) 782-4130.
- 2.45 **Submit a Water Quality Management Plan (WQMP). This plan shall be approved by the Engineering Department prior to approval of any grading plan. The WQMP shall be submitted, utilizing the current San Bernardino County Stormwater Program template, available at: <http://www.sbcounty.gov/dpw/land/npdes.asp>.**
- 2.46 Design and construct a Connector Pipe Trash Screen or equivalent Trash Treatment Control Device, per catch basin located within or accepting flows tributary of a Priority Land Use (PLU) area that meets the Full Capture System definition and specifications, and is on the Certified List of the State Water Resources Control Board. The device shall be adequately sized per catch basin and include a deflector





screen with vector control access for abatement application, vertical support bars, and removable component to facilitate maintenance and cleaning.

2.47 Other conditions: \_\_\_\_\_

**J. SPECIAL DISTRICTS**

2.48 File an application, together with an initial payment deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community facilities District Act of 1982. The application and fee shall be submitted a minimum four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact the Management Services Department at (909) 395-2353 to initiate the CFD application process.

2.49 Other conditions: \_\_\_\_\_

**K. FIBER OPTIC**

2.50 Design and construct fiber optic system to provide access to the City's conduit and fiber optic system per the City's Fiber Optic Master Plan. Building entrance conduits shall start from the closest OntarioNet hand-hole constructed along the project frontage in the ROW and shall terminate in the main telecommunications room for each building. Generally located along Sixth Street property frontage, see Fiber Optic Exhibit herein for reference.

2.51 Refer to the City's Fiber Optic Master Plan for design and layout guidelines. Contact the Information Technology Department at (909) 395-2000, regarding this requirement.

**L. Solid Waste**

2.52 Onsite solid waste shall be designed in accordance with the City's Solid Waste Manual location at:

<http://www.ontarioca.gov/municipal-utilities-company/solid-waste>

2.53 Other conditions:

1. The applicant/developer shall submit a Solid Waste Handling Plan (SWHP) and incorporate the following requirements:
  - a. For designated storage and collection areas not accessible by the standard overhead loading solid waste vehicles (such as areas within parking structures), scouting services utilizing scouting vehicles may be utilized. To utilize scouting services, the following items must be addressed:
    - i. Show scouting vehicle path of travel to assure path of scouting vehicle travel meets minimum access requirement.
    - ii. Show turning radius. inside: # feet. outside: # feet and vertical clearance (floor to overhead obstructions): # feet (including through surface grade breaks).
    - iii. Show typical scaled cross sections of the vertical path of travel through entrances, surface grade breaks, and anywhere the total vertical clearance may change.
  - b. Each staging area must be accessible to the overhead loading solid waste vehicles meeting those vehicle access standards.
  - c. The total of all the staging areas must be sufficiently sized to temporarily locate all the bins on-site for collections and cannot compete/conflict with parking or traffic.

For questions on the SWHP submittal requirements, please contact:

Peter Tran, Associate Engineer  
[ptran@ontarioca.gov](mailto:ptran@ontarioca.gov)  
 Phone: (909) 395-2677



**3. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, APPLICANT SHALL:**

- 3.01 **Set new monuments in place of any monuments that have been damaged or destroyed as a result of construction of the subject project. Monuments shall be set in accordance with City of Ontario standards and to the satisfaction of the City Engineer.**
- 3.02 Complete all requirements for recycled water usage. 
  - 1) Procure from the OMUC a copy of the letter of confirmation from the California Department of Public Health (CDPH) that the Engineering Report (ER) has been reviewed and the subject site is approved for the use of recycled water.
  - 2) Obtain clearance from the OMUC confirming completion of recycled water improvements and passing of shutdown tests and cross connection inspection, upon availability/usage of recycled water.
  - 3) Complete education training of on-site personnel in the use of recycled water, in accordance with the ER, upon availability/usage of recycled water.
- 3.03 **The applicant/developer shall submit all final survey documents prepared by a Licensed Surveyor registered in the State of California detailing all survey monuments that have been preserved, revised, adjusted or set along with any maps, corner records or Records of Survey needed to comply with these Conditions of Approvals and the latest edition of the California Professional Land Survey Act. These documents are to be reviewed and approved by the City Survey Office.**
- 3.04 NMC Projects: For developments located at an intersection of any two collector or arterial streets, the applicant/developer shall set a monument if one does not already exist at that intersection. Contact the City Survey office for information on reference benchmarks, acceptable methodology and required submittals.
- 3.05 **Confirm payment of all Development Impact Fees (DIF) to the Building Department.**
- 3.06 **Submit electronic copies (PDF & Auto CAD format) of all approved improvement plans, studies and reports (i.e. hydrology, traffic, WQMP, etc.).**

**4. PRIOR TO FINAL ACCEPTANCE, APPLICANT SHALL:**

- 4.01 **Complete all Conditions of Approval listed under Sections 1-3 above.**
- 4.02 **Pay all outstanding fees pursuant to the City of Ontario Municipal Code, including but not limited to, plan check fees, inspection fees and Development Impact Fees.**
- 4.03 **The applicant/developer shall submit a written request for the City's final acceptance of the project addressed to the City Project Engineer. The request shall state that all Conditions of Approval have been completed and shall be signed by the applicant/developer. Upon receipt of the request, review of the request shall be a minimum of 10 business days. Conditions of Approval that are deemed incomplete by the City will cause delays in the acceptance process.**





**EXHIBIT 'A'**

**ENGINEERING DEPARTMENT  
First Plan Check Submittal Checklist**

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**Project Number: PDEV19-043 and Tract Map No. 20291**

**The following items are required to be included with the first plan check submittal:**

1.  **A copy of this check list**
2.  **Payment of fee for Plan Checking**
3.  **One (1) copy of Engineering Cost Estimate (on City form) with engineer's wet signature and stamp.**
4.  **One (1) copy of project Conditions of Approval**
5.  **Two (2) sets of Potable and Recycled Water demand calculations (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size).**
6.  Three (3) sets of Public Street improvement plan with street cross-sections
7.  Three (3) sets of Private Street improvement plan with street cross-sections
8.  Four (4) sets of Public Water improvement plan (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)
9.  Four (4) sets of Recycled Water improvement plan (include recycled water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size and an exhibit showing the limits of areas being irrigated by each recycled water meter)
10.  Four (4) sets of Public Sewer improvement plan
11.  Five (5) sets of Public Storm Drain improvement plan
12.  **Three (3) sets of Public Street Light improvement plan**
13.  Three (3) sets of Signing and Striping improvement plan
14.  **Three (3) sets of Fiber Optic plan (include Auto CAD electronic submittal)**
15.  **Three (3) sets of Dry Utility plans within public right-of-way (at a minimum the plans must show existing and ultimate right-of-way, curb and gutter, proposed utility location including centerline dimensions, wall to wall clearances between proposed utility and adjacent public line, street work repaired per Standard Drawing No. 1306. Include Auto CAD electronic submittal)**
16.  Three (3) sets of Traffic Signal improvement plan and One (1) copy of Traffic Signal Specifications with modified Special Provisions. Please contact the Traffic Division at (909) 395-2154 to obtain Traffic Signal Specifications.
17.  **Two (2) copies of Water Quality Management Plan (WQMP), including one (1) copy of the approved Preliminary WQMP (PWQMP).**
18.  **One (1) copy of Hydrology/Drainage study**
19.  **One (1) copy of Soils/Geology report**
20.  **Payment for Final Map/Parcel Map processing fee**
21.  **Three (3) copies of Final Map/Parcel Map**



- 22.  One (1) copy of approved Tentative Map
- 23.  One (1) copy of Preliminary Title Report (current within 30 days)
- 24.  One (1) copy of Traverse Closure Calculations
- 25.  One (1) set of supporting documents and maps (legible copies): referenced improvement plans (full size), referenced record final maps/parcel maps (full size, 18"x26"), Assessor's Parcel map (full size, 11"x17"), recorded documents such as deeds, lot line adjustments, easements, etc.
- 26.  Two (2) copies of Engineering Report and an electronic file (include PDF format electronic submittal) for recycled water use
- 27.  Other: \_\_\_\_\_

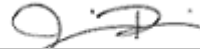




**CITY OF ONTARIO**  
**LANDSCAPE PLANNING DIVISION**  
 303 East "B" Street, Ontario, CA 91764

**CONDITIONS OF APPROVAL**

**Sign Off**



Jamie Richardson, Sr. Landscape Planner

3/31/2020

Date

Reviewer's Name:

**Jamie Richardson, Sr. Landscape Planner**

Phone:

**(909) 395-2615**

D.A.B. File No.:

PMTT19-011

Related Files:

Case Planner:

Jeanie Irene Aguilo

Project Name and Location:

18 Unit Multi Family – Condo Tentative Tract Map  
 TM20291

Applicant/Representative:

TZYH DER SUN (Cliff Sun)  
 9431 Longden Ave.  
 Temple City, CA 91780



**A Tentative Tract Map (dated) has been approved with the consideration that the following conditions below be met upon submittal of the landscape construction documents.**



**A Tentative Tract Map (dated 3/17/2020) has not been approved. Corrections noted below are required prior to DAB approval.**

**CONDITIONS REQUIRED**

1. Show and identify any on-site storm water infiltration areas or storm water infiltration devices proposed in parkways or other landscape areas.
2. Show on demo plans and landscape construction plans trees to be preserved, removed or mitigation measures for trees removed. Tree inventory identifies 129 inches of trunk diameter of heritage trees that will be removed due to construction. Provide mitigation measures as defined below:
  - a. New 15 gallon trees min 1" diameter trunk, in addition to trees required (129-15 gallon)
  - b. New 24" box trees min 1.5" diameter trunk, in addition to trees required. (86-24" box)
  - c. Upsizing trees on the plan one size larger such as 15 gallon to 24" box, or 24" to 36" box size. (to equal trunk replacement)
  - d. Monetary value of the trees removed as identified in the "Guide for Plant Appraisal", approved certified arborist plant appraiser, or may be equal to the value of the installation cost of planting, fertilizing, staking and irrigating 15 gallon trees, (100\$ each) to the City of Ontario Historic Preservation Fund for city tree planting or city approved combination of the above items. (\$12,900)
3. The arborist report identifies various healthy fruit trees that can be relocated to provide a viable resource to the community (see arborist report tree #4, 9, 10, 14, 15, 22, 23, 24, 33, 37, 38, 39, 40, 42 & 44). Contact Arthur Levine (917) 734-8108 at Huerta Del Valle – Ontario Community Garden to coordinate the possible relocation of fruit trees identified to be healthy and vigorous with a rating of B- and above.
  1. Coordinate with the City of Ontario Parks and Maintenance Department – Adrian Escamilla, Parks and Maintenance Manager (909) 395-2635 to relocate existing Heritage Tree #20 Phoenix canariensis.
2. After a project's entitlement approval, the applicant shall pay all applicable fees at a rate established by resolution of the City Council. Fees are:

Plan Check—5 or more acres.....	\$1,301.00
Inspection—Construction (per phase up to 3 inspections).....	\$278.00
Total.....	\$2,604.00
Inspection—Field - additional.....	\$83.00

# AIRPORT LAND USE COMPATIBILITY PLANNING

## CONSISTENCY DETERMINATION REPORT



Project File No.: PDEV19-043 & PMTT19-011  
 Address: 1005 & 1023 East 6th Street  
 APN: 1047-172-17 & 22  
 Existing Land Use: Single Family Residential  
 Proposed Land Use: Development Plan 18 unit multi-family townhome complex & Tentative Tract Map for Condominium purposes  
 Site Acreage: 0.73 Proposed Structure Height: 36 ft  
 ONT-IAC Project Review: N/A  
 Airport Influence Area: ONT

Reviewed By: Lorena Mejia  
 Contact Info: 909-395-2276  
 Project Planner: Jeanie Aguilo  
 Date: 11/6/19  
 CD No.: 2019-053  
 PALU No.: n/a

### The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input checked="" type="checkbox"/> High Terrain Zone	<input type="radio"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input checked="" type="checkbox"/> FAA Notification Surfaces	<input type="radio"/> Recorded Overflight Notification
<input type="radio"/> Zone 2	<input type="checkbox"/> 65 - 70 dB CNEL	<input checked="" type="checkbox"/> Airspace Obstruction Surfaces	<input checked="" type="checkbox"/> Real Estate Transaction Disclosure
<input type="radio"/> Zone 3	<input type="checkbox"/> 60 - 65 dB CNEL	<input type="radio"/> Airspace Avigation Easement Area	
<input type="radio"/> Zone 4		Allowable Height: <u>70 FT</u>	
<input type="radio"/> Zone 5			

### The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1   
  Zone 2   
  Zone 3   
  Zone 4   
  Zone 5   
  Zone 6  
 Allowable Height: \_\_\_\_\_

## CONSISTENCY DETERMINATION

This proposed Project is:  Exempt from the ALUCP   
 Consistent   
 Consistent with Conditions   
 Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

Real Estate Transaction Disclosure Required

Airport Planner Signature: \_\_\_\_\_

# CITY OF ONTARIO

## MEMORANDUM

**TO:** PLANNING DEPARTMENT, Jeanie Irene Aguilo  
**FROM:** BUILDING DEPARTMENT, Kevin Shear  
**DATE:** July 24, 2019  
**SUBJECT:** PMTT19-011

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1. The plan **does** adequately address the departmental concerns at this time.  
No comments.

KS:lr





# Development Advisory Board Decision

May 18, 2020

**DECISION NO.:** [insert #]

**FILE NO.:** PDEV19-043

**DESCRIPTION:** A Development Plan to construct 18 multiple-family dwelling units on 0.73-acre of land located at 1005 and 1023 East Sixth Street, within the HDR-45 (High Density Residential - 25.1 to 45.0 DU/Acre) zoning district; (APNs: 1047-172-17 and 1047-172-22) **submitted by TAVK Holding LLC / T&S Allied Investment LLC. Planning Commission action is required.**

## **Part I—BACKGROUND & ANALYSIS**

TAVK HOLDING LLC / T&S ALLIED INVESTMENT LLC, (herein after referred to as "Applicant") has filed an application requesting Development Plan approval, File No. PDEV19-043, as described in the subject of this Decision (herein after referred to as "Application" or "Project").

(1) **Project Setting:** The project site is comprised of 0.73 acre of land located at 1005 and 1023 East Sixth Street and is depicted in Exhibit A—Project Location Map, attached. Existing land uses, General Plan and zoning designations, and specific plan land uses on and surrounding the project site are as follows:

	<b>Existing Land Use</b>	<b>General Plan Designation</b>	<b>Zoning Designation</b>	<b>Specific Plan Land Use</b>
<i>Site:</i>	Single Family Residential	HDR (High Density Residential)	HDR-45 (High Density Residential - 25.1 to 45.0 DU/Acre)	N/A
<i>North:</i>	Multi-Family Residential	HDR (High Density Residential)	HDR-45 (High Density Residential - 25.1 to 45.0 DU/Acre)	N/A
<i>South:</i>	Single Family Residential	HDR (High Density Residential)	HDR-45 (High Density Residential - 25.1 to 45.0 DU/Acre)	N/A
<i>East:</i>	Single Family Residential	HDR (High Density Residential)	HDR-45 (High Density Residential - 25.1 to 45.0 DU/Acre)	N/A
<i>West:</i>	Bright Star Montessori Preschool	HDR (High Density Residential)	HDR-45 (High Density Residential - 25.1 to 45.0 DU/Acre)	N/A

(2) **Project Description:**

(a) **Background** — On July 19, 2019, the Applicant submitted a Development Plan application requesting to construct 18 multiple-family dwelling units on the Project site. A Tentative Tract Map (File No. PMTT19-011/TT 20291) was submitted in conjunction with the Development Plan, requesting

approval to subdivide the Project site into a single lot for condominium purposes to facilitate the future sale of individual units.

(b) Site Design/Building Layout — The project site consists of two multiple-family apartment buildings, each designed with a first-floor concrete podium slab and bearing walls that house a parking garage, refuse collection facilities and tenant storage facilities (see Exhibit B – Site Plan, attached). Each building has a two-story wood-framed structure designed on top of each podium, for an overall height of 3 stories (33 to 36 feet, on average). Building 1, located on the western half of the site, consists of 8 units and Building 2, located on the eastern half of the site, consists of 10 units. The two buildings are separated by a common open space area that is approximately 18 feet wide, with pedestrian pathways that connect the two buildings. A 10-foot landscape setback has been provided along the perimeter of the project boundary, which incorporates pedestrian pathways and connects to common open space areas throughout the project site.

Five different floor plans are proposed, which range from 605 to 800 square feet in size. The project provides 12 units with two-bedroom floor plans and 6 units with three-bedroom floor plans. The dwelling unit breakdown is as follows:

<b>Dwelling Unit Summary – Building 1 (1005 East Sixth Street)</b>				
<b>Plan Type No.</b>	<b>No. of Bedrooms/ Bathrooms</b>	<b>Total SF</b>	<b>No. of Units</b>	<b>Percent of Units</b>
A-1	3 Bedroom/2.5 Bathroom	1,546 SF	5	62.5%
A-2	3 Bedroom/2.5 Bathroom	1,558 SF	1	12.5%
B-2	2 Bedroom/2.5 Bathroom	1,493 SF	2	25%
<b>TOTAL</b>		12,274 SF	8	100%

<b>Dwelling Unit Summary – Building 2 (1023 East Sixth Street)</b>				
<b>Plan Type No.</b>	<b>No. of Bedrooms/ Bathrooms</b>	<b>Total SF</b>	<b>No. of Units</b>	<b>Percent of Units</b>
A-1	3 Bedroom/2.5 Bathroom	1,546 SF	4	40%
A-2	3 Bedroom/2.5 Bathroom	1,558 SF	2	20%
B-1	2 Bedroom/2.5 Bathroom	1,481 SF	2	20%
C	2 Bedroom/2.5 Bathroom	1,334 SF	2	20%
<b>TOTAL</b>		14,930 SF	10	100%

The open space requirements of the HDR-45 zoning district contains a recommendation that a project provide a minimum of 60 square feet (20-percent) of private open space and 250 square feet (80-percent) of common open space, per dwelling unit. The Development Codes allows for deviations in private and common open space so long as the total amount of open space provided equals 310 square feet per unit.

The project includes common open space and recreation amenities in support of the 18 dwelling units, such as a fitness trail, tot lot with play structure, picnic and BBQ area, and sitting areas. The large common open areas with recreational amenities have been strategically located for the convenience of the residents, and to enhance the project. In addition, large courtyards with meandering walkways between the units have been provided throughout the project.

<b>Open Space Summary</b>		
<b>Open Space</b>	<b>Total Area Required</b>	<b>Total Area Provided</b>
Common Open Space – Active	5,580 SF	4,388 SF
Common Open Space – Passive		2,674 SF
Private Open Space	1,080 SF	2,421 SF
<b>TOTAL</b>	<b>6,660 SF</b>	<b>9,483 SF</b>

(c) Site Access/Circulation —Project access is provided by a driveway approach for each building, with access taken from Sixth Street. Vehicular access to gated garages is provided by 25-foot wide auto court lanes, which incorporate decorative paving. The project will also provide adequate turn around areas to facilitate fire access and trash service. Sixth Street is fully improved with a curb, gutter, parkway and a sidewalk.

(d) Parking — The Project has provided off-street parking pursuant to the “Multiple-Family Residential” parking standards specified in the Development Code. A total of 45 parking spaces have been provided on-site, while 2 guest spaces are provided on-street, along the Project’s street frontage. The off-street parking calculations for each building are as follows:

<b>Type of Use</b>	<b>No.</b>	<b>Parking Ratio</b>	<b>Spaces Required</b>	<b>Spaces Provided</b>
2-bedroom units	6 units	2.0 spaces per dwelling, including one space in a garage or carport	12	
3-bedroom units	12 units	2.5 spaces per dwelling, including one space in a garage or carport	30	
Visitor	18	1 Space Per 4 (< 50 Units)	5	
<b>TOTAL</b>			<b>47</b>	<b>47</b>

(e) Architecture — The architectural style proposed consists of a modern interpretation of a Mid-Century Modern design, with a simple box form and accent elements at entries, flat roofs with parapet detailing, and cantilever awnings. The mixture of building materials proposed includes medium and course textured stucco finishes with a neutral beige color palette and metal reveals, aluminum cantilevered awnings, and metal guardrails. Additionally, mechanical equipment will be roof-mounted and obscured from public view by parapet walls (see Exhibits C—Elevations and Exhibits E—Model Photos, attached).

Staff believes that the proposed project illustrates the type of high-quality residential architecture promoted by the City’s Development Code. This is exemplified through the use of:

- Articulation in building footprints, incorporating horizontal changes in the in the exterior building walls (combinations of recessed and popped-out wall areas)
- Articulation in the building parapet and roof lines, which serves to accentuate the building’s entries and openings, and breaks up large expanses of building wall
- Variations in building massing

- A mix of exterior materials, finishes, and fixtures
- Incorporation of base and top treatments defined by the layering of design elements, including horizontal changes in the exterior wall plane, and changes in exterior color (use of color blocking) and materials

(f) Landscaping — The project provides substantial landscaping along the Sixth Street frontage and throughout the project site for an overall landscape coverage of 20.7 percent. The proposed on-site and off-site landscape improvements will assist towards creating a walkable, safe area for pedestrians to access the project site. The landscape plan incorporates a combination of 48-inch, 36-inch, and 24-inch box trees along Sixth Street and throughout the project site, which includes a mix of Coast Live Oak, Crape Myrtle and Eastern Redbud trees. In addition, a mix of 15-gallon and 24-inch accent and shade trees will be provided throughout the project site that includes Brisbane Box and Long Leafed Podocarpus trees. A variety of shrubs and groundcovers are also being provided, which are low water usage or drought tolerant (see Exhibit D —Landscape Plan, attached).

(g) Utilities (drainage, sewer) — All necessary public utilities (water and sewer) were previously installed in Sixth Street. Furthermore, the Applicant has submitted a Preliminary Water Quality Management Plan (PWQMP), which establishes the project's compliance with storm water discharge/water quality requirements. The PWQMP includes site design measures that capture runoff and pollutant transport by minimizing impervious surfaces and maximizes low impact development (LID) best management practices (BMPs), such as retention and infiltration, biotreatment, and evapotranspiration. The PWQMP proposes the use of vegetated swales, which lead to underground stormwater infiltration systems installed for the project. Any overflow drainage will be conveyed to the public street by way of parkway culverts.

### **Part II—RECITALS**

WHEREAS, the Application is a project pursuant to the California Environmental Quality Act, commencing with Public Resources Code Section 21000 (hereinafter referred to as "CEQA"); and

WHEREAS, the Project is exempt from CEQA pursuant to a categorical exemption (listed in CEQA Guidelines Article 19, commencing with Section 15300) and the application of that categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board ("DAB") the responsibility and authority to review and make recommendation to the Planning Commission on the subject Application; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan (hereinafter referred to as "ALUCP"), which applies only to jurisdictions within



San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, on May 18, 2020, the DAB of the City of Ontario conducted a hearing on the Application and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.

### **Part III—THE DECISION**

NOW, THEREFORE, IT IS HEREBY FOUND AND DETERMINED by the Development Advisory Board of the City of Ontario, as follows:

**SECTION 1: Environmental Determination and Findings.** As the recommending body for the Project, the DAB has reviewed and considered the information contained in the administrative record for the Project. Based upon the facts and information contained in the administrative record, including all written and oral evidence presented to the DAB, the DAB finds as follows:

(1) The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, In-Fill Development Projects) of the CEQA Guidelines, which consists of: [1] the Project is consistent with the applicable general plan designation and all applicable general plan policies, as well as the applicable zoning designation and regulations; [2] the proposed development occurs within city limits, on a project site of no more than five acres, and is substantially surrounded by urban uses; [3] the project site has no value as habitat for endangered, rare, or threatened species; [4] approval of the Project will not result in any significant effects relating to traffic, noise, air quality, or water quality; and [5] the Project site can be adequately served by all required utilities and public services; and

(2) The application of the categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

(3) The determination of CEQA exemption reflects the independent judgment of the DAB.

**SECTION 2: Housing Element Compliance.** Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the recommending body for the Project, the DAB finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan, as the project site is not one of the properties in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix.

**SECTION 3: ALUCP Compliance.** The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land use Compatibility Plan, establishing the Airport Influence Area for Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the recommending body for the

Project, the DAB has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the DAB, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

**SECTION 4: Concluding Facts and Reasons.** Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the facts and information set forth in Parts I (Background and Analysis) and II (Recitals), above, and the specific findings set forth in Sections 1 through 3, above, the DAB hereby concludes as follows:

(1) ***The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.*** The proposed Project is located within the HDR (High Density Residential) land use district of the Policy Plan Land Use Map, and the HDR-45 (High Density Residential - 25.1 to 45.0 DU/Acre) zoning district. The development standards and conditions under which the proposed Project will be constructed and maintained, is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan; and

(2) ***The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located.*** The Project has been designed consistent with the requirements of the City of Ontario Development Code and the HDR-45 (High Density Residential - 25.1 to 45.0 DU/Acre) zoning district, including standards relative to the particular land use proposed (multiple-family dwellings), as-well-as building intensity, building and parking setbacks, building height, number of off-street parking and loading spaces, on-site and off-site landscaping, and fences, walls and obstructions; and

(3) ***The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed project.*** The Development Advisory Board has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the Development Code are maintained; [ii] the project will not endanger the public health, safety or general welfare; [iii] the project will not result in any significant environmental impacts; [iv] the project will be in harmony with the area in which it is located; and [v] the project will be in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan; and

(4) ***The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.*** The proposed Project has been reviewed for consistency with the general development standards and guidelines of the Development Code that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of off-street parking and loading spaces, parking lot dimensions, design and landscaping, bicycle parking, on-site landscaping, and fences and walls, as-well-as those development standards and guidelines specifically related to the particular land use being proposed (multiple-family dwellings). As a result of this review, the Development Advisory Board has determined that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the development standards and guidelines described in the Development Code.

**SECTION 5: Development Advisory Board Action.** Based on the findings and conclusions set forth in Sections 1 through 4, above, the DAB hereby recommends the Planning Commission

APPROVES the Application subject to each and every condition set forth in the Department reports included as Attachment A of this Decision, and incorporated herein by this reference.

**SECTION 6: Indemnification.** The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**SECTION 7: Custodian of Records.** The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

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APPROVED AND ADOPTED this 18th day of May 2020.

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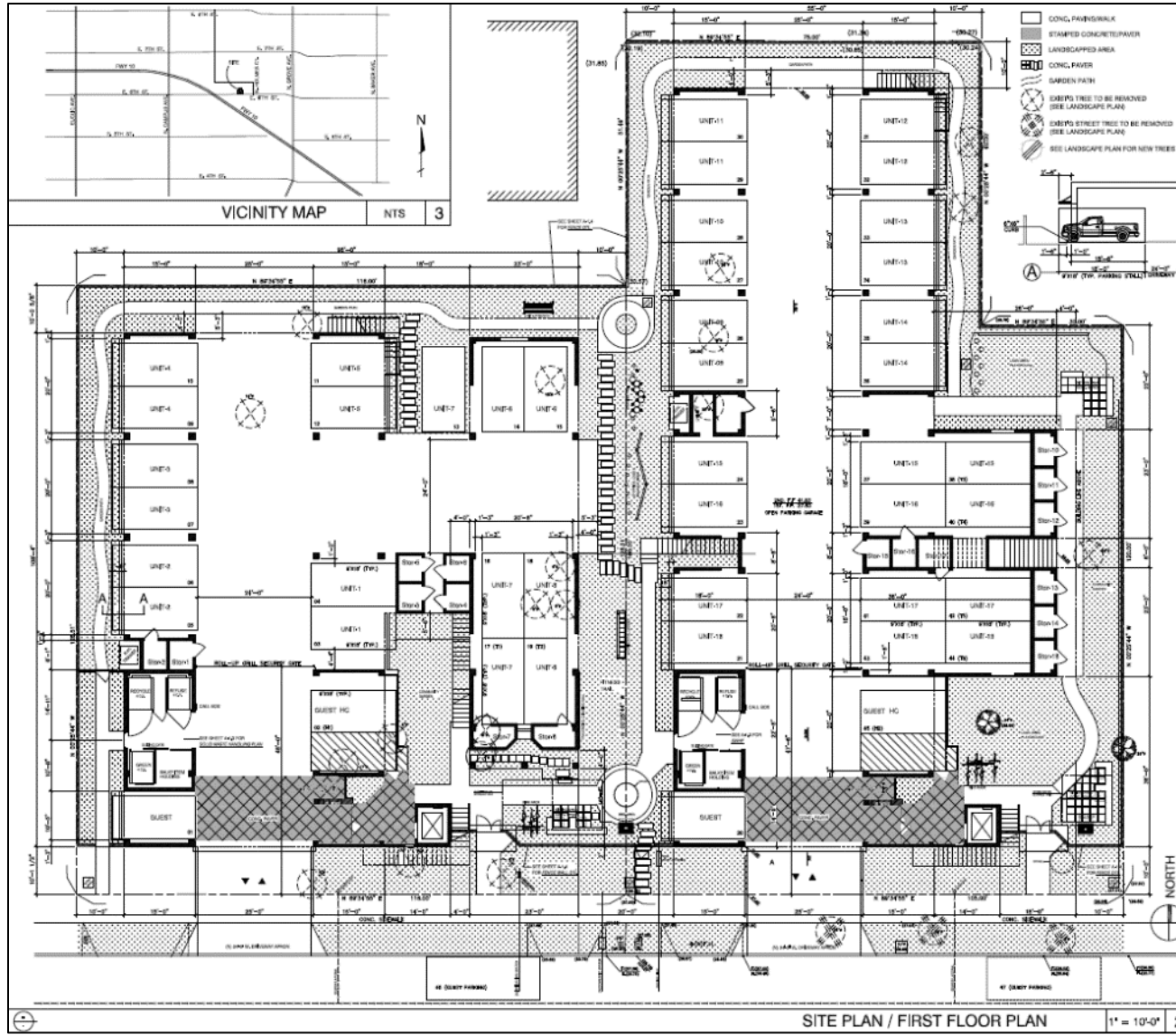
Development Advisory Board Chairman

Exhibit A—PROJECT LOCATION MAP

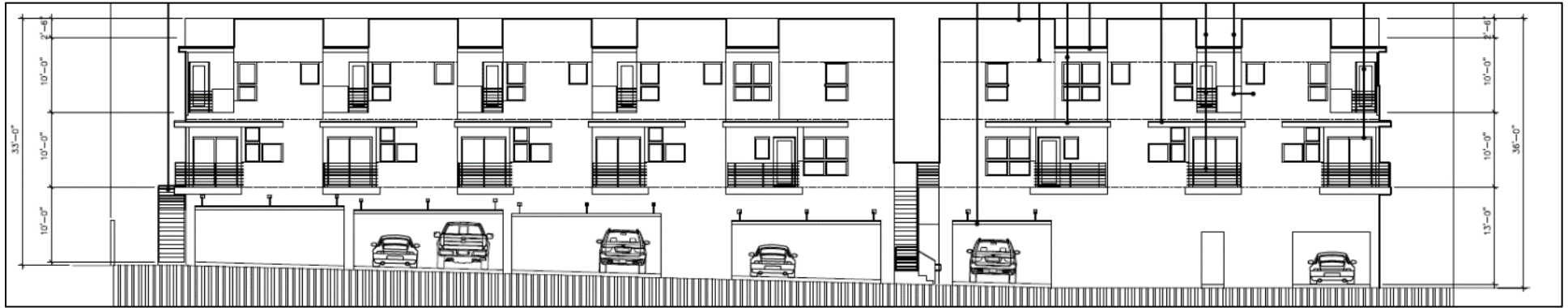




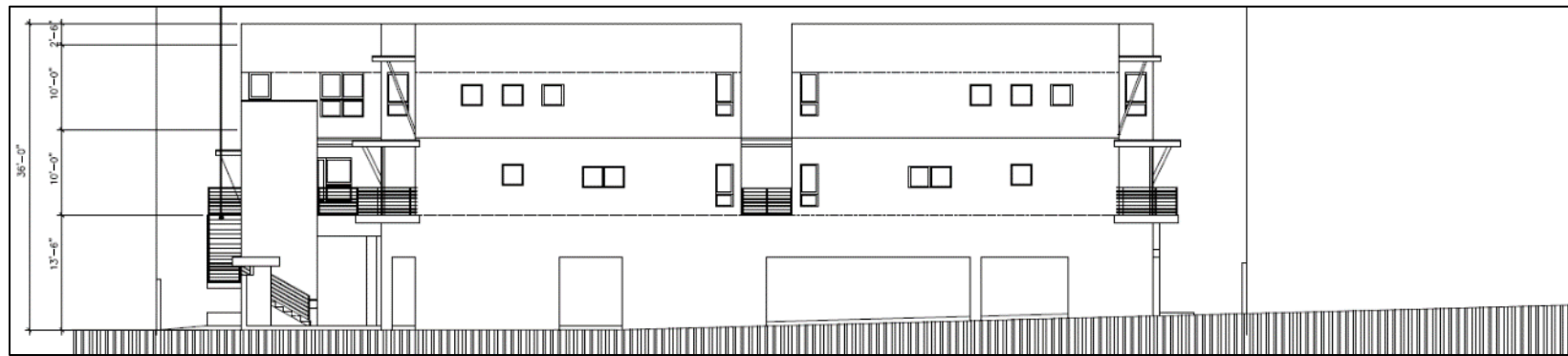
**Exhibit B—SITE PLAN**



**Exhibit C—ELEVATIONS – Building 1 (1005 East Sixth Street)**

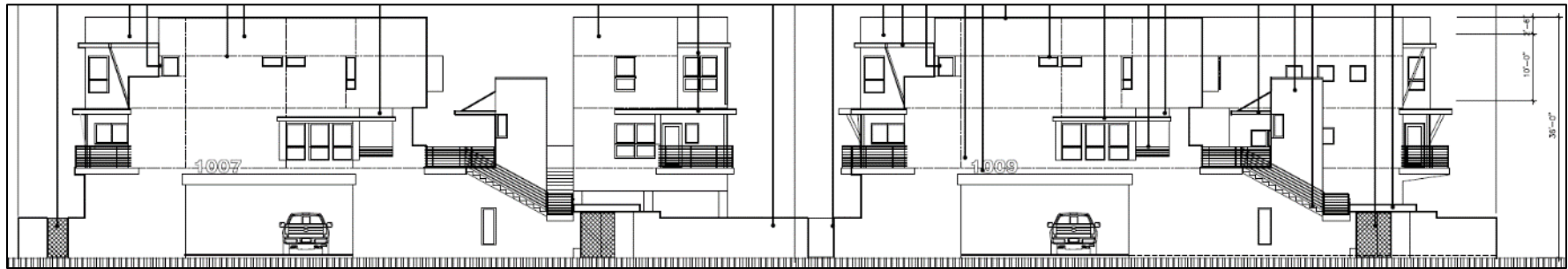


**West Elevation**



**East Elevation**

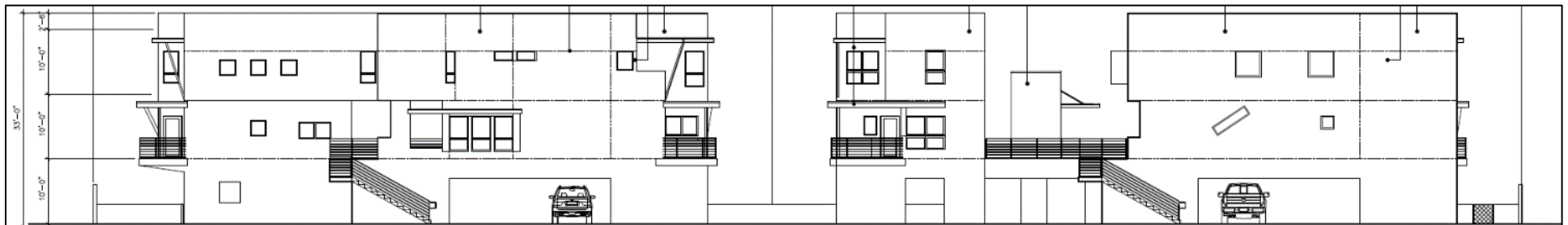
**Exhibit D—ELEVATIONS – Building 2 (1023 East Sixth Street)**



**South Elevation (Facing Sixth Street)**



**East Elevation**



**North Elevation**

Exhibit E—LANDSCAPE PLAN





**Exhibit F—MODEL PHOTOS**



**Exhibit G—MODEL PHOTOS**



Birdseye View Northern Elevation facing South



**Exhibit H—MODEL PHOTOS**



South Elevation (Facing Sixth Street – From Southwest Corner)



South Elevation (Facing Sixth Street – From Southeast Corner)

**Exhibit I—MODEL PHOTOS**



East Elevation



North Elevation



**Exhibit J—MODEL PHOTOS**



West Elevation

## Attachment A—Departmental Conditions of Approval

*(Departmental conditions of approval follow this page)*



City of Ontario  
Planning Department  
303 East B Street  
Ontario, California 91764  
Phone: 909.395.2036  
Fax: 909.395.2420

*Planning Department  
Land Development Division  
Conditions of Approval*

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**Meeting Date:** May 18, 2020  
**File No:** PDEV19-043  
**Related Files:** PMTT19-011 / TT 20291

**Project Description:** A Development Plan (File No. PDEV19-043) to construct 18 multiple-family dwellings on 0.73-acre of land, located at 1005 and 1023 East Sixth Street, within the HDR-45 (High Density Residential - 25.1 to 45.0 DU/Acre) zoning district. (APNs: 1047-172-17 and 1047-172-22); **submitted by TAVK Holding LLC / T&S Allied Investment LLC.**

**Prepared By:** Jeanie Irene Aguilo, Associat  
Phone: 909.395.2418 (direct)  
Email: jaguilo@ontarioca.gov

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The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

**1.0 Standard Conditions of Approval.** The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

**1.1 Special Conditions of Approval.** In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

**(a) Time Limits.** Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

**1.2 General Requirements.** The Project shall comply with the following general requirements:

**(a)** All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

**(b)** The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

**(c)** The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

**1.3**     Landscaping.

**(a)**     The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

**(b)**     Comply with the conditions of approval of the Planning Department; Landscape Planning Division.

**(c)**     Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

**(d)**     Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

**1.4**     Walls and Fences. All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

**1.5**     Parking, Circulation and Access.

**(a)**     The Project shall comply with the applicable off-street parking, loading and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

**(b)**     All drive approaches shall be provided with an enhanced pavement treatment. The enhanced paving shall extend from the back of the approach apron, into the site, to the first intersecting drive aisle or parking space.

**(c)**     Areas provided to meet the City's parking requirements, including off-street parking and loading spaces, access drives, and maneuvering areas, shall not be used for the outdoor storage of materials and equipment, nor shall it be used for any other purpose than parking.

**(d)**     The required number of off-street parking spaces and/or loading spaces shall be provided at the time of site and/or building occupancy. All parking and loading spaces shall be maintained in good condition for the duration of the building or use.

**(e)**     Parking spaces specifically designated and conveniently located for use by the physically disabled shall be provided pursuant to current accessibility regulations contained in State law (CCR Title 24, Part 2, Chapters 2B71, and CVC Section 22507.8).

**(f)**     Bicycle parking facilities, including bicycle racks, lockers, and other secure facilities, shall be provided in conjunction with development projects pursuant to current regulations contained in CALGreen (CAC Title 24, Part 11).

**1.6**     Site Lighting.

**(a)**     All off-street parking facilities shall be provided with nighttime security lighting pursuant to Ontario Municipal Code Section 4-11.08 (Special Residential Building Provisions) and Section 4-11.09 (Special Commercial/Industrial Building Provisions), designed to confine emitted light to the parking areas. Parking facilities shall be lighted from sunset until sunrise, daily, and shall be operated by a photocell switch.



**(b)** Unless intended as part of a master lighting program, no operation, activity, or lighting fixture shall create illumination on any adjacent property.

**1.7** Mechanical and Rooftop Equipment.

**(a)** All exterior roof-mounted mechanical, heating and air conditioning equipment, and all appurtenances thereto, shall be completely screened from public view by parapet walls or roof screens that are architecturally treated so as to be consistent with the building architecture.

**(b)** All ground-mounted utility equipment and structures, such as tanks, transformers, HVAC equipment, and backflow prevention devices, shall be located out of view from a public street, or adequately screened through the use of landscaping and/or decorative low garden walls.

**1.8** Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

**1.9** Signs. All Project signage shall comply with the requirements of Ontario Development Code Division 8.0 (Sign Regulations).

**1.10** Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noised levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

**1.11** Covenants, Conditions and Restrictions (CC&Rs)/Mutual Access and Maintenance Agreements.

**(a)** CC&Rs shall be prepared for the Project and shall be recorded prior to the issuance of a building permit.

**(b)** The CC&Rs shall be in a form and contain provisions satisfactory to the City. The articles of incorporation for the property owners association and the CC&Rs shall be reviewed and approved by the City.

**(c)** CC&Rs shall ensure reciprocal parking and access between parcels.

**(d)** CC&Rs shall ensure reciprocal parking and access between parcels, and common maintenance of:

**(i)** Landscaping and irrigation systems within common areas

**(ii)** Landscaping and irrigation systems within parkways adjacent to the project site, including that portion of any public highway right-of-way between the property line or right-of-way boundary line and the curb line and also the area enclosed within the curb lines of a median divider (Ontario Municipal Code Section 7-3.03), pursuant to Ontario Municipal Code Section 5-22-02

**(iii)** Shared parking facilities and access drives

**(iv)** Utility and drainage easements

**(e)** CC&Rs shall include authorization for the City's local law enforcement officers to enforce City and State traffic and penal codes within the project area.

**(f)** The CC&Rs shall grant the City of Ontario the right of enforcement of the CC&R provisions.

**(g)** A specific methodology/procedure shall be established within the CC&Rs for enforcement of its provisions by the City of Ontario, if adequate maintenance of the development does not

occur, such as, but not limited to, provisions that would grant the City the right of access to correct maintenance issues and assess the property owners association for all costs incurred.

**1.12** Disclosure Statements.

(a) A copy of the Public Report from the Department of Real Estate, prepared for the subdivision pursuant to Business and Professions Code Section 11000 et seq., shall be provided to each prospective buyer of the residential units and shall include a statement to the effect that:

(i) This tract is subject to noise from the Ontario International Airport and may be more severely impacted in the future.

**1.13** Environmental Review.

(a) The proposed project is categorically exempt from the requirements of the California Environmental Quality Act of 1970 (CEQA), as amended, and the Guidelines promulgated thereunder, pursuant to **Section 15332 (Class 32, In-Fill Development Projects)** of the CEQA Guidelines, meeting the following conditions:

(i) The Project is consistent with the applicable general plan designation and all applicable general plan policies, as well as the applicable zoning designation and regulations.

(ii) The proposed development occurs within city limits, on a project site of no more than five acres, and is substantially surrounded by urban uses

(iii) The project site has no value as habitat for endangered, rare, or threatened species.

(iv) Approval of the Project will not result in any significant effects relating to traffic, noise, air quality, or water quality.

(v) The Project site can be adequately served by all required utilities and public services.

(b) If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

(c) If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

**1.14** Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**1.15** Additional Fees.

(a) Within 5 days following final application approval, the Notice of Determination (NOD) filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the

requirements of the California Environmental Quality Act (CEQA). Failure to provide said fee within the time specified may result in a 180-day extension to the statute of limitations for the filing of a CEQA lawsuit.

**(b)** After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

**1.16** Additional Requirements.

**(a)** Provide decorative bollards at the ends of each driveway along the garden/sidewalk path for each building. Final design shall be subject to Planning Director review and approval.

**(b)** The approval of File No. PDEV19-043 shall be final and conclusive upon the approval of File No. PMTT19-011 / TM 20291 by the Planning Commission.



**ENGINEERING DEPARTMENT  
CONDITIONS OF APPROVAL**

(Engineering Services Division [Land Development Section and Environmental Section], Traffic & Transportation Division, Ontario Municipal Utilities Company and Information Technology & Management Services Department Conditions incorporated)

<input checked="" type="checkbox"/> <b>DEVELOPMENT PLAN</b> <input type="checkbox"/> OTHER	<input type="checkbox"/> PARCEL MAP <input checked="" type="checkbox"/> <b>TRACT MAP</b> <input type="checkbox"/> FOR CONDOMINIUM PURPOSES
<b>PROJECT FILE NO. <u>TM-20291</u></b>  <b>RELATED FILE NO(S). <u>PMTT19-011 &amp; PDEV19-043</u></b>	
<input checked="" type="checkbox"/> <b>ORIGINAL</b> <input type="checkbox"/> REVISED: <u>  </u> / <u>  </u> / <u>  </u>	

CITY PROJECT ENGINEER & PHONE NO:      Antonio Alejos *X.A.* (909) 395-2384

CITY PROJECT PLANNER & PHONE NO:      Jeanie Aguilo (909) 395-2418

DAB MEETING DATE:      May 18<sup>th</sup>, 2020

PROJECT NAME / DESCRIPTION:      TM-20291, a Tentative Tract Map to subdivide 0.76 acres of land into one common lot for condominium purposes.

LOCATION:      1005 & 1023 East Sixth Street

APPLICANT:      Tzyh Der Sun

REVIEWED BY:      *[Signature]*      4/22/20  
                                  Bryan Lirley, P.E.      Date  
                                  Principal Engineer

APPROVED BY:      *[Signature]*      5/1/20  
                                  Raymond Lee, P.E.      Date  
                                  Assistant City Engineer





**THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE GENERAL STANDARD CONDITIONS OF APPROVAL ADOPTED BY THE CITY COUNCIL (RESOLUTION NO. 2017-027) AND THE PROJECT SPECIFIC CONDITIONS OF APPROVAL SPECIFIED IN HEREIN. ONLY APPLICABLE CONDITIONS OF APPROVAL ARE CHECKED. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL APPLICABLE CONDITIONS OF APPROVAL PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, ISSUANCE OF PERMITS AND/OR OCCUPANCY CLEARANCE, AS SPECIFIED IN THIS REPORT.**

**1. PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, APPLICANT SHALL: Check When Complete**

- 1.01 Dedicate to the City of Ontario, the right-of-way, described below:   
 \_\_\_\_\_ feet on \_\_\_\_\_  
 Property line corner 'cut-back' required at the intersection of \_\_\_\_\_  
 and \_\_\_\_\_.
- 1.02 Dedicate to the City of Ontario, the following easement(s): \_\_\_\_\_   
 \_\_\_\_\_
- 1.03 Restrict vehicular access to the site as follows: \_\_\_\_\_
- 1.04 Vacate the following street(s) and/or easement(s): \_\_\_\_\_
- 1.05 Submit a copy of a recorded private reciprocal use agreement or easement. The agreement or easement shall ensure, at a minimum, common ingress and egress and joint maintenance of all common access areas and drive aisles.
- 1.06 **Provide (original document) Covenants, Conditions and Restrictions (CC&Rs) as applicable to the project and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&Rs shall provide for, but not be limited to, common ingress and egress, joint maintenance responsibility for all common access improvements, common facilities, parking areas, utilities, landscaping improvements and drive approaches, in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project. The CC&Rs shall also address the maintenance and repair responsibility for public improvements/utilities (sewer, water, storm drain, recycled water, etc.) located within open space/easements. In the event of any maintenance or repair of these facilities, the City shall only restore disturbed areas to current City Standards.**
- 1.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at [http://geotracker.waterboards.ca.gov/profile\\_report?global\\_id=T10000004658](http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658).
- 1.08 File an application for Reapportionment of Assessment, together with payment of a reapportionment processing fee, for each existing assessment district listed below. Contact the Management Services Department at (909) 395-2124 regarding this requirement.   
 (1) \_\_\_\_\_  
 (2) \_\_\_\_\_
- 1.09 **Prepare a fully executed Subdivision Agreement (on City approved format and forms) with accompanying security as required, or complete all public improvements.**



- 1.10 Provide a monument bond (i.e. cash deposit) in an amount calculated by the City's approved cost estimate spreadsheet (available for download on the City's website: [www.ontarioca.gov](http://www.ontarioca.gov)) or as specified in writing by the applicant's Registered Engineer or Licensed Land Surveyor of Record and approved by the City Engineer, whichever is greater.
- 1.11 Provide a preliminary title report current to within 30 days.
- 1.12 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of three (3) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Management Services at (909) 395-2353 to initiate the CFD application process.
- 1.13 New Model Colony (NMC) Developments: 
  - 1) Provide evidence of final cancellation of Williamson Act contracts associated with this tract, prior to approval of any final subdivision map. Cancellation of contracts shall have been approved by the City Council.
  - 2) Provide evidence of sufficient storm water capacity availability equivalents (Certificate of Storm Water Treatment Equivalents).
  - 3) Provide evidence of sufficient water availability equivalents (Certificate of Net MDD Availability).
- 1.14 Other conditions: \_\_\_\_\_

**2. PRIOR TO ISSUANCE OF ANY PERMITS, APPLICANT SHALL:**

**A. GENERAL  
 ( Permits includes Grading, Building, Demolition and Encroachment )**

- 2.01 Record Tract Map No. 20291 pursuant to the Subdivision Map Act and in accordance with the City of Ontario Municipal Code.
- 2.02 Submit a duplicate photo mylar of the recorded map to the City Engineer's office.
- 2.03 Note that the subject parcel is a recognized parcel in the City of Ontario per \_\_\_\_\_
- 2.04 Note that the subject parcel is an 'unrecognized' parcel in the City of Ontario and shall require a Certificate of Compliance to be processed unless a deed is provided confirming the existence of the parcel prior to the date of \_\_\_\_\_
- 2.05 Apply for a:  Certificate of Compliance with a Record of Survey;  Lot Line Adjustment 
  - Make a Dedication of Easement.
- 2.06 Provide (original document) Covenants, Conditions and Restrictions (CC&R's), as applicable to the project, and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&R's shall provide for, but not be limited to, common ingress and egress, joint maintenance of all common access improvements, common facilities, parking areas, utilities and drive approaches in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project.





2.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at [http://geotracker.waterboards.ca.gov/profile\\_report?global\\_id=T10000004658](http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658).

2.08 **Submit a soils/geology report.**

2.09 Other Agency Permit/Approval: Submit a copy of the approved permit and/or other form of approval of the project from the following agency or agencies:

- State of California Department of Transportation (Caltrans)
- San Bernardino County Road Department (SBCRD)
- San Bernardino County Flood Control District (SBCFCD)
- Federal Emergency Management Agency (FEMA)
- Cucamonga Valley Water District (CVWD) for sewer/water service
- United States Army Corps of Engineers (USACE)
- California Department of Fish & Game
- Inland Empire Utilities Agency (IEUA)
- Other: \_\_\_\_\_

2.10 Dedicate to the City of Ontario the right-of-way described below:   
 \_\_\_\_\_ feet on \_\_\_\_\_  
 Property line corner 'cut-back' required at the intersection of \_\_\_\_\_  
 and \_\_\_\_\_.

2.11 Dedicate to the City of Ontario the following easement(s): \_\_\_\_\_   
 \_\_\_\_\_

2.12 New Model Colony (NMC) Developments:

- 1) Submit a copy of the permit from the San Bernardino County Health Department to the Engineering Department and the Ontario Municipal Utilities Company (OMUC) for the destruction/abandonment of the on-site water well. The well shall be destroyed/abandoned in accordance with the San Bernardino County Health Department guidelines.
- 2) Make a formal request to the City of Ontario Engineering Department for the proposed temporary use of an existing agricultural water well for purposes other than agriculture, such as grading, dust control, etc. Upon approval, the Applicant shall enter into an agreement with the City of Ontario and pay any applicable fees as set forth by said agreement.
- 3) Design proposed retaining walls to retain up to a maximum of three (3) feet of earth. In no case shall a wall exceed an overall height of nine (9) feet (i.e. maximum 6-foot high wall on top of a maximum 3-foot high retaining wall).

2.13 **Submit a security deposit to the Engineering Department to guarantee construction of the public improvements required herein valued at 100% of the approved construction cost estimate. Security deposit shall be in accordance with the City of Ontario Municipal Code. Security deposit will be eligible for release, in accordance with City procedure, upon completion and acceptance of said public improvements.**



- 2.14 The applicant/developer shall submit all necessary survey documents prepared by a Licensed Surveyor registered in the State of California detailing all existing survey monuments in and around the project site. These documents are to be reviewed and approved by the City Survey Office.
- 2.15 Pay all Development Impact Fees (DIF) to the Building Department. Final fee shall be determined based on the approved site plan.
- 2.16 Other conditions: \_\_\_\_\_





**B. PUBLIC IMPROVEMENTS**  
 (See attached Exhibit 'A' for plan check submittal requirements.)

- 2.17 Design and construct full public improvements in accordance with the City of Ontario Municipal Code, current City standards and specifications, master plans and the adopted specific plan for the area, if any. These public improvements shall include, but not be limited to, the following (checked boxes):

Improvement	Sixth St	Street 2	Street 3	Street 4
<b>Curb and Gutter</b> (see Sec. 2.F)	<input checked="" type="checkbox"/> <b>Remove and replace</b> <input type="checkbox"/> Replace damaged	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged
<b>AC Pavement</b> (see Sec. 2.18)	<input checked="" type="checkbox"/> <b>Replacement</b> <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions
<b>PCC Pavement</b> (Truck Route Only)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
<b>Drive Approach</b> (see Sec. 2.F)	<input checked="" type="checkbox"/> <b>New</b> <input checked="" type="checkbox"/> <b>In-fill existing driveway approach no longer to be used</b>	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
<b>Sidewalk</b> (see Sec. 2.F)	<input checked="" type="checkbox"/> <b>Replace damaged</b>	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
<b>ADA Access Ramp</b>	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
<b>Parkway</b> (see Sec. 2.F)	<input checked="" type="checkbox"/> <b>Trees</b> <input checked="" type="checkbox"/> <b>Landscaping (w/irrigation)</b>	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)
<b>Raised Landscaped Median</b>	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
<b>Fire Hydrant</b> (see Sec. 2.D)	<input checked="" type="checkbox"/> <b>New / Upgrade</b> <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation





<b>Sewer</b> (see Sec. 2.C)	<input checked="" type="checkbox"/> <b>New lateral w/ clean-outs &amp; monitoring man-hole</b>	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
<b>Water</b> (see Sec. 2.D)	<input checked="" type="checkbox"/> <b>New service for domestic use only w/ meter &amp; backflow device</b> <input checked="" type="checkbox"/> <b>New service for irrigation use only w/ meter &amp; backflow device</b> <input checked="" type="checkbox"/> <b>New service for fire use only w/ DCDA</b>	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Recycled Water (see Sec. 2.E)	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Traffic Signal System (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Traffic Signing and Striping (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
<b>Street Light</b> (see Sec. 2.F)	<input checked="" type="checkbox"/> <b>New</b>	<input type="checkbox"/> New / Upgrade	<input type="checkbox"/> New / Upgrade	<input type="checkbox"/> New / Upgrade
Bus Stop Pad or Turn-out (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Storm Drain (see Sec. 2G)	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
<b>Fiber Optics</b> (see Sec. 2K)	<input checked="" type="checkbox"/> <b>Conduit / Appurtenances</b>	<input type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances
Overhead Utilities	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate
<b>Removal of Improvements</b> (see Sec. 2.F)	<input checked="" type="checkbox"/> <b>Abandon existing utilities no longer to be used</b> <input checked="" type="checkbox"/> <b>Remove all hardscape within parkway landscape areas</b>	_____	_____	_____



Other Improvements	_____	_____	_____	_____
	_____	_____	_____	_____
	_____	_____	_____	_____

**Specific notes for improvements listed in item no. 2.17, above:**

1. If there is a utility conflict during the construction of the proposed improvements that requires the relocation of existing utility devices, utility lines/poles, etc. Ultimate location of these utilities shall be in accordance with City Standard Drawing Numbers 1216 and 1217.
2. Existing improvements no longer to be used shall be abandoned or removed per the latest City Design Guidelines/Standard Drawings. All services/laterals shall be abandoned at the point of connection with the main.
3. The applicant/developer shall submit delta revisions to approved Potable Water, Recycled Water, and Sewer Improvement plans which reflect the installation of the proposed service laterals, and/or abandonment of unused existing service laterals. Delta revisions shall be submitted to the City for review and approval.

- 2.18 Construct a 2" asphalt concrete (AC) grind and overlay on the following street(s): 
  1. Sixth Street - Minimum limits of construction shall be along the entire property frontage, from street centerline to curb/gutter.
- 2.19 Reconstruction of the full pavement structural section, per City of Ontario Standard Drawing number 1011, may be required based on the existing pavement condition and final street design. Minimum limits of reconstruction shall be along property frontage, from street centerline to curb/gutter.
- 2.20 Make arrangements with the Cucamonga Valley Water District (CVWD) to provide  water service  sewer service to the site. This property is within the area served by the CVWD and Applicant shall provide documentation to the City verifying that all required CVWD fees have been paid.
- 2.21 Overhead utilities shall be under-grounded, in accordance with Title 7 of the City's Municipal Code (Ordinance No. 2804 and 2892). Developer may pay in-lieu fee, approximately \_\_\_\_\_, for undergrounding of utilities in accordance with Section 7-7.303.e of the City's Municipal Code.
- 2.22 Other conditions: \_\_\_\_\_

**C. SEWER**

- 2.23 An 8-inch sewer main is available for connection by this project in Sixth Street. (Ref: Sewer plan bar code: S12580)
- 2.24 Design and construct a sewer main extension. A sewer main is not available for direct connection. The closest main is approximately \_\_\_\_\_ feet away.
- 2.25 Submit documentation that shows expected peak loading values for modeling the impact of the subject project to the existing sewer system. The project site is within a deficient public sewer system area. Applicant shall be responsible for all costs associated with the preparation of the model. Based on the results of the analysis, Applicant may be required to mitigate the project impact to the deficient public sewer system, including, but not limited to, upgrading of existing sewer main(s), construction of new sewer main(s) or diversion of sewer discharge to another sewer.
- 2.26 Other conditions: 
  1. The applicant/developer shall install two (2) sewer laterals to the existing 8-inch sewer main in Sixth Street and equip each lateral with a monitoring manhole and clean-outs behind the property line per the latest City Design Guidelines/Standard Drawings.

**D. WATER**

- 2.27 An 8-inch water main is available for connection by this project in Sixth Street. (Ref: Water Drawing Number: Unknown)
- 2.28 Design and construct a water main extension. A water main is not available for direct connection. The closest main is approximately \_\_\_\_\_ feet away.





- 2.29 Other conditions:**
1. **The applicant/developer shall install at minimum one (1) fire hydrant along Sixth Street property frontage per City Standard Drawing Number 4101.**
  2. **The applicant/developer shall install two (2) domestic water services to the existing 8-inch domestic water main in Sixth Street and equip a backflow device to the service behind the property line per the latest City Design Guidelines/Standard Drawings.**
  3. **The applicant/developer shall install at minimum one (1) separate water service (for irrigation purposes only) to the existing 8-inch domestic water main in Sixth Street and equip a backflow device to the service behind the property line per the latest City Design Guidelines/Standard Drawings.**
  4. **The applicant/developer shall install at minimum one (1) fire service to the existing 8-inch domestic water main in Sixth Street and equip the service with a DCDA behind the property line per the latest City Design Guidelines/Standard Drawings.**

**E. RECYCLED WATER**

- 2.30 A recycled water main is not available for connection by this project. (Ref: Recycled Water Drawing Number: None)**
- 2.31 Design and construct an on-site recycled water system for this project. A recycled water main does exist in the vicinity of this project.
- 2.32 Design and construct an on-site recycled water ready system for this project. A recycled water main does not currently exist in the vicinity of this project, but is planned for the near future. If Applicant would like to connect to this recycled water main when it becomes available, the cost for the connection shall be borne solely by the Applicant.
- 2.33 Submit two (2) hard copies and one (1) electronic copy, in PDF format, of the Engineering Report (ER), for the use of recycled water, to the OMUC for review and subsequent submittal to the California Department of Public Health (CDPH) for final approval.
- Note: The OMUC and the CDPH review and approval process will be approximately three (3) months. Contact the Ontario Municipal Utilities Company at (909) 395-2647 regarding this requirement.
- 2.34 Other conditions: \_\_\_\_\_

**F. TRAFFIC / TRANSPORTATION**

- 2.35 Submit a focused traffic impact study, prepared and signed by a Traffic/Civil Engineer registered in the State of California. The study shall address, but not be limited to, the following issues as required by the City Engineer:
1. On-site and off-site circulation
  2. Traffic level of service (LOS) at 'build-out' and future years
  3. Impact at specific intersections as selected by the City Engineer
- 2.36 New traffic signal installations shall be added to Southern California Edison (SCE) customer account number # 2-20-044-3877.
- 2.37 Other conditions:**
1. **The applicant/developer shall replace the existing type 'A' curb along the entire property frontage with new curb and gutter per City Standard Drawing Number 1201.**
  2. **The applicant/developer shall construct all new driveway approaches per City Standard Drawing Number 1203.**
  3. **The applicant/developer shall in-fill the existing driveway approach no longer to be used with full height curb/gutter, parkway landscaping and sidewalk per the latest City Design Guidelines/Standard Drawings.**
  4. **The applicant/developer shall replace any sidewalk panels currently damaged or damaged during construction per City Standard Drawing Number 1209.**





5. The applicant/developer shall install parkway trees/landscaping along Sixth Street property frontage per the Landscape Planning Division Requirements.
6. All landscaping, block walls and other obstructions in the parkway shall be compatible with the stopping sight distance requirements per City Standard Drawing Number 1309.
7. The applicant/developer shall be responsible to design and construct in-fill public street lights along Sixth Street property frontage. Street lighting shall be LED-type and in accordance with City's Traffic and Transportation Design Guidelines.
8. The applicant/developer shall remove all hardscape (concrete, rocks, etc.) from the within the parkway landscape area along the entire property frontage per Landscape Planning Division Requirements.

#### G. DRAINAGE / HYDROLOGY

- 2.38 A storm drain main is not available to accept flows from this project. (Ref: Storm Drain Drawing Number: None)
- 2.39 Submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California. The study shall be prepared in accordance with the San Bernardino County Hydrology Manual and City of Ontario standards and guidelines. Additional drainage facilities, including, but not limited to, improvements beyond the project frontage, may be required to be designed and constructed, by Applicant, as a result of the findings of this study.
- 2.40 An adequate drainage facility to accept additional runoff from the site does not currently exist downstream of the project. Design and construct a storm water detention facility on the project site. 100-year post-development peak flow shall be attenuated such that it does not exceed 80% of pre-development peak flows, in accordance with the approved hydrology study and improvement plans.
- 2.41 Submit a copy of a recorded private drainage easement or drainage acceptance agreement to the Engineering Department for the acceptance of any increase to volume and/or concentration of historical drainage flows onto adjacent property, prior to approval of the grading plan for the project.
- 2.42 Comply with the City of Ontario Flood Damage Prevention Ordinance (Ordinance No. 2409). The project site or a portion of the project site is within the Special Flood Hazard Area (SFHA) as indicated on the Flood Insurance Rate Map (FIRM) and is subject to flooding during a 100 year frequency storm. The site plan shall be subject to the provisions of the National Flood Insurance Program.
- 2.43 Other conditions: \_\_\_\_\_

#### H. STORM WATER QUALITY / NATIONAL POLLUTANT DISCHARGE AND ELIMINATION SYSTEM (NPDES)

- 2.44 401 Water Quality Certification/404 Permit – Submit a copy of any applicable 401 Certification or 404 Permit for the subject project to the City project engineer. Development that will affect any body of surface water (i.e. lake, creek, open drainage channel, etc.) may require a 401 Water Quality Certification from the California Regional Water Quality Control Board, Santa Ana Region (RWQCB) and a 404 Permit from the United States Army Corps of Engineers (USACE). The groups of water bodies classified in these requirements are perennial (flow year round) and ephemeral (flow during rain conditions, only) and include, but are not limited to, direct connections into San Bernardino County Flood Control District (SBCFCD) channels.  
 If a 401 Certification and/or a 404 Permit are not required, a letter confirming this from Applicant's engineer shall be submitted.  
 Contact information: USACE (Los Angeles District) (213) 452-3414; RWQCB (951) 782-4130.
- 2.45 **Submit a Water Quality Management Plan (WQMP). This plan shall be approved by the Engineering Department prior to approval of any grading plan. The WQMP shall be submitted, utilizing the current San Bernardino County Stormwater Program template, available at: <http://www.sbcounty.gov/dpw/land/npdes.asp>.**
- 2.46 Design and construct a Connector Pipe Trash Screen or equivalent Trash Treatment Control Device, per catch basin located within or accepting flows tributary of a Priority Land Use (PLU) area that meets the Full Capture System definition and specifications, and is on the Certified List of the State Water Resources Control Board. The device shall be adequately sized per catch basin and include a deflector





screen with vector control access for abatement application, vertical support bars, and removable component to facilitate maintenance and cleaning.

2.47 Other conditions: \_\_\_\_\_

**J. SPECIAL DISTRICTS**

2.48 File an application, together with an initial payment deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community facilities District Act of 1982. The application and fee shall be submitted a minimum four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact the Management Services Department at (909) 395-2353 to initiate the CFD application process.

2.49 Other conditions: \_\_\_\_\_

**K. FIBER OPTIC**

2.50 Design and construct fiber optic system to provide access to the City's conduit and fiber optic system per the City's Fiber Optic Master Plan. Building entrance conduits shall start from the closest OntarioNet hand-hole constructed along the project frontage in the ROW and shall terminate in the main telecommunications room for each building. Generally located along Sixth Street property frontage, see Fiber Optic Exhibit herein for reference.

2.51 Refer to the City's Fiber Optic Master Plan for design and layout guidelines. Contact the Information Technology Department at (909) 395-2000, regarding this requirement.

**L. Solid Waste**

2.52 Onsite solid waste shall be designed in accordance with the City's Solid Waste Manual location at:

<http://www.ontarioca.gov/municipal-utilities-company/solid-waste>

2.53 Other conditions:

1. The applicant/developer shall submit a Solid Waste Handling Plan (SWHP) and incorporate the following requirements:
  - a. For designated storage and collection areas not accessible by the standard overhead loading solid waste vehicles (such as areas within parking structures), scouting services utilizing scouting vehicles may be utilized. To utilize scouting services, the following items must be addressed:
    - i. Show scouting vehicle path of travel to assure path of scouting vehicle travel meets minimum access requirement.
    - ii. Show turning radius. inside: # feet. outside: # feet and vertical clearance (floor to overhead obstructions): # feet (including through surface grade breaks).
    - iii. Show typical scaled cross sections of the vertical path of travel through entrances, surface grade breaks, and anywhere the total vertical clearance may change.
  - b. Each staging area must be accessible to the overhead loading solid waste vehicles meeting those vehicle access standards.
  - c. The total of all the staging areas must be sufficiently sized to temporarily locate all the bins on-site for collections and cannot compete/conflict with parking or traffic.

For questions on the SWHP submittal requirements, please contact:

Peter Tran, Associate Engineer  
[ptran@ontarioca.gov](mailto:ptran@ontarioca.gov)  
Phone: (909) 395-2677



**3. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, APPLICANT SHALL:**

- 3.01 **Set new monuments in place of any monuments that have been damaged or destroyed as a result of construction of the subject project. Monuments shall be set in accordance with City of Ontario standards and to the satisfaction of the City Engineer.**
- 3.02 Complete all requirements for recycled water usage. 
  - 1) Procure from the OMUC a copy of the letter of confirmation from the California Department of Public Health (CDPH) that the Engineering Report (ER) has been reviewed and the subject site is approved for the use of recycled water.
  - 2) Obtain clearance from the OMUC confirming completion of recycled water improvements and passing of shutdown tests and cross connection inspection, upon availability/usage of recycled water.
  - 3) Complete education training of on-site personnel in the use of recycled water, in accordance with the ER, upon availability/usage of recycled water.
- 3.03 **The applicant/developer shall submit all final survey documents prepared by a Licensed Surveyor registered in the State of California detailing all survey monuments that have been preserved, revised, adjusted or set along with any maps, corner records or Records of Survey needed to comply with these Conditions of Approvals and the latest edition of the California Professional Land Survey Act. These documents are to be reviewed and approved by the City Survey Office.**
- 3.04 NMC Projects: For developments located at an intersection of any two collector or arterial streets, the applicant/developer shall set a monument if one does not already exist at that intersection. Contact the City Survey office for information on reference benchmarks, acceptable methodology and required submittals.
- 3.05 **Confirm payment of all Development Impact Fees (DIF) to the Building Department.**
- 3.06 **Submit electronic copies (PDF & Auto CAD format) of all approved improvement plans, studies and reports (i.e. hydrology, traffic, WQMP, etc.).**

**4. PRIOR TO FINAL ACCEPTANCE, APPLICANT SHALL:**

- 4.01 **Complete all Conditions of Approval listed under Sections 1-3 above.**
- 4.02 **Pay all outstanding fees pursuant to the City of Ontario Municipal Code, including but not limited to, plan check fees, inspection fees and Development Impact Fees.**
- 4.03 **The applicant/developer shall submit a written request for the City's final acceptance of the project addressed to the City Project Engineer. The request shall state that all Conditions of Approval have been completed and shall be signed by the applicant/developer. Upon receipt of the request, review of the request shall be a minimum of 10 business days. Conditions of Approval that are deemed incomplete by the City will cause delays in the acceptance process.**





## **EXHIBIT 'A'**

### **ENGINEERING DEPARTMENT First Plan Check Submittal Checklist**

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**Project Number: PDEV19-043 and Tract Map No. 20291**

**The following items are required to be included with the first plan check submittal:**

1.  **A copy of this check list**
2.  **Payment of fee for Plan Checking**
3.  **One (1) copy of Engineering Cost Estimate (on City form) with engineer's wet signature and stamp.**
4.  **One (1) copy of project Conditions of Approval**
5.  **Two (2) sets of Potable and Recycled Water demand calculations (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size).**
6.  Three (3) sets of Public Street improvement plan with street cross-sections
7.  Three (3) sets of Private Street improvement plan with street cross-sections
8.  Four (4) sets of Public Water improvement plan (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)
9.  Four (4) sets of Recycled Water improvement plan (include recycled water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size and an exhibit showing the limits of areas being irrigated by each recycled water meter)
10.  Four (4) sets of Public Sewer improvement plan
11.  Five (5) sets of Public Storm Drain improvement plan
12.  **Three (3) sets of Public Street Light improvement plan**
13.  Three (3) sets of Signing and Striping improvement plan
14.  **Three (3) sets of Fiber Optic plan (include Auto CAD electronic submittal)**
15.  **Three (3) sets of Dry Utility plans within public right-of-way (at a minimum the plans must show existing and ultimate right-of-way, curb and gutter, proposed utility location including centerline dimensions, wall to wall clearances between proposed utility and adjacent public line, street work repaired per Standard Drawing No. 1306. Include Auto CAD electronic submittal)**
16.  Three (3) sets of Traffic Signal improvement plan and One (1) copy of Traffic Signal Specifications with modified Special Provisions. Please contact the Traffic Division at (909) 395-2154 to obtain Traffic Signal Specifications.
17.  **Two (2) copies of Water Quality Management Plan (WQMP), including one (1) copy of the approved Preliminary WQMP (PWQMP).**
18.  **One (1) copy of Hydrology/Drainage study**
19.  **One (1) copy of Soils/Geology report**
20.  **Payment for Final Map/Parcel Map processing fee**
21.  **Three (3) copies of Final Map/Parcel Map**






- 22.  One (1) copy of approved Tentative Map
- 23.  One (1) copy of Preliminary Title Report (current within 30 days)
- 24.  One (1) copy of Traverse Closure Calculations
- 25.  One (1) set of supporting documents and maps (legible copies): referenced improvement plans (full size), referenced record final maps/parcel maps (full size, 18"x26"), Assessor's Parcel map (full size, 11"x17"), recorded documents such as deeds, lot line adjustments, easements, etc.
- 26.  Two (2) copies of Engineering Report and an electronic file (include PDF format electronic submittal) for recycled water use
- 27.  Other: \_\_\_\_\_



**CITY OF ONTARIO**  
**LANDSCAPE PLANNING DIVISION**  
 303 East "B" Street, Ontario, CA 91764

**DAB CONDITIONS OF APPROVAL**

Sign Off



Jamie Richardson, Sr. Landscape Planner

5/7/20

Date

Reviewer's Name: <b>Jamie Richardson, Sr. Landscape Planner</b>	Phone: <b>(909) 395-2615</b>
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D.A.B. File No.: PDEV19-043	Case Planner: Jeanie Aguilo
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Project Name and Location:  
 18 Unit Multi Family – Condo Tentative Tract Map  
 TM20291

Applicant/Representative:  
 TZYH DER SUN (Cliff Sun)  
 9431 Longden Ave.  
 Temple City, CA 91780

<input checked="" type="checkbox"/>	<b>A Preliminary Landscape Plan (dated 5/6/2020) meets the Standard Conditions for New Development and has been approved with the consideration that the following conditions below be met upon submittal of the landscape construction documents.</b>
<input type="checkbox"/>	<b>A Preliminary Landscape Plan (dated) has not been approved. Corrections noted below are required prior to Preliminary Landscape Plan approval.</b>

**A RESPONSE SHEET IS REQUIRED WITH RESUBMITTAL OR PLANS WILL BE RETURNED AS INCOMPLETE.**  
 Landscape construction plans with plan check number may be emailed to: [landscapeplancheck@ontarioca.gov](mailto:landscapeplancheck@ontarioca.gov)  
**DIGITAL SUBMITTALS MUST BE 10MB OR LESS.**

**Civil/ Site Plans**

1. Show on demo plans and landscape construction plans trees to be preserved, removed or mitigation measures for trees removed. Tree inventory identifies 129 inches of trunk diameter of heritage trees that will be removed due to construction. Provide mitigation measures as defined below:
  - a. New 15 gallon trees min 1" diameter trunk, in addition to trees required (129-15 gallon)
  - b. New 24" box trees min 1.5" diameter trunk, in addition to trees required. (86-24" box)
  - c. Upsizing trees on the plan one size larger such as 15 gallon to 24" box, or 24" to 36" box size. (to equal trunk replacement)
  - d. Monetary value of the trees removed as identified in the "Guide for Plant Appraisal", approved certified arborist plant appraiser, or may be equal to the value of the installation cost of planting, fertilizing, staking and irrigating 15 gallon trees, (100\$ each) to the City of Ontario Historic Preservation Fund for city tree planting or city approved combination of the above items. (\$12,900)
2. The arborist report identifies various healthy fruit trees that can be relocated to provide a viable resource to the community (see arborist report tree #4, 9, 10, 14, 15, 22, 23, 24, 33, 37, 38, 39, 40, 42 & 44). Contact Arthur Levine (917) 734-8108 at Huerta Del Valle – Ontario Community Garden to coordinate the possible relocation of fruit trees identified to be healthy and vigorous with a rating of B- and above.
3. Coordinate with the City of Ontario Parks and Maintenance Department – Adrian Escamilla, Parks and Maintenance Manager (909) 395-2635 to relocate existing Heritage Tree #20 Phoenix canariensis.
4. Show transformers set back 5' from paving all sides. Coordinate with landscape plans.
5. Show backflow devices set back 4' from paving all sides. Locate on level grade



**Landscape Plans**

- 6. L-1 Existing Tree Matrix: Change “Relocate by City” to “Relocate by Huerte Del Valle.”
- 7. Show backflow devices with 36” high strappy leaf shrub screening and trash enclosures and transformers, a 4’-5’ high evergreen hedge screening. Do not encircle utility, show as masses and duplicate masses in other locations on regular intervals.
- 8. L-2 Landscape Hydrozones; remove “synthetic turf”.
- 9. Show 8’ diameter of mulch at all new tree locations, 12’ min. at existing trees. Detail irrigation dripline outside of mulched root zone.
- 10. Landscape construction plans shall meet the requirements of the Landscape Development Guidelines. See <http://www.ontarioca.gov/landscape-planning/standards>
- 11. After a project’s entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council. Fees are:
  - Plan Check—less than 5 acres.....\$1,301.00
  - Inspection—Construction (up to 3 inspections per phase).....\$278.00
  - Total.....\$1,579.00
  - Inspection—Field – any additional.....\$83.00

Landscape construction plans with building permit number for plan check may be emailed to: [landscapeplancheck@ontarioca.gov](mailto:landscapeplancheck@ontarioca.gov)



# AIRPORT LAND USE COMPATIBILITY PLANNING

## CONSISTENCY DETERMINATION REPORT



Project File No.: PDEV19-043 & PMTT19-011

Address: 1005 & 1023 East 6th Street

APN: 1047-172-17 & 22

Existing Land Use: Single Family Residential

Proposed Land Use: Development Plan 18 unit multi-family townhome complex & Tentative Tract Map for Condominium purposes

Site Acreage: 0.73 Proposed Structure Height: 36 ft

ONT-IAC Project Review: N/A

Airport Influence Area: ONT

Reviewed By: Lorena Mejia

Contact Info: 909-395-2276

Project Planner: Jeanie Aguilo

Date: 11/6/19

CD No.: 2019-053

PALU No.: n/a

### The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input checked="" type="checkbox"/> High Terrain Zone	<input type="radio"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input checked="" type="checkbox"/> FAA Notification Surfaces	<input type="radio"/> Recorded Overflight Notification
<input type="radio"/> Zone 2	<input type="checkbox"/> 65 - 70 dB CNEL	<input checked="" type="checkbox"/> Airspace Obstruction Surfaces	<input checked="" type="checkbox"/> Real Estate Transaction Disclosure
<input type="radio"/> Zone 3	<input type="checkbox"/> 60 - 65 dB CNEL	<input type="radio"/> Airspace Avigation Easement Area	
<input type="radio"/> Zone 4		Allowable Height: <u>70 FT</u>	
<input type="radio"/> Zone 5			

### The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1   
  Zone 2   
  Zone 3   
  Zone 4   
  Zone 5   
  Zone 6


Allowable Height: \_\_\_\_\_

## CONSISTENCY DETERMINATION

This proposed Project is:  Exempt from the ALUCP     Consistent     Consistent with Conditions     Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

Real Estate Transaction Disclosure Required

Airport Planner Signature: 



# CITY OF ONTARIO

## MEMORANDUM

**TO:** Jeanie Irene Aguilo, Associate Planner  
Planning Department

**FROM:** Paul Ehrman, Deputy Fire Chief/Fire Marshal  
Fire Department

**DATE:** August 7, 2019

**SUBJECT:** PDEV19-043 – A Development Plan to construct 18 multiple-family dwellings on 0.76 acres of land located at 1005 and 1023 East Sixth Street, within the HDR-45 (High Density Residential - 25.1 to 45.0 DU/Acre) zoning district. (APNs: 1047-172-17 and 1047-172-22).

- 
- The plan **does** adequately address Fire Department requirements at this time.
- Standard Conditions of Approval apply, as stated below.

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### **SITE AND BUILDING FEATURES:**

- A. 2016 CBC Type of Construction: Type V
- B. Type of Roof Materials: Ordinary
- C. Ground Floor Area(s): 19,380 Sq. Ft
- D. Number of Stories: 3
- E. Total Square Footage: 46,552 Sq. Ft.
- F. 2016 CBC Occupancy Classification(s): S2, R2

## **CONDITIONS OF APPROVAL:**

### **1.0 GENERAL**

- ☒ 1.1 The following are the Ontario Fire Department (“Fire Department”) requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards (“Standards.”) It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at [www.ontarioca.gov](http://www.ontarioca.gov), click on “Fire Department” and then on “Standards and Forms.”
- ☒ 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

### **2.0 FIRE DEPARTMENT ACCESS**

- ☒ 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See Standard #B-004.
- ☒ 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25’) inside and forty-five feet (45’) outside turning radius per Standard #B-005.
- ☒ 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150’) in length shall have an approved turn-around per Standard #B-002.
- ☒ 2.4 Access drive aisles which cross property lines shall be provided with CC&Rs, access easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of building plan check.
- ☒ 2.5 "No Parking-Fire Lane" signs and /or red painted curbs with lettering are required to be installed in interior access roadways, in locations where vehicle parking would obstruct the minimum clear width requirement. Installation shall be per Standard #B-001.
- ☒ 2.6 Security gates or other barriers on fire access roadways shall be provided with a Knox brand key switch or padlock to allow Fire Department access. See Standards #B-003, B-004 and H-001.
- ☒ 2.7 Any time PRIOR to on-site combustible construction and/or storage, a minimum twenty-four (24) ft. wide circulating all weather access roads shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved by fire department and other emergency services.

### 3.0 WATER SUPPLY

- ☒ 3.1 The required fire flow per Fire Department standards, based on the 2016 California Fire Code, Appendix B, is 2675 gallons per minute (g.p.m.) for 4 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.
- ☒ 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300') apart, per Engineering Department specifications.
- ☒ 3.4 The water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

### 4.0 FIRE PROTECTION SYSTEMS

- ☒ 4.2 Underground fire mains which cross property lines shall be provided with CC & R, easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of fire department plan check. The shared use of private fire mains or fire pumps is allowable only between immediately adjacent properties and shall not cross any public street.
- ☒ 4.3 An automatic fire sprinkler system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard ~~Choose an item.~~ All new fire sprinkler systems, except those in single family dwellings, which contain twenty (20) sprinkler heads or more shall be monitored by an approved listed supervising station. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- ☒ 4.4 Wood frame buildings that are to be sprinkled shall have these systems in service (but not necessarily finalized) before the building is enclosed.
- ☒ 4.5 Fire Department Connections (FDC) shall be located on the address side of the building within one hundred fifty feet (150') of a public fire hydrant on the same side of the street. Provide identification for all fire sprinkler control valves and fire department connections per Standard #D-007. Raised curbs adjacent to Fire Department connection(s) shall be painted red, five feet either side, per City standards.
- ☒ 4.6 A fire alarm system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 72. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- ☒ 4.7 Portable fire extinguishers are required to be installed prior to occupancy per Standard #C-001. Please contact the Fire Prevention Bureau to determine the exact number, type and placement required.



- ☒ 4.8 A fixed fire extinguishing system is required for the protection of hood, duct, plenum and cooking surfaces. This system must comply with National Fire Protection Association (NFPA) Standards 17A and 96. An application with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.

## **5.0 BUILDING CONSTRUCTION FEATURES**

- ☒ 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- ☒ 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.
- ☒ 5.3 Single station smoke alarms and carbon monoxide alarms are required to be installed per the California Building Code and the California Fire Code.
- ☒ 5.4 Multiple unit building complexes shall have building directories provided at the main entrances. The directories shall be designed to the requirements of the Fire Department, see Section 9-1 6.06 of the Ontario Municipal Code and Standard #H-003. .
- ☒ 5.5 All residential chimneys shall be equipped with an approved spark arrester meeting the requirements of the California Building Code.
- ☒ 5.6 Knox ® brand key-box(es) shall be installed in location(s) acceptable to the Fire Department. All Knox boxes shall be monitored for tamper by the building fire alarm system. See Standard #H-001 for specific requirements.

## **7.0 PROJECT SPECIFIC CONDITIONS**

- ☒ 7.1 Due to the proposed depth of construction off of 6<sup>th</sup> Street, a public fire hydrant shall be required within 100 ft. from the main entrance to the project



# CITY OF ONTARIO

## MEMORANDUM

**TO:** Jeanie Irene Aguilo, Associate Planner

**FROM:** Officer Emily Hernandez, Police Department

**DATE:** August 7, 2019

**SUBJECT:** PDEV19-043: A DEVELOPMENT PLAN TO A CONSTRUCT 18-UNIT MULTI-FAMILY TOWNHOME COMPLEX LOCATED AT 1005 AND 1023 EAST SIXTH STREET.

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The “Standard Conditions of Approval” contained in Resolution No. 2017-027 apply. The applicant shall read and be thoroughly familiar with these conditions, including but not limited to, the requirements listed below.

- Required lighting for all walkways, driveways, doorways, parking areas, and other areas used by the public shall be provided and operate on photosensor at the prescribed foot-candle levels. Photometrics shall be provided to the Police Department. Photometrics shall include the types of fixtures proposed and demonstrate that such fixtures meet the vandal-resistant requirement. Planned landscaping shall not obstruct lighting.
- The Applicant shall comply with all construction site security requirements as stated in the Standard Conditions. This includes the provisions for perimeter lighting, site lighting, fencing and/or uniformed security.
- First floor common stairwells shall be constructed so as to either allow for visibility through the stairwell risers or to prohibit public access to the areas behind stairwells.
- Rooftop addresses shall be installed on the buildings as stated in the Standard Conditions. The numbers shall be at a minimum 3 feet tall and 1 foot wide, in reflective white paint on a flat black background, and oriented with the bottom of the numbers towards the addressed street.

The Applicant is invited to call Emily Hernandez at (909) 408-1755 with any questions regarding these conditions.

# CITY OF ONTARIO

## MEMORANDUM

**TO:** PLANNING DEPARTMENT, Jeanie Irene Aguilo  
**FROM:** BUILDING DEPARTMENT, Kevin Shear  
**DATE:** July 24, 2019  
**SUBJECT:** PDEV19-043

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- The plan **does** adequately address the departmental concerns at this time.
- No comments
- Report below.

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### Conditions of Approval

1. The Site addresses for this project will be  
1007 E 6<sup>th</sup> St Units 1-8  
1009 E 6<sup>th</sup> St Units 9-18
2. Standard conditions of approval apply.

KS:lr