

V. COMPONENT PLANS

A. CIRCULATION AND ACCESS

The traffic study for this specific plan is included in the Haven Gateway Centre EIR, EIR 89-2, transportation circulation section. A copy of the approved traffic study is included in the appendices of this document. (See Appendix E.)

1. Street Alignments

Haven Gateway Centre will be limited to the peak hour trips stated in the project traffic study included in the appendices of this document. The project sponsor will be responsible to supply the City projected peak hour trips generated from each site as it is developed. The trip generation rates will be from the ITE trip Generation Manual or other recognized publication approved by the City Engineer. The City will use the supplied information to monitor the traffic generated from this development.

The proposed alignment of the backbone streets within Haven Gateway Centre is illustrated in Exhibit 20. It is intended that existing centerlines will be maintained for Haven Avenue and Philadelphia Street. Philadelphia Street will be extended from Haven Avenue along its present alignment and swing northerly to intersect with Mission Boulevard.

The existing alignment of Mission Boulevard will be retained adjacent to Haven Gateway Centre. As part of the Haven Avenue corridor project, Mission Boulevard will be realigned slightly to the south as it approaches Haven Avenue. This will allow Mission Boulevard to drop below existing grades to meet the future Haven Avenue after it (Haven Avenue) passes under the Union Pacific rail line.

Brentstone Street will be extended westerly along its present alignment to the Edison R.O.W. From the Edison R.O.W. to Philadelphia Street, the name will change to Ponderosa Avenue. Earlstone Drive will essentially parallel Brentstone beginning at the extension of Doubleday Avenue, east of the Edison R.O.W. From the Edison R.O.W. to Philadelphia Street, the street name will change to Sequoia Avenue. The applicant shall enter into an agreement with the City for use of City-owned property adjacent to SR-60, shown to be incorporated into the Brentstone Street right-of-way within the specific plan.

Doubleday Avenue, adjacent to the Milliken Industrial Park, will be constructed to its full width. Doubleday Avenue, from the Milliken Industrial Park north, will be constructed to accommodate a minimum of two (2) lanes of travel per City standards.

**Specific Plan
Haven Gateway Centre**

It is also anticipated that Haven Avenue will have a median break at the intersection with Philadelphia Street.

Haven Avenue between SR-60 and Philadelphia Street will be limited to one right in/right out access point. Haven Avenue between Philadelphia Street and Mission Boulevard will have limited access which will be subject to the approval of the City Engineer. The City Engineer's approval would be limited to a maximum of one right in/right out access point.

The dedication for and construction of Haven Avenue and the Haven Avenue/SR 60 Interchange adjacent to the Haven Gateway Centre shall be done in accordance with Assessment District No. 103. Information regarding additional street dedication shall be found by referring to the proper Assessment District Documents. See Appendix B.

Kingsway Development Corp. has an Easement Agreement with Southern California Edison Company for two road crossings across the subject right of way. See Appendix D of this Specific Plan. The applicant shall be responsible for acquiring public street dedication and constructing street improvements across the SCE right-of-way at the time of subdivision map approval.

Each applicant for each phase will construct or bond for all required street improvements within or adjacent to their phase of the Haven Gateway Centre Project at the time of their subdivision map approval. Included in the required street improvements are any traffic signals that are determined needed by the traffic study. The above requirement does not apply to street improvements currently funded or proposed to be funded by assessment districts, including assessment district 103, see Appendix B of this document.

Each applicant for each phase will construct all adjacent improvements on Mission Boulevard consistent with the Mission Boulevard Corridor Study and this Specific Plan. Pursuant to the Mission Boulevard Corridor Study, access along Mission Boulevard should be retained with signalized intersections at 0.5 mile or greater intervals and with one intermediate right-in-right-out intersections between each pair of signals. An intermediate intersection may be possible to occur along Parcel 29, however, any potential access to Parcel 29 shall be determined at the time of site plan review.

The precise center lines of all streets within Haven Gateway Centre will be determined as part of the parcel map approval process.

2. Phasing

Haven Gateway Centre will be developed in three (3) separate phases, but not necessarily in any particular order. (See Exhibit 5). Each phase will construct all the necessary infrastructures to supply it's needs, as required by the City of Ontario, during the subdivision map approval process.

All streets that are entirely within the boundaries of a single phase will be constructed to their full widths during the development of that phase.

Philadelphia's centerline is the dividing line between Phases I and II, henceforth, Philadelphia Street will be improved during the development of Phase I and or Phase II, whichever phase is first to submit a subdivision map for final approval. The actual parameters of Philadelphia's construction, full width or partial width, will be determined by a subsequent traffic study. The subsequent traffic study will be determined using criteria set forth by the City of Ontario's Engineering Department. The traffic study will be submitted and approved before the subdivision map can receive final approval.

The Intersection of Philadelphia and Mission will be constructed during the development of Phase I or Phase II, whichever phase is first to submit a subdivision map for final approval. The actual parameters of the intersection's construction will be decided during the subdivision map's approval process.

3. Design Parameters

- a. Intersection Configurations - The intersection configurations required to support the project area are included in the Haven Gateway Centre EIR, Section 3-7, Transportation/Circulation, which is included in the appendices of this document. See Appendix E.

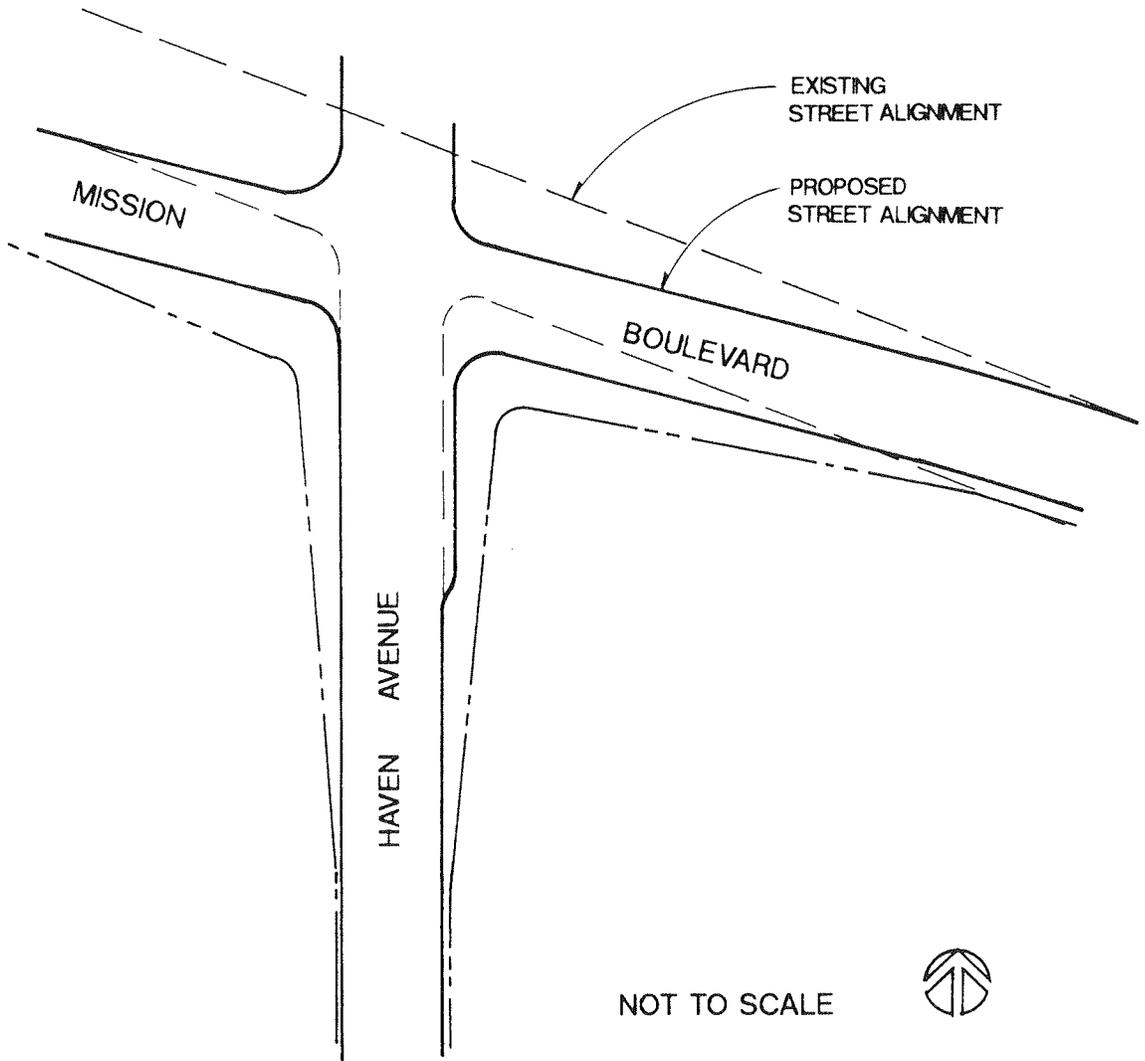
4. Pedestrian Circulation

A pedestrian circulation system will be provided along all the streets with connection to potential commercial/office developments and transit stops. Walks will occur on internal collectors as shown in Exhibit 20 and on both sides on arterial streets. The widths of the walks will be 5' and be adjacent to the curb. Handicap access will also be provided at all intersections and parcel driveways, per the City of Ontario standards. (See Exhibit 20.)

5. Public Transit

- a. Transit Routes (See Exhibit 23.)
- b. Bus Stop Turnouts

Since the optimal routes and terminus points cannot be precisely determined at this time, locations for bus stop turnouts cannot be precisely determined at this time. However, several potential bus turnout points can be identified. These include the west side of Haven Avenue north of Philadelphia Street, The south side of Mission Boulevard at Philadelphia Street and the west side of Doubleday at Greystone Drive. (See Exhibit 26.)



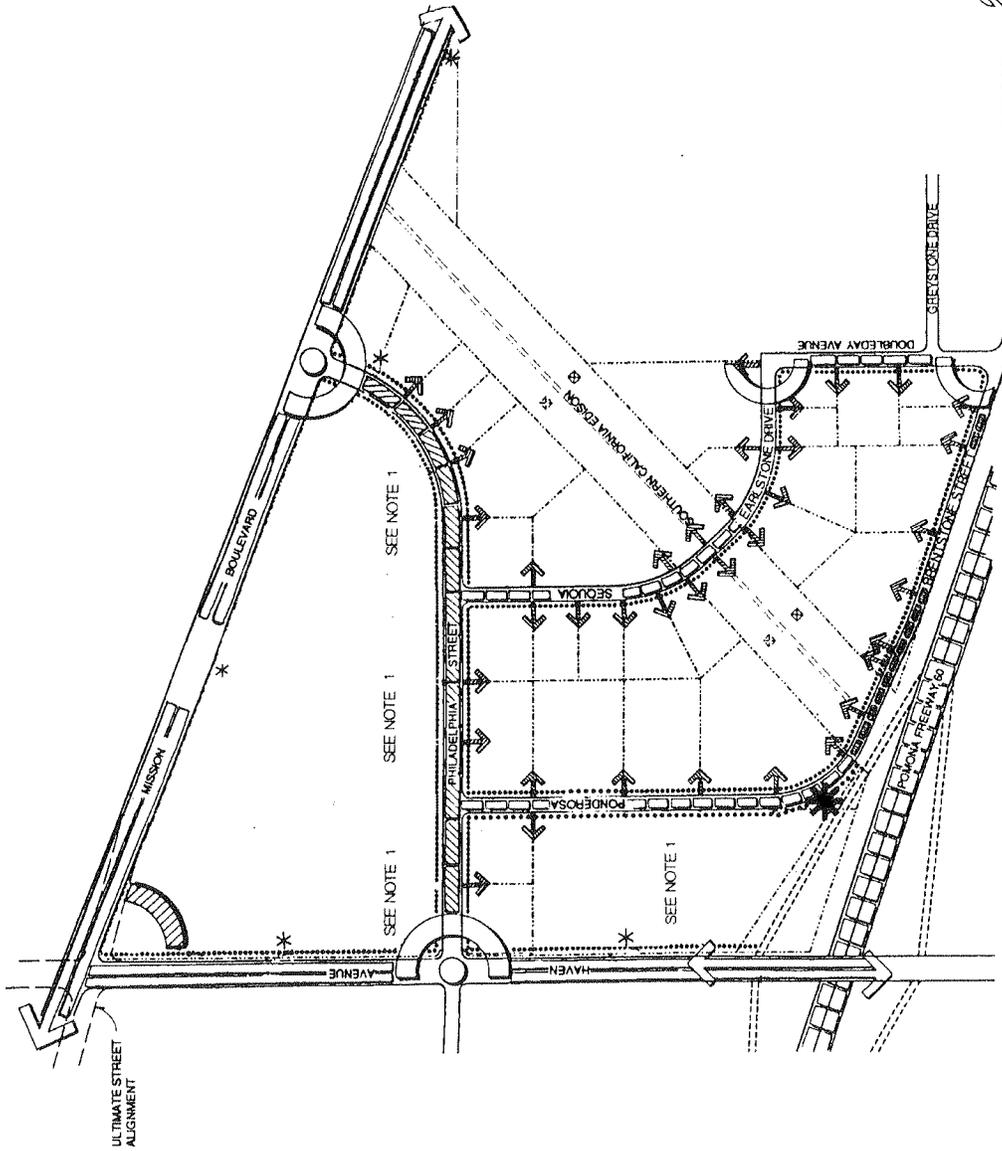
HAVEN GATEWAY CENTRE

Ontario, California

MISSION/HAVEN
ULTIMATE ALIGNMENT

EXHIBIT 19

Haven Gateway Centre Specific Plan



LEGEND

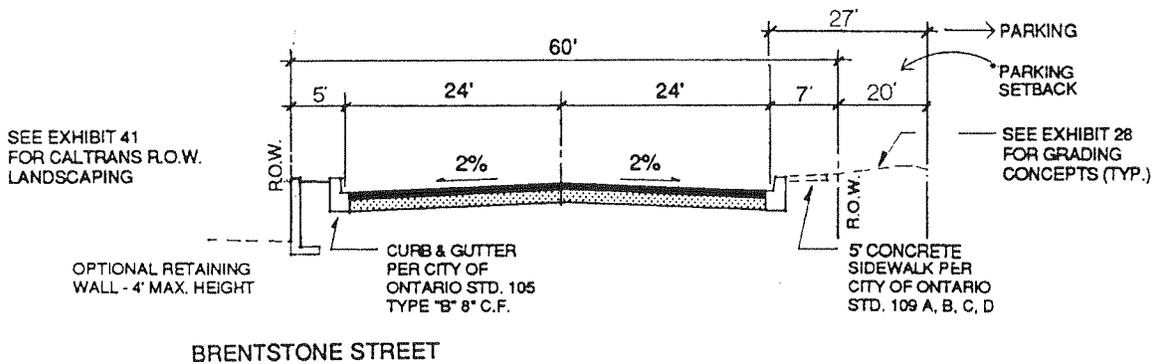
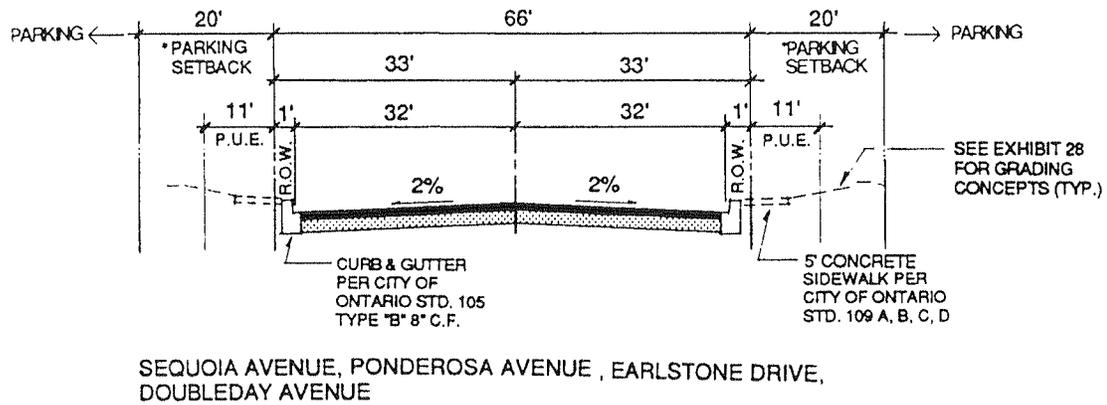
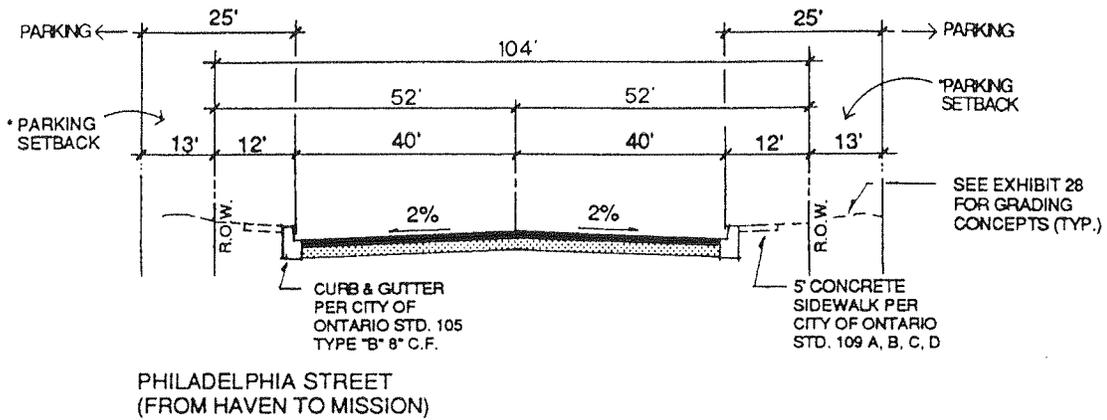
- PROJECT IDENTITY SIGNAGE
- PRIMARY GATEWAY WITH SIGNAGE
- SECONDARY GATEWAY WITH SIGNAGE
- PYLON SIGN LOCATION, SEE EXHIBIT 50
- EXISTING ARTERIALS WITH PROPOSED IMPROVEMENTS
- PROPOSED STANDARD ARTERIAL COLLECTOR
- PROPOSED LOCAL INDUSTRIAL STREET
- POMONA FREEWAY 60
- PROPOSED PEDESTRIAN CIRCULATION - 5' WALK, ADJACENT TO CURB
- PROPOSED PARCEL ENTRIES FULL TURNING MOVEMENTS
- RIGHT-IN, RIGHT-OUT TURNING MOVEMENT - FINAL APPROVAL AND LOCATION TO BE DETERMINED BY PLANNING AND ENGINEERING DEPARTMENT AT THE TIME OF SITE PLAN DEVELOPMENT REVIEW
- SCE MAINTENANCE ACCESS ROAD, 14' WIDE WITH 16' WIDE GRASSCRETTE (OR AS APPROVED BY SCE) PAVING AT ENTRY

NOTE 1
ACCESS TO PHASES I & II WILL BE DETERMINED AND APPROVED AT THE TIME OF SUBDIVISION MAP AND/OR SITE PLAN DEVELOPMENT REVIEW.



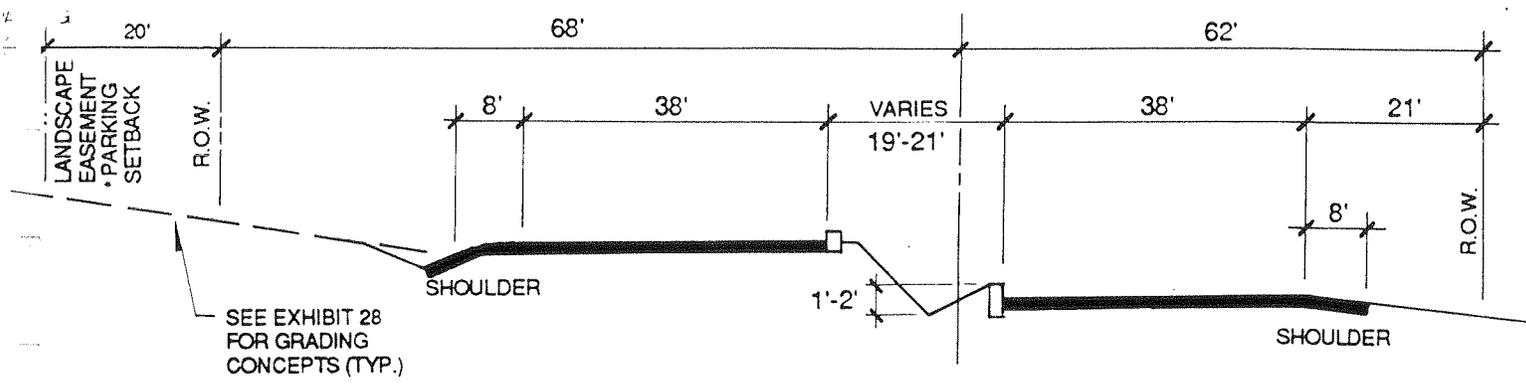
NOT TO SCALE

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NOTE: REFER TO TABLES 3 AND 4 FOR BUILDING SETBACK REQUIREMENTS.
* CAR OVERHANG CANNOT EXTEND INTO LANDSCAPE EASEMENT.

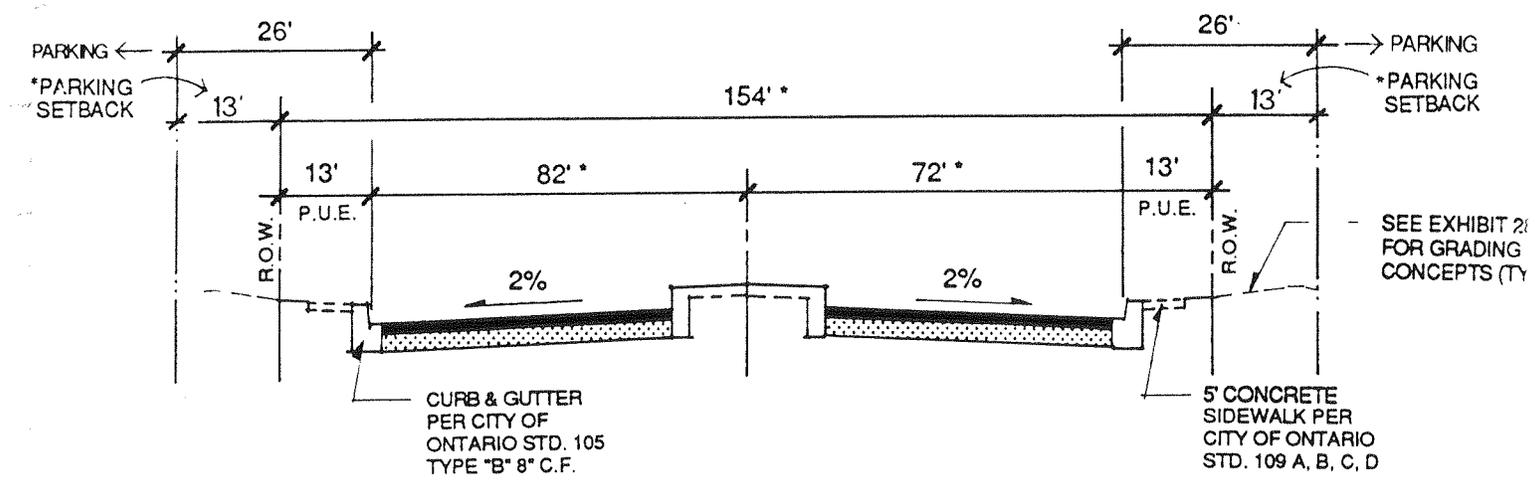
EXHIBIT 21
TYPICAL MIDBLOCK STREET SECTIONS -
PHILADELPHIA, BRENTSTONE, EARLSTONE,
DOUBLEDAY, SEQUOIA, AND PONDEROSA



MISSION BOULEVARD

NOTE:
THE FINAL MISSION BOULEVARD ROAD SECTIONS WILL BE DETERMINED AS PART OF THE CITY'S MISSION BOULEVARD CORRIDOR STUDY.

20' LANDSCAPED AREA BEYOND PUBLIC RIGHT-OF-WAY PER CITY OF ONTARIO PLANNING COMMISSION RESOLUTION #2392.



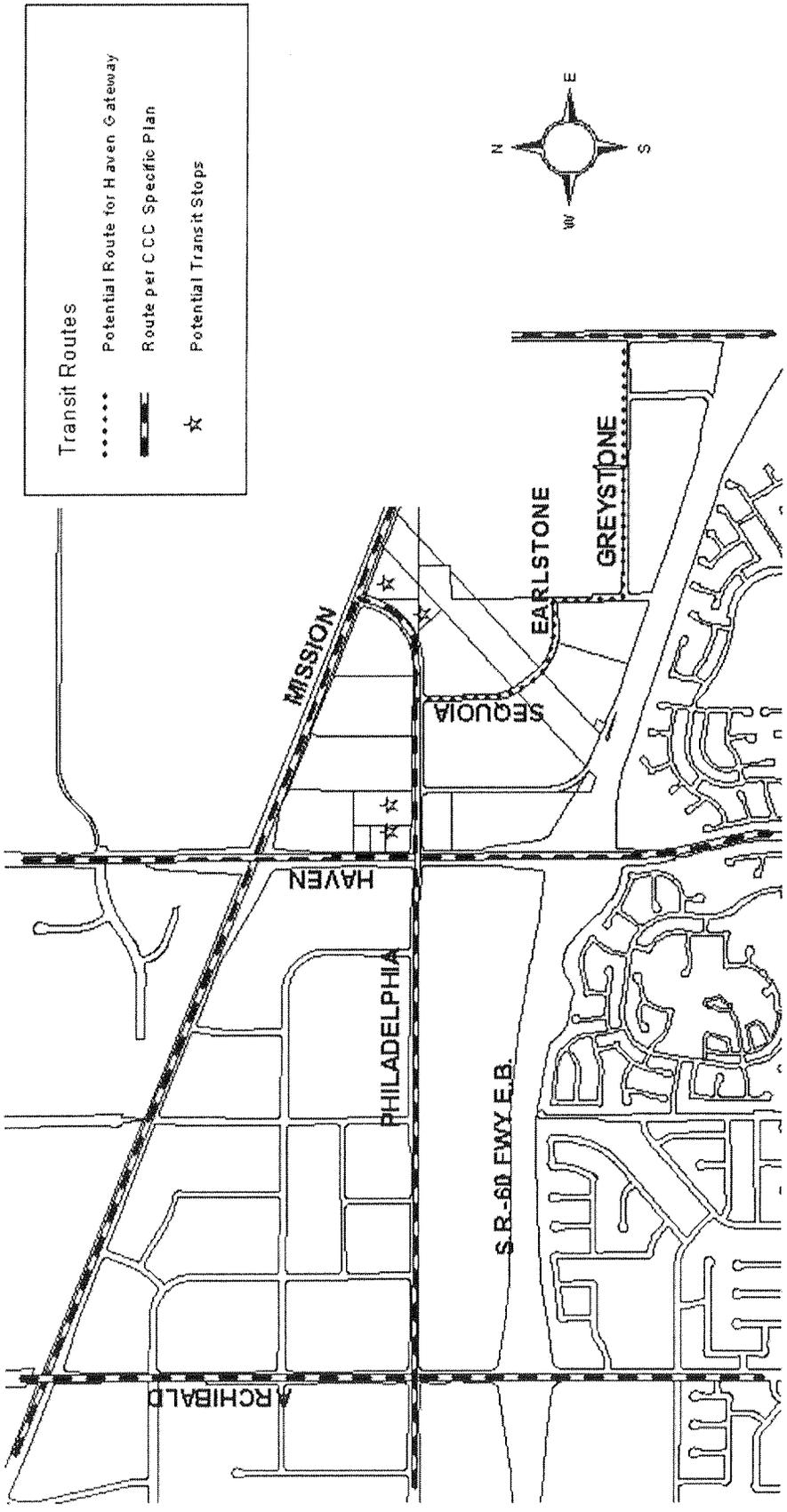
HAVEN AVENUE

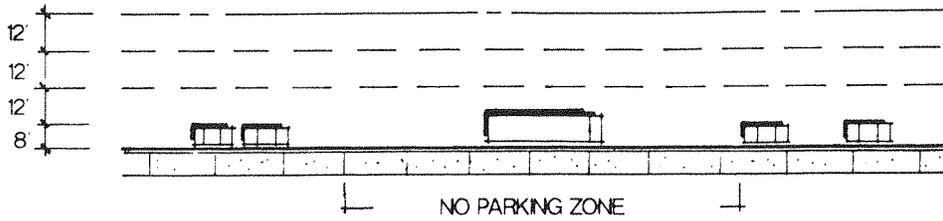
* ULTIMATE STREET SECTION PER HAVEN AVENUE ASSESSMENT DISTRICT (A.D. 103) PLANS.

NOTE: REFER TO TABLES 3 AND 4 FOR BUILDING SETBACK REQUIREMENTS.
* CAR OVERHANG CANNOT EXTEND INTO LANDSCAPE EASEMENT.

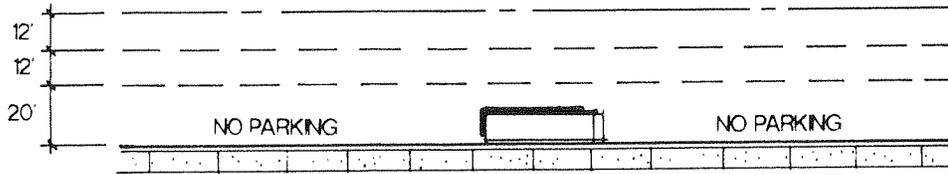
HAVEN GATEWAY CENTRE

TYPICAL STREET SECTIONS - HAVEN AND MISSION

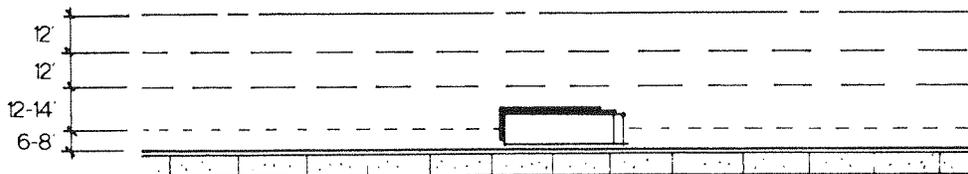




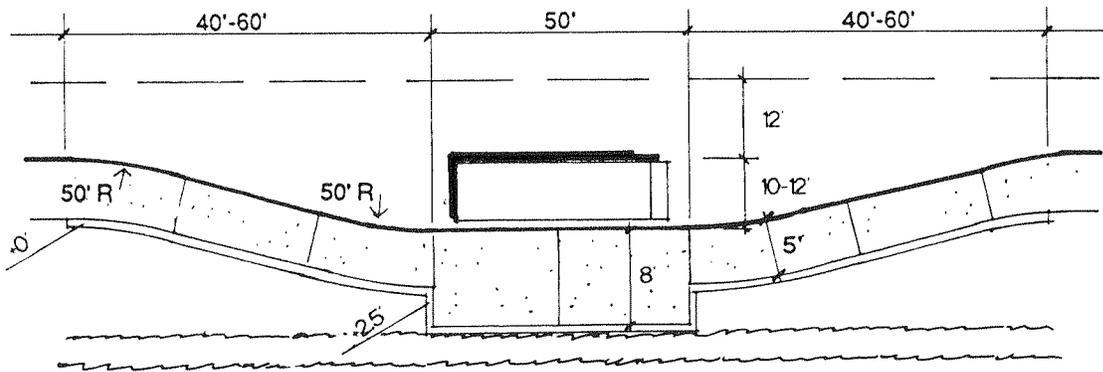
BUS STOP IN PARKING LANE



BUS STOP IN EXTRA-WIDE CURB LANE



BUS STOP IN BIKE LANE



LARGE BUS TURNOUT

NOTE: TYPE OF BUS STOP IS NOT DETERMINED AT THIS TIME.
PUBLIC TRANSIT STOPS TO BE DETERMINED BY
OMNI-TRANS.

B. INFRASTRUCTURE

1. Phasing of Infrastructures

Haven Gateway Centre will be developed in three (3) separate phases, I, II, and III, but not necessarily in that order. Infrastructure Exhibits 25, 26, and 27 were designed as if Phase I, II, and III were developed in chronological order, which is currently the anticipated order of development. If the order of development changes in the future, each phase's sponsor/applicant will construct or bond for all required drainage, water, and wastewater improvements to serve their phase of the Haven Gateway Centre Project. At the time of each phase's subdivision map approval the Engineering Department will determine what infrastructure is necessary to support that phase.

2. Storm Drain System

The project sponsor will construct all drainage facilities necessary to provide 100-year flood protection (see Exhibit 25, Conceptual Storm Drain Master Plan). For more detailed information regarding drainage facilities, see the Haven Gateway Centre Technical Master Plan for Drainage. Appendix C of this Specific Plan.

3. Water System

The water required to support development of Haven Gateway Centre will be provided by the expansion of the City of Ontario's existing water system. A Technical Master Plan for water service has been prepared to identify the facilities which will be constructed as part of this extension, and is included in the Appendices to this document. The Technical Master Plan for Water indicates the water facilities required to be constructed by the applicant to serve the Specific Plan boundary, including off-site facilities necessary to provide service and meet fire flow requirements.

The Master Plan examines existing facilities and specifies the expansion of the water system infrastructure required by development and construction. The Master Plan also defines development needs in terms of flow requirements based on proposed land use as designated in the Specific Plan.

In the event the project sponsor elects to develop at higher densities than shown in the Specific Plan, a revision to the Master Plan may be required. These revisions may require additional on-site and/or off-site water system improvements. Should the project sponsor require service in advance of the City's ability to supply, system improvements shall be installed under a project sponsor-led improvement program.

The project sponsor may be requested to participate, pursuant to City policy in effect at the time of request, for facility oversizing, and/or off-site construction at the time the improvements

are made. The City may enter into a reimbursement agreement, for those facilities that may qualify, after the applicant has constructed all interior and adjacent water improvements at his own expense. Fee schedules in effect at the time of development shall also be applied. Public water facilities will be placed in dedicated public streets, in other dedicated easements within private streets, or in other dedicated easements subject to the approval of the City Engineer and Public Services Director (see Exhibit 26, Water Master Plan).

4. Wastewater

A Technical Master Plan for Sewer Service has been prepared, and is included in Appendix C of this document. The Master Plan identifies flows based on generation factors pursuant to proposed land use. The Master Plan also specifies the tentative size and capacities of the system to be constructed by the project sponsor.

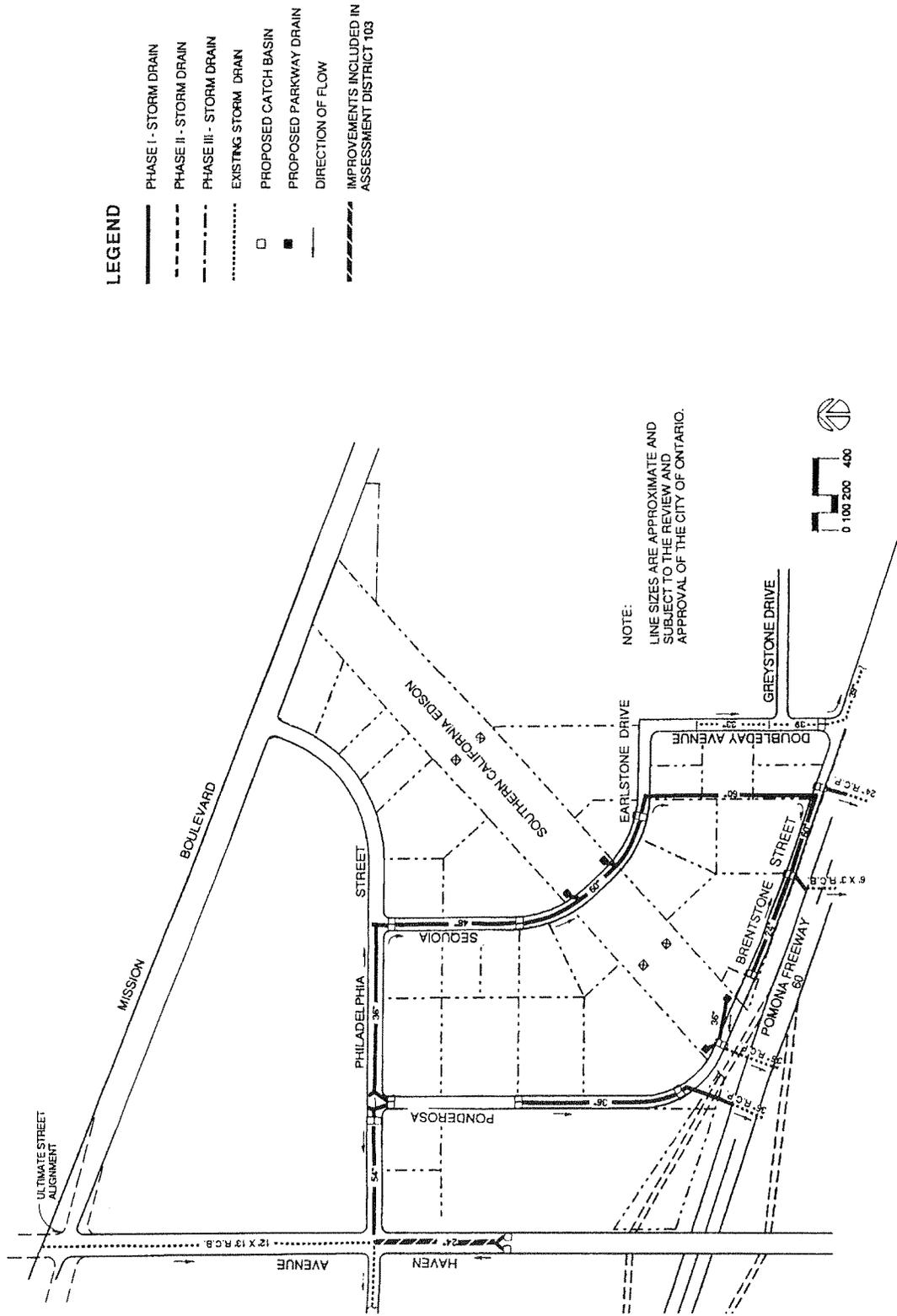
The City of Ontario shall not be obligated to assure Haven Gateway Centre capacity on connections to any facilities under the jurisdiction of the CBMWD. Any change in Master Plan use will necessitate a revision to the Master Plan, and require appropriate agency approval.

The construction of public wastewater facilities will be placed in dedicated streets, in dedicated easements within private streets or, in other dedicated easements subject to the approval of the City Engineer and Public Services Director.



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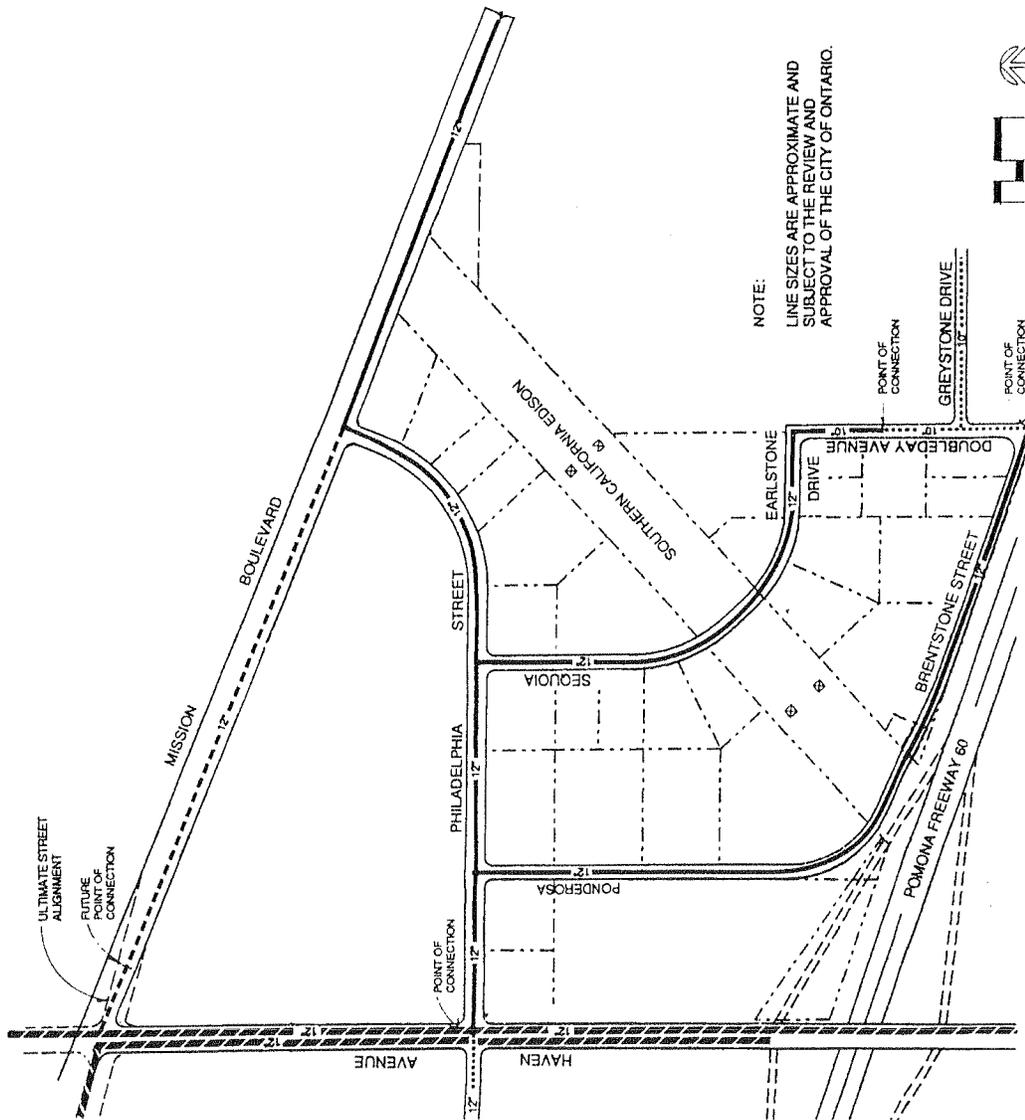




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- LEGEND**
- PHASE I - WATER LINE
 - - - PHASE II - WATER LINE
 - · - · PHASE III - WATER LINE
 - EXISTING WATER LINE
 - ▨ IMPROVEMENTS INCLUDED IN ASSESSMENT DISTRICT 103



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LEGEND

- PHASE I - SEWER LINE
- - - PHASE II - SEWER LINE
- · - · PHASE III - SEWER LINE
- EXISTING SEWER LINE
- DIRECTION OF FLOW
- ▬ IMPROVEMENTS INCLUDED IN ASSESSMENT DISTRICT 103

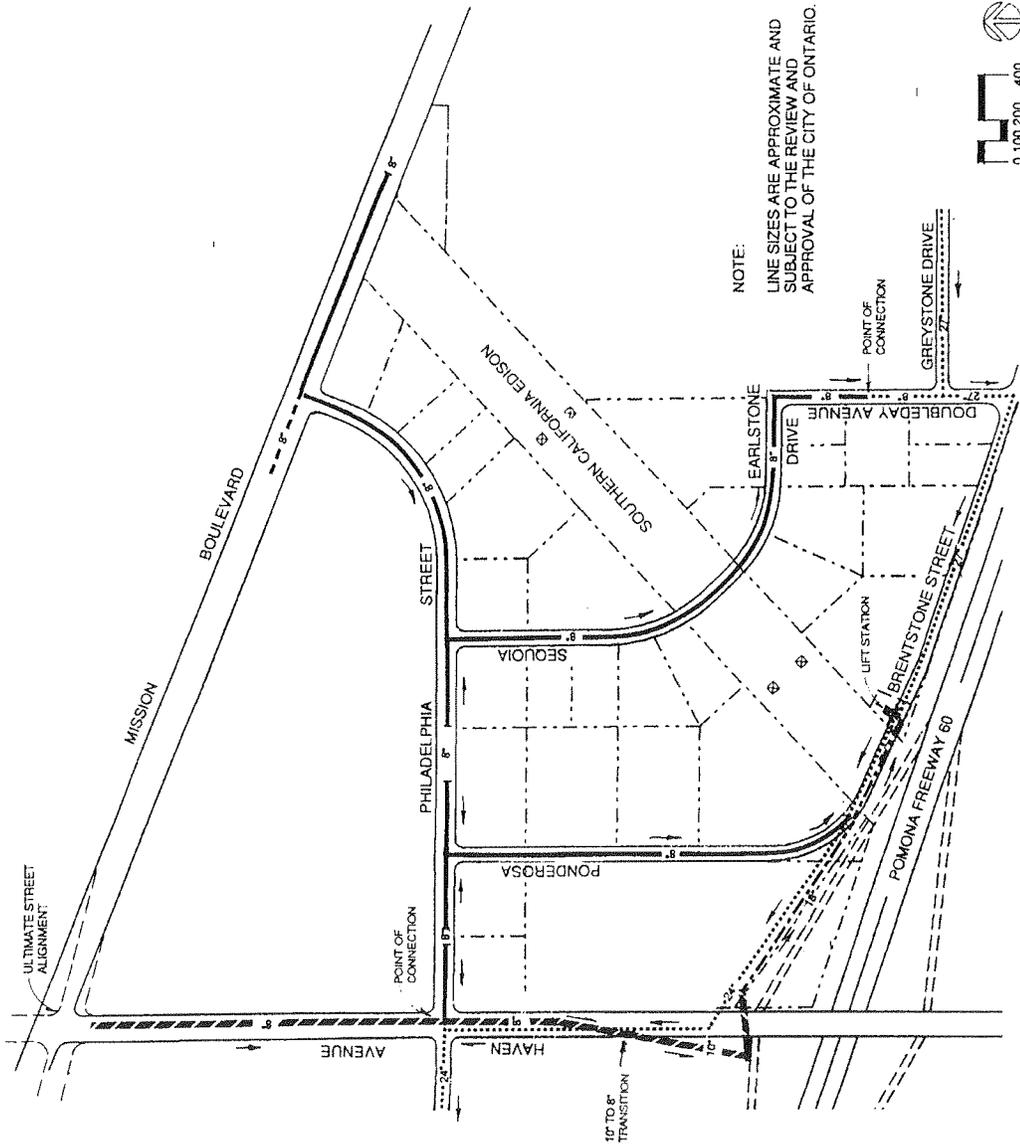


EXHIBIT 27 SEWER MASTER PLAN

C. PUBLIC UTILITIES

All public utilities will be underground.

1. Electricity

Electrical service within Haven Gateway Centre will be provided by the Southern California Edison Company (SCE).

The ultimate configuration of electrical facilities shall be as approved by SCE. The electrical facilities will be consistent with the development of land within the site such that adequate electrical service is available to developed uses within the site at all times.

2. Natural Gas

Natural gas service within Haven Gateway Centre will be provided by the Southern California Gas Company.

All natural gas lines within the site will be placed underground within dedicated public streets, dedicated public utility easements along streets, or in dedicated easements within private streets, as approved by the City Engineer and the Southern California Gas Company.

The ultimate configuration of natural gas facilities shall be as approved by the Southern California Gas Company. The development of natural gas facilities shall be consistent with the development of land within the site such that adequate natural gas service is available to developed uses within the site at all times.

3. Telephone

Telephone service within Haven Gateway Centre will be provided by the General Telephone Company (GTE). To provide adequate telephone service to uses within Haven Gateway Centre, an on-site system of telephone lines will be connected to the existing cable systems in Haven.

All telephone lines within the site will be placed underground (including existing overhead lines) within dedicated public streets, dedicated public utility easements along street, or in dedicated easements within private streets, as approved by the City Engineer and GTE.

In addition to regular telephone service lines, a "High Digital" service will be made available through GTE to users within Haven Gateway Centre. This service consists of "fiber-optic" cable used for computer systems. According to GTE, a 1.5 megabyte "high cap" will be offered. A separate ducting system will be provided within the project site for this service.

The ultimate configuration of telephone facilities may be designed by the project sponsor or directly by GTE. The actual construction of the telephone cabling system involves the laying of conduit through which actual lines will be run to the specifications of GTE.

The development of construction of telephone facilities shall be consistent with the development of land within the site such that adequate telephone service is available to developed uses within the site at all times.

4. Solid Waste

Solid waste collection service will be performed by the City of Ontario. The Solid Waste Superintendent shall determine the type, size, quantity, and location of all solid waste receptacles. All refuse enclosures shall be constructed to City specifications. Refuse compaction shall be required of all multiple story development.

D. COMMUNITY FACILITIES

1. Fire Protection

The City of Ontario currently provides fire protection service to the project area.

2. Police Protection

Police protection to the project will be provided by the City of Ontario through their existing police services.

3. Open Space

Open space within Haven Gateway Centre will be provided in building setbacks along streets, streetscape treatments and by the standards set for on-site landscaping. In addition, it is anticipated that commercial uses within the project site will provide outdoor plaza areas for patrons.

E. GRADING

Because the Haven Gateway Centre site is essentially flat, grading operations will be minimal. Grading will be balanced within each Phase (see Exhibit 5).

Grading will occur throughout the project site on a limited scale. The general intent of the grading program is to provide suitable building pad areas and adequate site drainage.

As part of the construction of the Haven Avenue corridor, Haven Avenue will be depressed as it nears Mission Boulevard in order to run under the existing rail line on the north side of Mission. Mission Boulevard will be realigned slightly to the south of the existing alignment, and will be depressed in order to cross Haven Avenue at grade. Grading on the site will be consistent with the "Haven Avenue Plan of Works."

In addition to the grading which will occur at Mission Boulevard, Haven Avenue will be bridged over the Pomona Freeway in a six- or eight-lane configuration, and a westbound on-ramp will be constructed. As a result, a roadway slope of up to 20 feet in vertical height will be created. This slope will be visible from on-site land uses.

F. LANDSCAPE CONCEPT

The landscape elements for Haven Gateway Centre will play a key role to provide the overall framework, organization and visual image of a high quality development. These elements will blend together the architectural massing and varied site plan elements, and create and convey the character of a park-like working environment. (See Exhibit 30, Landscape Concept Plan.)

As part of the visual character, the landscape will integrate Haven Gateway Centre into the surrounding environment and into the proposed adjacent developments and streetscapes. The landscape of interior parcels shall recognize the landscape framework and extend this framework where appropriate.

The landscape plan is based on a hierarchy of street systems and related gateways, which develops a visual progression through the project. A simple landscape treatment will add a unified appearance to the street edge, while maximizing views. The landscape will work to frame and enhance these view windows into the various parcels along the major travel corridors.

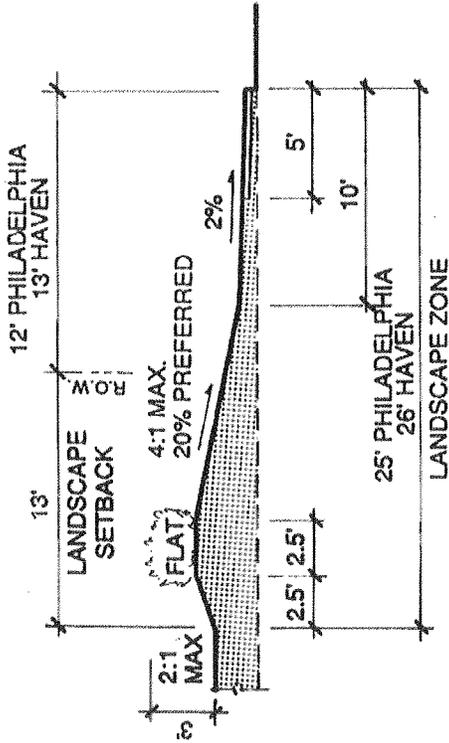
In response to a growing concern to conserve water and energy, the plant material palette will include drought tolerant plants adapted to the inland valleys, and selected for their low maintenance and high aesthetic qualities. Per the City of Ontario's Landscape Standards, not more than 50% of the landscaped areas will have turf. Landscape planting techniques, irrigation practices and maintenance should be part of a water conservation program, to ensure viability of the landscape. The plants included in the landscape concept may be substituted by the City of Ontario with equivalent plant materials.

The plan consists of four major landscape components which include the streetscapes, gateway identity statements, buffer planting and on-site landscaping for individually developed parcels. These elements together make up the visual character for the Haven Gateway Centre.

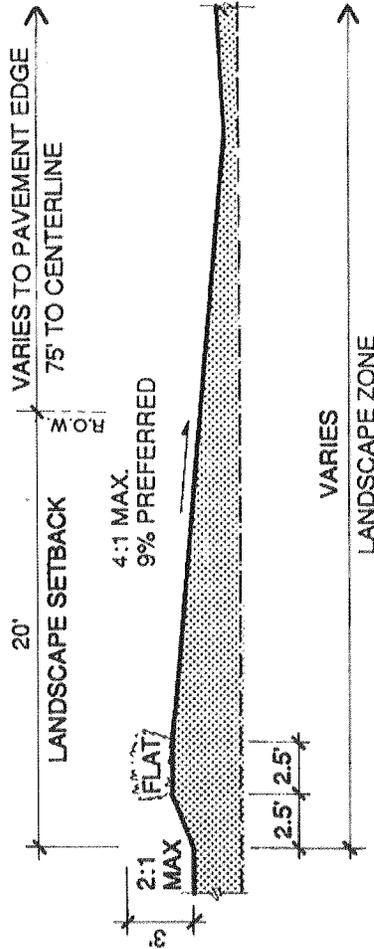
1. Streetscapes

The landscape concept for the streets is based in part on the agricultural and historical reference to the existing eucalyptus windrows and the tree lined drives of the region. The intent of the landscape is to provide a strong, yet simple, visual edge on all the streets. Color, form, and texture of the plant materials are key characteristics in the make-up of these landscaped street edges. Equal treatment to both sides of the streets is important to maintain a visual continuity and coherence which will benefit all developments by the overall image.

The grading concept for the streetscapes is intended to increase the visual perception of the landscape ground plane, add interest to a relatively flat site and provide additional screening of undesired views, such as parking lots and loading areas, while maintaining desired views to the buildings. (See Exhibit 28, Landscape Easement Grading Concepts.)

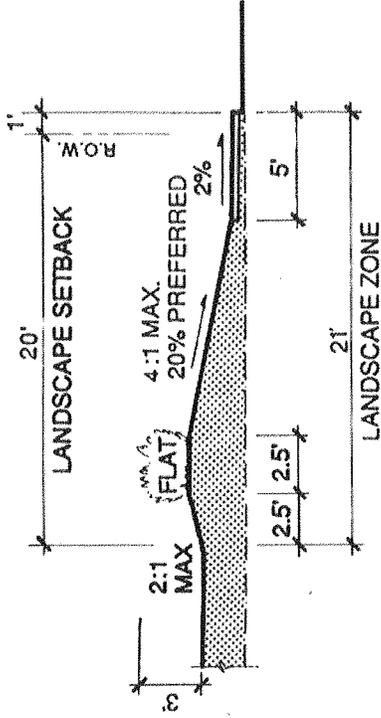


PHILADELPHIA STREET AND HAVEN AVENUE

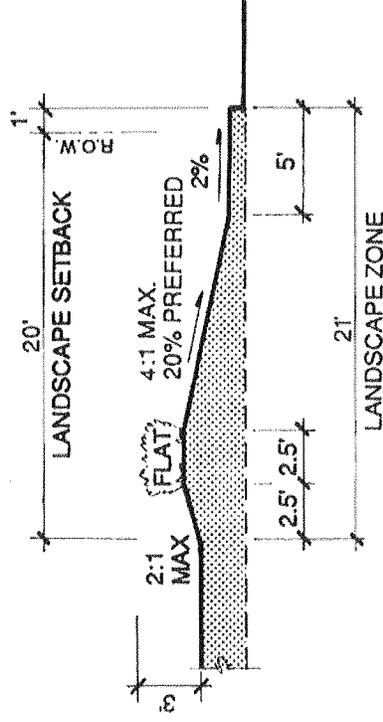


MISSION BOULEVARD

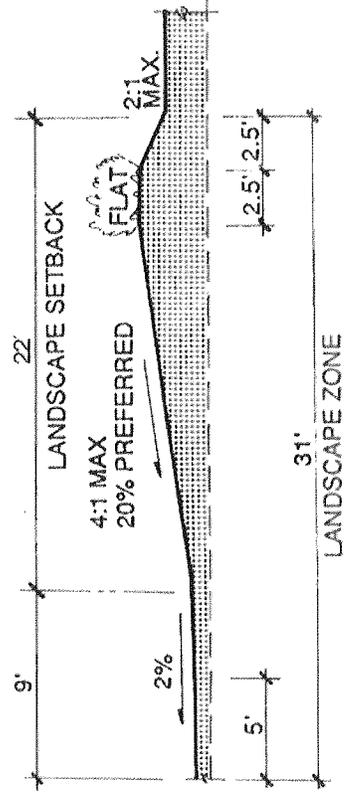
SCALE: 1/8" = 1'-0"



SEQUOIA AVENUE, PONDEROSA AVENUE
EARLSTONE DRIVE, AND DOUBLEDAY AVENUE - WITH SIDEWALK



SEQUOIA AVENUE, PONDEROSA AVENUE
EARLSTONE DRIVE, AND MESQUITE AVENUE - WITHOUT SIDEWALK



BRENTSTONE STREET (NORTH SIDE ONLY)

LANDSCAPE EASEMENT GRADING CONCEPTS

Exhibit 28



Haven Gateway Centre Specific Plan

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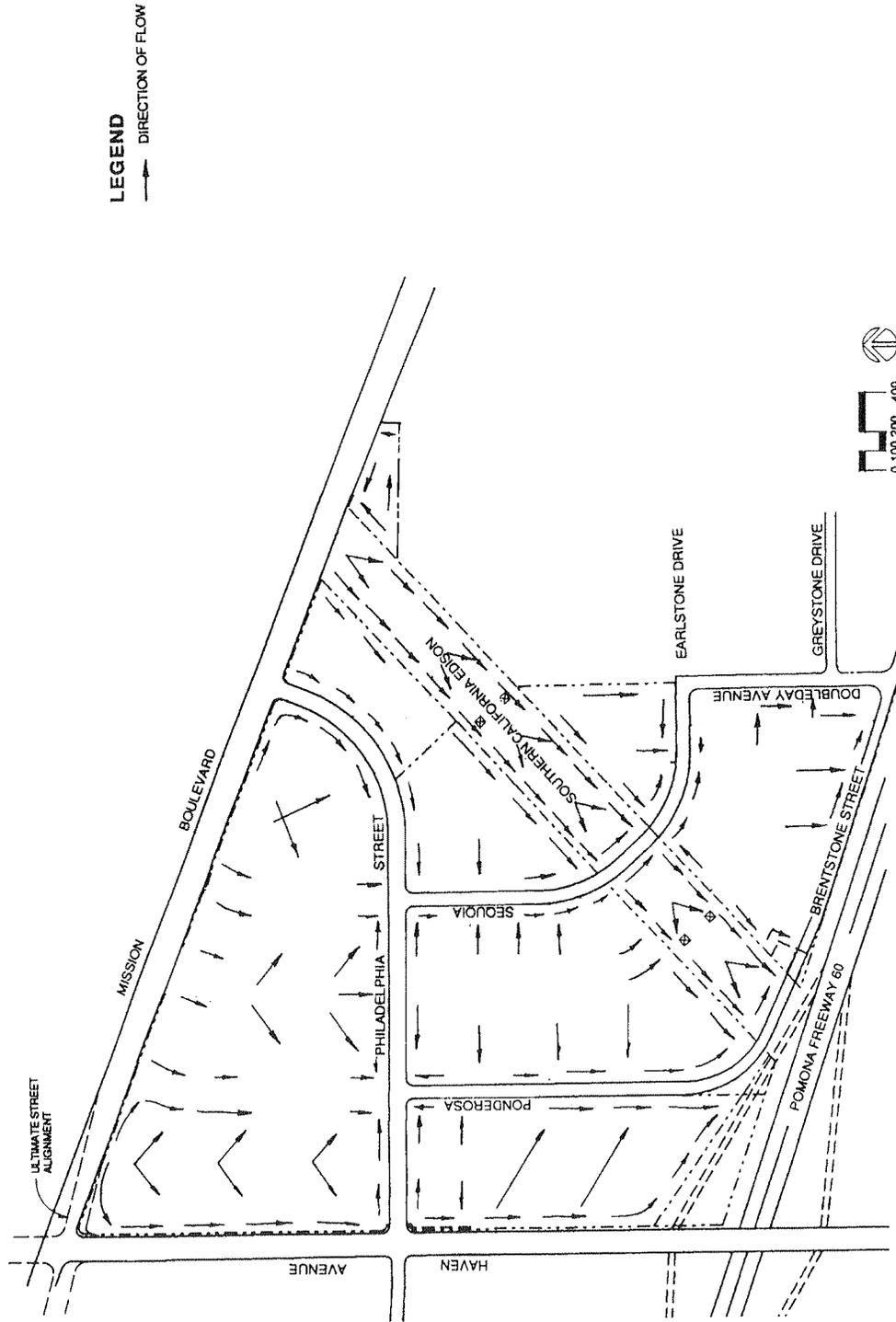


EXHIBIT 29 SURFACE DRAINAGE

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Finally, the streetscape concept will follow the street tree program being developed by the City of Ontario for Haven Avenue and Mission Boulevard. And, where applicable, the streetscape concept should address the City of Ontario Planning Commission Resolution No. 2392, which was adopted to regulate the development along Mission Boulevard, the San Bernardino Freeway (I-10), the Pomona Freeway (State Route 60), and the Ontario Freeway (I-15).

a. Haven Avenue and Mission Boulevard

Both Haven Avenue and Mission Boulevard provide some of the best exposure into the project. As stated earlier, the landscape for these edges will acknowledge the City's interest in continuing the streetscape treatment established in the overall street program for the area.

Use of the London Plane tree will continue the theme along Haven Avenue parkway, with the Canary Island Pine as the median tree to be installed and maintained by the City. The intent of the plantings is to create a simple visual statement providing a framework for the commercial/retail uses proposed along this edge. (See Exhibit 32.)

Planting along Mission Boulevard will respond to the Mission Boulevard study currently being developed by the City in order to maintain continuity. In addition to aesthetic considerations, the intent of the landscape for this edge is to help reduce the amount of litter and dust entering the project from the Milliken Landfill site located on the north side of Mission Boulevard. (See Exhibit 32.)

b. Philadelphia Street

Philadelphia Street becomes the major spine of the project with its potential to carry commercial/retail uses. Alternating plantings of palms and flowering canopy trees accentuates its importance with tall vertical form of the palms serving as a skyline element visible from the Pomona and Ontario freeways. A flowering canopy tree adds scale, color, and interest along the corridor at the street level. Philadelphia will be the only street to have turf in the parkway, which provides immediate visual impact and a refined appearance. (See Exhibit 33.)

c. Brentstone Street, Earlstone Drive, Ponderosa Avenue, and Sequoia Avenue

The streetscape for the major collectors reinforces the Philadelphia corridor and the framework for the overall landscape concept. The eucalyptus street tree planting will be a strong skyline edge and will integrate with the existing eucalyptus windrows along the freeway and along Mission Boulevard. The parkways are articulated by the combined use of flowering shrubs and ground cover. (See Exhibit 34.)

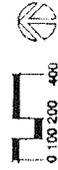
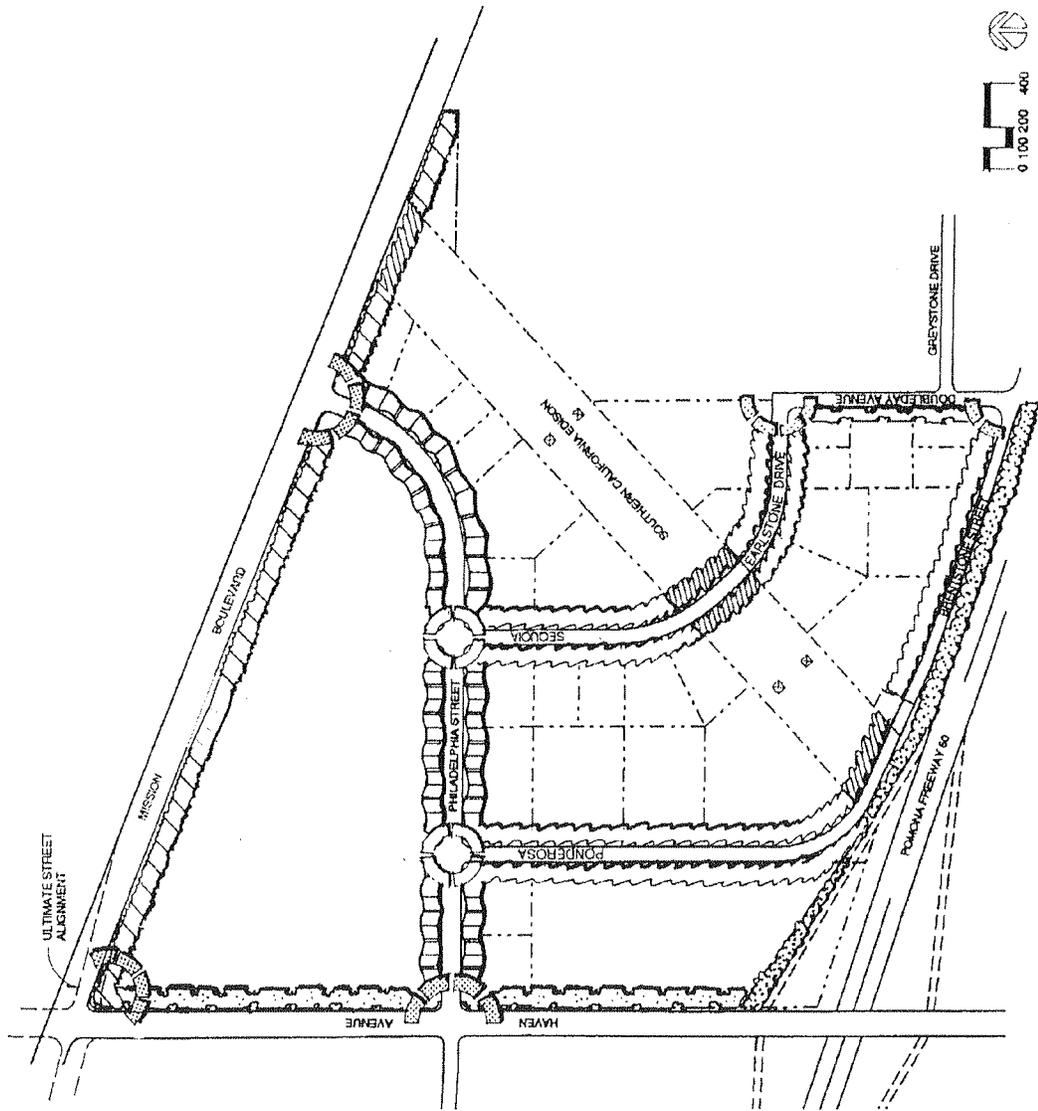
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d. Doubleday Avenue

Doubleday Avenue, though not a major through circulation corridor, provides the edge between Haven Gateway Centre and the adjacent industrial park development. In order to maintain continuity throughout the project, the same flowering tree selected for Philadelphia Street will be used in the parkway on Doubleday Avenue. Shrub and ground cover materials will also be selected from the streetscape plant palette (See Exhibit 35).

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LEGEND

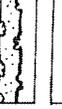
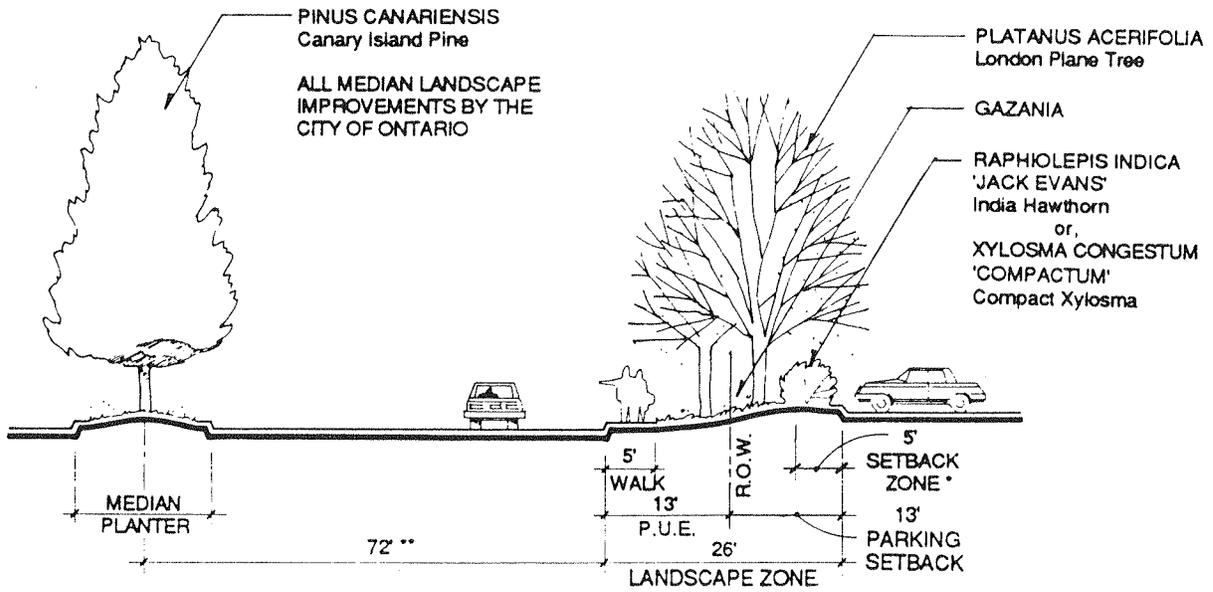
-  PRIMARY GATEWAY IDENTITY STATEMENT
PALMS AND FLOWERING CANOPY TREE WITH TURF UNDER
-  SECONDARY GATEWAY IDENTITY STATEMENT
FLOWERING CANOPY TREE WITH GROUND COVER UNDER
-  INTERIOR INTERSECTION
FLOWERING CANOPY TREE WITH TURF UNDER
-  MISSION BOULEVARD EDGE
LARGE COLUMNAR TREE AND CANOPY TREE WITH SHRUBS AND GROUND COVER UNDER
-  HAVEN AVENUE EDGE
DECIDUOUS STREET TREE WITH FLOWERING GROUND COVER UNDER
-  PHILADELPHIA STREET EDGE
PALMS AND FLOWERING CANOPY TREE WITH TURF UNDER
-  SEQUOIA AVENUE, PONDROSA AVENUE, CEDAR, EARLSTONE AND BRENTSTONE STREET EDGE
TALL SKYLINE TREE WITH GROUND COVER UNDER
-  MESQUITE AVENUE AND DOUBLEDAY AVENUE EDGE
FLOWERING CANOPY TREE WITH GROUND COVER UNDER
-  S.C.E. PROPERTY EDGE
SMALL FLOWERING TREE AND GREENING SHRUB WITH GROUND COVER UNDER
-  FREEWAY EDGE
EXISTING MATURE WITH FLOWERING SHRUBS AND GROUND COVER UNDER

EXHIBIT 30
LANDSCAPE CONCEPT PLAN

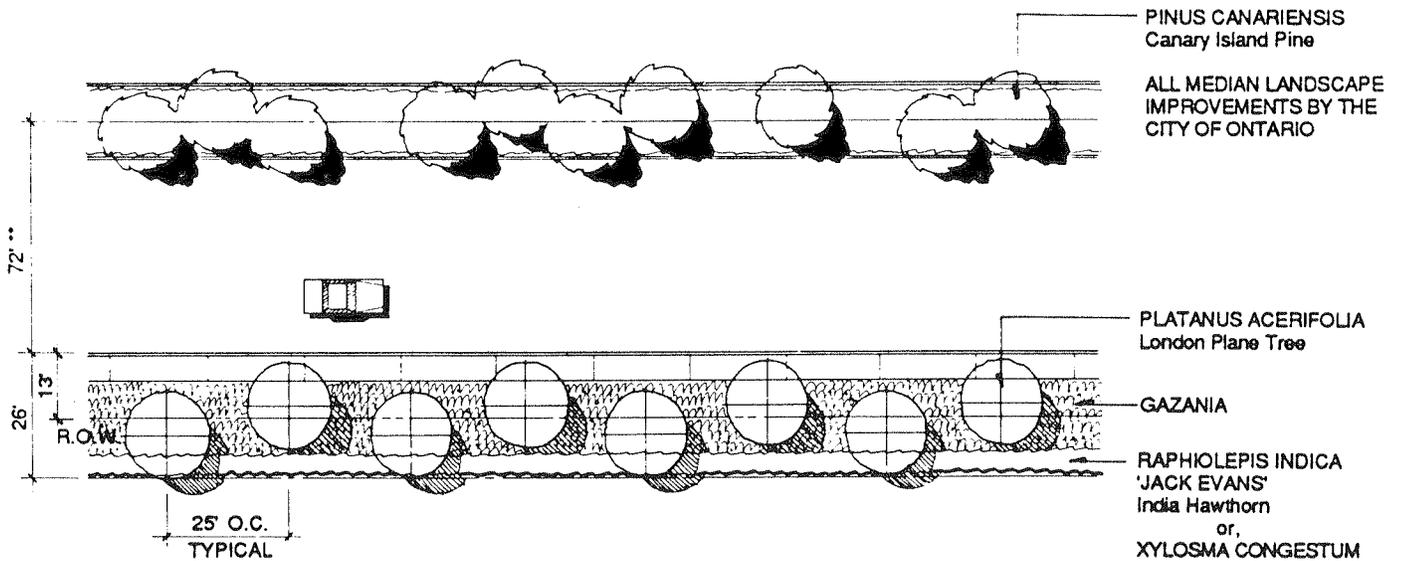
STREETSCAPE
PLANT PALETTE

	MISSION BOULEVARD	HAVEN AVENUE	PHILADELPHIA STREET	BRENTSTONE/ PONDEROSA AVENUE	EARLSTONE/SEQUOIA	DOUBLEDAY/ MESQUITE AVENUE	PRIMARY GATEWAY	SECONDARY GATEWAY	INTERIOR INTERSECTION	S.C.E. EASEMENT	FREEWAY BUFFER	CALTRANS P.O.W.
TREES												
ALBIZIA JULIBRISSIN Silk Tree			●			●	●	●	●			
CHORISIA SPECIOSA Floss Silk Tree												●
EUCALYPTUS RUDIS Desert Gum	●											
EUCALYPTUS SIDEROXYLON Red Ironbark				●	●							
NERIUM OLEANDER 'SISTER AGNES' White Oleander - Standard										●		
PLATANUS ACERIFOLIA London Plane Tree		●										●
SCHINUS MOLLE California Pepper Tree	●											
WASHINGTONIA ROBUSTA Mexican Fan Palm			●				●					
SHRUBS												
ABELIA G. 'EDWARD GOUCHER' Goucher Abelia				●	●	●		●		●		
CISTUS PURPUREUS Purple Rockrose												●
LANTANA MONTEVIDENSIS Trailing Lantana												●
NERIUM OLEANDER Red and Pink	●							●		●		●
PHORMIUM T. 'ATROPURPUREUM' New Zealand Flax	●											
RAPHIOLEPIS INDICA 'JACK EVANS' India Hawthorn		●	●				●		●			
XYLOSMA CONGESTUM 'COMPACTA' Compact Xylosma		●										
XYLOSMA CONGESTUM Shiny Xylosma										●		
VINES												
DISTICTUS BUCCINATORIA Blood-Red Trumpet Vine											●	
GROUND COVERS												
CARPOBROTUS EDULIS Fig Ice Plant												●
GAZANIA No Common Name		●					●	●				
ROSMARINUS O. 'PROSTRATUS' Dwarf Rosemary	●						●	●				
TRACHELOSPERMUM JASMINOIDES Star Jasmine	●						●	●				
VINCA MAJOR Blue Periwinkle				●	●	●		●				
TURF			●				●		●			

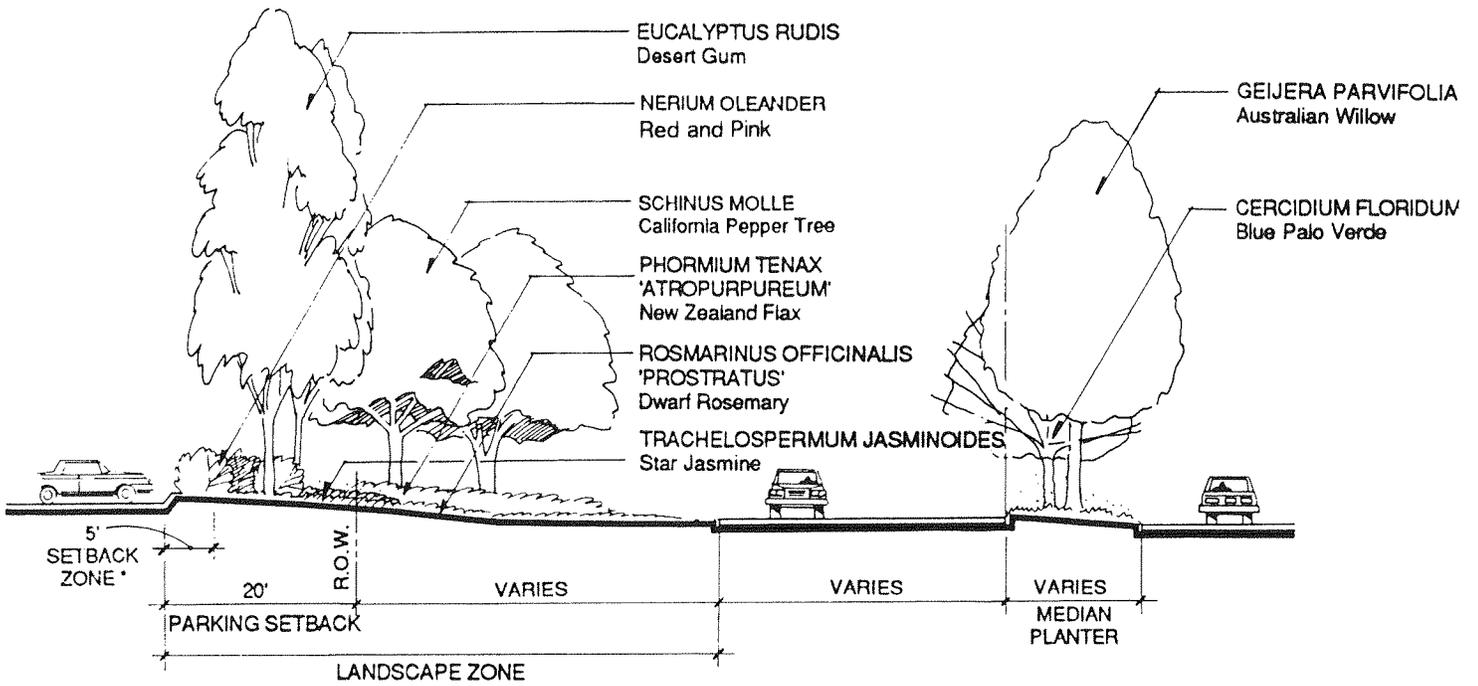


SECTION
Not to Scale

- ** NOTE: THE ACTUAL HAVEN AVENUE ROAD SECTION WILL BE DETERMINED AS PART OF THE HAVEN AVENUE ASSESSMENT DISTRICT (A.D. 103) PLANS.
- * SETBACK ZONE TO BE INSTALLED AS PARCEL DEVELOPS



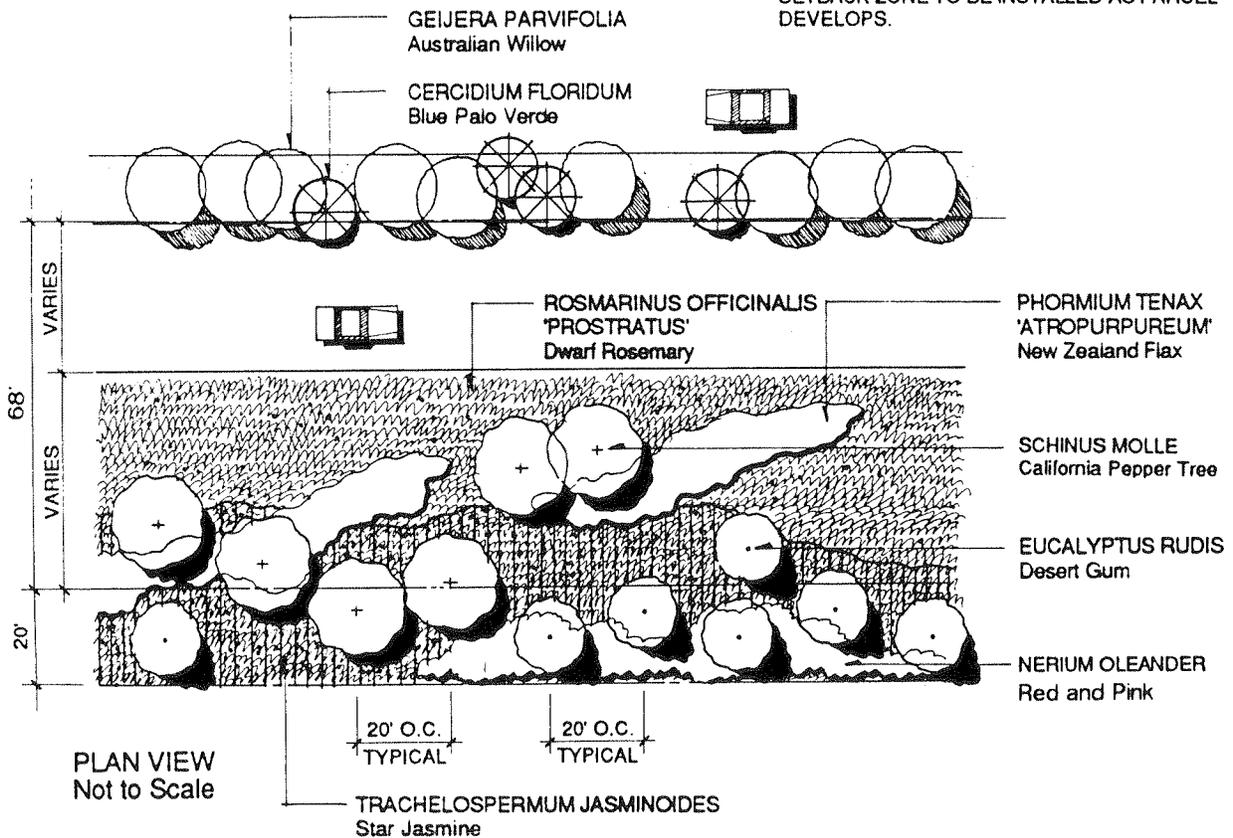
PLAN VIEW
Not to Scale

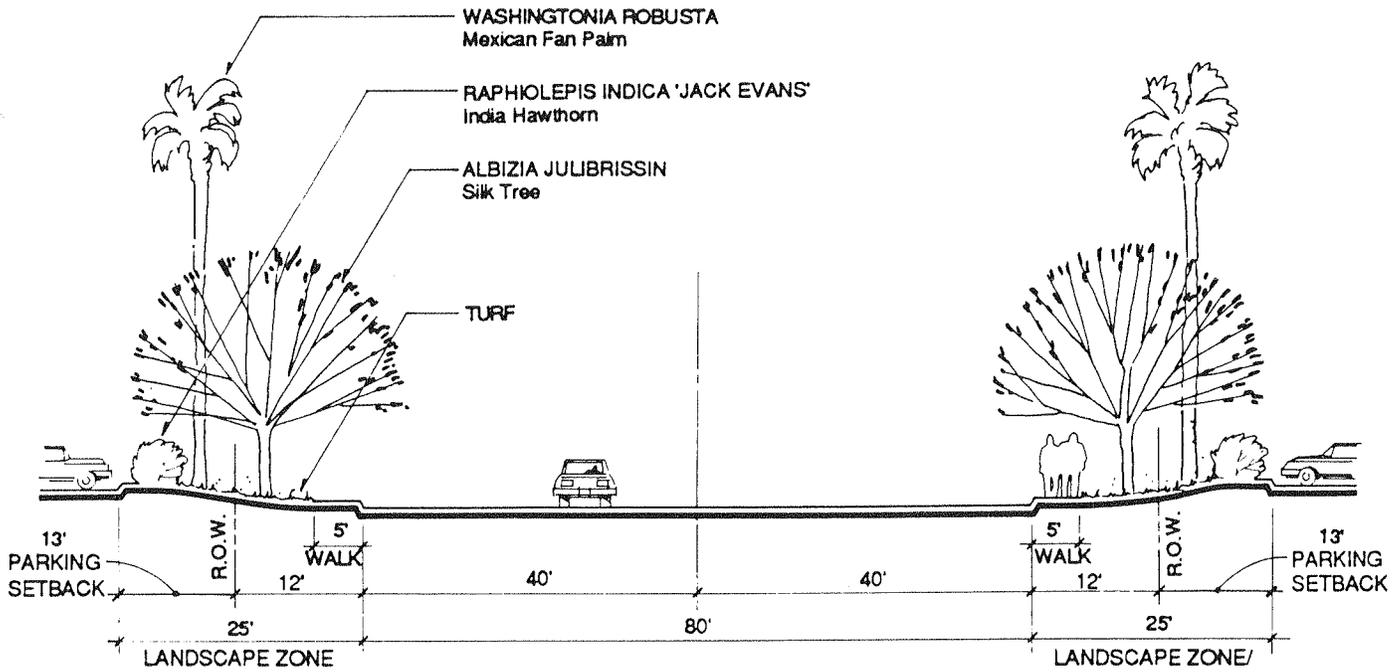


SECTION
Not to Scale

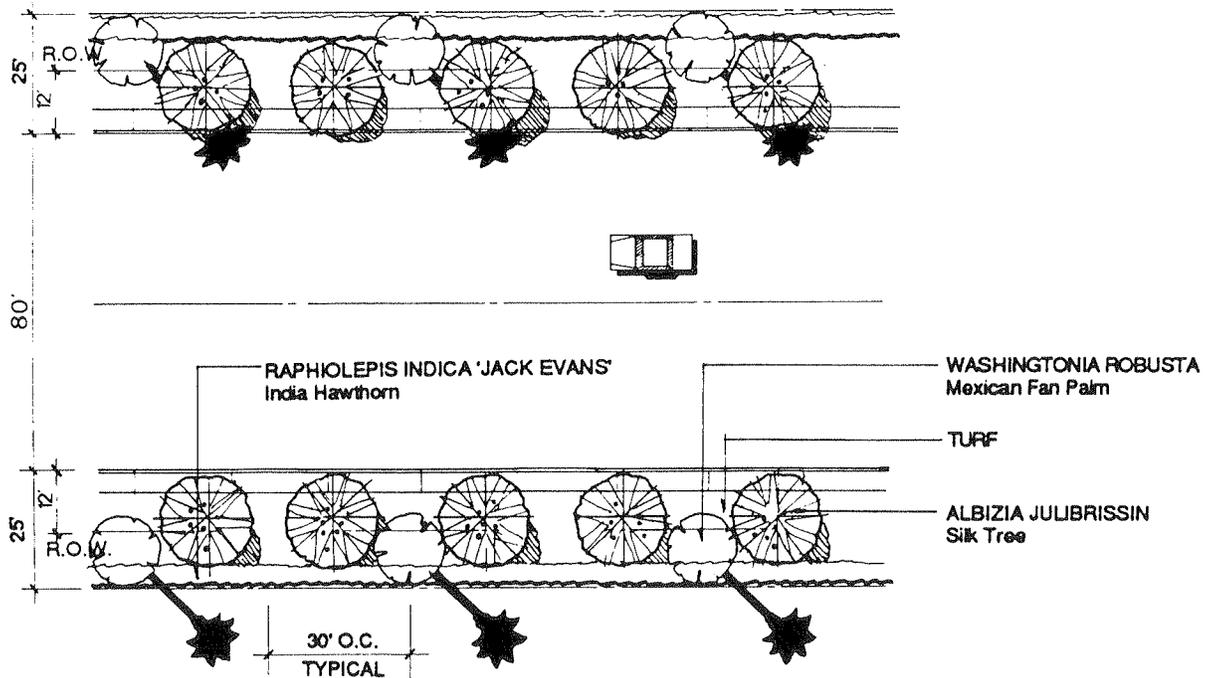
NOTE: THE FINAL MISSION BOULEVARD ROAD SECTION WILL BE DETERMINED AS PART OF THE CITY'S MISSION BOULEVARD CORRIDOR STUDY.

* SETBACK ZONE TO BE INSTALLED AS PARCEL DEVELOPS.





SECTION
Not to Scale



PLAN VIEW
Not to Scale

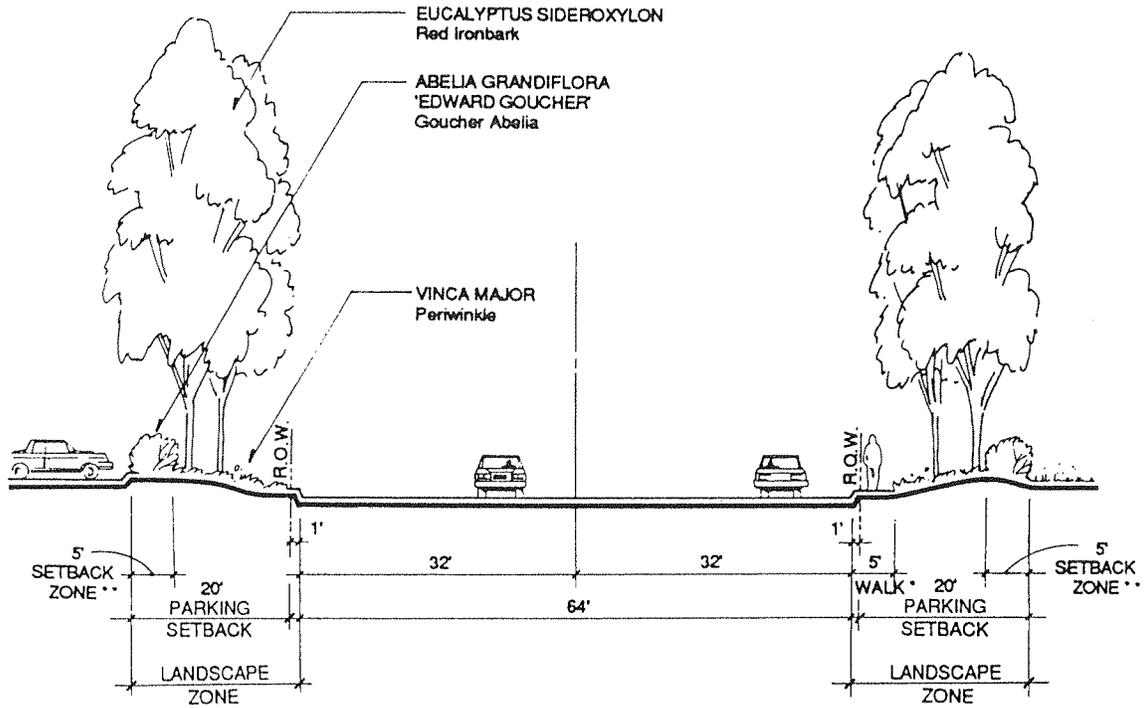
HAVEN GATEWAY CENTRE

Ontario, California

PHILADELPHIA STREET STREETSCAPE

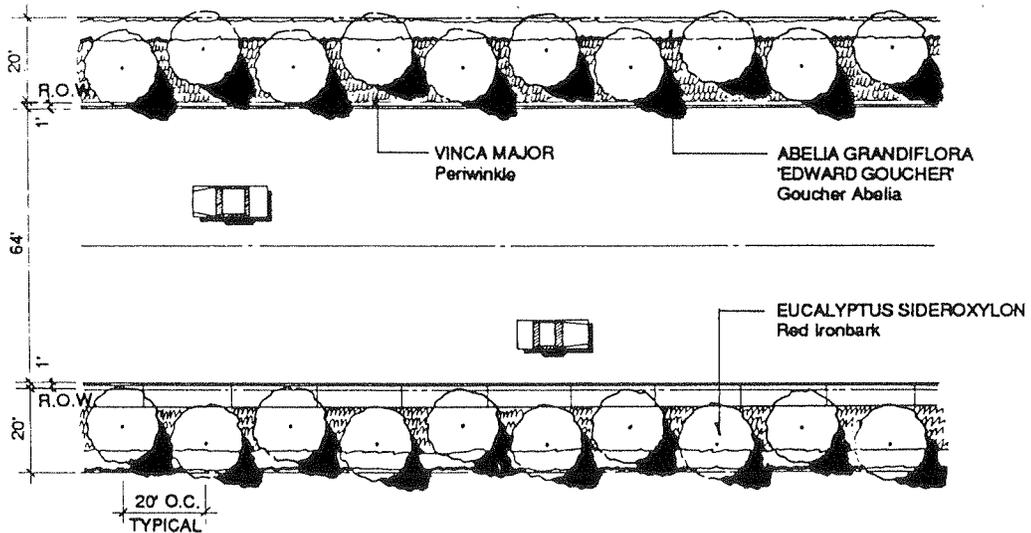
EXHIBIT 33

November 2001



SECTION
Not to Scale

* REFER TO EXHIBIT 20,
GATEWAY/CIRCULATION
PLAN FOR LOCATION
** SETBACK ZONE TO
BE INSTALLED AS
PARCEL DEVELOPS

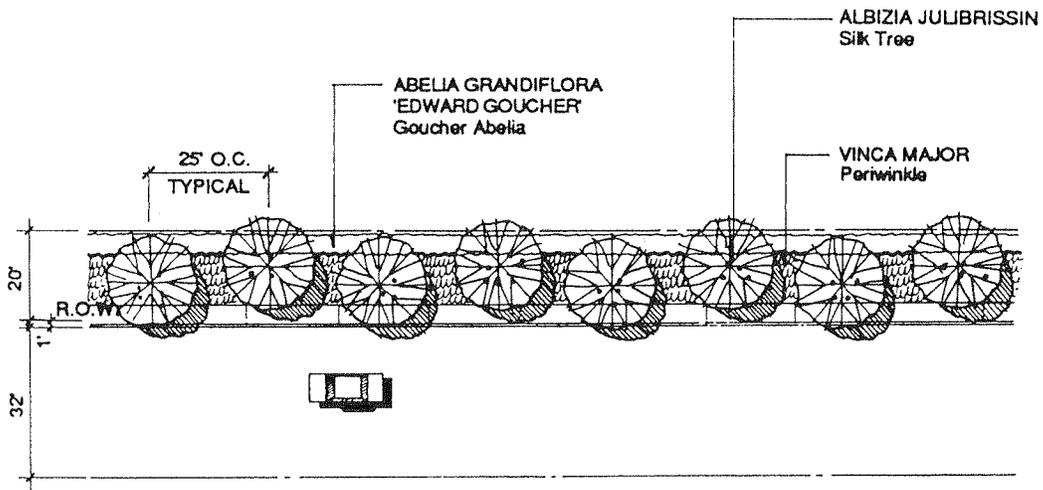
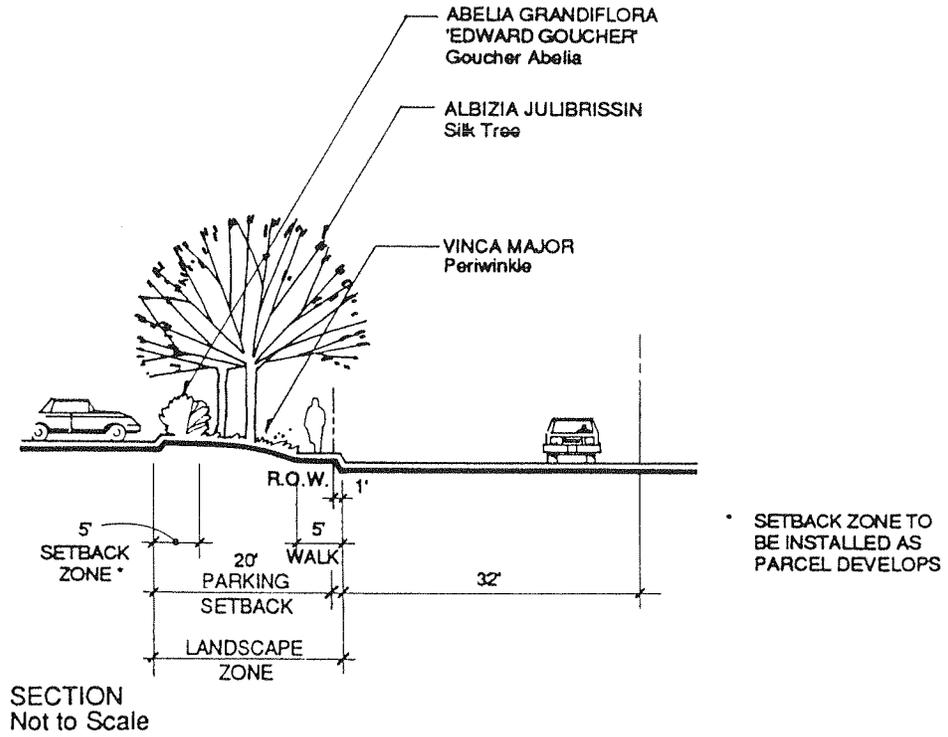


PLAN VIEW
Not to Scale

NOTE: REFER TO EXHIBIT 41
FOR BRENTSTONE STREET.

EXHIBIT 34
SEQUOIA, PONDEROSA, EARLSTONE,
AND BRENTSTONE STREETScape

November 2001



November 2001

2. Gateway Identity Statements

The identity statements proposed for the intersections within the project are based on a hierarchy in terms of form, landscape intensity, and signage treatment.

a. Primary Identity Statement

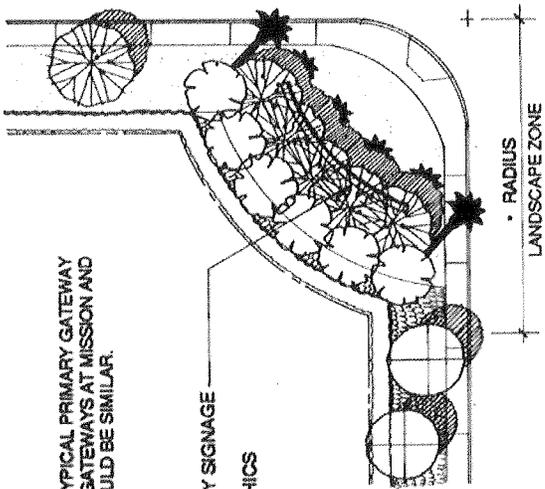
Primary identities occur at the Haven Avenue/Philadelphia Street and Mission Boulevard/Philadelphia Street intersections. The sign monument is to be simple and blend with the landscape treatment. Note that illustrative details for sign monumentation are shown in Exhibit 36. These gateway statements serve not only to identify the Haven Gateway Centre but also to help to anchor Philadelphia Street within the project boundaries. The palms and flowering canopy trees give these corners a strong visual form and excitement.

b. Secondary Identity Statement

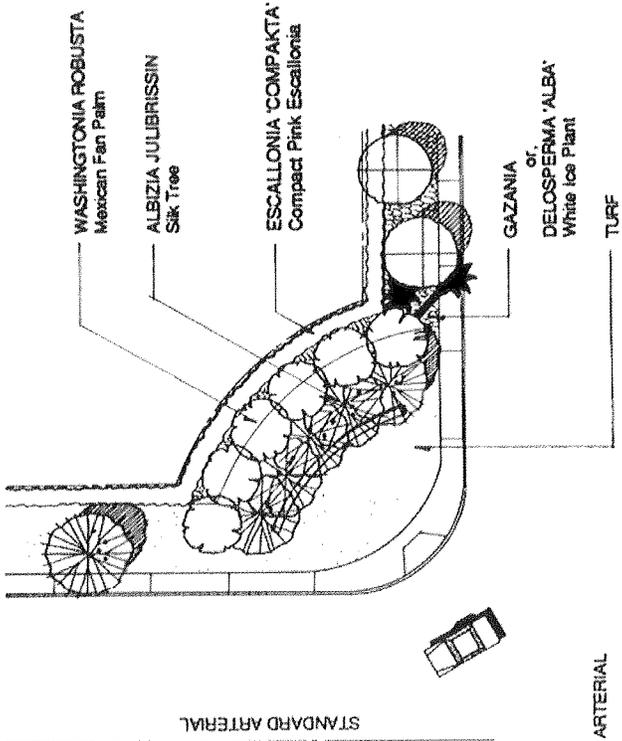
The Secondary identities serve as internal gateway statements and anchor the collector streets of Brentstone and Earlstone. The landscape retains the same sense of form, color, and materials as the primary identity but with a less intense treatment and would not carry the palms. The identity statements will occur on Mission Boulevard to the north and at Doubleday Avenue to the east. (See Exhibit 37.)

NOTE: ILLUSTRATION IS TYPICAL PRIMARY GATEWAY ILLUSTRATION. THE GATEWAYS AT MISSION AND PHILADELPHIA WOULD BE SIMILAR.

PROJECT IDENTITY SIGNAGE (SEE EXHIBIT 49 SIGNAGE & GRAPHICS FOR DETAIL)

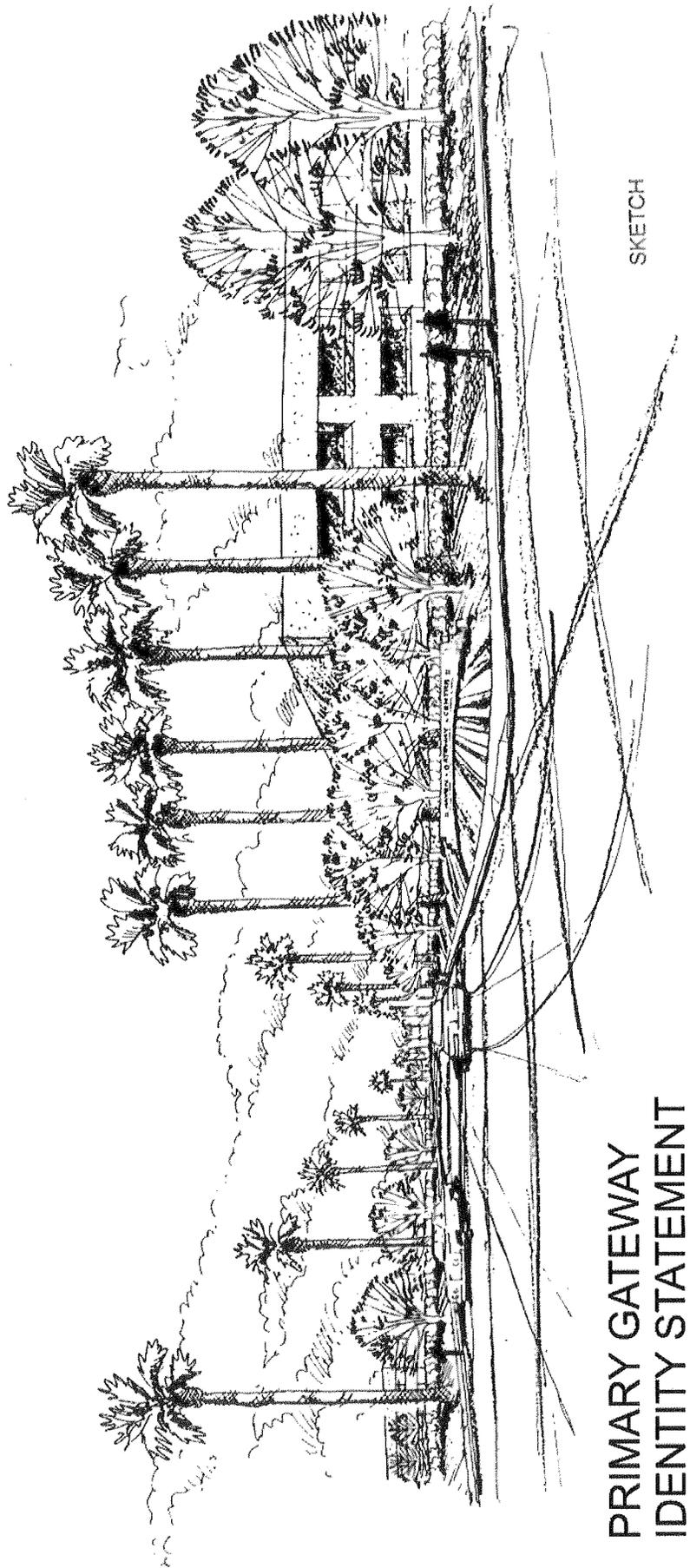


PLAN VIEW
Not to Scale
* 120' @ HAVEN AND PHILADELPHIA
75' @ MISSION AND PHILADELPHIA



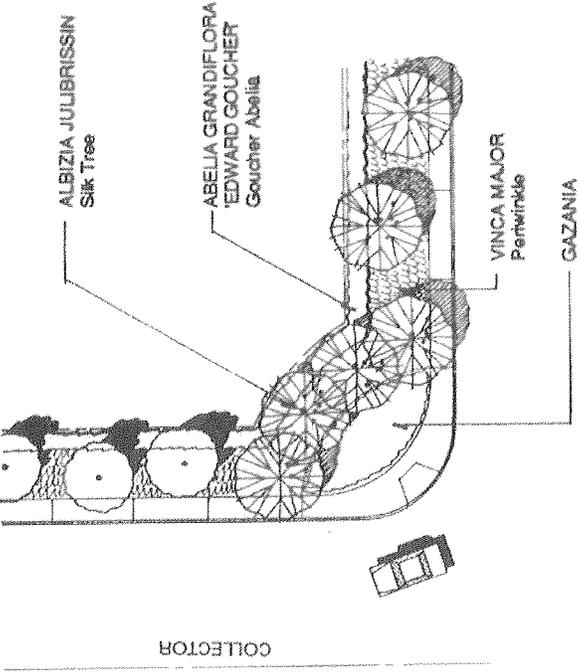
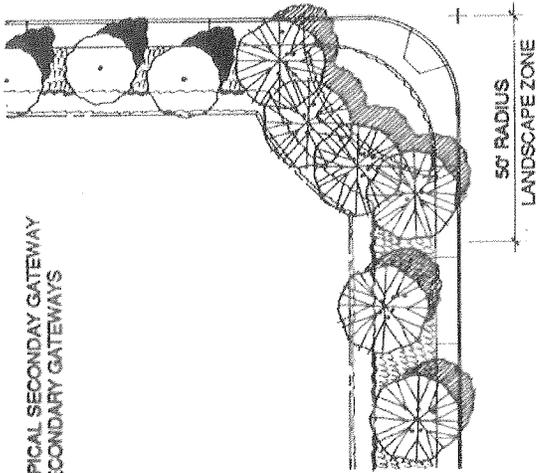
WASHINGTON ROBUSTA Mexican Fan Palm
ALBIZIA JULIBRISSIN Silk Tree
ESCALLONIA 'COMPAKTA' Compact Pink Escallonia
GAZANIA or DELOSFERMA 'ALBA' White Ice Plant
TURF

DIVIDED ARTERIAL



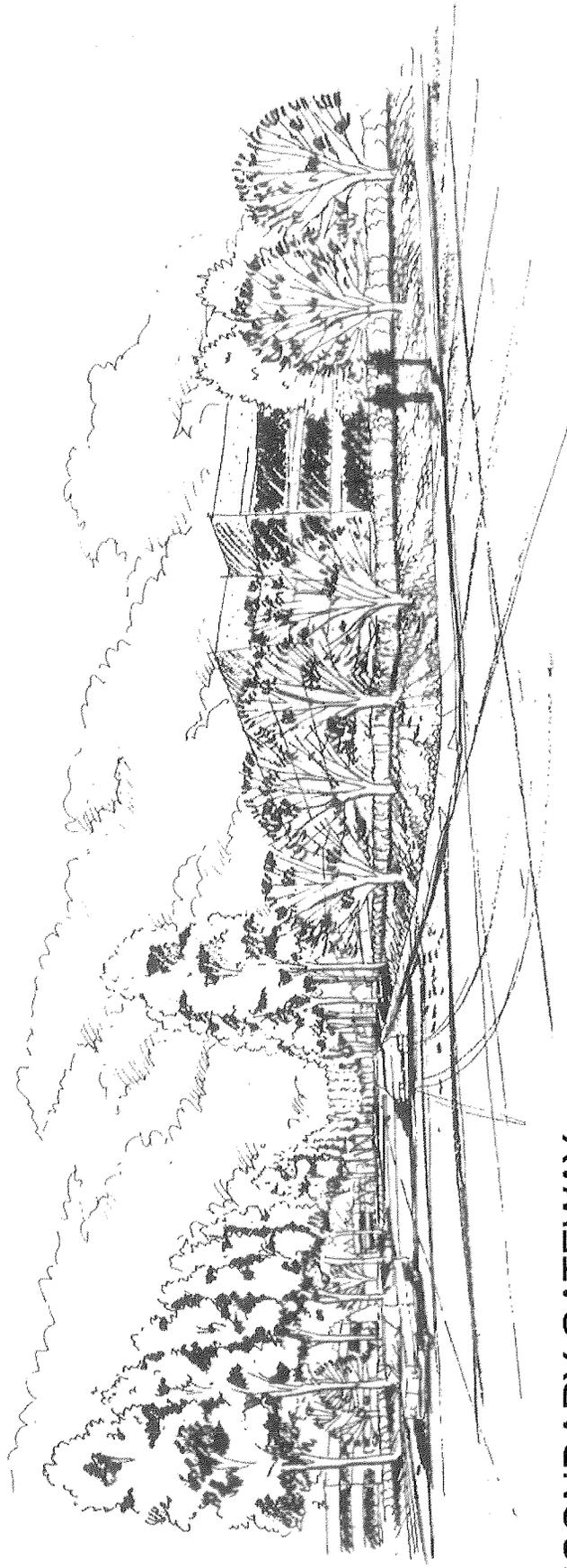
PRIMARY GATEWAY
IDENTITY STATEMENT
Exhibit 36

NOTE:
 ILLUSTRATION IS TYPICAL SECONDARY GATEWAY
 TREATMENT. ALL SECONDARY GATEWAYS
 WOULD BE SIMILAR.



PLAN VIEW
 Not to Scale

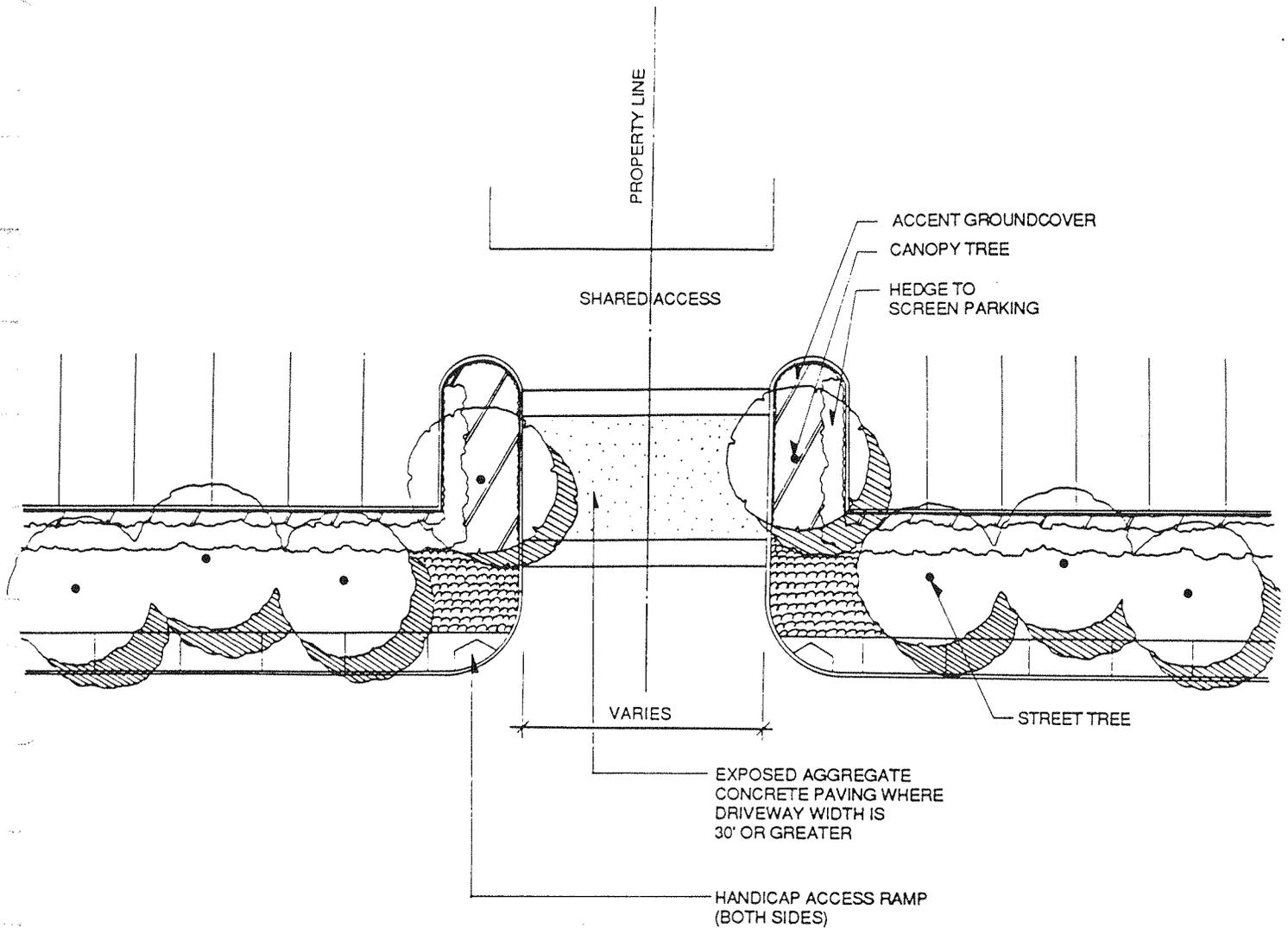
STREET DESIGNATION
 PER GATEWAY/CIRCULATION
 PLAN, EXHIBIT 20



SECONDARY GATEWAY IDENTITY STATEMENT

Exhibit 37

SKETCH

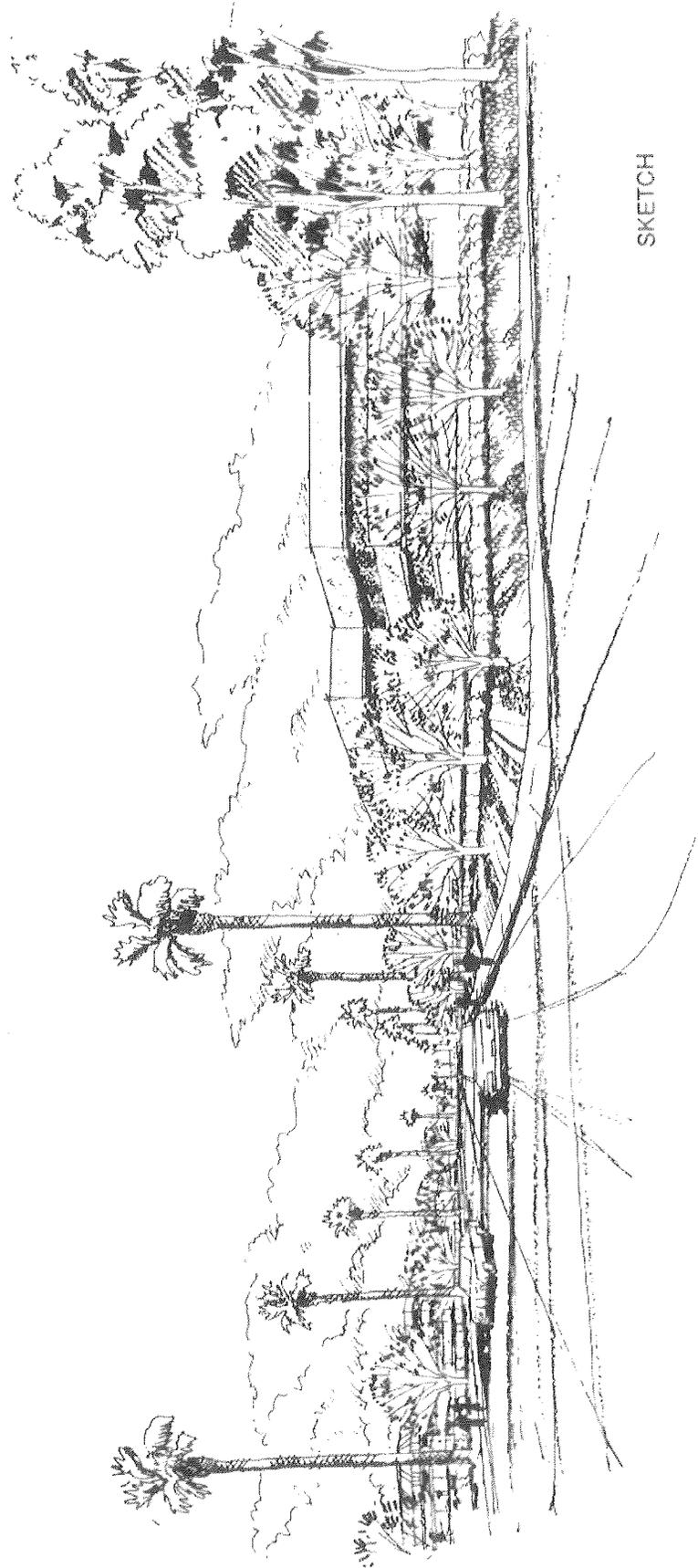
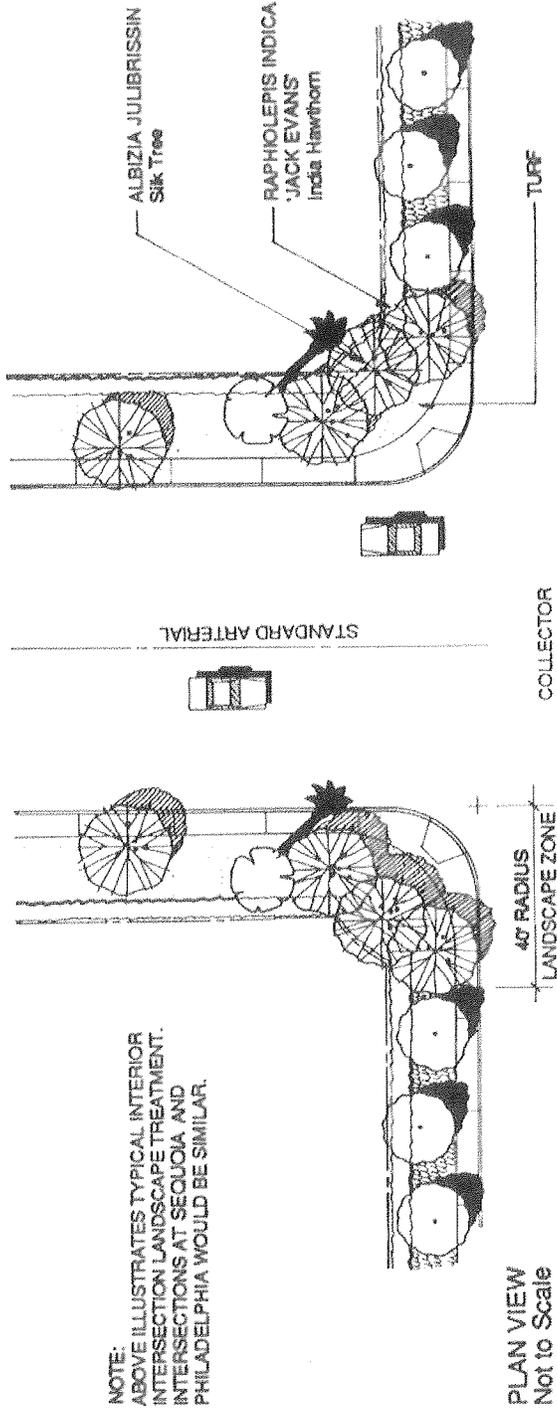


HAVEN GATEWAY CENTRE

TYPICAL PARCEL ENTRY

Ontario, California

NOTE:
 ABOVE ILLUSTRATES TYPICAL INTERIOR
 INTERSECTION LANDSCAPE TREATMENT.
 INTERSECTIONS AT SEQUOIA AND
 PHILADELPHIA WOULD BE SIMILAR.



SKETCH

INTERIOR INTERSECTION
 Exhibit 39

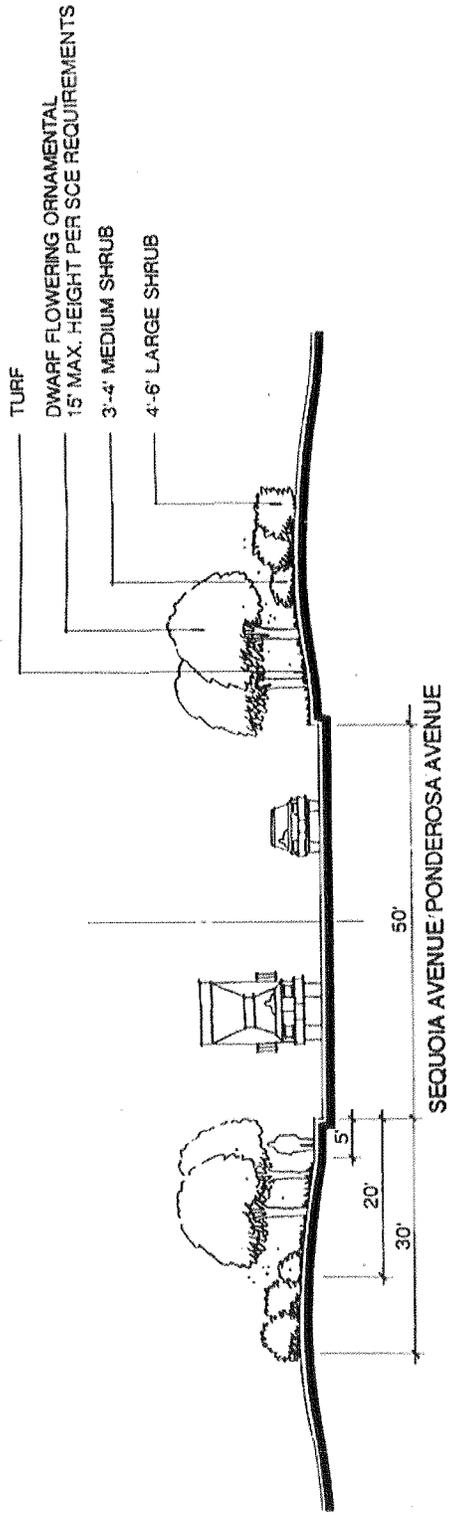
3. Buffer Planting

a. Pomona Freeway (60) Buffer

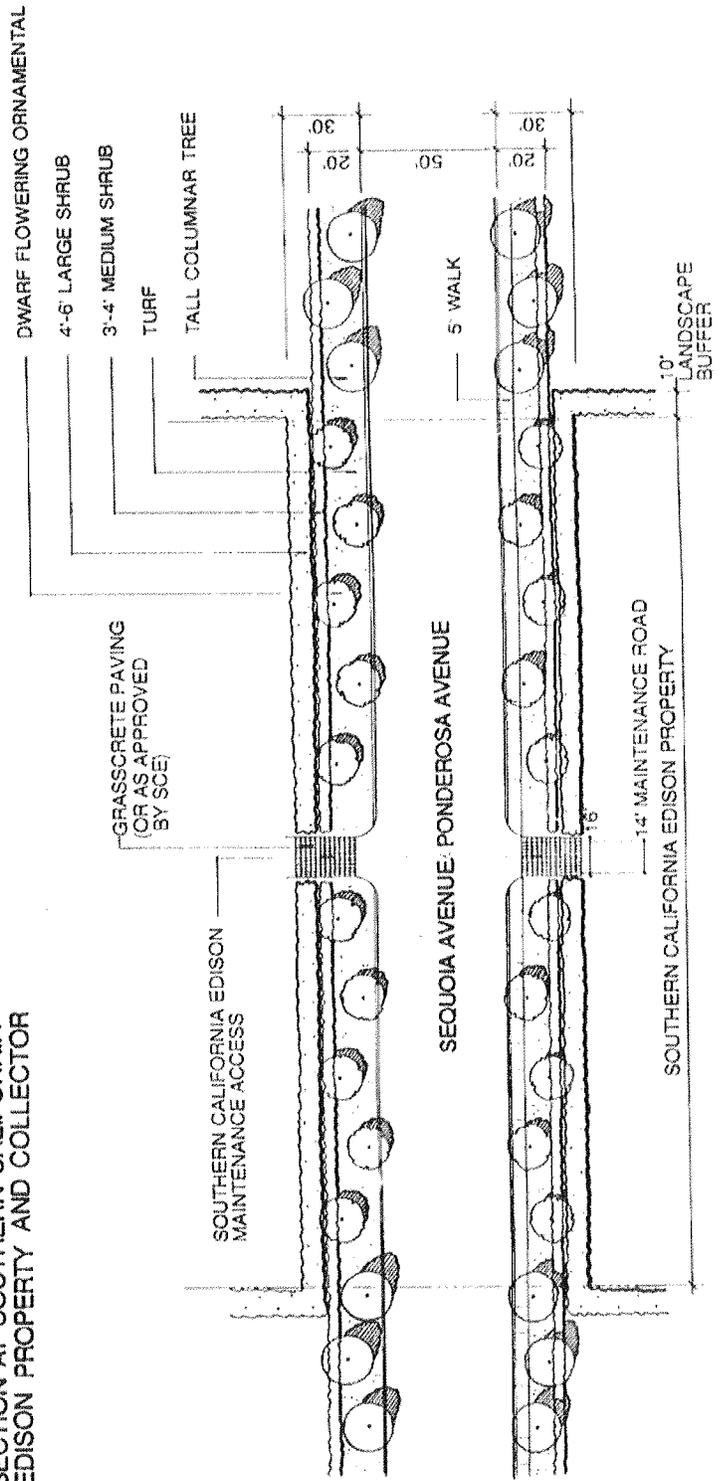
The existing eucalyptus windrow located within the CalTrans right of way will be thinned and pruned to open selected views into the project from the freeway. The 20 feet of landscape required by the City of Ontario Planning Commission Resolution No. 2392 will be provided on the north side of Brentstone Street. The plan proposes to provide vine planting to soften the usual impact along the right of way fence. The Caltrans right-of-way which fronts the project will be landscaped per the City of Ontario and the Caltrans landscape guidelines. The relation between the elevation of the development and the freeway will maintain the visual access into the site over the existing fence line. (See Exhibit 41 & 42.)

b. Southern California Edison Buffer

The landscape buffer on Brentstone Street and Earlstone Drive, where they cross the Southern California Edison Property, will screen the transmission line corridor from the street. A dense terraced planting hedge will provide the necessary screen but will give interest to the edge. Maintenance access for Southern California Edison Property will be accommodated from the collector streets. The buffer between the Southern California Edison property and the adjoining parcels will be the responsibility of each individual parcel owner, but will be treated in a similar manner to maintain consistency along this edge throughout the project. (See Exhibit 40.)

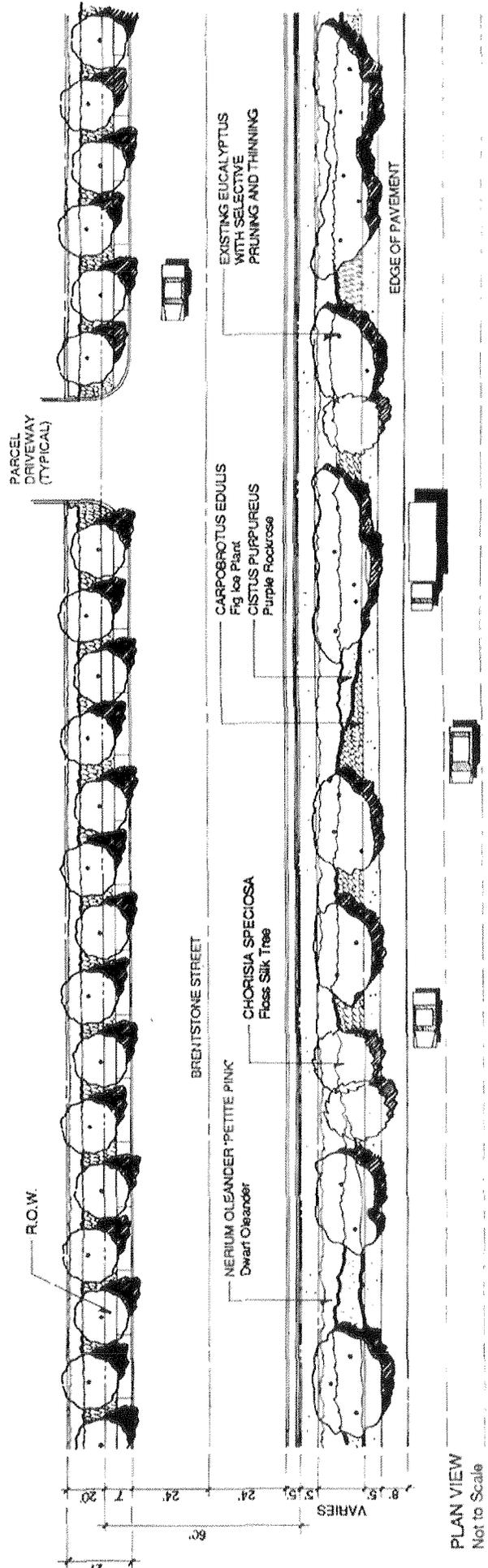
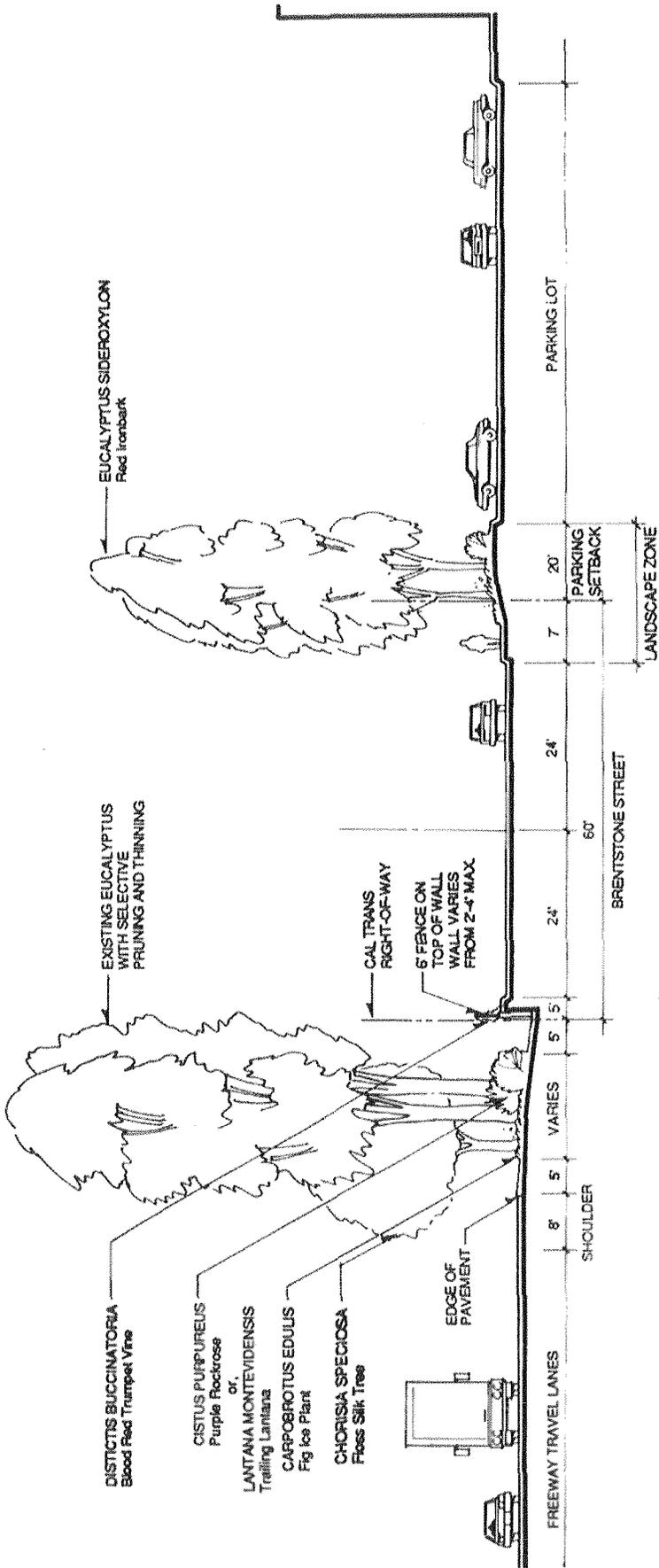


SECTION AT SOUTHERN CALIFORNIA EDISON PROPERTY AND COLLECTOR



PLAN AT SOUTHERN CALIFORNIA EDISON PROPERTY AND COLLECTOR

SCE EDGE AT COLLECTOR STREET
 Exhibit 40



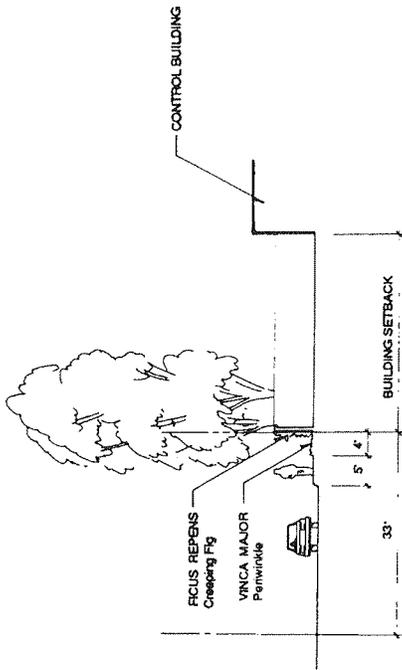
PLAN VIEW
Not to Scale

CAL TRANS RIGHT-OF-WAY

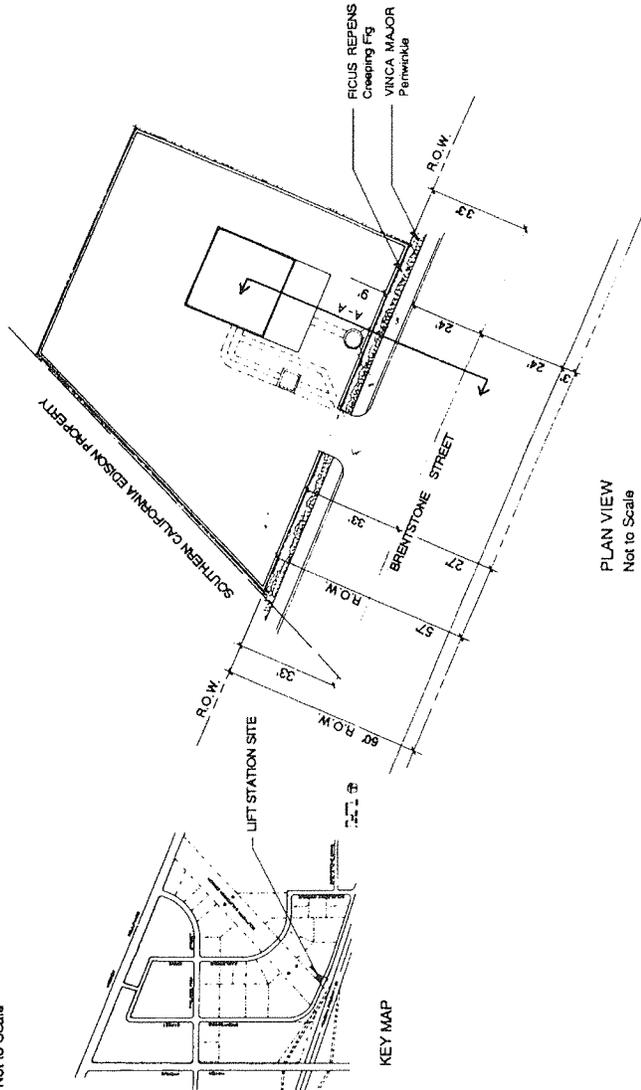
Exhibit 41

Haven Gateway Centre Specific Plan

November 2001



SECTION A-A
Not to Scale



PLAN VIEW
Not to Scale

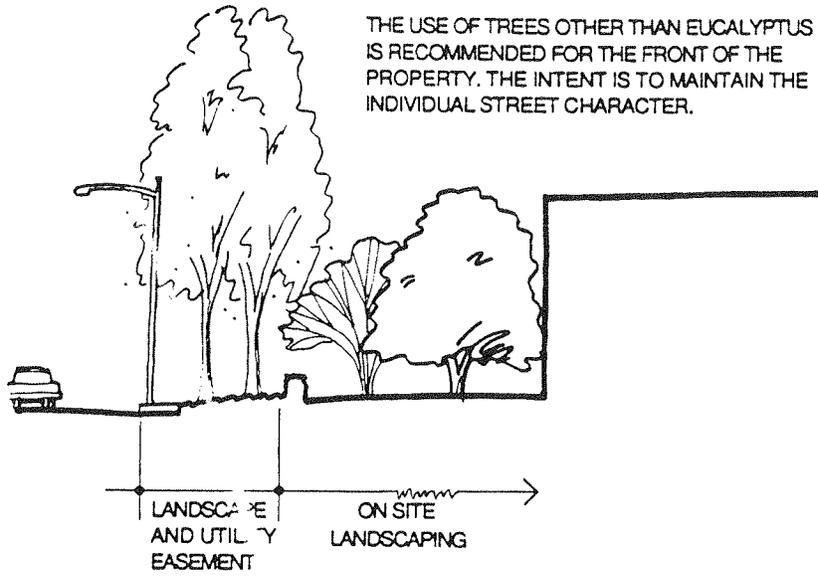
4. On-Site Landscaping

The landscape design criteria is established for future on-site landscaping. This landscaping will be the responsibility of the individual parcel owner and is subject to review and approval by Haven Gateway Centre Owners' Approving Agent. The landscape is composed of elements that will give form to exterior spaces. Thus, the character of the landscape is created by elements such as streets and building setbacks, the variety and placement of elements such as signing, site lighting, walkways, and plant materials, and the arrangement of major functional elements such as project entrances, parking lots, buildings, service areas, etc.

The landscape plans should address treatment of all on-site landscaped areas including building and parking setbacks, parking areas, buffers and areas adjacent to buildings. The landscape for these areas will be a mixture of trees, shrubs, vines, ground cover and turf, as appropriate in simple compositions. Individual expression, as related to the landscape design of each individual site within Haven Gateway Centre is encouraged.

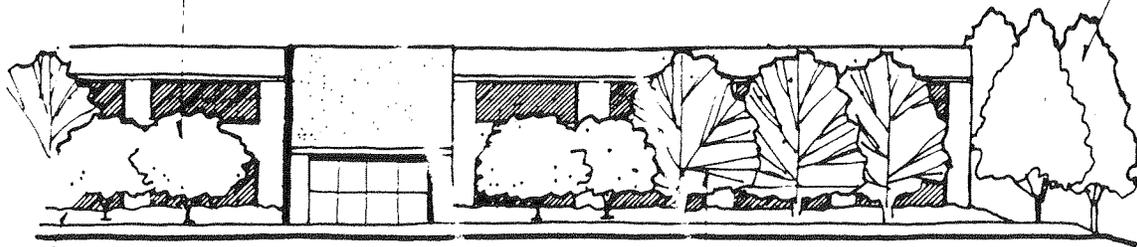
The intent of the on-site landscaping is to create a consistent landscape treatment throughout the entire project. The on-site landscaping should compliment the framework established by the streetscape and major design elements of the overall landscape concept.

THE USE OF TREES OTHER THAN EUCALYPTUS IS RECOMMENDED FOR THE FRONT OF THE PROPERTY. THE INTENT IS TO MAINTAIN THE INDIVIDUAL STREET CHARACTER.



SIMPLE TREE MASSING TO ARTICULATE BUILDING FACADE OR ENTRIES

LARGE, TALL TREES AGAINST BUILDINGS APPROPRIATELY SCALED



MASSING OF SHRUBS AT BASE LONG DRIFTS TO SCREEN FOUNDATION

TREES PLANTED ALONG WEST AND SOUTH SIDES SHOULD BE PREDOMINATELY DECIDUOUS

G. LANDSCAPE STANDARDS

The purpose of the landscape standards is to provide design criteria which establishes a framework for site development and achieves an image that is distinctive, clear, and unified.

These landscape standards guidelines are supplemental to the requirements of the City of Ontario. All government standards regarding landscaping and irrigation shall be investigated prior to any preliminary design and plan submittal.

Detailed landscape and irrigation plans and specifications shall be prepared by a registered Landscape Architect and submitted to the Haven Gateway Centre Owners' Approving Agent for concept approval. Landscape and irrigation plans in conformance to the Haven Gateway Centre Specific Plan shall be submitted to the City of Ontario Building Department and Public Facilities Development/Public Services Coordinator for review and approval prior to issuance of building permit.

1. Setback Zone

The setback zone is that area which transitions the streetscapes to the project parking or architecture and will be installed as each parcel develops. Each parcel owner shall be required to provide the following:

- a. Transition from the streetscape to on-site landscape areas shall be smooth with grades not exceeding 3:1 in ground cover/shrub areas, 4:1 in lawn areas.
- b. Plantings shall be continuous across easement lines.

Surface parking areas shall be screened by a continuous 3' high hedge consistent with the plant list. Installation shall be by property owner with the eventual long term maintenance by the Property Owner's Association. Individual parcel Owner shall install irrigation and connection for five foot (5') setback zone to common area irrigation and meter. Meter and stubout to be provided as part of the landscape easement improvements.

- c. Plantings shall be selected from the plant list for the streetscape landscape for the setback zone or separate on-site palette.

2. Interior Zone

The interior zone encompasses all exterior elements within an individual parcel excluding the streetscapes and the building(s) area. This zone is subject to the needs of each individual tenant and thus is meant to have a greater degree of flexibility than the streetscape zone. Common concerns within this zone include: landscape amenities, parking lot arrangements and landscaping, site lighting, regulatory and directional signing, service area screening and side and rear property line treatment.

3. Side and Yard Requirement

- a. All site drainage shall be directed away from the side or rear yard. Drainage within the side or rear yard shall not flow to an adjacent property.
- b. A maximum slope of 2:1 is allowed within the side or rear yard planting zone. A one foot minimum flat transition shall be provided at the top and bottom of all slopes within this zone.

4. Parking Lot Landscape Requirements

- a. Parking location and layout should facilitate easy and safe pedestrian circulation.
- b. Parking lots shall have trees with container sizes no less than 15 gallons and equal in number to one (1) per ten parking stalls.
- c. Maximum of ten spaces will be allowed between islands/ planters. Planters to be a minimum of 5' wide.
- d. Tree wells and planting edge curbs should be used in lieu of wheel stops.
- e. A single species tree is to be used for each parking compound. The tree species may be different in separated parking compounds (refer to plant palette).

5. Building Perimeter Planting

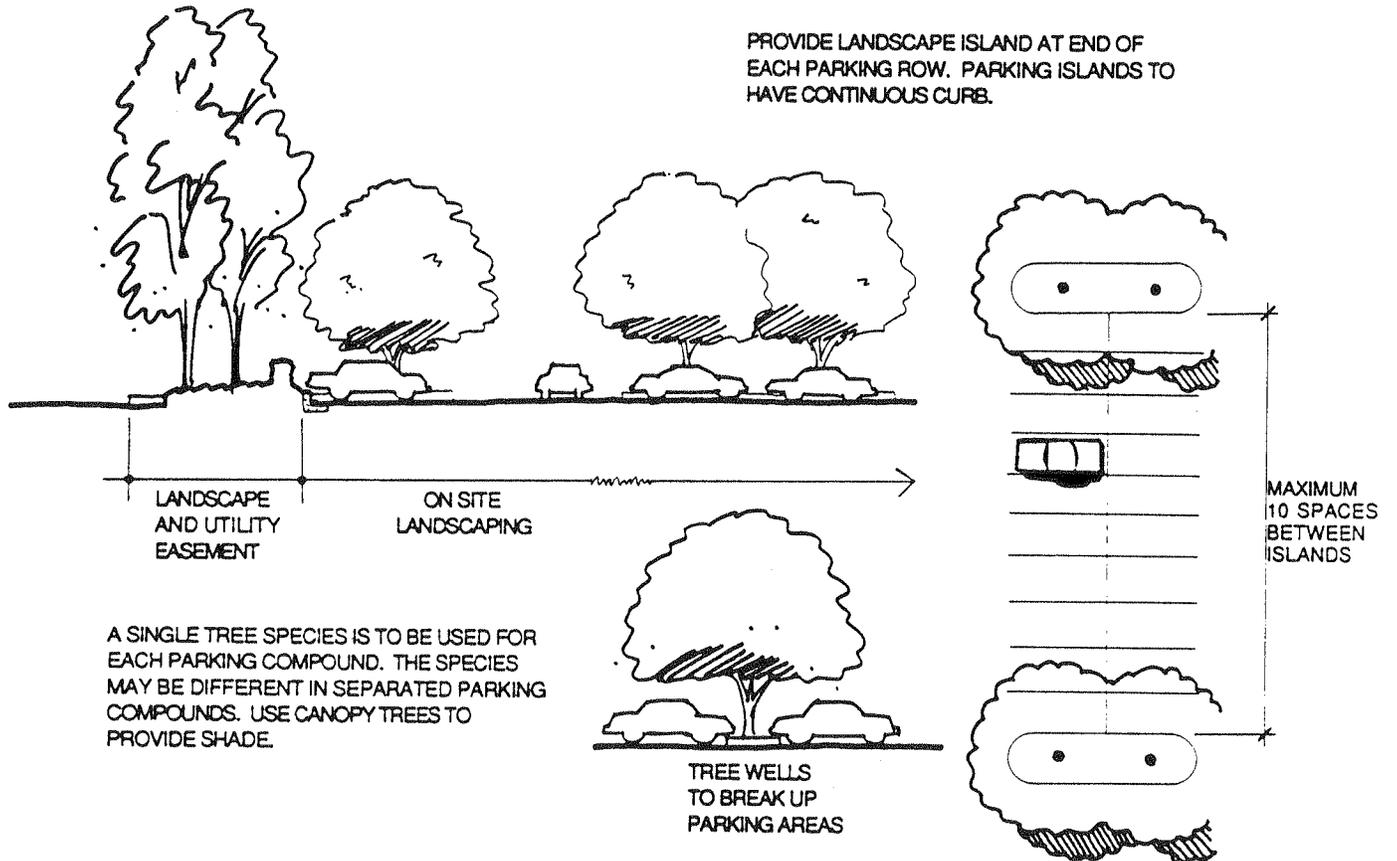
- a. The landscaping shall soften the buildings and screen their associated loading and parking areas from the adjacent public streets. The landscape should also consider the parcel size and the intended use of the building. The actual quantities and location of the plant material, including trees, shrubs, ground covers and lawn shall be adequate to achieve the desired landscape setting.
- b. Accent trees providing contrast in texture, color or form to surrounding buildings and structured landscape are to be grouped in masses (such as small flowering tree groves) or certain tree types planted as single large size boxed specimens for visual impact. The number of different species used shall be kept to a minimum to maintain continuity. Tree plantings on the west and south sides of buildings should be predominantly deciduous.
- c. Accent vine planting, shrubs and/or annuals/perennials are to provide accent color at key visual points and shall be subject to approval by Haven Gateway Centre Owners' Approving Agent. Provisions must be made for periodic replacement in order to maintain good flowering condition within planting areas, planters or pots.

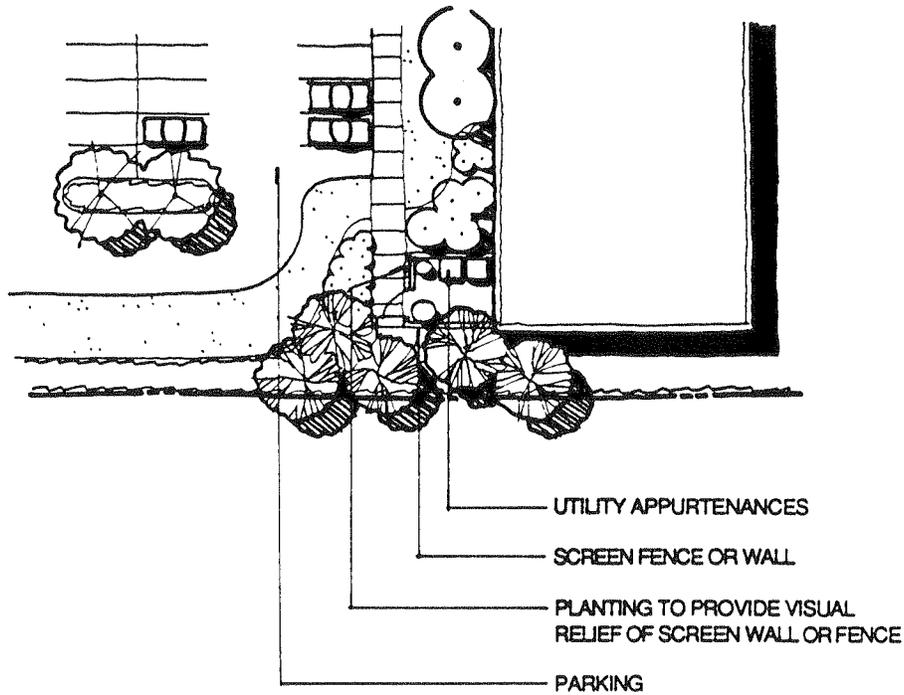
6. Utilities Screening

Landscaping should be adequate to screen trash enclosures, utility appurtenances including telephone pedestals, utility meters, irrigation system backflow preventers, transformers, etc., so as not to be visible from adjacent properties, parking areas, public streets and pedestrian walkways. Shrubs and/or vine planting in combination with walls or fences, can provide an effective screen. (See Exhibit 46.)

7. Service Areas/Loading Docks/Storage Areas

Landscaping should be adequate to screen service areas, loading docks and storage areas from adjacent properties, and public streets. (See Exhibit 47.)



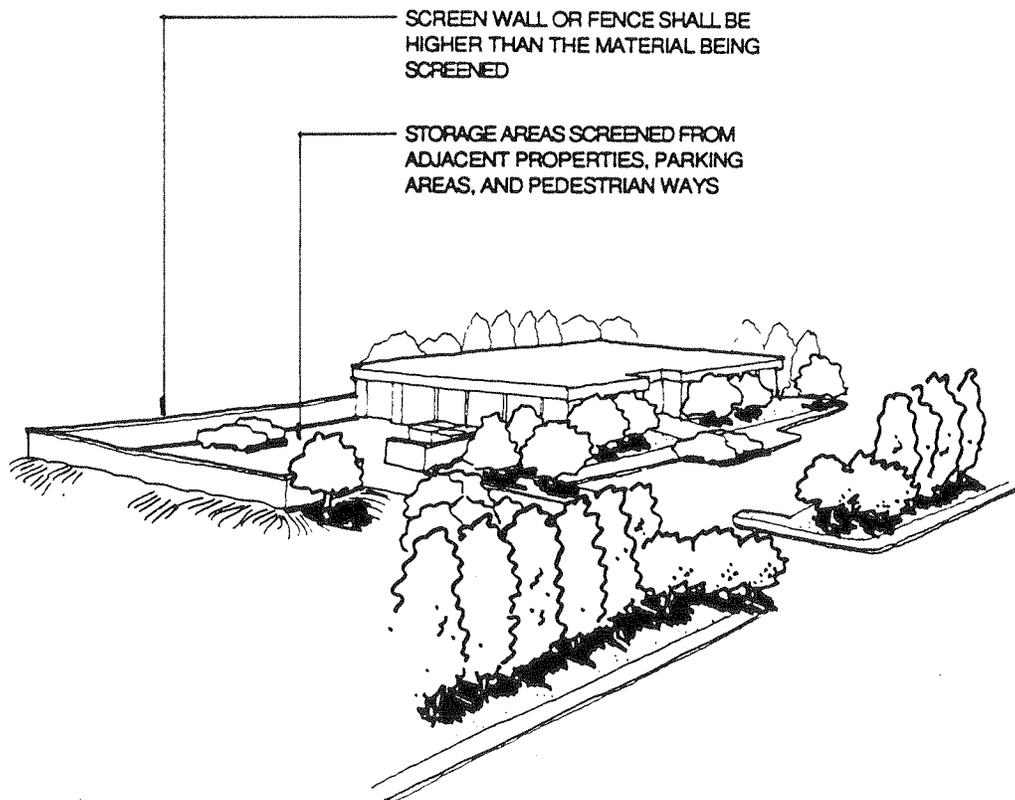
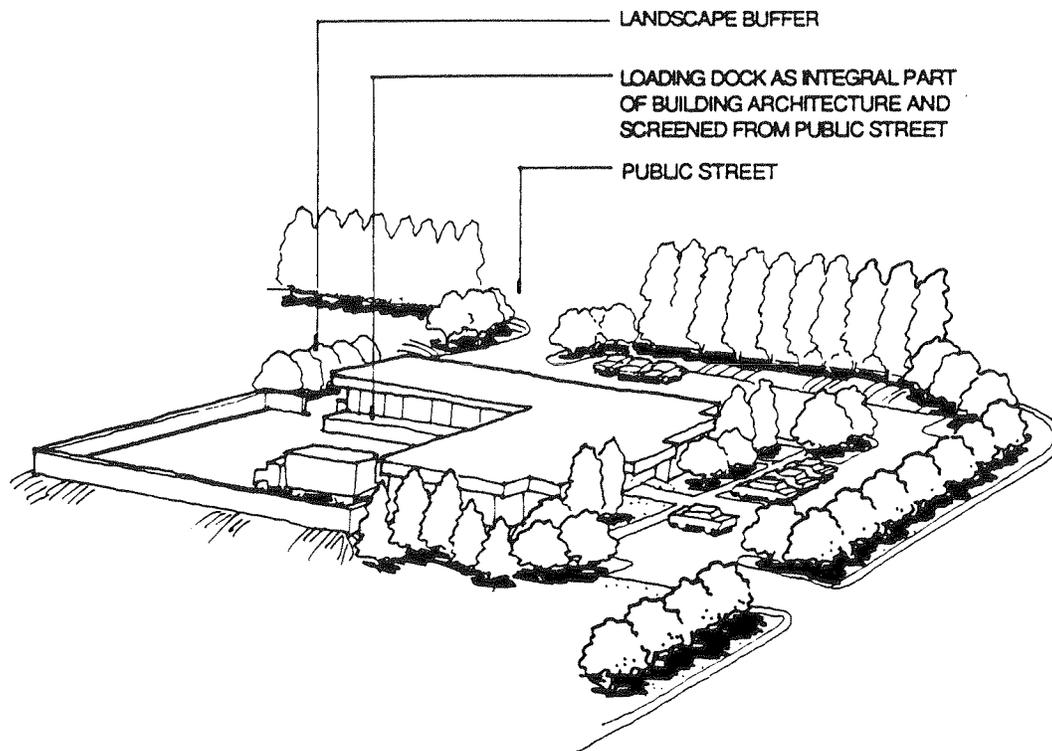


HAVEN GATEWAY CENTRE

Ontario, California

UTILITIES SCREENING

EXHIBIT 46



HAVEN GATEWAY CENTRE

Ontario, California

SCREENING

EXHIBIT 47

H. GENERAL CONDITIONS

1. Irrigation

- a. All irrigation systems shall be fully automatic.
- b. Low-volume irrigation equipment is encouraged for all planted areas within the individual sites and shall be completely automatic.
- c. No overthrowing of irrigation water onto walks and common paved areas will be allowed.
- d. Irrigation systems shall be properly maintained and adjusted to operate a maximum efficiency, utilizing moisture sensing devices which can override controllers.
- e. Utility cabinets and irrigation hardware are to be screened by evergreen shrubs and/or wall/fence.

2. Site Landscaping and Maintenance

- a. All landscape within each parcel shall be planted with materials in accordance with the planting palettes and criteria identified in the landscape standards including trees, turf ground cover, shrubs and vines. Drought tolerant plant materials are encouraged for all plantings.

The recommended plant lists suggest plant materials which will grow well in the inland valley climate and will begin to create the structure for the type of character desired for the on-site landscaping. The water requirements of plant materials will vary and should be given attention when developing the planting areas. The irrigation system for all the landscape areas should be able to regulate the water requirements as needed. If special site or soil conditions, or design considerations prevents the use of plants indicated on the recommended plant list, the property owner should suggest an alternative to the Haven Gateway Centre Owners' Approving Agent.

The minimum size for tree plant material shall be 15 gallons; minimum size for shrub plant material shall be 5 gallons. Any plant material of size less than 5 gallon must be approved by the Haven Gateway Centre Owners' Approving Agent and the City of Ontario.

- b. All planting areas adjacent to turf shall be top-dressed with one inch layer of mulch, and bordered within a 2"x4" size redwood headerboard (laminated to full size for curved sections), or 6" wide minimum concrete or masonry curb.
- c. The Owner of each lot shall, at all times keep and properly maintain the entire premises in a safe, clean, sightly and wholesome condition, in a good state of repair, and shall comply in all respects with governmental, health, fire and police requirements and regulations.

- d. Thorough soil preparation is essential to plant survival. Specifications shall include soil treatment and preparation.
- e. Sites that are not improved or built upon shall be maintained at all times in a clean and neat appearance by the property owner, by removal of weeds, grasses, mowed brush, and trash. The Haven Gateway Centre Owners' Approving Agent has the right to perform the necessary maintenance and charge the individual tenant or property owner as necessary.

3. Plant Palette

On Site Landscaping

Note: The following plant palette is provided to set a framework for the on-site concept. The microclimate where the plant materials are to be used should be considered during the development of the landscape plan. Any substitutions to this list will be reviewed by the Haven Gateway Centre Owners' Approving Agent review committee. Refer to the streetscape plant palette for the plant lists to be used in the setback zone for all streets.

Note: To retain the skyline emphasis of the main corridors in the project site, the use of eucalyptus and palms is discouraged for on-site landscape.

a. Medium to large trees

ALNUS RHOMBIFOLIA	White Alder
BRACHYCHITON POPULNEUS	Bottle Tree
GLEDITSIA TRIACANTHOS	Honey Locust
LIQUIDAMBAR FORMOSANA	Chinese Sweet Gum
LIQUIDAMBAR STYRACIFLUA	American Sweet Gum
LIQUIDAMBAR STYRACIFLUA 'Burgundy'	American Sweet Gum
MAYTENUS BOARIA	Mayten Tree
MELALEUCA LINARIFOLIA	Flaxleaf Paperback
MELALEUCA STYPHELIOIDES	No common name
PISTACIA CHINENSIS	Chinese Pistache
PLATANUS ACERIFOLIA	London Plane Tree
PLATANUS RACEMOSA	Coastal Sycamore
POPULUS FREMONTII-male only	Western Cottonwood
POPULUS NIGRA 'Italica'	Lombardy Poplar
QUERCUS AGRIFOLIA	California Live Oak
QUERCUS ILEX	Holly Oak
SCHINUS MOLLE	California Pepper
TRISTANIA CONFERTA	Brisbane Box
ULMUS PARVIFOLIA	Chinese Elm
Drake or Brea	

b. Small Trees

ALBIZIA JULIBRISSIN 'Rosea'	Silk Tree
GEIJERA PARVIFOLIA	Australian Willow
KOELREUTERIA PANICULATA	Golden Rain Tree
LIQUIDAMBAR ORIENTALIS	Oriental Sweet Gum
RHUS LANCEA	African Sumac

c. Specimen/Accent Trees

BRACHYCHITON ACERIFOLIUS	Flame Tree
CHORISIA SPECIOSA	Floss-Silk Tree
'Majestic Beauty'	
CINNAMOMUM CAMPHORA	Camphor Tree
LAGERSTROEMIA INDICA	Crape Myrtle
MAGNOLIA GRANDIFLORA	Samuel Sommer Magnolia
'Samuel Sommer'	
MELIA AZEDARACH	Texas Umbrella Tree
'Umbraculiformis'	
PRUNUS CERASIFERA	Purple-leaf Plum
'Atropurpurea'	

d. Conifers

PINUS CANARIENSIS	Canary Island Pine
PINUS ELДАРICA	Mondell Pine
PINUS HALEPENSIS	Aleppo Pine
PINUS PINEA	Italian Stone Pine

e. Buffer Plants for side and rear yards - Trees

CUPRESSOCYPARIS LEYLANDII	Leyland Cypress
PINUS HALEPENSIS	Aleppo Pine
PINUS PINEA	Italian Stone Pine
TRISTANIA CONFERTA	Brisbane Box

f. Buffer Plants for side and rear yards - Shrubs

ARBUTUS UNEDO 'Compacta'	Compact Strawberry Tree
DODONAEA VISCOSA	Hopseed Tree
'Purpurea'	
FEIJOA SELLOWIANA	Pineapple Guava
LEPTOSPERMUM LAEVIGATUM	Australian Tea Tree
LIGUSTRUM JAPONICUM	Japanese Privet
'Texanum'	
LIGUSTRUM OVAFOLIUM	California Privet
MELALEUCA NESOPHILA	Pink Melaleuca
MYRTUS COMMUNIS	True Myrtle
NERIUM OLEANDER	Oleander
OSMANTHUS ILICIFOLIUS	Holly-Leaf Osmanthus
PHOTINIA FRASERI	Photinia
RHUS OVATA	Lemonberry
VIBURNUM JAPONICUM	Japanese Viburnum

g. Buffer Plants for Southern
California Edison Edge

CUPRESSOCYPARIS LEYLANDII	Leyland Cypress
XYLOSMA CONGESTUM	Shiny Xylosma
NERIUM OLEANDER	Oleander

h. Shrubs

ABELIA GRANDIFLORA	Glossy Abelia
ARBUTUS UNEDO 'Compacta'	Compact Strawberry Tree
CALLISTEMON CITRINUS	Lemon Bottlebrush
CARISSA GRANDIFLORA	Natal Plum
CISTUS LADANIFER	Spotted Rock Rose
CISTUS PURPUREUS	Orchid-Spot Rock Rose
DODONAEA VISCOSA	Purple Hop Bush
'Purpurea'	
FEIJOWA SELLOWIANA	Pineapple Guave
HETEROMELES ARBUTIFOLIA	Toyon
JUNIPERUS CHINENSIS	Pfitzer Juniper
'Pfitzerana'	
LEPTOSPERMUM LAEVIGATUM	Australian Tea Tree
LIGUSTRUM JAPONICUM	Japanese Privet
'Texanum'	
LIGUSTRUM OVAFOLIUM	California Privet
MELALEUCA NESOPHILA	Pink Melaleuca
MYRSINE AFRICANA	African Boxwood
MYRTUS COMMUNIS	True Myrtle
NERIUM OLEANDER	Oleander
OSMANTHUS ILICIFOLIUS	Holly-Leaf Osmanthus
PITTOSPORUM TOBIRA	Tobira
PITTOSPORUM TOBIRA	Dwarf Tobira
'Wheeler's Dwarf'	
PHOTINIA FRASERI	Photinia
PLUMBAGO AURICULATA	Blue Cape Plumbago
RAPHIOLEPIS INDICA	Indian Hawthorne
RHUS OVATA	Sugar Bush
SARCOCOCCA RUSCIFOLIA	No common name
TEUCRIUM FRUTICANS	Bush Germander
VIBURNUM JAPONICUM	Japanese Viburnum
XYLOSMA CONGESTUM	Shiny Xylosma

i. Vines

CLEMATIS ARMANDII	Evergreen Clematis
CLYTOSTOMA CALLISTEГИODES	Violet Trumpet Vine
DISTICTIS BUCCINATORIA	Blood-Red Trumpet Vine
FICUS PUMILA	Creeping Fig
JASMINUM GRANDIFLORUM	Spanish Jasmine
ROSA BANKSIAE 'Lutea'	Lady Bank's Rose
SOLANUM JASMINOIDES	Potato Vine
TECOMARIA CAPENSIS	Cape Honeysuckle
WISTERIA SINENSIS	Chinese Wisteria

j. Groundcover Accents

AGAPANTHUS AFRICANUS	Lady-of-the-Nile
ARTEMISIA SCHMIDTIANA	Angel's Hair
'Silver Mound'	
DIETES IRIDIOIDES	African Iris
HEMEROCALLIS SPP.	Day Lily
LIRIOPE MUSCARI	Lily Turf
TULBAGHIA VIOLACEA	Society Garlic

k. Groundcovers

ACACIA REDOLENS	Acacia
ACHILLEA MILLEFOLIUM	Yarrow
ARMERIA MARTIMA	Sea Pink
BACCHARIS PILULARIS	Coyote Bush
'Twin Peaks'	
COTONEASTER DAMMERI	Bearberry Cotoneaster
'Lowfast'	
DROSANTHEMUM FLORIBUNDUM	Rosea Ice Plant
DELOSPERMA 'ALBA'	White Trailing Ice Plant
GAZANIA RIGENS LEUCOLAENA	Gazania
HYPERICUM CALYGINUM	St. Johnswort
JUNIPERUS CHINENSIS	Japanese Garden Juniper
'Procumbens Nana'	
JUNIPERUS HORIZONTALIS	Blue Rug Juniper
'Blue Rug'	
JUNIPERUS SABINA	Buffalo Juniper
'Buffalo'	
LANTANA MONTEVIDENSIS	Lantana
LONICERA JAPONICA	Hall's Honeysuckle
'Halliana'	
POTENTILLA TABERNAEMONTANII	Spring Cinquefoil
ROSMARINUS OFFICINALIS	Rosemary
THYMUS HERBA-BARONA	Caraway-Scented Thyme
TRACHELOSPERMUM JASMINOIDES	Star Jasmine
VINCA MAJOR	Periwinkle
VINCA MINOR	Dwarf Periwinkle

l. Turf

TALL FESCUE	Rebel, Olympic, Water Saver
PERENNIAL RYE	Marathon

4. Aromatic Vegetation

NOTE: The following list represents plant material which could help mask any objectionable odors created in areas surrounding the site. The microclimates where plants are to be used should be considered during the development of the landscape plan.

Specific Plan
Haven Gateway Centre

a. Trees

CINNAMOMUM CAMPHORA	Camphor Tree
HYMENOSPORUM FLAVUM	Sweetshade
LAURUS NOBILIS	Sweet bay
PRUNUS BLIREIANA	Flowering plum
PITTOSPORUM UNDULATUM	Victoria Box
PITTOSPORUM VIRIDIFLORUM	Cape Pittosporum
ROBINIA PSEUDOACACIA	Black Locust
UMBELLULARIA CALIFORNICA	California Laurel

b. Shrubs

ACACIA SP.	Acacia
CARISSA GRANDIFLORA	Natal Plum
JASMINUM SP.	Jasmine
MRYTUS COMMUNIS	Myrtle
OSMANTHUS FRAGRANS	Sweet Olive
PITTOSPORUM TOBIRA	Tobira
RHAPIOLEPIS INDICA	India Hawthorn
'Majestic Beauty'	
ROSMARINUS OFFICINALIS	Rosemary
SARCOCOCCA HUMILIS	No common name
SARCOCOCCA RUSCIFOLIA	No common name
VIBURNUM JAPONICUM	Japanese Viburnum

c. Groundcovers/vines

LONICERA JAPONICA	Hall's Honeysuckle
'Halliana'	
TRACHELOSPERMUM JASMINOIDES	Star Jasmine
WISTERIA	Wisteria

I. MAINTENANCE

Maintenance responsibilities within Haven Gateway Centre will be divided between the City of Ontario, special districts, property owners' associations, and individual property owners. The maintenance responsibilities of these organizations are outlined in Table 7. Summary of Maintenance Responsibilities.

1. Streets

Each of the streets identified in the Haven Gateway Center's Traffic Study will be dedicated to the City of Ontario, and will be maintained by the City in accordance with established policies.

It is anticipated that the local street system within the site will primarily be dedicated to the City, and will be maintained by the City. The specific method of maintenance will be defined at the time individual areas are subdivided, and shall be regulated by the CC&R's. (See Exhibit 48.) All private maintenance shall be in accordance with the City standards in effect at the time of acceptance of improvements.

2. Open Space and Pedestrian Facilities

Pedestrian facilities constructed will be maintained by a property owners' association. In addition, the association will be responsible for maintaining parkway landscaping, buffer and plantings, and project entry monumentation.

Maintenance district will be set up to maintain street lighting within Haven Gateway Centre.

3. Drainage Facilities

The maintenance and liability for drainage improvements which are defined as "interim" will generally remain the responsibility the project sponsor, unless specifically accepted by the City of Ontario or another agency for maintenance. The City shall retain, at its sole discretion, the option to accept or not accept for maintenance any improvements initially constructed as interim facilities, but which are to be incorporated into the future permanent drainage system prior to the time such facility is upgraded to permanent status.

Permanent drainage improvements within Haven Gateway Centre will be constructed to the standards of the City of Ontario or San Bernardino County Flood Control District, and will be dedicated to either the City or District for maintenance, as appropriate.

Where it is necessary to construct drainage improvements outside of public rights-of-way, drainage easements will be dedicated to the City of Ontario or Flood Control District, as appropriate. Upon dedication, the City or District will assume responsibility for maintenance of the drainage facilities.

Drainage facilities on private property in the absence of an easement will be considered to be private drains. Maintenance of such private drains will be the responsibility of the landowner or the association charged with the general maintenance of the landscaping and other common improvements of the area in question.

4. Water and Sewer

The City of Ontario will assume responsibility for the maintenance and monitoring of water and sewer facilities constructed within public rights-of-way within Haven Gateway Centre. The Chino Basin Municipal Water District will retain maintenance responsibility for regional sewer lines within and crossing the project site.

Where it is necessary to construct water or sewer improvements outside of public rights-of-way, easements will be dedicated to the City of Ontario or Chino Basin Municipal Water District, as appropriate. Upon dedication, the City or District will assume responsibility for maintenance of the facilities.

Water and sewer facilities located on private property in the absence of an easement will be considered to be private facilities. Maintenance of such private facilities will be the responsibility of the landowner or the association charged with the general maintenance of the landscaping and other common improvements of the area in question.

5. Other Facilities

The Southern California Gas Company will maintain natural gas lines within the project site. Southern California Edison will maintain on-site electrical facilities. General Telephone will maintain telephone facilities.

	PROPERTY OWNERS ASSOCIATION	MAINTENANCE DISTRICT	INDIVIDUAL PROPERTY OWNER	CITY OF ONTARIO S.B.C.F.D. OR C.B.M.W.D.	SO. CAL EDISON CO.	SO. CAL GAS CO.	GENERAL TELEPHONE
LANDSCAPE PARKWAY - ARTERIAL STREETS	●						
LANDSCAPE PARKWAY - COLLECTOR STREETS	●						
LANDSCAPE MAJOR & SECONDARY ENTRANCE ID STATEMENTS	●						
ON SITE LANDSCAPE			●				
STREET LIGHTING		●					
PUBLIC STREETS (INCL. SIDEWALKS)				●			
PUBLIC STORM DRAIN				●			
WATER/SEWER FACILITIES WITHIN PUBLIC R.O.W.				●			
PRIVATE PROPERTY WATER SEWER LINES			●				
REGIONAL SEWER LINES				●			
FREEWAY BUFFER PLANTING	●						
LANDSCAPE EASEMENT AT SCE PROPERTY	●						
ELECTRICITY				●			
GAS					●		
TELEPHONE							●

HAVEN GATEWAY CENTRE

Ontario, California

SUMMARY OF MAINTENANCE RESPONSIBILITIES

TABLE 7

Haven Gateway Centre Specific Plan

November 2001

