

SECTION 8. DESIGN GUIDELINES

8.1 INTRODUCTION

On a sunny morning in the fall of 1882, George Chaffey stands on a mesa between the floodwater washes of Cucamonga Canyon to the east and San Antonio Canyon on the west, gazing at the country directly in front of him lying at the foot of snow-capped Old Baldy, beneath the Sierra Madre Mountain Range. Having little capital, George would rely on his powers of leadership and vision and, at that moment, would throw his heart and soul into the new colonizing movement sweeping Southern California. With help of his brother William and surveyor J. C. Dunlap, he would purchase 6,218 acres and design what would become the “City of Ontario,” named after his former home in Ontario, Canada. His vision of a model colony featured the first reclamation irrigation system, abundant electricity power and a beautiful parkway that captured the imagination and interest of people throughout the world. His vision was one of hope for a great community. “Esperanza,” which means “hope” in Spanish and accurately describes the original vision intended for the “new” Ontario.

Ontario is a thriving city today, although the orchards and packing houses have since given way to new landmarks such as Ontario Mills, Ontario Convention Center and Ontario International Airport. Hundreds of new businesses have discovered that Ontario is “The Gateway” to Southern California, conveniently located 35 miles east of Los Angeles, and easily accessible to I-10, I-15 and I-60 freeways.

Ontario spans nearly 28,000 square miles, with a population of over 168,000, and is one of Southern California’s fastest growing cities. Ontario’s sun-belt mild weather and 312 days of sunshine, allows you to enjoy the many parks as



well as the nearby mountains, beaches, and deserts. The world-class Empire Lakes Golf Course, designed by Arnold Palmer, will challenge the avid golfer. The wine aficionados will love sampling California’s finest at Galleano Winery, Joseph Filippi Winery, and Vineyards.

8.2 DESIGN GUIDELINES FOR ARCHITECTURAL CHARACTER

Architectural design should provide for high quality neighborhoods.

- Residential project design should consider the total context of the site with the incorporation of appropriate scale and proportions of building massing and details.
- The use of transitional spaces between common and private areas such as entry courtyards, private patios, low walls, and porches is encouraged.
- The variation of both front and rear building setbacks should be implemented to create visual variety.
- The variation of garage placement on adjacent lots is encouraged to provide a more diverse street scene.
- Residential structures should be varied in massing and articulation to provide visual interest.



Neighborhoods should be sustained over time.

- Architectural design themes should reflect historic Southern California styles.
- The use of natural indigenous building materials and colors is encouraged.
- Structures should incorporate genuine architectural details and decorative features.
- Architectural design should relate to human scale.
- The location of doors and windows should consider indoor/outdoor relationships to create intimate and secure spaces.
- Architectural designs should create a cohesive community without dominating the overall street scene.

Building design should be sensitive to climatic conditions and context.

- Building elevations should consider sun orientation by including shaded and sheltered areas.
- Variation of architectural designs should include methods of protection from inclement weather.

- Residential structures should be compatible with, and responsive to, the environmental setting.
- Building designs should incorporate spaces that encourage outdoor use to take advantage of temperate climatic conditions.

Architectural design should incorporate materials and techniques that are cost effective.

- The use of building materials should reflect the implementation of efficient construction methods.
- Building elevations should include compatible window and doors sizes that create a consistent design theme.
- Construction techniques should incorporate the use of standard components and dimensions.

Varied floor plans and elevations in single-family detached residential architectural packages should be incorporated as follows:

Reverse elevations and floor plans are considered as a separate elevation and floor plan. Reverse floor plans and elevations are considered as a separate floor plan and/or elevation for purposes of implementing the table below.

Number of Dwelling Units	Number of Differing Floor Plans and Elevations
5-10	As required by Planning Commission
11-25	2
26-50	3
51-75	3
76-100	4
Over 100	4; +1 additional floor plan with 4 elevations for each additional 50 units exceeding 100

Diversity is a fundamental guiding principle at Esperanza. This ensures that neighborhoods are varied and that blanket uniformity is avoided.

Builders are required to produce a minimum of two styles for a 3-plan design program, and three styles for a 4-plan or more design program.

8.3 ARCHITECTURAL CONTEXT

The original model colony of Ontario has a rich agricultural legacy of farming including citrus orchards, grape vineyards and alfalfa fields. Typical of Southern California farming communities, Ontario has a variety of traditional architectural styles. Western European and East Coast architectural details and forms were incorporated into the farm houses and local styles evolved from Country French and Tuscan styles and new interpretations of Monterey, Traditional, Craftsman and Ranch styles were erected. Architectural styles, elements and massing were reinvented utilizing available indigenous building materials. Plan designs and elements such as window sizes and proportions were modified to address local climatic conditions which were warmer and drier. Materials were plaster, stucco and siding with brick, stone or other masonry accent materials. The sunny Southern California climate allowed year round use of outdoor spaces and inspired covered porches and balconies.

Southern California was also influenced by Spanish architectural styles brought to the region by Spanish settlers and missionaries. These homes were well suited for the temperate climate of Southern California. The architectural theme for Esperanza is based upon these historical styles found in Ontario and the architectural styles have been selected in order to be reflective of older neighborhoods of historic Ontario.

Each architectural style outlined in these guidelines should be detailed with elements



that represent the authentic character of that particular style.

Together the styles should be designed to create a neighborhood character that will be sustainable over time. Each home should contribute to the architectural character of the neighborhood. Design elements such as porches, recessed windows, architectural details and accents, alternate garage configurations / orientations, covered balconies, and articulated elevations are encouraged to enhance individual homes and to promote the overall neighborhood character.

8.3.1 Residential Design Objectives

- Interpret architectural styles that are authentic and reflect the historical character of the region.
- Emphasize styles of architecture that are compatible, yet vary enough to create interest and diversity.
- Create visually interesting neighborhood streets by varying elevation and floor plan plotting.
- Utilize authentic materials and colors that reinforce the overall design theme.

- Emphasize front elevations that relate strongly to the street and contribute to the livability of that realm.
- Provide alternative garage configurations.

The Esperanza Design Guidelines are to be used as a tool to ensure the character and design quality anticipated for the Community. The Guidelines express objectives and approaches rather than formulas and standards, allowing certain architectural creativity and flexibility. The images and sketches illustrated in the Guidelines are intended to be conceptual in nature and are to be used as general visual aids in understanding the basic architectural design intent of Esperanza. They are not meant to depict specific floor plans or architectural elevations.

These Guidelines are organized into the following sections:

- Architectural Styles
- Massing Principles
- Materials & Detailing
- Home Types
- Landscape Design

8.3.2 Architectural Styles

The architectural character within each neighborhood shall consist of complementary traditional architectural styles. The materials and colors of these home styles shall complement the overall neighborhood design.

Architectural styles within each neighborhood and product area within each neighborhood should be compatible with one another and blend with the character of each neighborhood.

Within cluster court style residential products, a consistent architectural style shall be used throughout the individual cluster.

Acceptable architectural styles within Esperanza include:

- Country French
- Tuscany
- Monterey
- Spanish Colonial
- Craftsman
- Traditional
- Western Ranch

The styles selected share similar design attributes and have been selected in response to the following considerations:

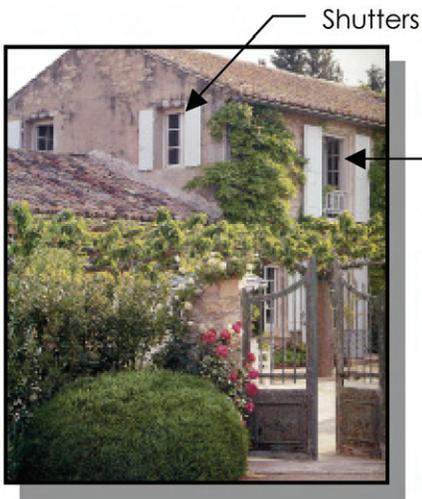
- They have a historic relevance to the region.
- They are compatible and complementary.
- They can be interpreted in a variety of ways.
- They are generally accepted by the market.
- They can be constructed using current building materials and methods.

Note: Additional styles proposed by the homebuilder must be submitted to, and approved by, the City of Ontario. Builders may submit home designs using alternative architectural styles that meet the design objectives of the specific plan, provided they are appropriate to the region and compatible with the character of Esperanza.

8.3.2.1 Country French

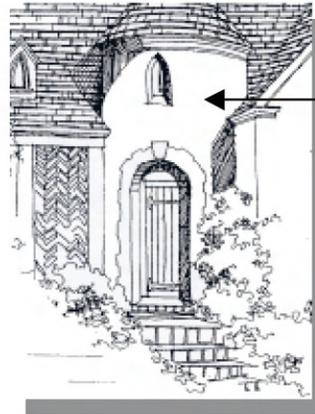
History and Character:

French Country architectural style is based upon early American interpretations of French Medieval architecture that made their way across the United States from the Mississippi regions around the turn of the century. Usually taking the form of larger manor homes and estates, this architectural style was adapted to fit smaller rural homes. The French Country style conveys a romantic and picturesque architecture. American interpretations include houses with simple forms with steeply-pitched roofs.

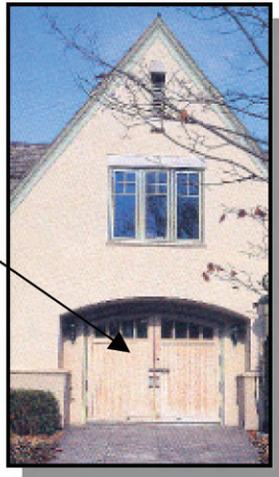


Shutters

Multi-paned Windows

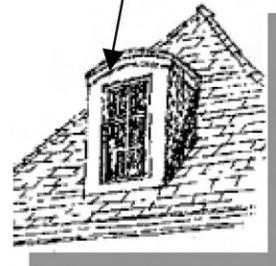


Round Silo Type Towers



Carriage Garage

Vertical Windows



Small Dormers



Quoin at Corners, Windows or Doors

Steep Roof Forms with Multiple Pitches

Stucco or Masonry Chimney



Country French

Massing:

- Simple massing with asymmetrical forms and gable roofs.

General Materials:

- Stucco finished walls.
- Deep recessed accents.
- Vertical windows.
- Simple detailing.
- Stucco or masonry chimneys.
- Decorative chimney caps.
- Carriage garage doors or roll-up doors with a variety of panel patterns to reflect architectural style.

Roof Materials and Forms:

- Small dormers.
- Steep roof forms with multiple pitches.
- Gable roof forms, accented with flared roof treatments.
- Large, simple roof planes.
- Gable end venting in various styles.
- Rooflines may extend below window.
- Extended roof overhangs.
- Flat concrete tile to simulate slate materials.
- Round silo type towers.

Detail Elements:

- Decorative shutters.
- Wood balcony railings.
- Deep recessed windows.
- Multi-paned windows.
- Quoin at corners, windows or doors.

8.3.2.2 Tuscany

History and Character:

Tuscan-inspired homes began appearing at the turn of the 20th Century in Southern California as an interpretation of the picturesque movement in art where the architecture was less formalized and more responsive to the natural environs. Arranged building forms of predominantly stucco and stone with tile roofs reflecting the architectural styles of Northern Italy took root in informal plan arrangements and massing.

Massing:

- Simple massing with assembled forms and varied roof forms.

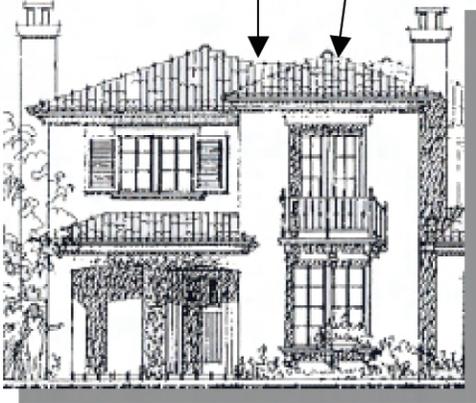
General Materials:

- Stucco finished walls and columns.
- Large, simple roof planes.
- Extended roof overhangs.
- Wood posts or masonry columns.
- Simple stucco chimneys.
- Decorative columns accents.
- Simple wrought iron, metal railings and details.
- Shutters as occasional accent.
- Deep recessed openings.
- Covered patios /porches.

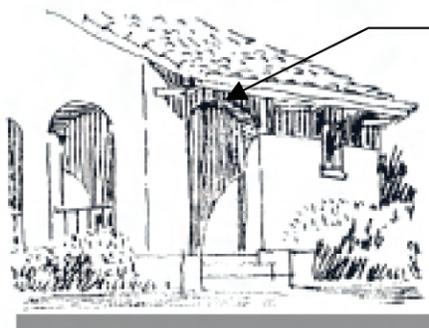
Roof Materials and Forms:

- Tile hipped roofs.
- Low-pitched roofs.
- Stucco eave details or wood corbeled rafter tails.
- Gable end roof vents with decorative stucco accents.
- Gables and appropriate hip roofs.
- Shallow sloped, concrete 'S' tile roofs.

Tile Hipped Roof
Large, Simple Roof Planes

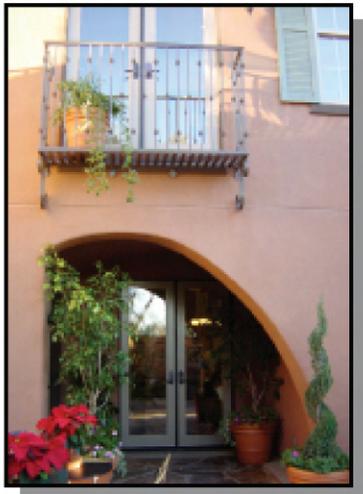


Low Pitched
Roofs
Decorative
Brackets
Below Overhang

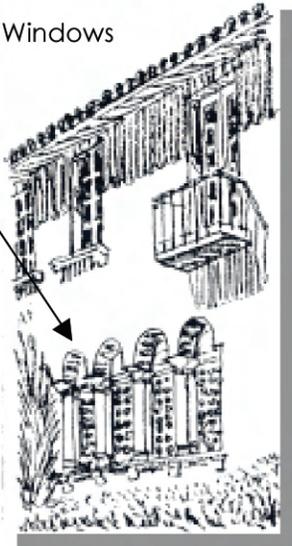


Arched Openings

Roofed Balconies



Arched Windows



Open Balconies

Tuscany

Detail Elements:

- Barrel/S-Tile roof.
- Varied stucco finish.
- Shallow pitch roof.
- Exposed rafter tails.
- Arched openings.
- Recessed windows
- Wrought iron accents below windows.
- Vertical proportioned or arched windows.
- Balconies opened or roofed.
- Decorative brackets below roof overhangs.

8.3.2.3 Monterey

History and Character:

The Monterey style is a combination of Spanish construction methods and the basic two-story Eastern Colonial house. The wooden second story enabled single story Spanish Adobe homes to be developed as two story homes. Cantilevered balcony elements defined the front of the house which originally used adobe wall construction. Exposed rafters, gable or hipped roof, simple wood posts and side chimneys that anchor one end of the house, accompany the balcony as Monterey design elements.

Massing:

- Simple, straightforward rectangular or “L” shaped building forms.
- Cantilevered balcony and covered colonnades.

General Materials:

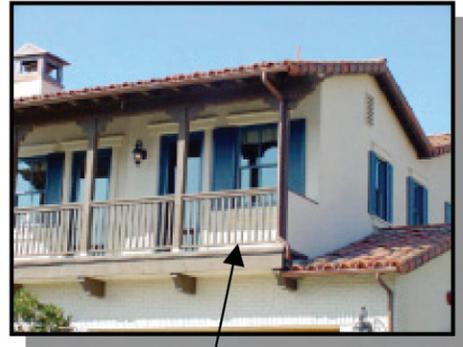
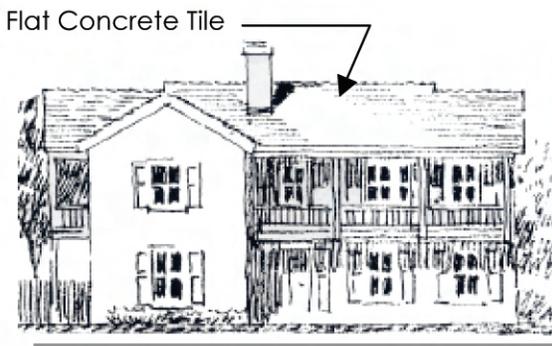
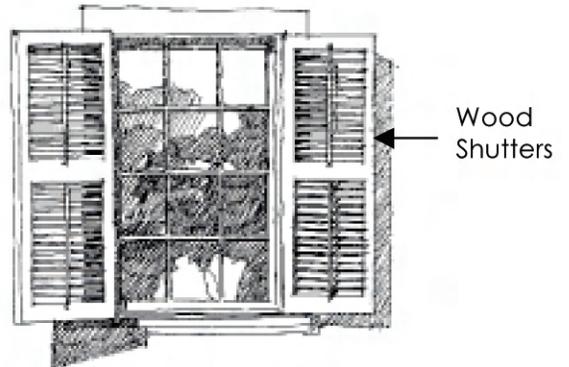
- Stucco on first level.
- Siding on second floor.
- Use of brick or stone on first level.
- Shutter accents.
- Wood or stucco trim.
- Brick and siding used to accent stucco forms.

Roof Materials and Forms:

- Flat concrete tile.
- Simple forms with low pitch.
- Gable forms are predominant. (Long gable roof)
- Tight rake ends.
- Extended eaves with exposed rafter tails.

Detail Elements:

- Wood balcony railing.
- Recessed windows, single hung.
- Wood corbels.
- Accent shutters.
- Cantilevered second floor porch.

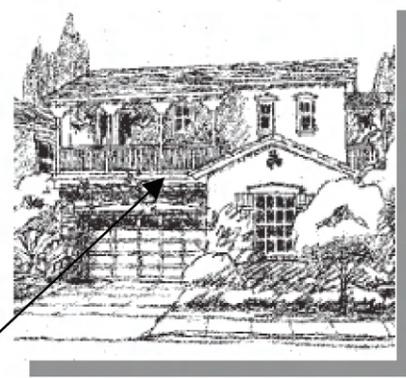


Extended Eaves with Exposed Rafter Tails



Wood Corbels

Wood Rail Balconies



Cantilevered Second Floor Porch

Monterey

8.3.2.4 Spanish Colonial

History and Character:

Spanish Colonial homes are an adaptation of the Mission Revival style, reflecting features such as strong form and mass, plain wall surfaces, and tile roofs. The Spanish Colonial style is often characterized by a semi-formal plan arrangement such as a courtyard design.

Massing:

- Simple massing and forms and varied roof forms

General Materials:

- Stucco finished walls.
- Wood / stucco columns.
- Decorative stucco chimneys.
- Round arches.
- Decorative columns and trim.
- Ornate wrought iron railing and accents.
- Wood shutter accents.
- Thick walls.
- Deep recessed openings.
- Stucco or tile details at gable ends.

Roof Materials and Forms:

- Low-pitched roofs, with minimal overhang.
- Tight rake ends.
- Extended eaves with exposed rafter tails.
- Gables and hip roofs typical.
- Shallow sloped, concrete 'S' tile roofs.

Detail Elements:

- S-Tile roof.
- Arched window/door openings.
- Recessed window.
- Ornamental wrought iron details.
- Vertical proportioned windows.
- Wrought iron window. Grilles on windows.

Low Pitched Gable Roof

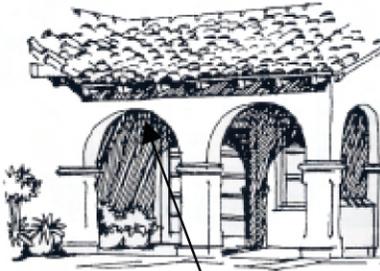


Exposed Rafters



Wrought Iron Balconies

Arched Openings



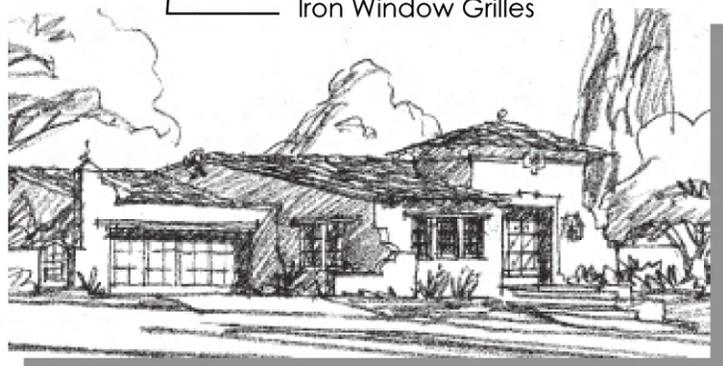
White Plaster or Stucco



Iron Window Grilles



Deep Recessed Windows



Spanish Colonial

8.3.2.5 Craftsman

History and Character:

The Craftsman style home evolved from the late 19th century American Arts and Crafts movement. These moderately detailed buildings are characterized by the use of handcrafted architectural elements and details. Broad open porches, low sloping roofs, deep overhangs, multiple gables, trellis features, oversized first floor windows, expressive trim, rafters, brackets, and wood columns with masonry bases characterize the Craftsman style.

Massing:

- Horizontal proportions simple massing often asymmetrical at the second level.

General Materials:

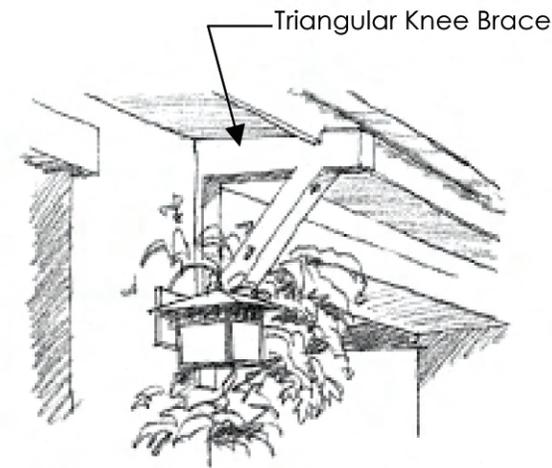
- Simple roof lines with wide projecting gables.
- Covered entry and roofed porches.
- Deep, broad porch elements.
- Expressive structural elements such as rafters, posts, and columns.
- Use of wood, stone or brick at porch columns typical.
- A mixture of materials such as stucco, stone, brick and shingle siding.
- Asymmetrical window and door compositions.

Roof Materials and Forms:

- Predominantly low-pitched gabled roofs, occasional hipped or shed roofs.
- Shallow-pitched roofs with deep overhangs.
- Roof dormers.
- Flat concrete tile or architectural grade asphalt shingle.
- Variation of the gable roof (i.e.: cross gable).

Detail Elements:

- Large gables
- Low pitch roofs with flat concrete tile.
- Windows with accent mullions.
- Exposed rafters and outlookers, triangular knee brace.
- Decorative gable vent detail.
- Decorative porch supports and railings.
- Transomed Windows.



Low Pitched Gable Roof



Gable Dormers



Stooped Porch

Transomed Windows



Cross Cable

Gable Variations



Decorative Porch Supports

Craftsman

8.3.2.6 Traditional

History and Character:

The Traditional style is based on classical design principles established the American Colonial period and interpreted or blended with the Prairie and Bungalow regional styles. Massing is horizontal in appearance with vertical proportioned windows and door surrounds. Front porches are common. The houses are composed of simple forms with centered entry elements over the front door.

Massing:

- Simple, symmetrical massing.
- Typical two story rectangular masses with added one-story elements such as porches forming more complex building configurations.

General Materials:

- Symmetrical and asymmetrical composition of doors and windows are common.
- Simple classical details such as columns.
- Siding or stucco with brick veneer accents.
- Front porches with wood columns and railings.

- Porches that extend length of the front elevation.
- Stone and brick veneer.

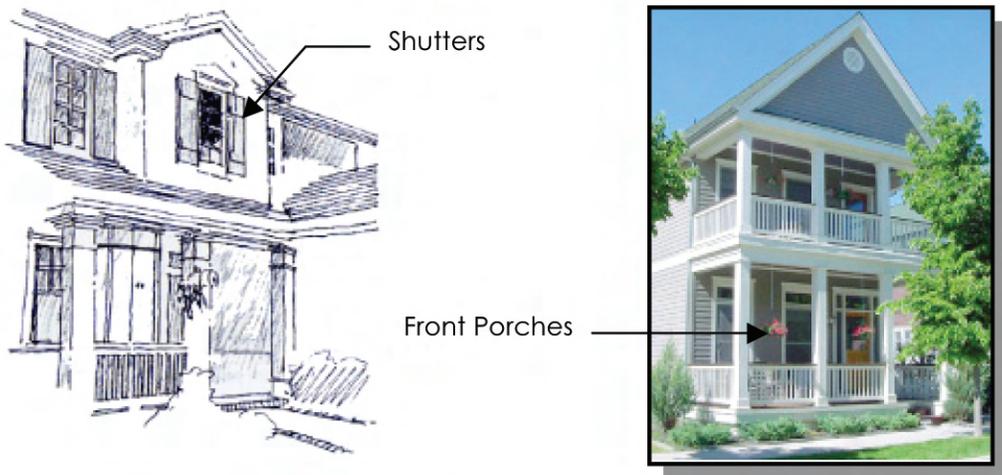
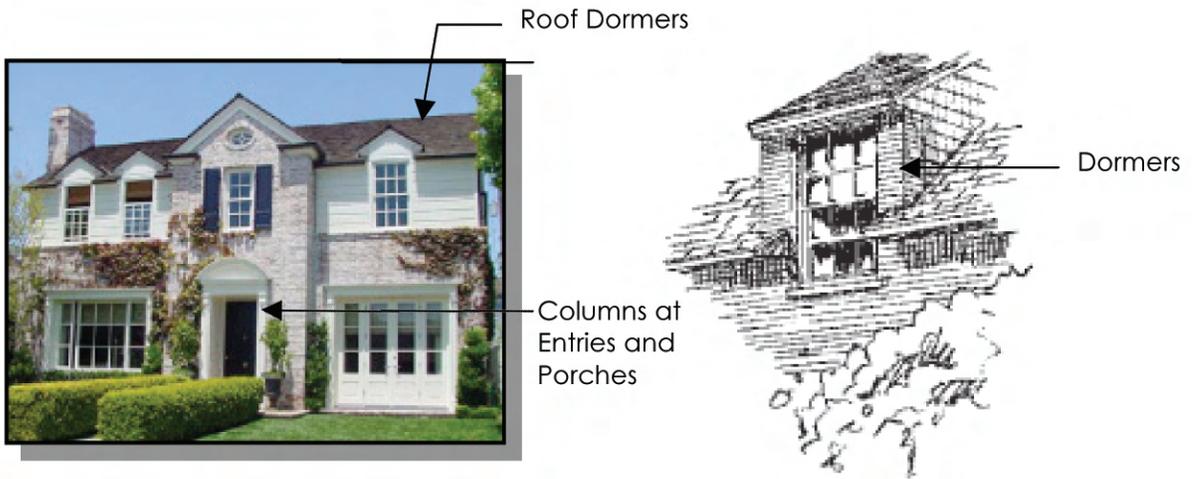
Roof Materials and Forms:

- Medium roof pitch with pitched roof dormer.
- Shallow roof pitch used over the porch.
- Flat concrete roof tile.
- Dormers reinforce symmetrical elevations.
- Bay windows and shed roofed elements added to simple building forms.
- Cupolas, weather vanes and other decorative roof ornamentations.

Detail Elements:

- Symmetrical or centered entry feature.
- Shutters accented with color.
- Columns at entries and porches.
- Roof dormers.
- Stopped porches.





Traditional

8.3.2.7 Western Ranch

History and Character:

The Western Ranch style is reminiscent of the early ranchers and farmers of Southern California. The Ranch Style evolved regionally in response to available building materials and environmental considerations. The distinctive porch covered terrace elements are a natural response to the temperate Southern California climate. Ranch style homes utilized simplified architectural details inspired by Spanish Colonial, Colonial and Monterey architecture.

Massing:

- Simple horizontal massing and rectilinear forms.

General Materials:

- Stucco, board and batten, and horizontal siding.
- Porches along front and rear elevations with a shallow roof break.
- Decorative shutters at windows.
- Wood window trim surrounds.

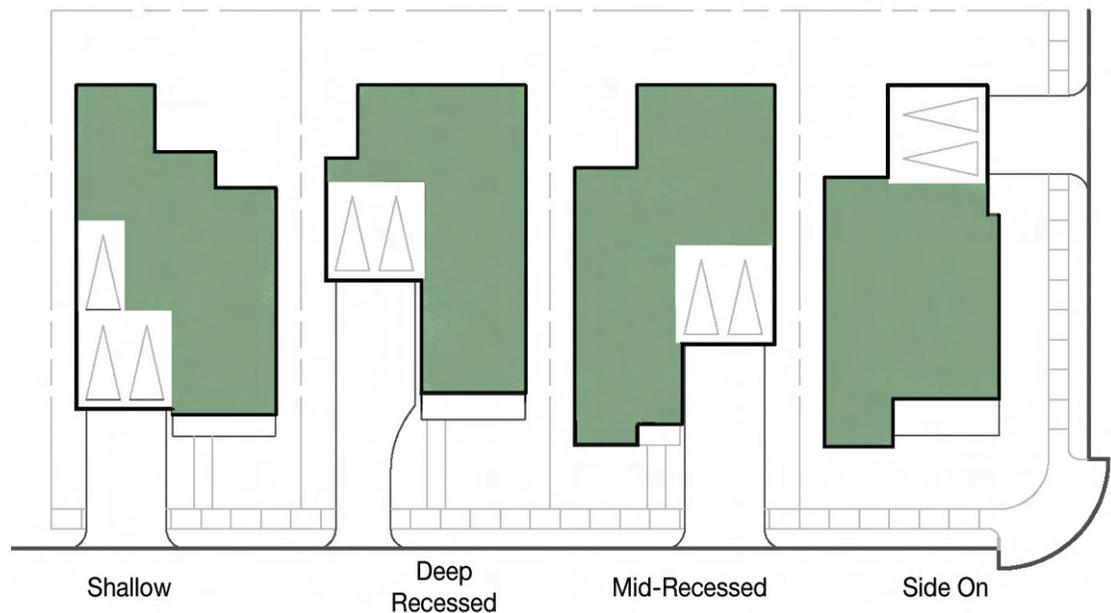
- Simple column and railing detailing.
- Substantial (8" x 8" min.) wood columns.

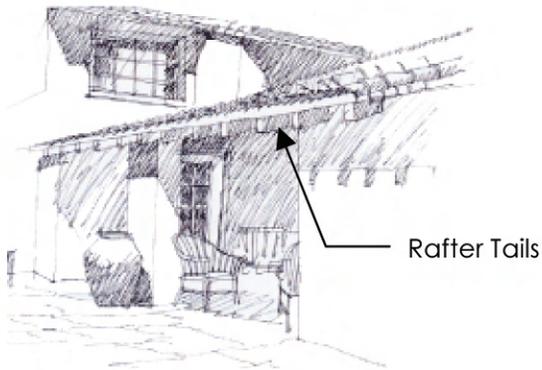
Roof Materials and Forms:

- Horizontal gable roofs with medium pitch and deep overhangs.
- Porches with shallow roof pitch.
- Gabled dormers.

Detail Elements:

- Corbeled wood columns.
- Heavy rafter elements.
- Simple accent shutters.
- Minimum 8" x 8" wood posts.

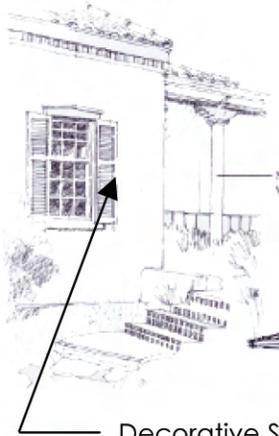




Stucco, Board and Batten and Horizontal Siding



Corbeled Wood Columns



Decorative Shutters



Porches along Front and Rear Elevations with a Shallow Roof Break

Western Ranch

8.4 MASSING PRINCIPLES

This section provides suggestions for creating neighborhoods and street scenes that have a variety of building forms that are proportionate to a human-scale and inviting to the pedestrian.

General Elements:

The general elements of building massing include:

- Front Articulation.
- Rear Articulation.
- Garage Placement.
- Roof Form.
- Balconies and Projections.
- Building Offsets/Variable Setbacks.

Objectives:

- Incorporate single-story elements.
- Avoid large flat two-story walls.
- Minimize two-story dominance on street scene, sidewalks and open spaces.
- Vary building setbacks along the street.
- Minimize visual impact of garages.

8.4.1 Front Articulation

Intent:

The front elevation of the home is an important element in creating a quality community at Esperanza. Close attention will be placed on the elevations and how they address the streetscene. Emphasis on location and entry designs, living areas and garages will provide a special street appeal. Emphasis on a variety of building massing will create a diverse street scene.

Guidelines:

- Building massing should reflect the architectural style.

- Massing elements should project enough to avoid elevations that appear to be “tacked on.”
- Building details such as doors and windows should be in proportion to the overall massing.
- Building form is encouraged to reflect the interior uses of the home.
- Front elevations for two-story homes should incorporate a single-story element.
- Recessed two-story elements should create human-scale buildings.
- All homes should have at least two plane variations (excluding the garage) in front elevation massing.

8.4.2 Rear Articulation

Intent:

Special attention shall be given to the design of those dwellings adjacent to, or in close proximity of, major community roadways, common areas, open spaces, or entry features. Whether viewed from distant or close range, massing requirements will be implemented to ensure positive community character in these conditions. Generally, repetitious elements such as similar building profiles and continuous gable ends are to be avoided.

Guidelines:

- Architectural massing and articulation should be consistent with the style of the home.
- Plans shall incorporate projections and/or offsets that extend from the main wall lane.
- Vertical and horizontal plane breaks are encouraged.
- Homes directly adjacent to arterial roadways, collector roads, entry drives, common areas, and open spaces should be given particular attention in their rear articulation, contributing positively to these edges.

8.5 GARAGE PLACEMENT

Intent:

The configuration, location and orientation of the garage on the lot are integral design elements, both for the composition of the home and its contribution to the streetscene. De-emphasizing the garage is important in order to maintain the overall community design. Emphasizing the living areas of the home as they address the street will achieve this goal.

Placing living areas forward promotes social interaction and facilitates ‘eyes on the street’ for neighborhood security, while at the same time establishing neighborhood orientation to the pedestrian instead of the automobile.

Guidelines:

- Garage door patterns should vary among elevation types and reinforce the architectural theme of the home.
- Standard 3-car garage configurations are discouraged.

8.5.1 Garage Treatments

The home and the yard rather than the garage must be the primary emphasis of the elevation as seen from the street. Each plan shall incorporate one of the garage design techniques listed below and each parcel shall include at least two of these techniques to reduce the emphasis on the garage; and therefore, enhance the variable massing of the streetscene.

8.5.1.1 Shallow Recessed Garages

Setting the garage back a minimum of three feet in relationship to the front of the house/ or porch is intended to reduce the overall visual mass of the garage. The number of homes with shallow recess garage configurations shall be

limited to 25% of the total number of units in each builder package.

8.5.1.2 Mid or Deep Recessed Garages

Setting the garage back to the middle or rear of the lot. This design treatment is intended to expose more living space areas toward the street, further reducing the visual impact of the garage along the street.

8.5.1.3 Alley Loaded

The use of the alleyways locates garages off a main loop road and creates a more traditional streetscene, with the fronts of the houses facing the street.

8.5.1.4 Split Garage

This treatment de-emphasizes the garage by reducing the length of the continuous door. Typically a one car garage and a one or two car garage are split to provide a variation in the appearance of the home. The single car garage elements in this split condition may option into living space that further enhances the streetscene by replacing the garage door with windows.

8.5.1.5 Tandem Garage

This garage layout de-emphasizes the third garage by concealing it behind a standard two-car garage condition. The tandem space is located so that it may option into living space. The two car garage is typically either shallow or deeply recessed into the lot and incorporated into the architecture of the home.

8.5.2.6 Setbacks

A varied setback is encouraged along the street frontage. Refrain from strict compliance to the minimum garage setback so as not to contrib-

ute to a repetitious and monotonous appearance along the street.

Where garages are adjacent to one another at common property lines, a two-foot minimum difference in setbacks shall occur.

8.6 ACCESSORY STRUCTURES

Intent:

Accessory structures should be designed to reinforce the architectural style of the primary residence.

Guidelines:

- Detached structures, such as casitas, pool cabanas and guest quarters associated with the single-family lot shall be designed to match the style, detail, roof material/pitch and massing criteria of the primary home.
- Detached garages, storage buildings and outdoor sheds should incorporate design features, materials and colors compatible with the primary home.

8.7 ROOF FORM/PITCH

Intent:

- Roof form is another important design element as it relates to the character of the community, observed from both the external edges and inside the neighborhood.
- Variety of roof form along streets creates a positive visual edge.
- Appropriate massing of roof forms helps to create human scale architecture to the street.

Guidelines:

- Roof forms/pitch should reinforce the architectural style of the homes.
- Roofs shall be composed of a series of simple roof forms.

- Primary roof forms should be gable or hip designs.
- Roofs shall vary in massing along street scene and open spaces.
- Changes in the primary roof (ridge) orientation are encouraged.
- Flat roof elements should be minimized and incorporated only if appropriate to the architectural style.

8.8 BALCONIES AND PROJECTIONS

Intent:

As part of the overall design of a two-story dwelling, balconies and projections provide relief and interest at the second story. Balcony projections shall be consistent with the architectural character of the home. Additionally, these elements create ideal outdoor spaces.

8.9 BUILDING OFFSETS/ VARIABLE SETBACKS

Intent:

Quality neighborhood design orients the 'living' areas of the home towards the street. To encourage this orientation, alternative setbacks are allowed for living areas as measured from the back of walk.

The development standards for each planning area/home type including building setbacks are established by the Esperanza Specific Plan. Additionally, building offsets or variable setbacks for both living and garages are encouraged to create variety in street scenes.

Guidelines:

- Setbacks shall be appropriate and proportionate to the housing type and lot size.
- Front setback should be varied along the street. A front offset of a minimum of two

feet (2') is encouraged between the front walls of adjacent homes.

- Edge conditions such as homes backing to collector roads and back-to-back homes should incorporate variable rear setbacks to create variety.

8.10 MATERIALS AND DETAILS

Architectural materials and detailing are central elements to creating quality communities. Appropriate focus should be given to the architectural details and the design of the details and architectural elements of the home.

General Elements:

The general elements comprising the materials and details of a building are:

- Wall Materials/Finishes.
- Doors and Windows.
- Roofing Materials and Slope.
- Fascias, Eaves and Rakes.
- Accent Materials.
- Exterior Colors.

8.10.1 Wall Materials/Finishes

Approved Materials:

- Board and batten siding.
- Cement plank siding.
- Stucco
- Exposed masonry walls (brick, slump block, etc.)
- Stone, brick, brick veneers (accent materials).

Approved Finishes:

- Stucco finishes appropriate to the architectural style of the home.

- Smooth or sand finishes are encouraged. Heavy or Spanish Lace stucco finishes are prohibited.

Guidelines:

- Building materials should reflect the architectural style of the home.
- Siding materials should be wrapped beyond front elevations and should terminate at an inside corner or extend to the location of the lateral fence.
- Masonry elements and accents should reflect building forms and not appear as an applied veneer.
- Footings shall be exposed no higher than six inches (6") above finished grade.

8.10.2 Accent Materials

Accent materials promote individuality in each home and ensure diverse character within the neighborhood. Accents can be used to reinforce the architectural theme of the home.

Guidelines:

- Accent materials should complement the overall color and style of the home.
- Accent materials shall terminate at inside corners and be wrapped to coincide with an architectural element.
- Accent materials may terminate at location of the lateral fence or at logical end.
- Architectural trim applied to all elevations should be consistent with front elevation of the home.

8.10.3 Doors and Windows

The design and detail of the doors and windows on a home reinforce the architectural style and are key elements in the composition of the exterior elevation of the home.

Guidelines:

- Door designs shall be consistent with the architectural style of the home.
- Doors should be protected by porch elements or recessed entries.
- Garage and entry door design shall be appropriate to the style of the home.
- Maximum garage door height shall be eight feet (8').
- Garage doors should be recessed a minimum of twelve inches (12") from building plane.
- Alignment and proportions of windows shall be appropriate to the architectural style of the home.
- All windows (including garage door windows) are to be consistent with the architectural style of the home.
- Divided light windows are encouraged in keeping with the architectural style.
- Highly reflective glazing is not permitted.
- Window details such as shutters, trim surrounds, window boxes and window recesses are encouraged in keeping with the architectural style.

8.10.4 Roofing Materials and Details

Roofing materials as well as roof forms, pitch and design details are integral elements that reinforce the intended architectural style of the home.

Proposed roofs should be reflective of the architectural style of the home.

Attention should be given to address the context of the roof of each home relative to the adjacent homes along the street.

Approved Roofing Materials:

(Subject to compatibility with the intended architectural style)

- Concrete tile (flat or curved profile)
- Clay tile
- Slate
- High profile composition shingle (3-Dimensional)

Prohibited Roof Materials:

- Wood Shake
- Wood Shingle
- Low Profile Asphalt Composition
- Corrugated Metal

Guidelines:

- Roof materials and roof pitches need to be selected to reinforce the architectural style.
- Standing seam metal roofs painted in non-reflective neutral colors are allowed in appropriate architectural styles.
- Avoid repetition in continuous gable-ends and similar ridge heights.
- Skylights are not allowed on the sloped roofs of the front elevations of the building.

8.10.5 Roof Options

8.10.5.1 Eaves, Fascias and Rakes

Guidelines:

- Eave, fascia and rake proportions are to be appropriate to the architectural style.
- Larger eave overhangs provide opportunities for shading and should be used in appropriate architectural styles.
- Exposed rafter tails shall be a minimum of four inches (4") in thickness.

- Wood fascias and rafters shall be painted or stained to reinforce the style of the home.
- Attention shall be given to rake return detail.

8.10.5.2 Color

Intent:

Home colors are important to establishing a blended community at Esperanza, yet they should give the impression that each home was designed on its own.

Appropriate color selections make each home unique, but still look natural and in place in the neighborhood context.

Guidelines:

- Diversity of color is encouraged.
- Color shall contribute to distinguishing the overall architectural style of the home.
- Colors should reflect the natural hues found in Southern California.
- Color and hue variation in adjacent homes shall be provided to create neighborhood diversity.

8.10.6 Additional Design Elements

Intent:

Design elements that are utilitarian in nature should be designed as integral features that support the intended architectural style.

Guidelines:

- Exposed gutters and downspouts shall match roof or wall color.
- Faux copper patina is acceptable.
- Rooftop mechanical equipment is prohibited.
- Air conditioning/heating equipment shall be screened from the street and neighboring views and shall be ground mounted.

- Pool, spa, and water softening equipment shall be screened from neighboring views.
- Meters shall be screened from public view to the extent possible.

8.11 HOME TYPES

A variety of housing types, utilizing an architectural program composed of detached and attached housing, are offered at Esperanza. This diversity ensures a range of choices and a mix of homes within each neighborhood. Residences ranging from attached row townhomes and motorcourt townhome/condominiums to alley loaded and traditional single family homes along with innovative home types such as “two-pack” homes and courtyard homes, shall be articulated in traditional architectural styles. Providing a variety of housing programs allows homeowners the opportunity to move-up within the community as their lifestyles and needs change over time.

The following pages provide graphic and written information that describes the general appearance of each anticipated home type. Future homebuilders within Esperanza should use these descriptive pages as a guide when designing the home type designated for the appropriate planning area.

Section 8. DESIGN GUIDELINES



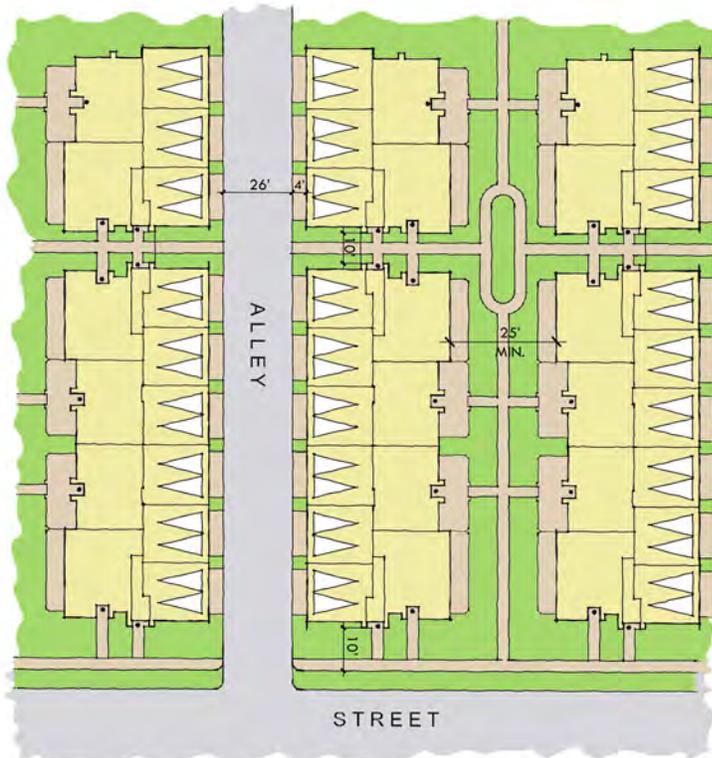
8.11.1 ROW Townhomes



ROW TOWNHOMES

- Neo-traditional design places garages onto alleys, hidden from streets.
- Grid street pattern reinforces traditional neighborhood pattern.
- Front doors and porches face onto streets and/or greenbelts.
- Neighborhood open space provides a focal point of the neighborhood.





ROW TOWNHOMES

- Patios / Balconies enhance social interaction
- Front Doors face open space greenbelts
- Street architecture creates traditional front door character
- Garage doors oriented away from neighborhood streets

Building setbacks per Ontario Esperanza Specific Plan



CONCEPTUAL FRONT ELEVATIONS



CONCEPTUAL REAR ELEVATIONS

* Images suggest concept

Row Townhomes

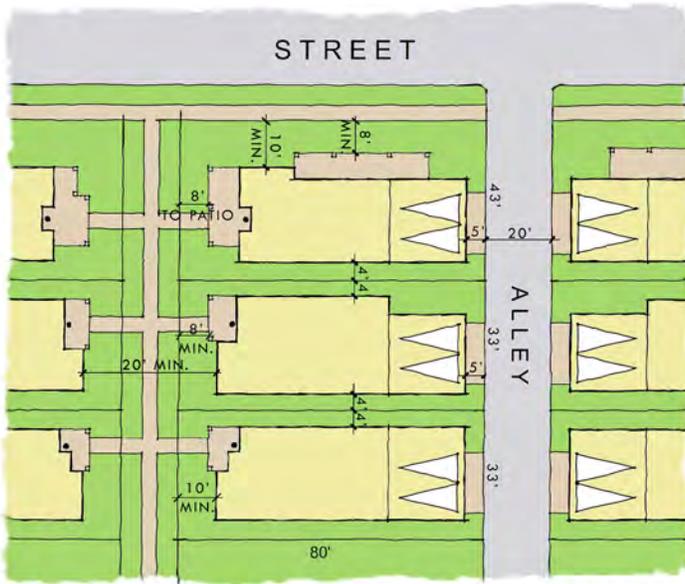
8.11.2 Cottage Single Family Homes



COTTAGE SINGLE FAMILY HOMES

- Neo-traditional design places garages onto alleys, hidden from streets.
- Grid street pattern reinforces traditional neighborhood pattern.
- Front doors and porches typically face onto streets.
- Alternative front door orientation onto greenbelts provide compatible neighborhood edge conditions.
- Public park provides a focal point of the neighborhood.





COTTAGE SINGLE FAMILY HOMES

Porches enhance social interaction
 Front Doors can face open space greenbelts
 Garage doors oriented away from neighborhood streets
 Neotraditional street scene places front doors and porches facing neighborhood streets

Building setbacks per Ontario Esperanza Specific Plan



CONCEPTUAL FRONT ELEVATIONS



CONCEPTUAL STREET SCENE

* Images suggest concept

Cottage Single Family Homes

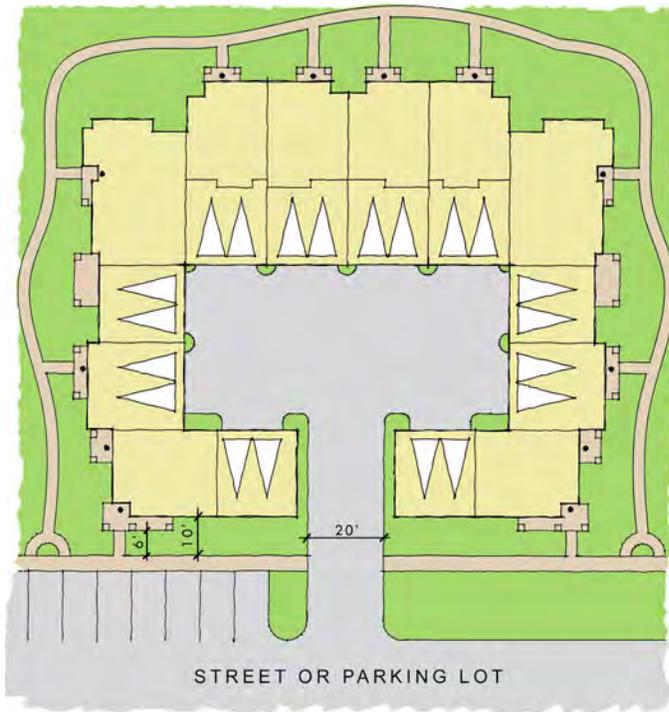
8.11.3 Motorcourt Homes



MOTORCOURT TOWNHOMES

- Motorcourt building design minimizes garage orientation along streets and common drives.
- Grid circulation pattern reinforces traditional neighborhood pattern.
- Orientation of front doors, porches and patios onto streets and/or greenbelts is encouraged.
- Neighborhood open space provides a focal point of the neighborhood.

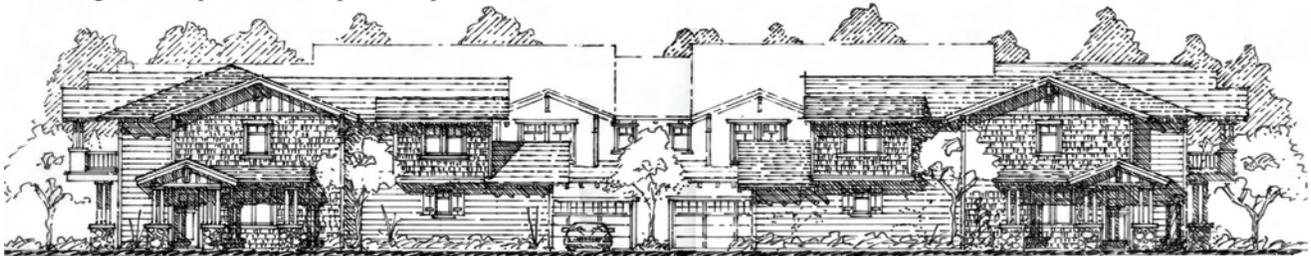




MOTORCOURT TOWNHOMES

- Garage doors are oriented around a motorcourt hidden from residential streets
- Front doors face onto open space greenbelts

Building setbacks per Ontario Esperanza Specific Plan



CONCEPTUAL FRONT ELEVATION



CONCEPTUAL REAR ELEVATION

Motorcourt Townhomes

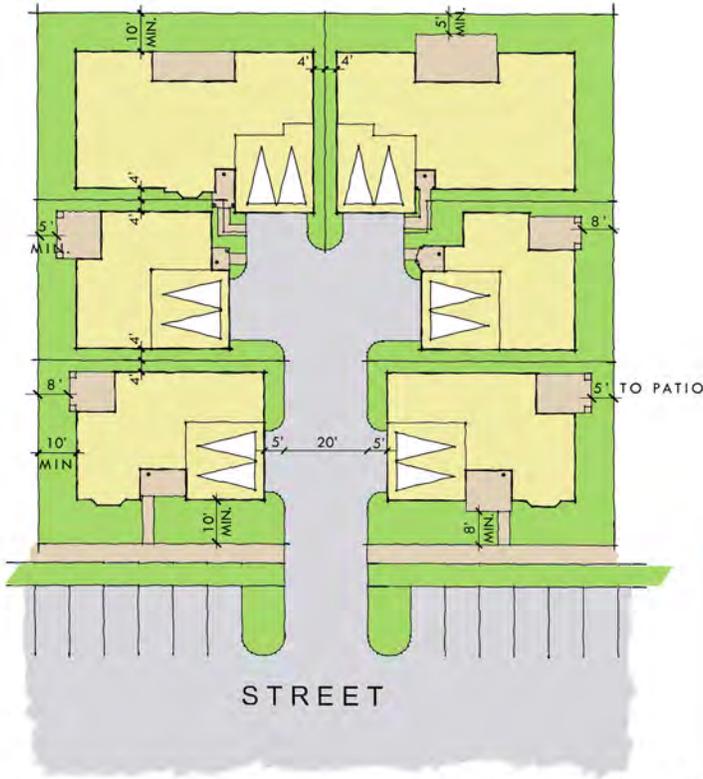
8.11.4 6-Pack Courtyard Single Family Homes



6-PACK COURTYARD SINGLE FAMILY HOMES

- Courtyard design minimizes garage orientation along streets.
- Grid circulation pattern reinforces traditional neighborhood pattern.
- Conventional building design places front doors, porches and patios onto private motorcourts.
- Neighborhood open space provides a focal point of the neighborhood.





6-PACK COURTYARD SINGLE FAMILY HOMES

Building setbacks per Ontario Esperanza Specific Plan



CONCEPTUAL FRONT ELEVATIONS



CONCEPTUAL PEDESTRIAN COURT VIEW

* Images suggest concept

6-Pack Courtyard Single Family Homes

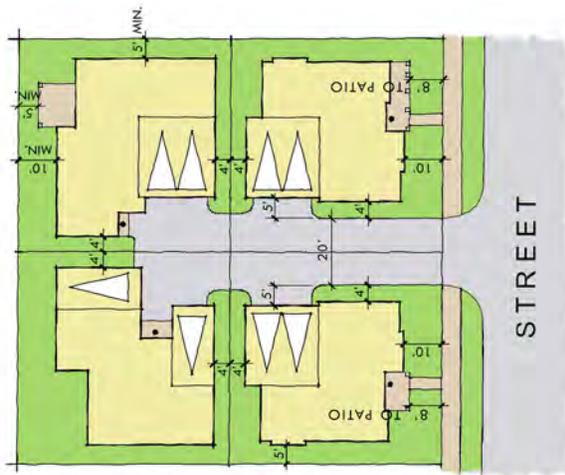
8.11.5 4-Pack Courtyard Single Family Homes



4-PACK COURTYARD SINGLE FAMILY HOMES

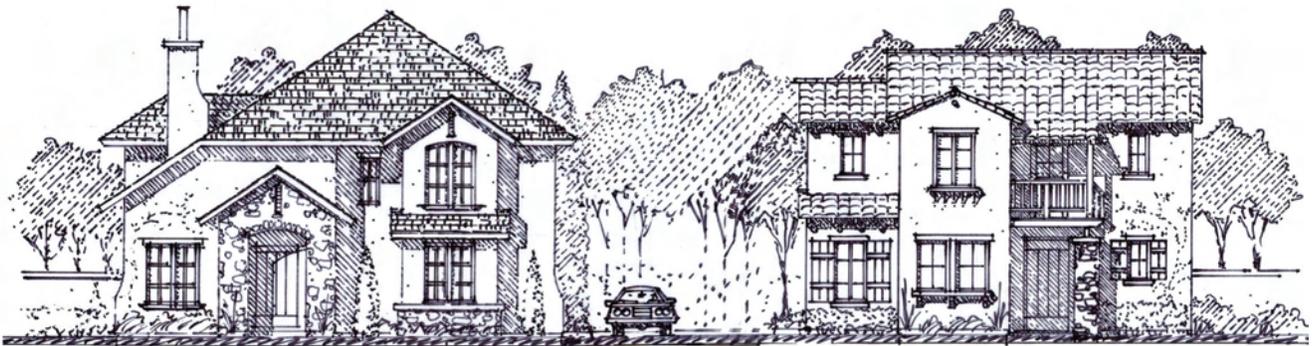
- Courtyard design minimizes garage orientation along streets.
- Modified grid street pattern reinforces traditional neighborhood pattern.
- Front doors and porches face onto streets and/or greenbelts.
- Central pocket park provides a focal point of the neighborhood.





**4-PACK COURTYARD
SINGLE FAMILY HOMES**

Building setbacks per Ontario Esperanza Specific Plan



CONCEPTUAL STREETSCENE



CONCEPTUAL PEDESTRIAN COURT VIEW

* Images suggest concept

**4-Pack Courtyard
Single Family Homes**

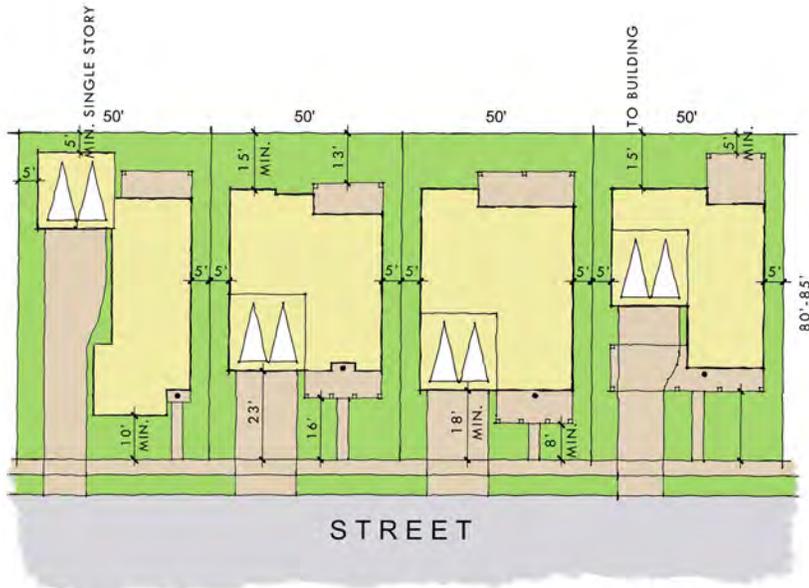
8.11.6 50 Foot Wide Lots (40' Wide Homes)



**50 FOOT WIDE LOTS
(40' WIDE HOMES)**

- Architecture forward design places living space and porches closer to the street than garages to reinforce pedestrian scale along streets.
- Alternative garage configurations provide further visual relief from the garage along streets.
- Grid street pattern reinforces traditional neighborhood pattern.
- Central pocket park/school provides a focal point of the neighborhood.





**50 FOOT WIDE LOTS
(40' WIDE HOMES)**

- Architectural elements minimize garage door presence along neighborhood streets
- Front porches and entries are placed forward of the garage
- Alternate garage configurations create pedestrian oriented street scenes.

Building setbacks per Ontario Esperanza Specific Plan



CONCEPTUAL FRONT ELEVATIONS



CONCEPTUAL STREET SCENE

* Images suggest concept

8.11.8 55 Foot Wide Lots (45' Wide Homes)



**55 FOOT WIDE LOTS
(45' WIDE HOMES)**

- Architecture forward design places living space and porches closer to the street than garages to reinforce pedestrian scale along streets.
- Alternative garage configurations provide further visual relief from the garage along streets.
- Grid street pattern reinforces traditional neighborhood pattern.
- Central pocket park provides a focal point of the neighborhood.





**55 FOOT WIDE LOTS
(45' WIDE HOMES)**

- Architectural elements minimize garage door presence along neighborhood streets.
- Front porches and entries are placed forward of the garage.
- Alternate garage configurations create pedestrian oriented streetscenes.

Building setbacks per Ontario Esperanza Specific Plan



CONCEPTUAL FRONT ELEVATIONS



CONCEPTUAL STREETSCENE

* Images suggest concept

8.11.9 2-Pack Single Family Homes



2-PACK SINGLE FAMILY HOMES

- Innovative design provides alternating recessed and deeply recessed garages along streets.
- Grid street pattern reinforces traditional neighborhood pattern.
- Architecture forward design places living space and porches closer to the street than garages to reinforce pedestrian scale along streets.
- Front doors and porches face onto streets.
- Neighborhood open space provides a focal point of the neighborhood.



8.12 DESIGN GUIDELINES FOR LANDSCAPE ARCHITECTURAL CHARACTER

Careful consideration has been given to the design of the community landscape architectural character for the Ontario Esperanza Specific Plan. The following design guidelines are organized to help define the basic landscape design principles for the Ontario Esperanza Specific Plan. Observing these guidelines will help to assure the “design vision” and integrity of this planned community.

All landscape plans, streetscape plans, and graphic designs with regard to community identity, neighborhood identity, or entry monumentation shall conform to the guidelines as set forth herein, and shall be subject to review and approval by the City of Ontario.

The “Conceptual Landscape Master Plan,” Exhibit 30 on the next page shows the perimeter streetscape design, Community entries and monumentation, neighborhood park and mini parks, pedestrian greenbelts, and general landscape features of the Ontario Esperanza Specific Plan area.

8.12.1 Perimeter Streetscape Design

Streetscape design guidelines establish a hierarchy for the landscape development along the surrounding roadways, as well as establishing a framework for consistency of design. Three major arterial roadways surround the Ontario Esperanza Specific Plan area: Milliken Avenue to the West, Bellegrave Avenue to the North, and Mill Creek Avenue to the East. Landscape easements associated with these roadways have been defined, as noted in the City of Ontario NMC General Plan.



Landscape development surrounding this community will help to set the character, while maintaining consistency with the City of Ontario’s pedestrian pathway system illustrated in the Trails and Bikeways section of the NMC General Plan. The following section discusses the streetscapes for the Esperanza Specific Plan area. Exhibit 31, “Streetscapes Legend” provides a guide to the location of the streetscapes discussed below.

8.12.2 Milliken Avenue

Milliken Avenue streetscape shall include the following:

- A landscaped parkway (20’ wide min.) with a row of street trees (24” Box min.) along both sides of the street.
- A 5’ wide sidewalk along west side of the street.
- A 14’ wide landscaped median with a single row of street trees.
- A landscape easement (neighborhood edge) of 45’ taken from face of curb to perimeter wall.

Section 8. DESIGN GUIDELINES

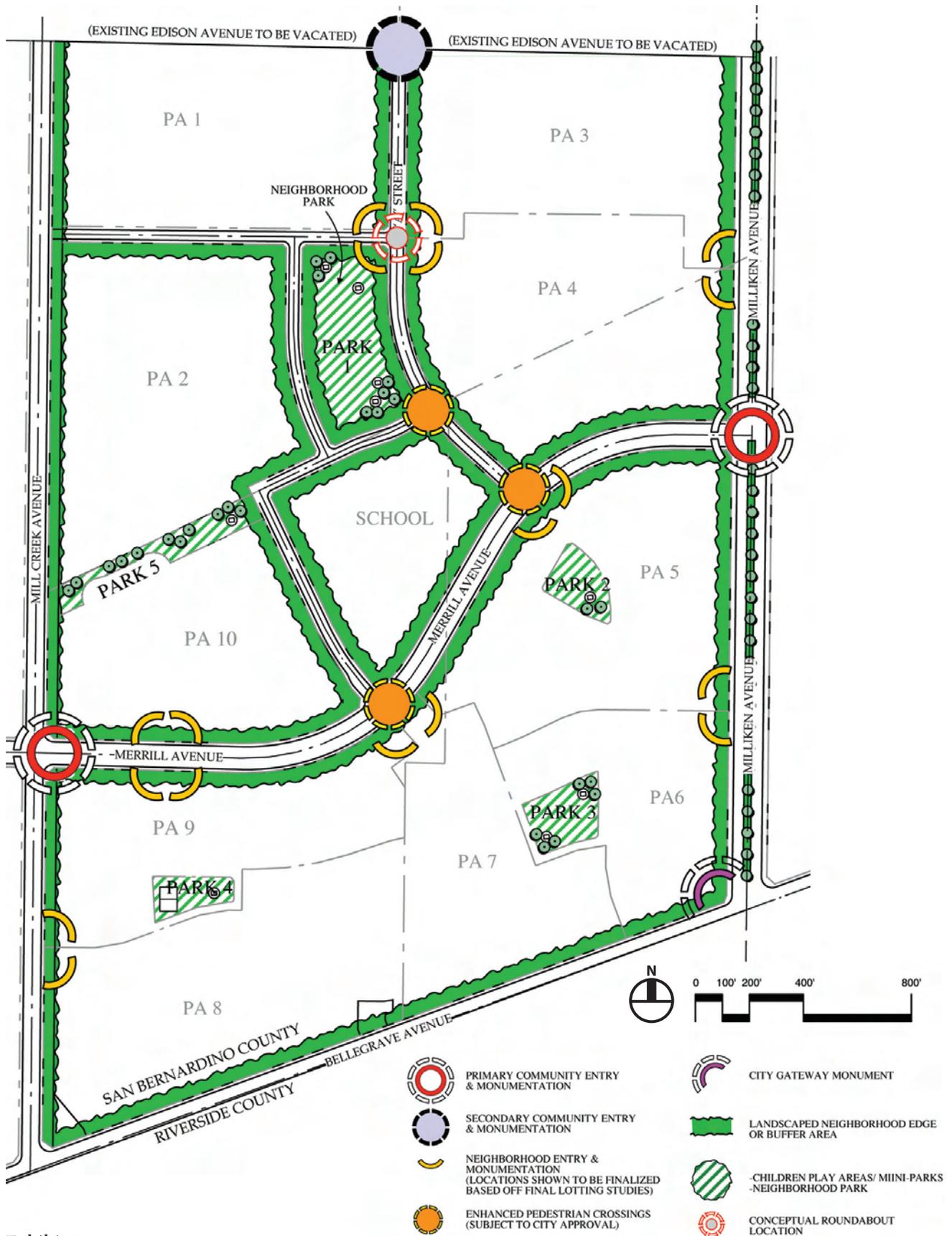


Exhibit 30
Conceptual Landscape Master Plan

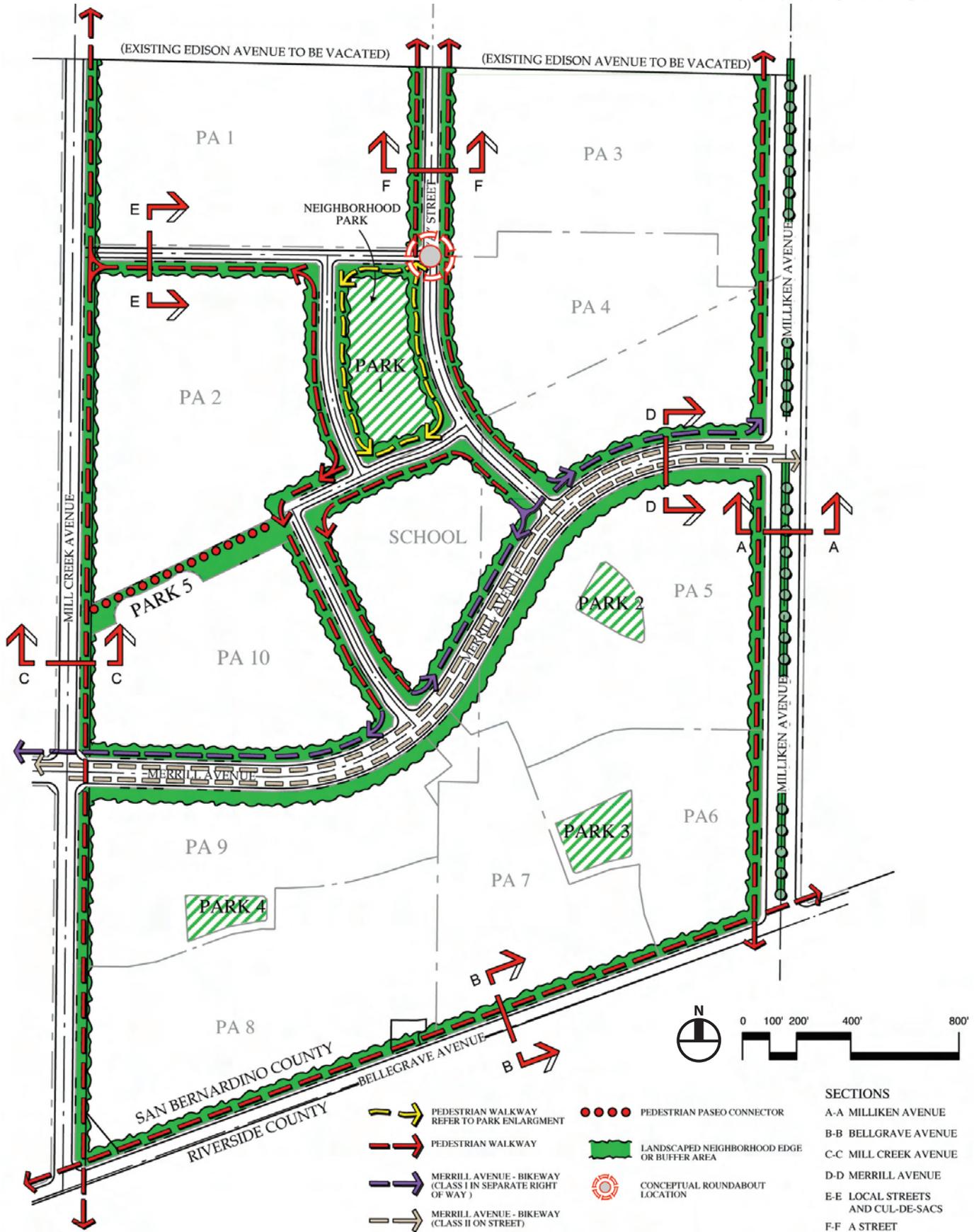


Exhibit 31
Streetscapes Legend

- Background trees and shrub masses planted in series of layers (foreground, midground, background) to help define borders and plant groupings while combining interesting foliage textures and color.
- Monumentation as shown in Exhibit 30, “Conceptual Landscape Master Plan.”
- Refer to Exhibit 32, “Milliken Avenue” section for streetscape illustration.”

8.12.3 Bellegrave Avenue

Bellegrave Avenue streetscape shall include the following:

- A 12 foot landscaped parkway with a single row of street trees (24” Box min.) along both sides of the street.
- A 5 foot wide lineal sidewalk and a 7 foot wide landscaped parkway along north side of the street.
- A landscape easement (neighborhood edge) of 35’ taken from face of curb to perimeter wall on both sides of the street.
- Background trees and shrub masses planted in series of layers (foreground, midground, background) to help define borders and plant groupings while combining interesting foliage textures and color.
- Monumentation as shown in the Conceptual Landscape Master Plan, Exhibit 30, “Conceptual Landscape Master Plan.”
- Refer to Exhibit 33, “Bellegrave Avenue” section below for streetscape illustration.
- Additional landscaping requirements for well sites along Bellegrave Avenue may include: landscape screening, earth berming or combination of both to screen undesirable views from public.

8.12.4 Mill Creek Avenue

Mill Creek Avenue streetscape shall include the following:

- A 12 foot wide landscaped parkway on the west with an additional 23’ landscape easement include a single row of street trees (24” Box min.) along both sides of the street. The east side of Mill Creek Avenue includes a 12 foot wide landscaped parkway with an additional 50’ Southern California Edison (SCE) easement taken from back of improved street right-of-way.
- Provide drought tolerant large shrub (max. 15’) and drought tolerant landscaping within the SCE easement.
- Background trees and shrub masses planted in series of layers (foreground, midground, background) to help define borders and plant groupings while combining interesting foliage textures and color.
- Monumentation as shown in Exhibit 30, “Conceptual Landscape Master Plan.”
- Refer to Exhibit 34, “Mill Creek Avenue” and Exhibit 35 “Mill Creek Avenue at the SCE Corridor” for streetscape illustration.”

8.12.5 Interior Streetscape Design

Streetscape design within the interior of the Ontario Esperanza Specific Plan community shall be consistent in character with the perimeter streetscapes and should help to promote pedestrian circulation into the “Community Core.”

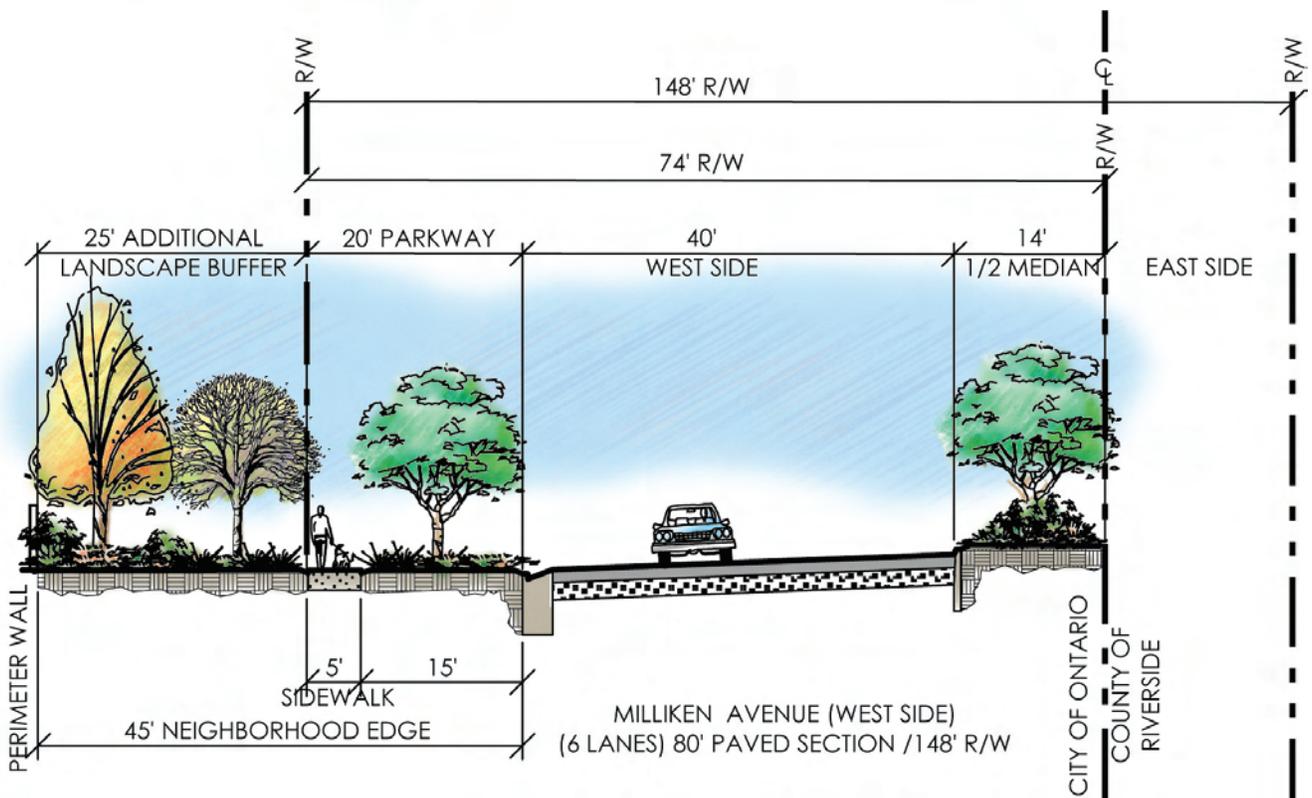
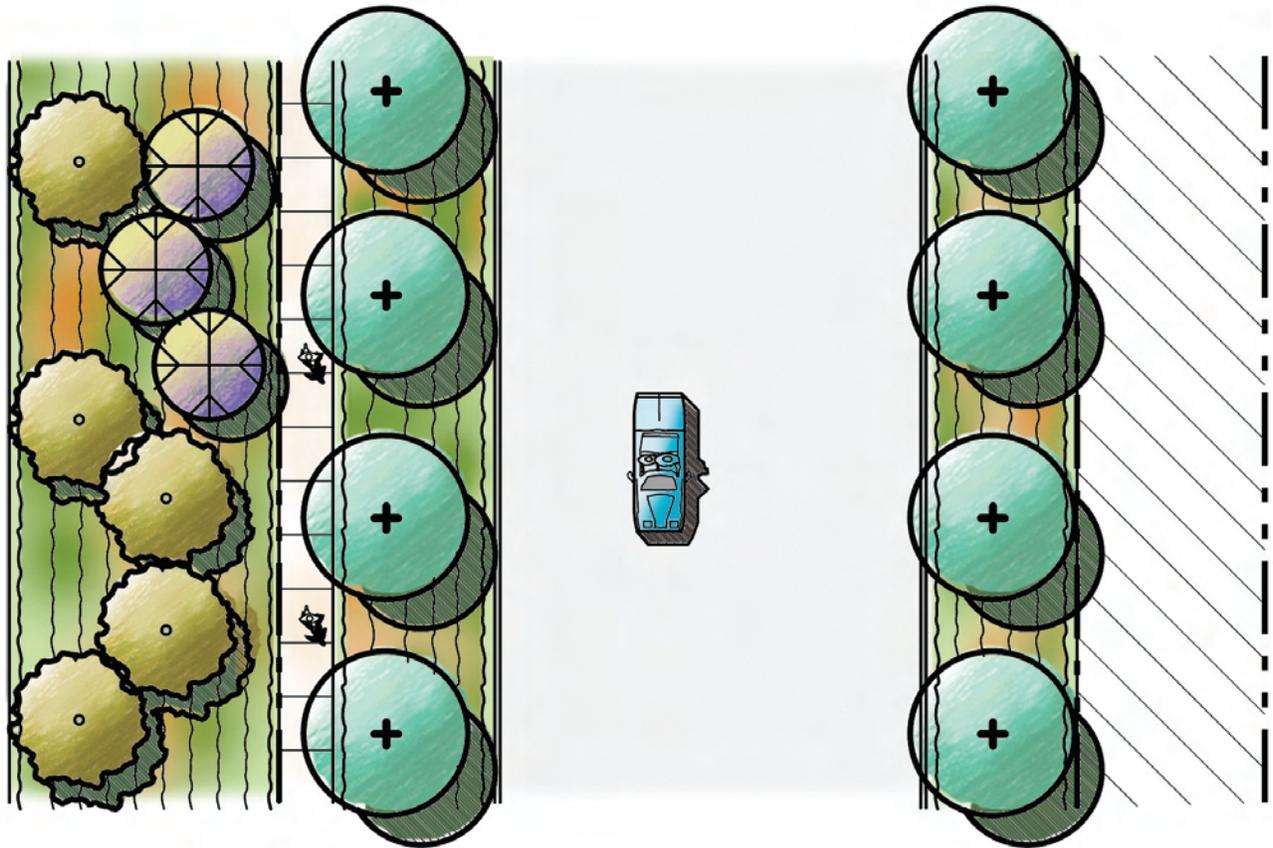
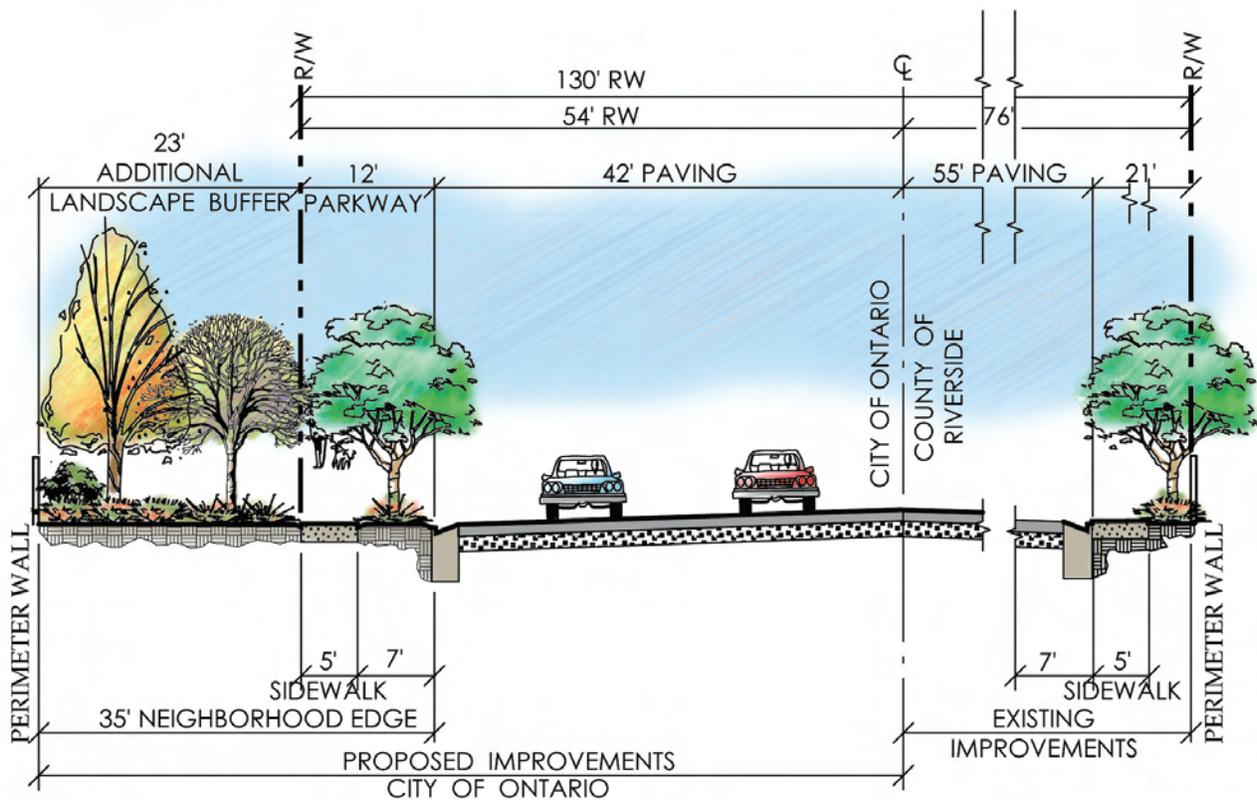
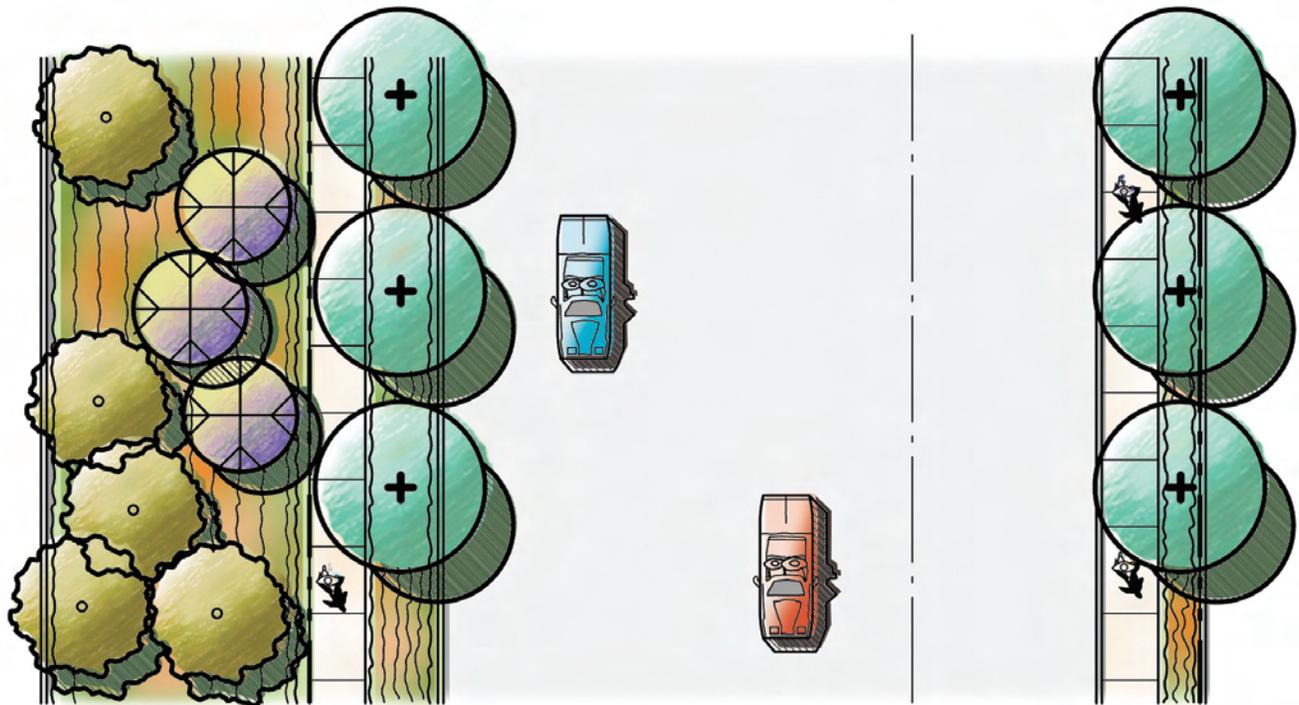


Exhibit 32
Milliken Avenue

Section 8. DESIGN GUIDELINES



BELLEGRAVE AVENUE (HALF STREET)
97' PAVED SECTION / 130' R/W

Exhibit 33
Bellegrave Avenue

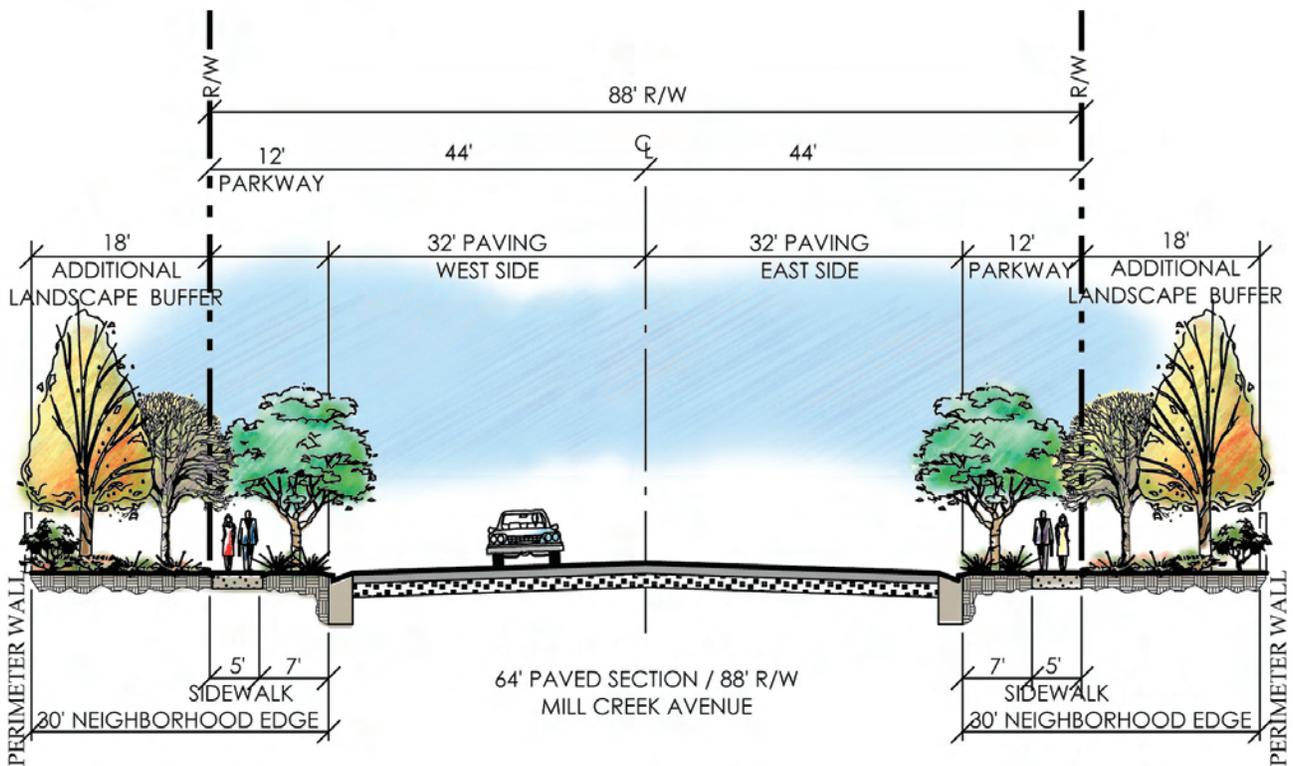
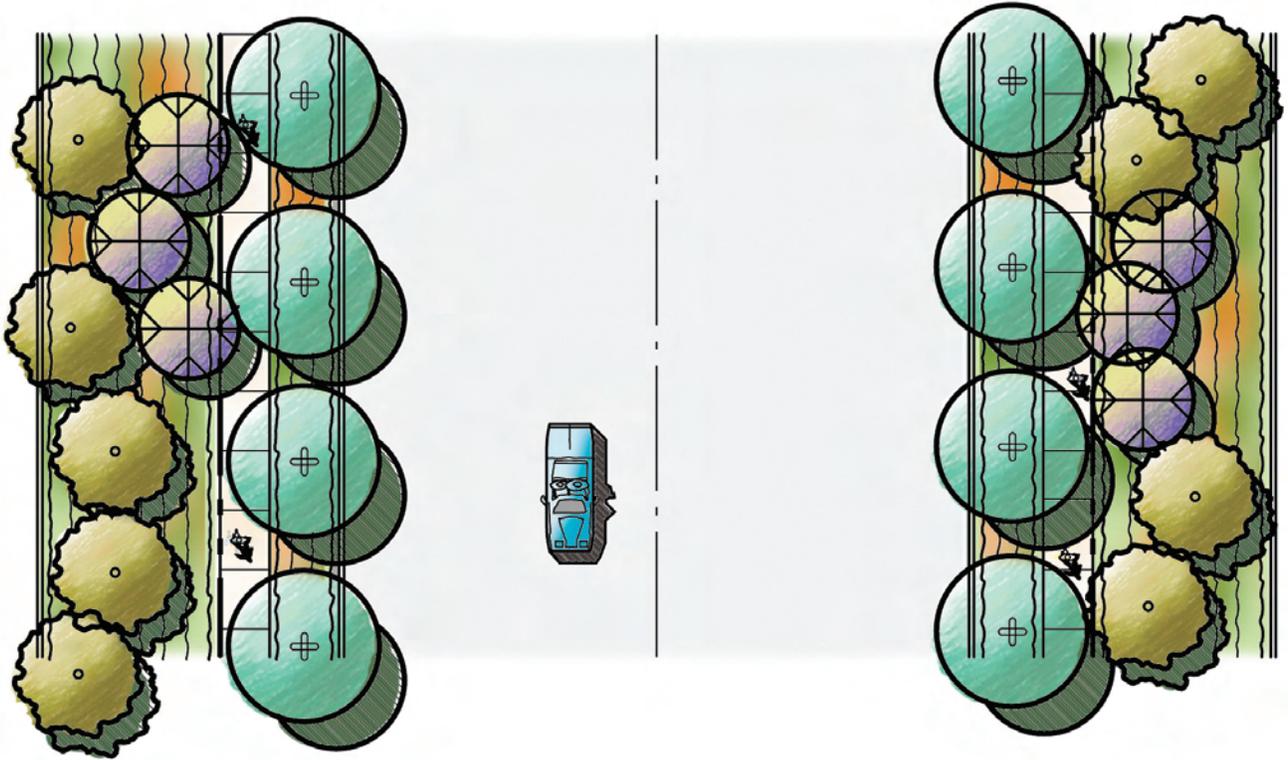


Exhibit 34
Mill Creek Avenue

Section 8. DESIGN GUIDELINES

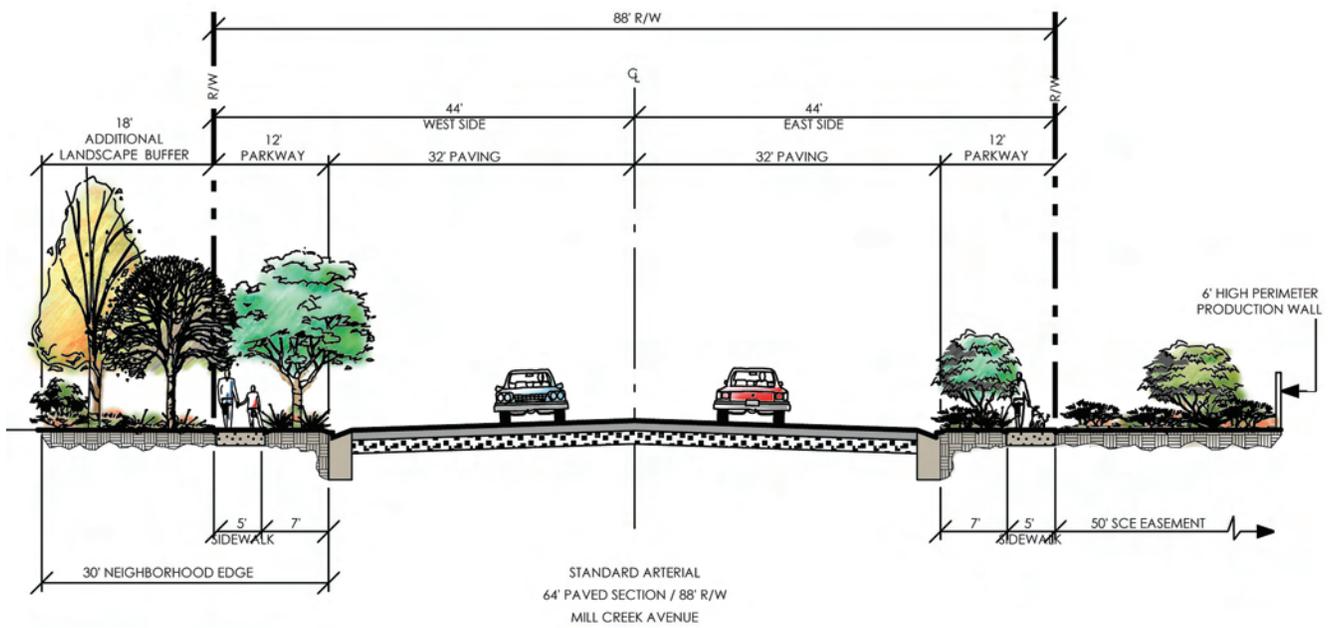
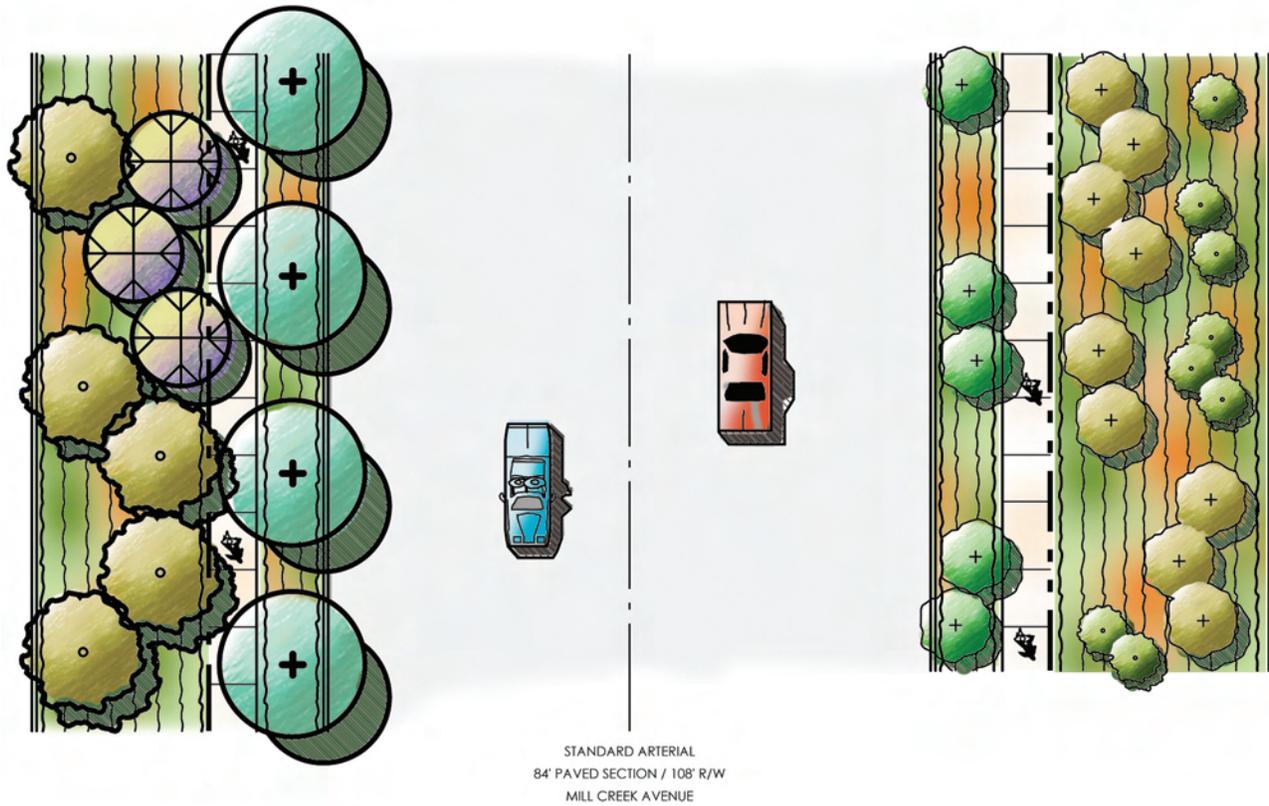


Exhibit 35
Mill Creek Avenue at the SCE Corridor

Where interior streetscapes interface with neighborhood/mini parks and open space, special consideration should be taken to integrate pedestrian circulation into these areas via a streetside pedestrian system that links city sidewalks to active walking trails and open space uses. This is especially important within the multi-family/high density residential planning areas.

Two interior roadways bring residents into the “Community Core,” Merrill Avenue, running East/West, and “Street A” that intersects with Merrill Avenue, running North/South.

8.12.6 Merrill Avenue

Merrill Avenue streetscape shall include the following:

- A 7 foot wide landscaped parkway with a single row of street trees (24” Box min.) along both sides of the street.
- A 13 foot wide shared bikeway/sidewalk along the north side of the street.
- A 7 foot wide Class II striped on-street bicycle trail within the right of way on both sides of the street.
- A landscape easement (neighborhood edge) of 35’ taken from face of curb to perimeter wall on both sides of the street.
- Background trees and shrub masses planted in series of layers (foreground, midground, background) to help define borders and plant groupings while combining interesting foliage textures and color.
- Monumentation as shown in Exhibit 30, “Conceptual Landscape Master Plan.”
- Refer to Exhibit 36, “Merrill Avenue” section for streetscape illustration.

8.12.7 “A” Street

“A” Street streetscape shall include the following:

- A landscaped parkway (7’ wide minimum) with a single row of street trees (24” box minimum) along both sides of the street.
- A 5’ sidewalk separated from the street by a 7 foot wide landscaped parkway on both sides of the street.
- A landscaped buffer of 6’ to 10’ taken from the back of sidewalk to the perimeter wall on both sides of the street.
- Background trees and shrub masses planted in a series of layers (foreground, midground and background) to help define borders and plant groupings while combining interesting textures and colors.
- Monumentation as shown in Exhibit 30, “Conceptual Landscape Master Plan.”
- Refer to Exhibit 37, “A Street” section for streetscape illustration.

8.12.8 Local Streets, Private Alleys, and Private Neighborhood Streets

Local Streets

Local Street streetscapes shall include the following:

- A landscaped parkway (7’ wide minimum) with a single row of street trees, 24” box minimum, along both sides of the street.
- A 5’ wide sidewalk on both sides of the street.
- A 5’ wide minimum planter area from side-yard wall to back of sidewalk along reverse frontage conditions.
- Refer to Exhibit 38, “Local Street and Cul-de-Sac” for streetscape illustration.

Section 8. DESIGN GUIDELINES

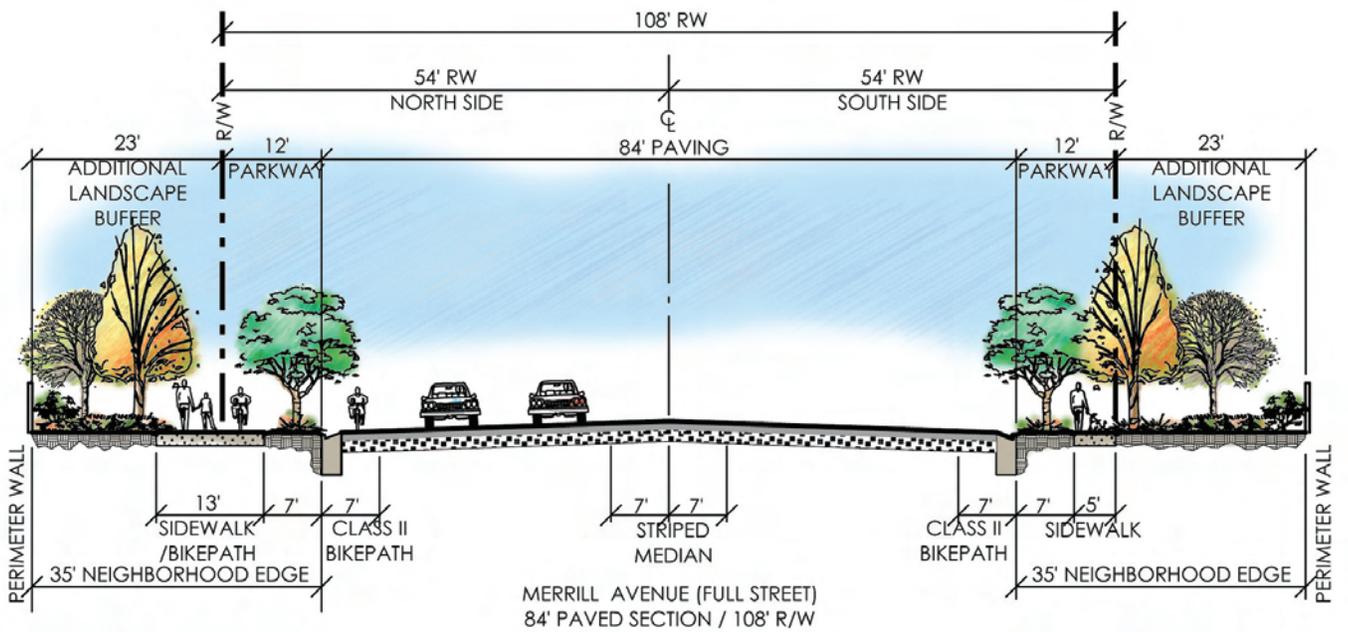
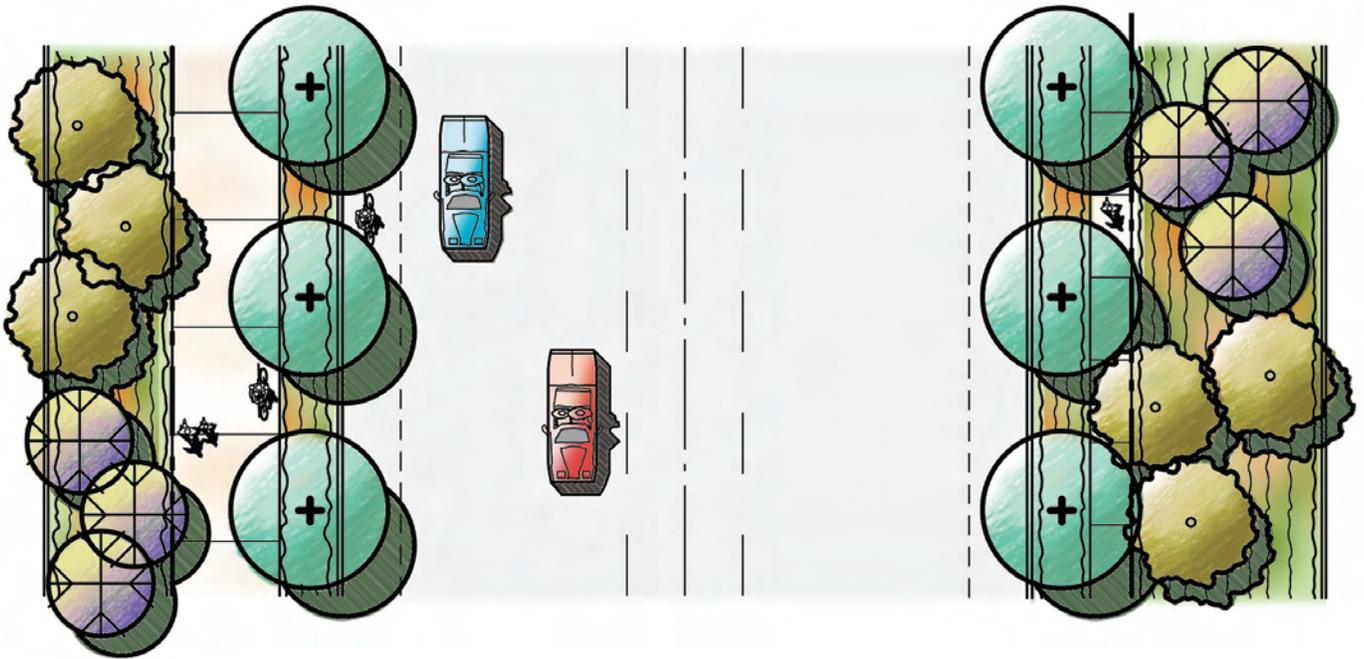


Exhibit 36
Merrill Avenue

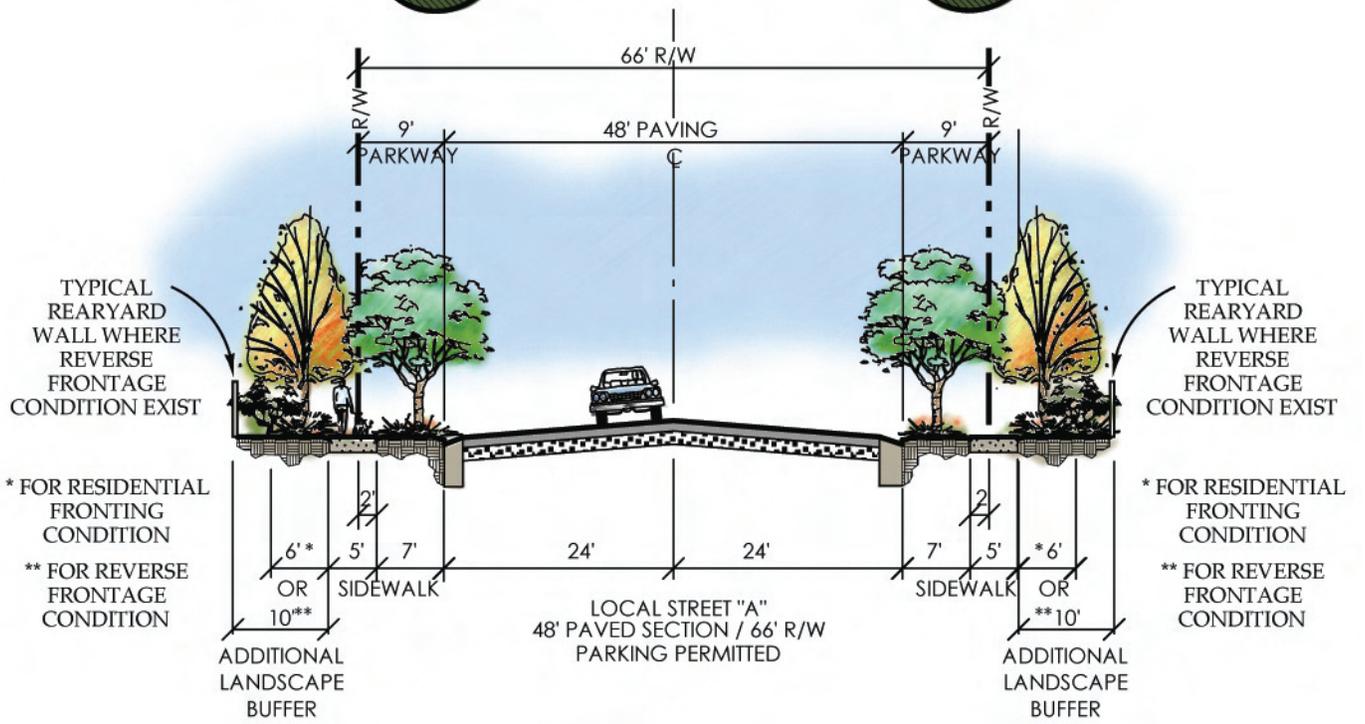
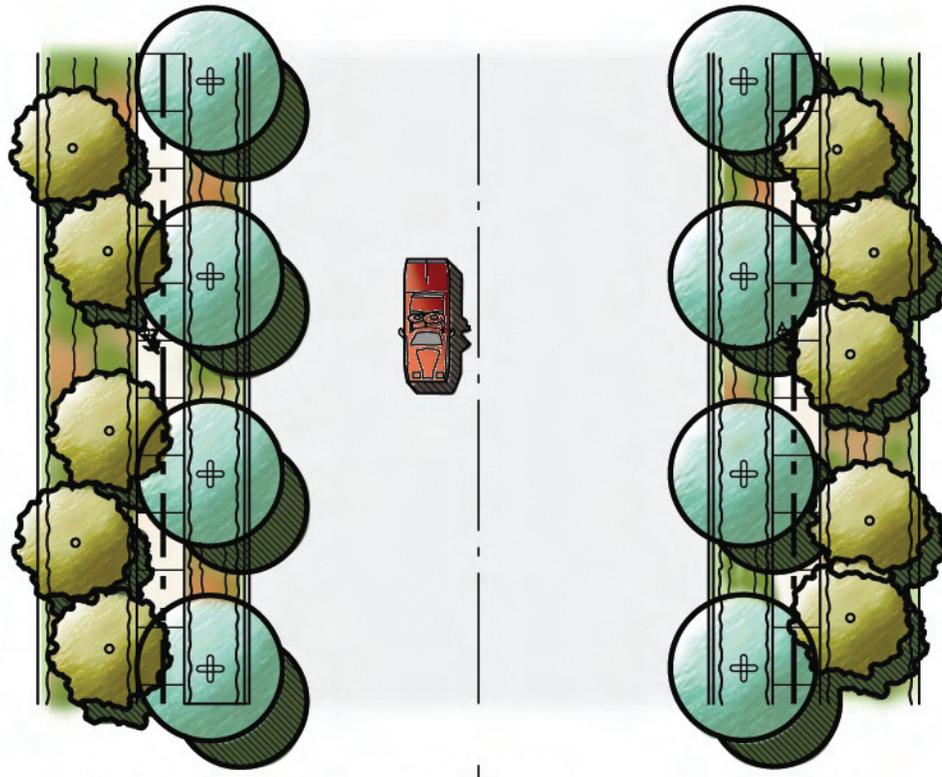


Exhibit 37
A Street

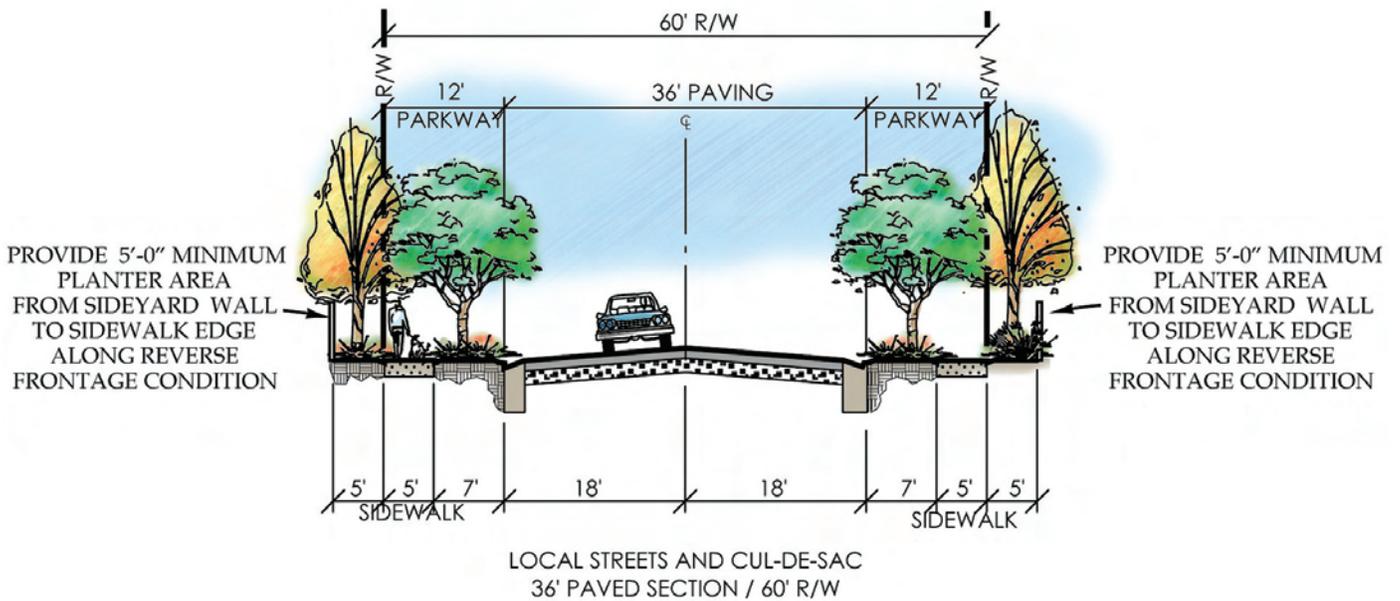
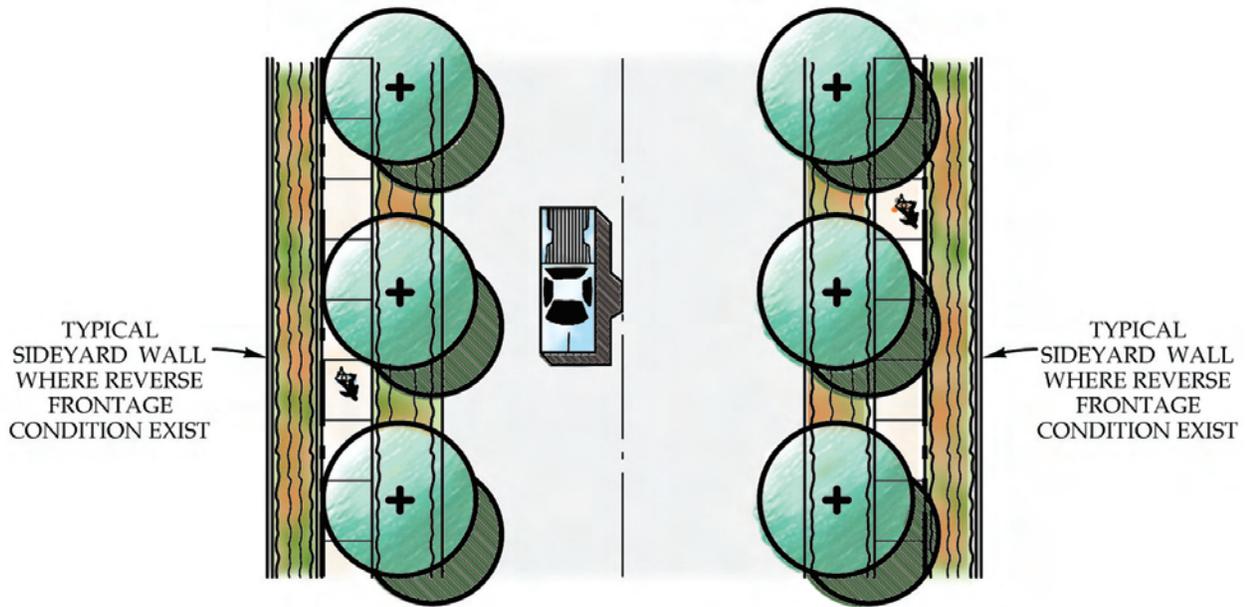


Exhibit 38
Local Street and Cul-de-Sac

Private Neighborhood Streets

Private Neighborhood streets shall include the following:

- A landscaped parkway (7' wide minimum) with a single row of street trees, 24" box minimum, along both sides of the street.
- A 4' wide sidewalk on both sides of the street.
- A 7' wide minimum planter area from side-yard wall to back of sidewalk along reverse frontage conditions.
- Refer to Exhibit 39, "Private Neighborhood Street Section" for streetscape illustration.

Private Alleys

Private Alleys shall include a 5' wide landscaped area on both sides of the alley when the paved area is a maximum of 20' in width. Landscaping will be provided as appropriate in areas of less than 5' in width depending upon the final design of the private alley. Refer to Exhibit 40, "Private Alleys" for illustration.

8.13 CITY OF ONTARIO "GATEWAY" MONUMENT

At the corner of Milliken Avenue and Bellegrave Avenue, a city "Gateway" monument will be located. Special consideration should be made to integrate the perimeter landscaping along Milliken and Bellegrave Avenue into the final monument design and landscape character. The City of Ontario is currently developing the "Gateway" monument program for the NMC. Additional coordination with the City of Ontario will be needed prior to developing this area.

8.14 ENTRIES AND MONUMENTATION

Monumentation occurs throughout the Ontario Esperanza Specific Plan community and is designed to establish a basic hierarchy for entering each area of the community. Along the



perimeter edges there are several entry points into the community. At key entries a landscape and monumentation program will be utilized to help identify the community as well as convey a "welcoming" feeling for both vehicular and pedestrian traffic. Inspired by the local historical village of "Guasti," home of the Italian Vineyard Company, the project monuments for Ontario Esperanza embody some of the character of this Ontario icon, through the use of similar materials, architectural styles/detailing and landscaping.

Three basic monument treatments are used to set the hierarchy of the entries and monumentation: the Primary Community Entry and Monumentation, the Secondary Community Entry and Monumentation, and the Neighborhood Entry and Monumentation.

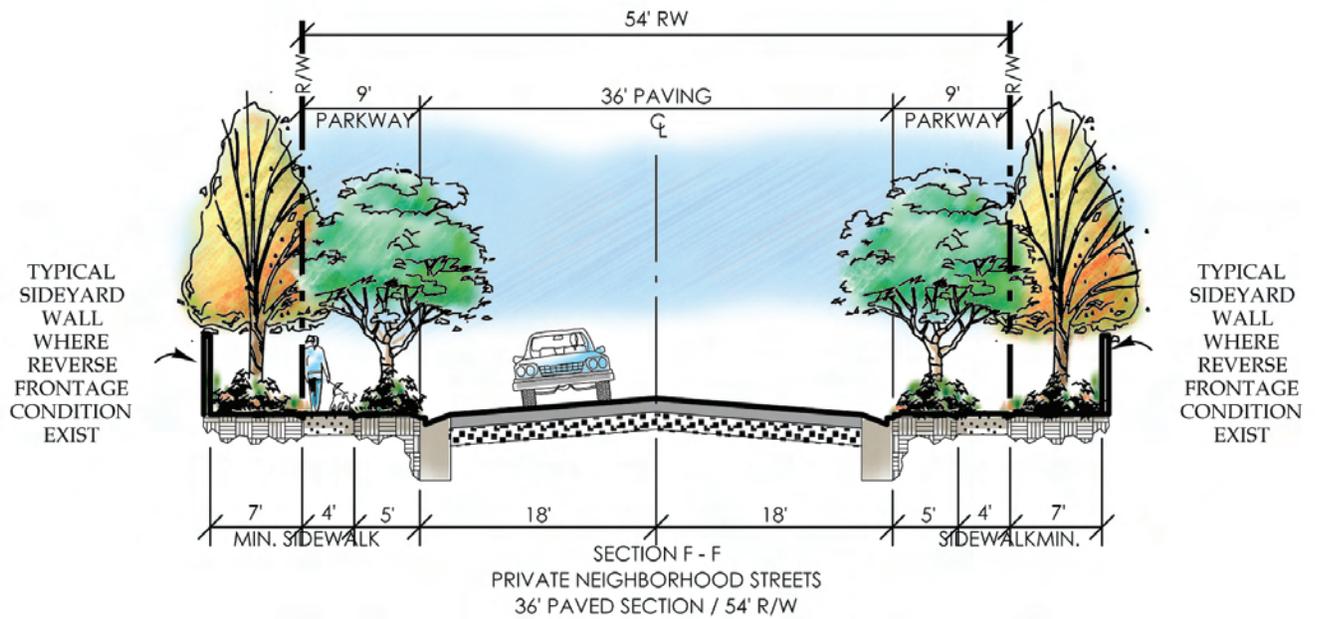
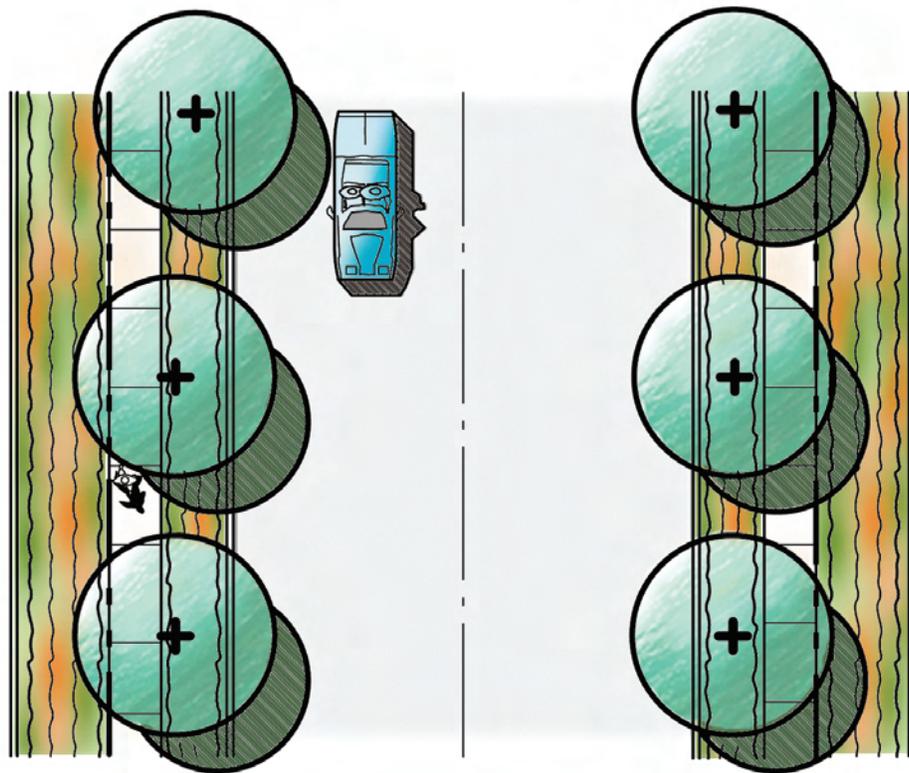


Exhibit 39
Private Neighborhood Street Section

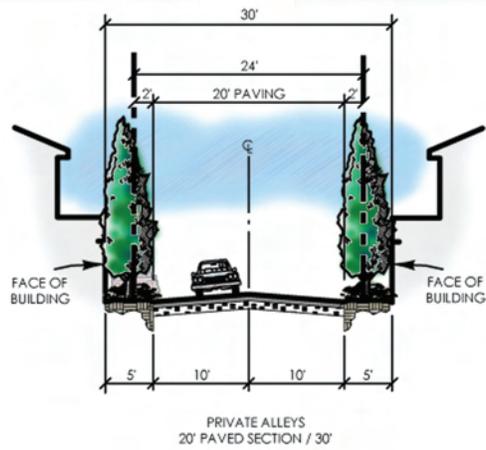
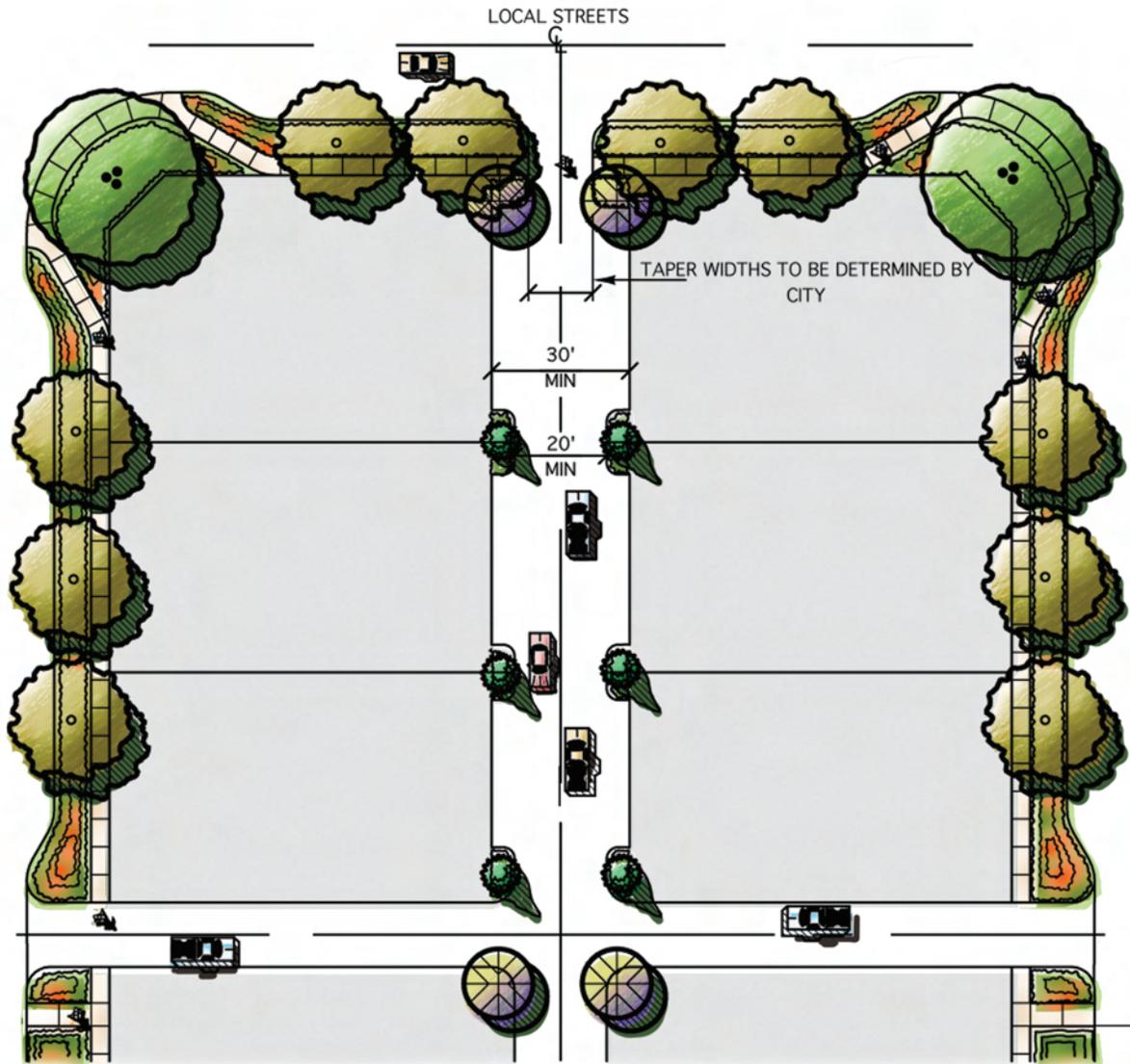


Exhibit 40
Private Alleys

8.14.1 Primary Community Entry and Monumentation

The Primary Community Entry and Monumentation shall include the following:

- Freestanding curved monument walls at each corner with highlighted pedestrian portal.
- Identification field for potential sign lettering placement.
- Architectural concrete caps, trim, and bases to help delineate architectural detailing and veneer material used.
- Use of “real” veneer materials instead faux concrete veneers.
- Use of large specimen native trees to anchor each side of entry drive at site entry.
- Seasonal perennial flowering to allow for seasonal flowering interest throughout the year.
- Enhanced pedestrian paving at street crossing and at monument location as approved by the City Engineer.
- Accent trees and shrub masses planted in series of layers (foreground, midground, background) to help define borders and plant groupings while combining interesting foliage textures and color.
- Accent lighting of landscape/monumentation.
- Handicapped ramps designed to City standards.
- Refer to Exhibit 30, “Conceptual Landscape Master Plan” and Exhibits 41-43, “Primary Community Entry and Monumentation” and, “Primary Community Entry and Monumentation – Milliken Avenue, and, “Primary Community Entry and Monumentation – Mill Creek Avenue” for detailed conceptual illustration.

8.14.2 Secondary Community Entry and Monumentation

The Secondary Community Entry and Monumentation shall include the following:

- Freestanding curved walls at each corner with anchoring entry pilaster.
- Identification field for potential sign lettering placement on enhanced perimeter corner cut wall.
- Architectural concrete caps, trim, and bases to help delineate architectural detailing and veneer material used.
- Enhancement of corner cut wall and use of accent pilasters to balance each side.
- Use of “real” veneer materials instead faux concrete veneers.
- Use of large specimen native trees to anchor each side of entry drive at site entry.
- Seasonal perennial flowering to allow for seasonal flowering interest throughout the year.
- Enhanced pedestrian paving at street crossing and at monument location as approved by the City Engineer.
- Accent trees and shrub masses planted in series of layers (foreground, midground, background) to help define borders and plant groupings while combining interesting foliage textures and color.
- Accent lighting of landscape/monumentation.
- Handicapped ramps designed to City standards.
- Refer to Exhibit 30, “Conceptual Landscape Master Plan” and Exhibit 44, “Secondary Community Entry and Monumentation Elevation/Plan” for detailed conceptual illustration.

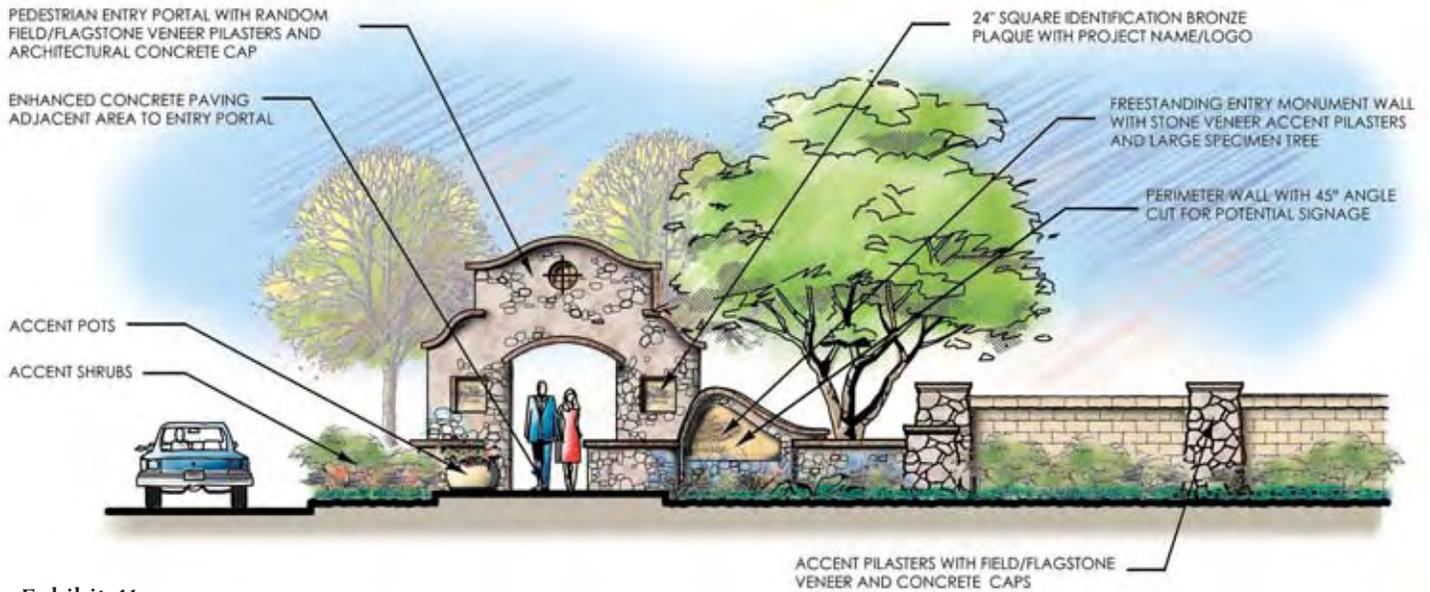


Exhibit 41
Primary Community Entry and Monumentation

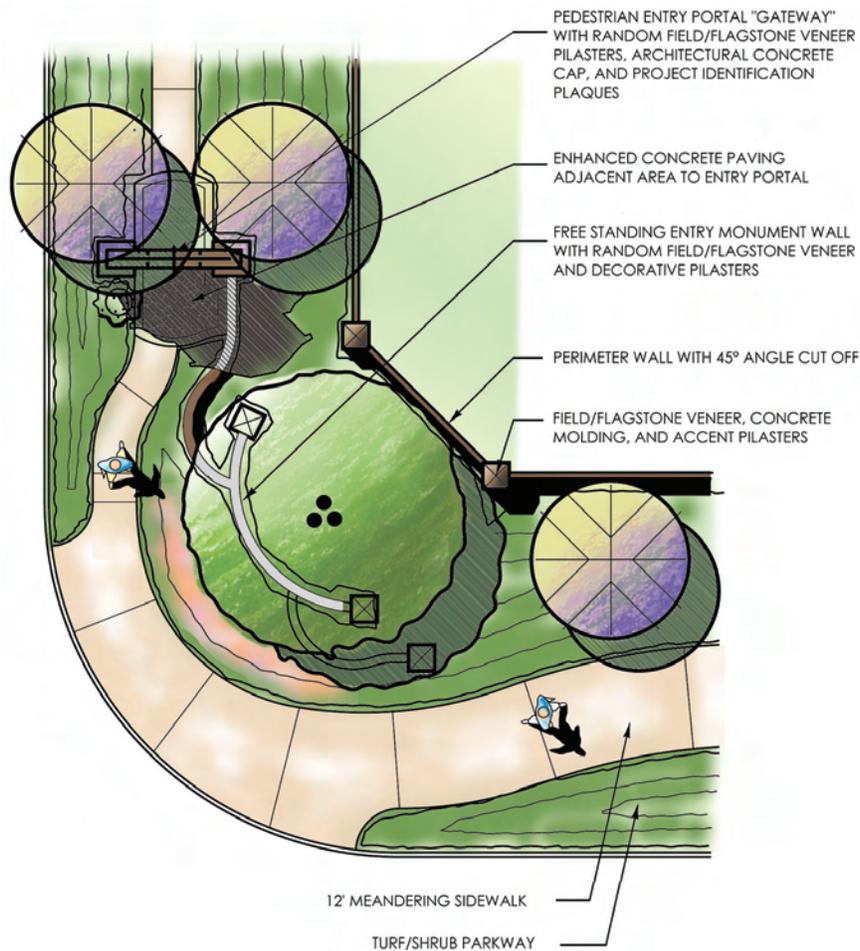


Exhibit 42
Primary Community Entry and Monumentation – Milliken Avenue

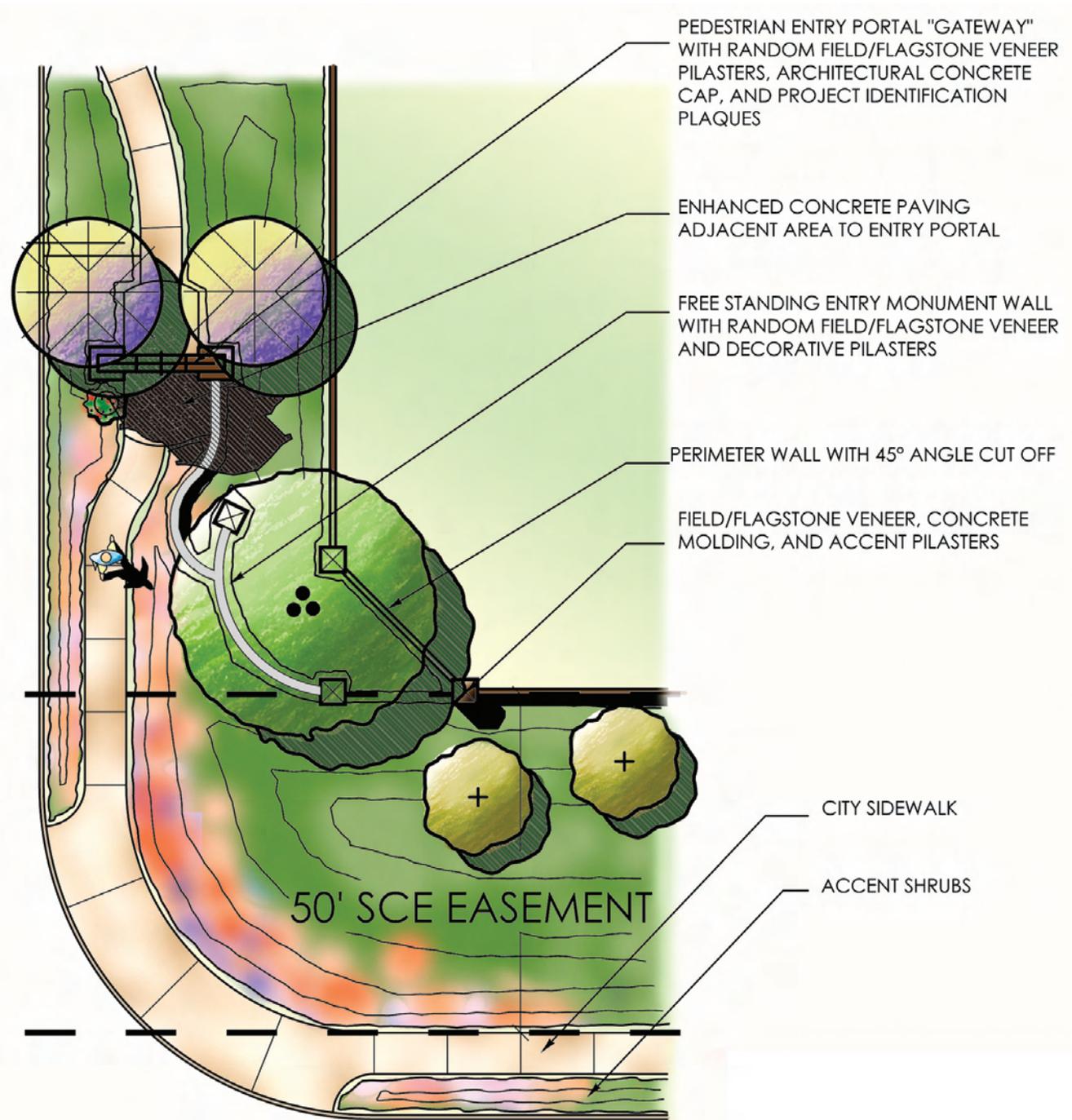


Exhibit 43
Primary Community Entry and Monumentation – Mill Creek Avenue

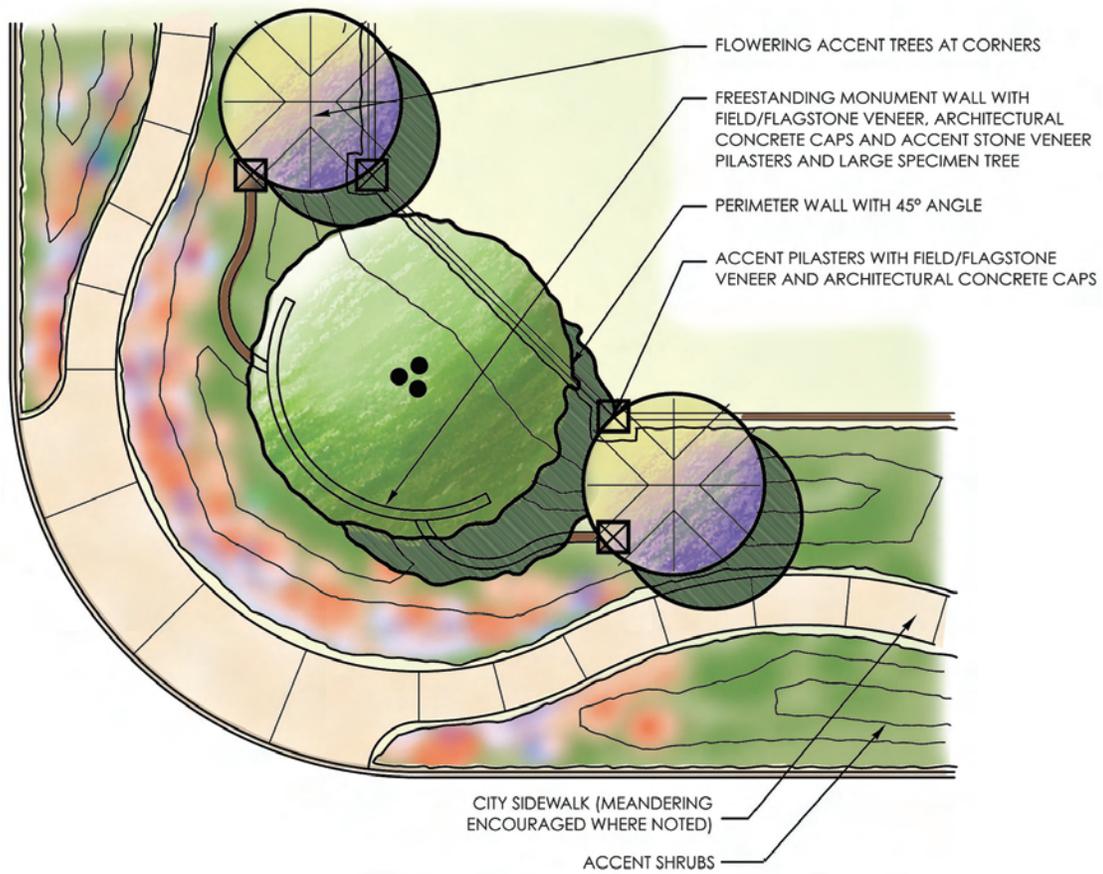


Exhibit 44
Secondary Community Entry and Monumentation Elevation/Plan

8.14.3 Neighborhood Entry and Monumentation

Neighborhood entries and monumentation should occur on interior corner entries within the Ontario Esperanza Specific Plan Community. These entries should be used to help continue the landscape character theme to the “core” of the community. Each neighborhood built within the project will have the opportunity to identify their individual project character while providing the basic design features of the other monuments. Refer to The Neighborhood Entry and Monumentation shall include the following:

- Freestanding large entry pilaster set within the landscaped parkway. This pilaster should embody the same character as that of the Primary Community Entry Monument portal, but is reduced in scale to create a “pedestrian gateway” into each neighborhood. Project identification plaque or icon can be located at this pilaster
- Identification field for potential sign lettering placement on enhanced perimeter corner cut wall.
- Architectural concrete caps, trim, and bases to help delineate architectural detailing and veneer material used.
- Enhancement of corner cut wall and use of accent pilasters to anchor each side.
- Use of “real” veneer materials instead faux concrete veneers.
- Seasonal perennial flowering to allow for seasonal flowering interest throughout the year.
- Enhanced pedestrian paving at street crossing and at monument location as approved by the City Engineer.
- Accent trees and shrub masses planted in series of layers (foreground, midground, background) to help define borders and plant

groupings while combining interesting foliage textures and color.

- Accent lighting of landscape/monumentation.
- Handicapped ramps designed to City standards.
- Refer to Exhibit 30, “Conceptual Landscape Master Plan” and Exhibit 45, “Neighborhood Entry and Monumentation” for detailed conceptual illustration.

8.15 PARKS AND OPEN SPACE

The Ontario Esperanza Specific Plan Community will have a central “Community Core” that centers on the Neighborhood Park and the School. Exterior walkways and trails should lead to this centralized area. Exhibit 46, “Pedestrian Circulation Plan” illustrates the pedestrian accessibility and connectivity throughout the Esperanza Specific Plan area. Exhibits 47 through 50 illustrate the planning concepts for the Neighborhood Park and Mini-Parks planned for the Esperanza Specific Plan area.

8.15.1 The Neighborhood Park

Park 1, the Neighborhood Park, consists of the following:

- Parking - Parking shall be adequate to accommodate daily use of the park, and should be screened from public view using a combination of berming and landscaping. In addition, the parking configuration should take into consideration alignment with proposed neighborhood streets and provide a minimum of (15) fifteen to (20) twenty parking stalls (including one van accessible handicap stall/unloading area).
- Children’s Tot Lot Play Area - A Tot Lot will be located within close proximity to the parking lot and Restroom Building. Play structures and equipment should be staged to allow for separated use based on

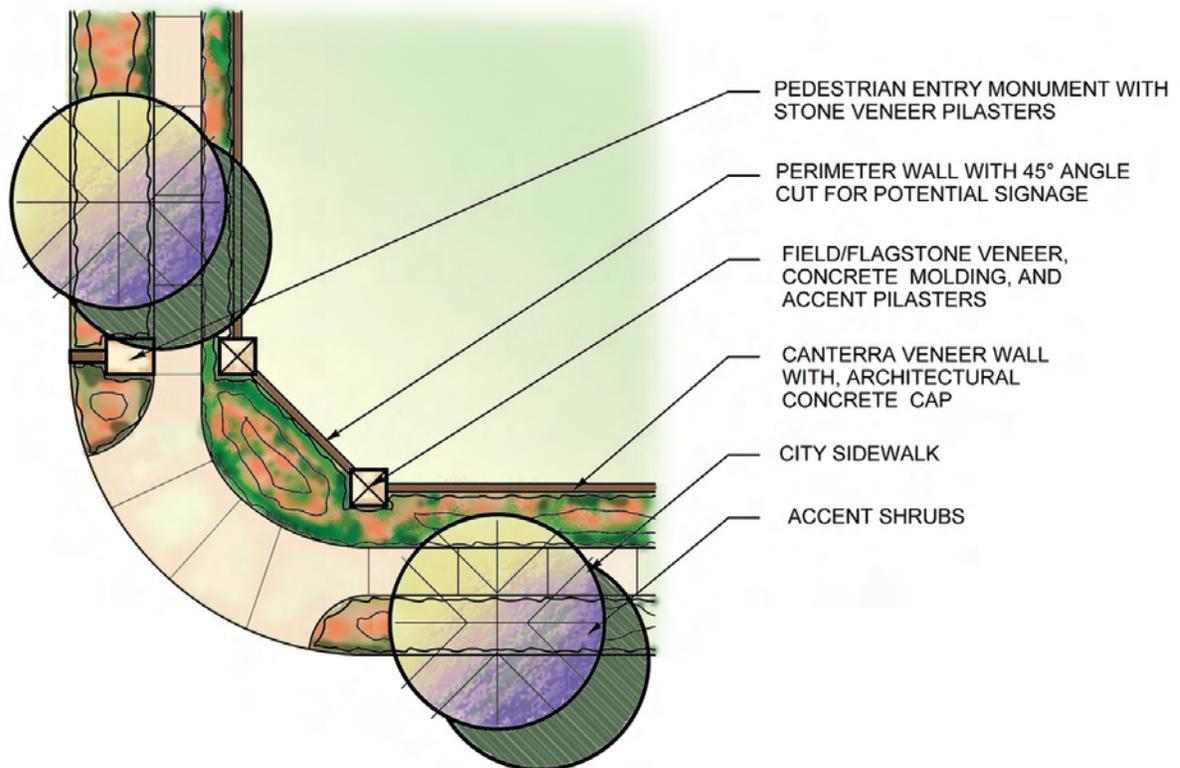
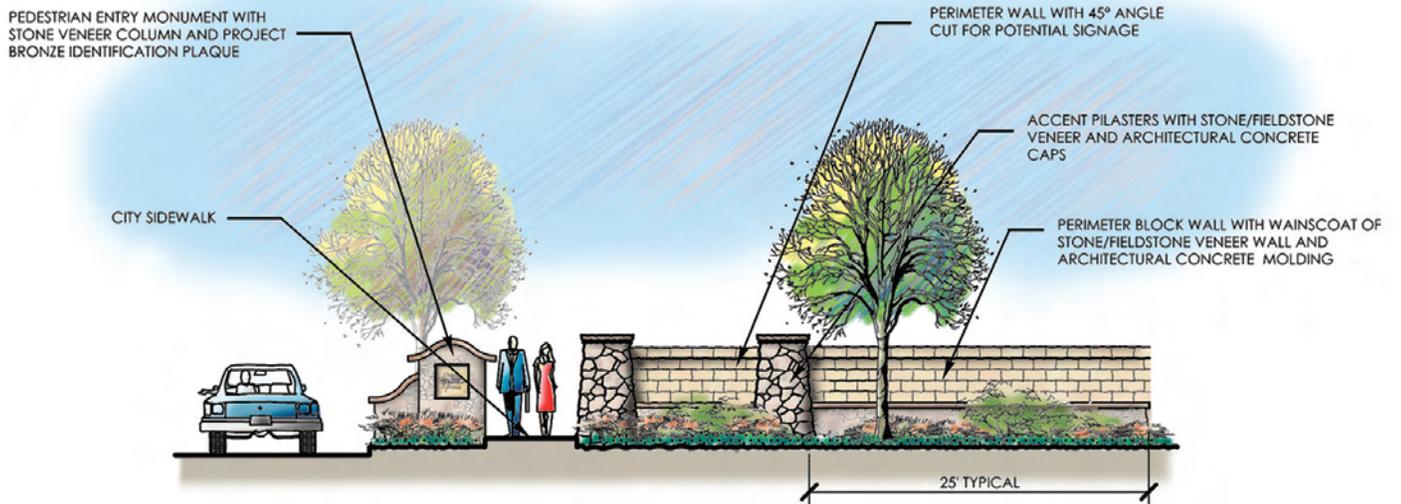


Exhibit 45
Neighborhood Entry and Monumentation Elevation/Plan

Section 8. DESIGN GUIDELINES

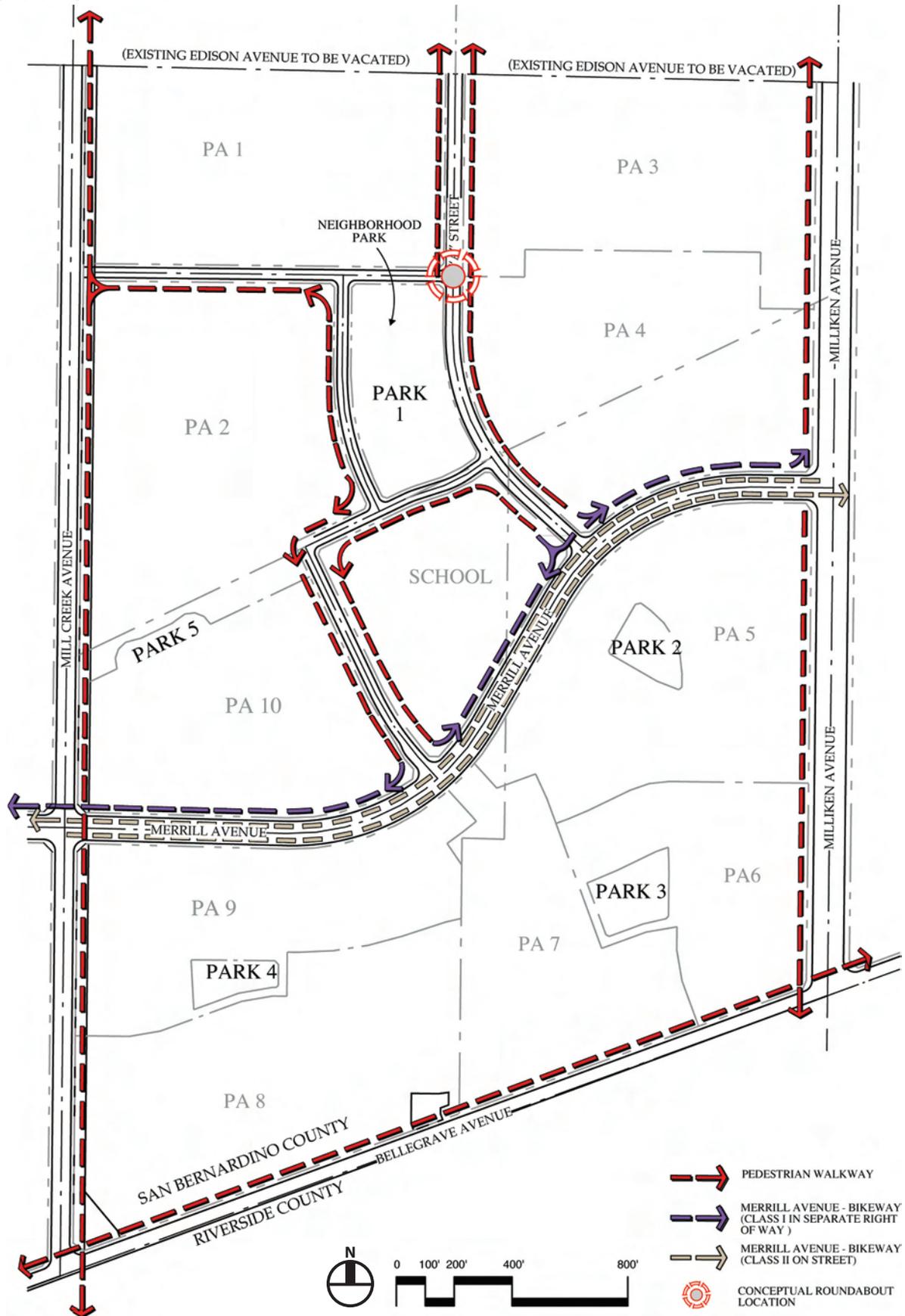


Exhibit 46
Pedestrian Circulation Plan

age (2-5 yr. and 5-12 yr.). The Tot Lot should also follow ADA guidelines and provide access based off of equipment selected. Play areas and fall zones shall be constructed with synthetic surfacing per ADA standards with wood fiber (“Fibar”) being available as an alternative in non-fall zone areas. Seating areas shall be located near the Tot Lot to provide areas for parental supervision.

- Open turf area/Barbecue Picnic Facilities - The Neighborhood Park should provide an open turf area and barbecue picnic facilities scattered throughout a looped concrete walkway system. Barbecue facilities (minimum of 50%) should be located adjacent to the walkway system for ADA accessibility; the remaining percentage set in open turf areas. Each barbecue picnic facility shall provide a picnic table, freestanding barbecue, and trash receptacle. These barbecue facilities can be placed on concrete or any other ADA acceptable surfacing. The design of the Neighborhood Park open space should take into account pedestrian circulation and the linkage to the two adjacent roads as well as the surrounding community.
- Sports Fields for unorganized play – The open space turf area should be arranged to accommodate two baseball/softball fields and a soccer field overlay. Sports lighting should be discouraged at the park. Wherever feasible a minimum distance of 20 feet should be provided between streets and play areas. Sports fields will be improved in accordance with the City’s Parks and Maintenance Department requirements.
- Landscaping – Landscaping within the Neighborhood Park shall harmonize with the surrounding streetscapes. Large specimen trees should be used within the open turf areas to help provide shade and screening of unwanted views. Accent trees should also be used at pedestrian entries and around the Tot Lot for color and seasonal interest. The park

shall be irrigated with reclaimed water by an automated system per the City Standard Specifications for irrigation systems.

- Lighting – Security walkway lighting shall be provided in accordance with City requirements and the design guidelines contained herein.
- Restroom Building – A restroom building shall be located adjacent to the tot lot in clear view of the public streets surrounding the park. The building should be designed to provide separate restroom facilities for both sexes and shall conform to ADA design guidelines. Additional provisions for a storage room for the City of Ontario maintenance personnel shall also be designed (all designs shall be submitted to the City of Ontario and County Health Department for approval).
- Park monumentation/signage and a lockable trash enclosure area.
- Refer to Exhibit 47, “Neighborhood Park” for detailed conceptual illustrations.

8.15.2 Mini Parks and Pedestrian Trails

Pedestrian circulation is highly encouraged within the Ontario Esperanza Specific Plan Community. Landscape easements are provided along major roadways and are encouraged within the neighborhood communities.

- Interior walkways should be designed to provide connections to adjacent neighborhoods as well as linking the Neighborhood Park and School to dedicated neighborhood edge treatments and enhanced landscaped areas.
- Exhibit 47, shows a Neighborhood Park example (5 Acre).”
- Enhanced paving at pedestrian connections where pedestrian circulation crosses roadways.

Section 8. DESIGN GUIDELINES

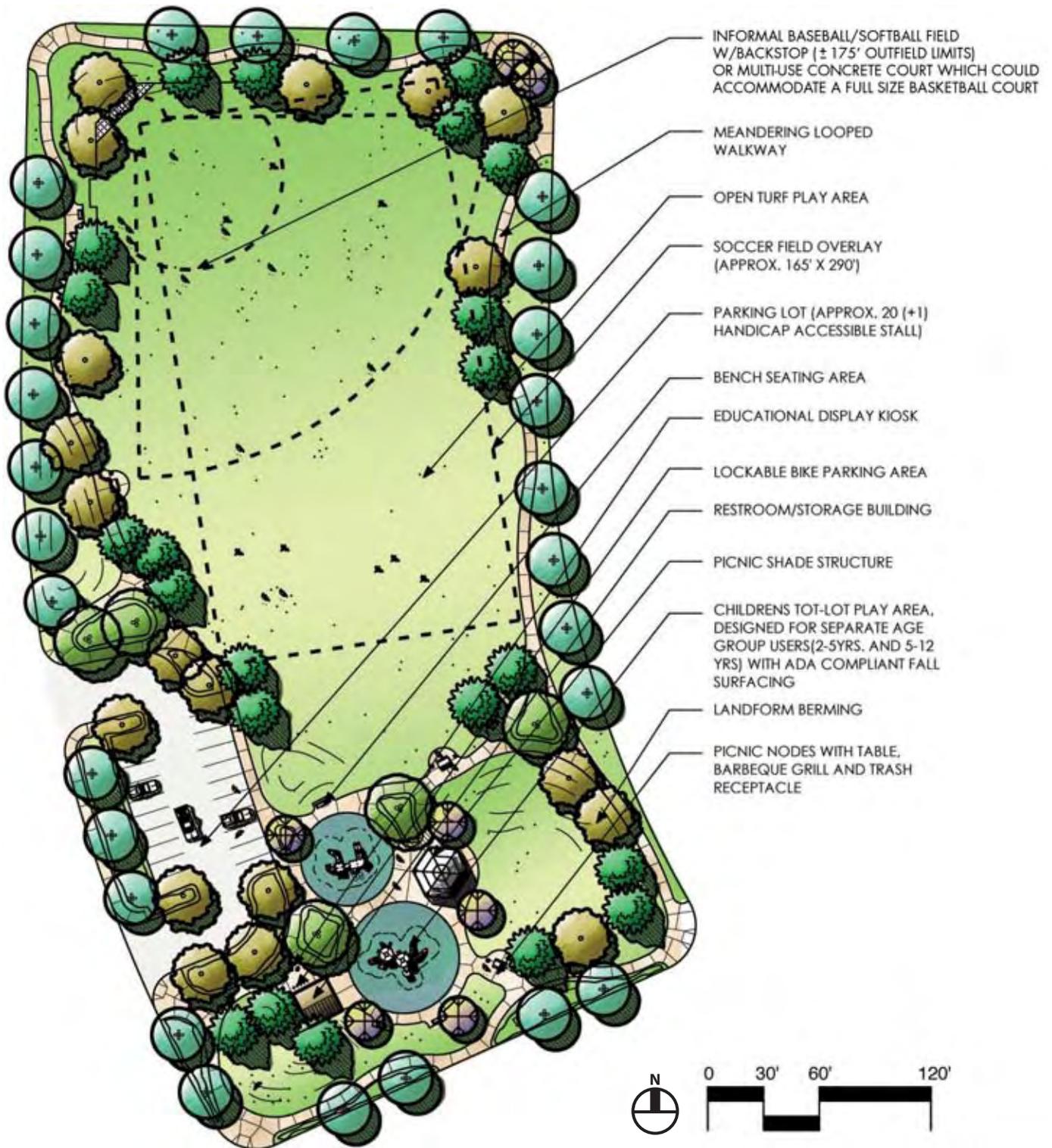


Exhibit 47
Neighborhood Park

- Paseos should provide strong connections to “Community Core” (school/5 AC neighborhood park).
- Connection of neighborhood pocket parks to community. The pocket parks are intended to provide minimal amenities, and should be designed with strong neighborhood “eyes-on” approach. Pocket Parks should range between 3/4 – 1 acre in size.

Mini parks for children’s play areas may contain the following amenities:

- Paseo walkway (meandering encouraged/ADA accessible).
- Landscaping - Landscaping shall harmonize with the surrounding streetscapes and utilize trees, shrubs, and groundcovers identified in the plant matrix.
- Lighting – Pole mounted fixtures spaced at appropriate intervals for safety and security.
- Open turf play area

The Mini Parks might contain one or more of the following amenities:

- Barbecue Picnic Facilities
- Basketball/Volleyball Courts
- Tot Lots
- Rose Garden
- Covered Picnic Structures
- Seatwalls/benches
- Community Garden
- Refer to Exhibits 48 through 51 for detailed conceptual illustrations.

8.16 COMMUNITY WALLS AND FENCING

Walls are a major component in achieving an overall community theme within the Ontario Esperanza Specific Plan. A strong cohesive appearance is achieved through the use of “community walls” and general overall wall guidelines as illustrated in Exhibit 52, “Master Walls and Fence Plan” and Exhibit 53, “Wall and Fence Details.”

All walls that adjoin community street scenes (major streetscapes identified under Perimeter/Interior Streetscapes) shall be deemed “community walls.” All wall and fencing designs and layout shall be approved by the City of Ontario prior to construction.

8.16.1 Community Walls

Community walls shall be decorative in nature. Community walls shall incorporate the use of pilasters of a design consistent with the materials of the community walls. The location and spacing of pilasters shall be subject to Planning Department review and approval.

8.16.2 Solid Walls and Fencing

Solid walls shall be decorative. The use of vinyl fencing and wood fencing is prohibited. Reverse frontage walls and any wall return that is visible from public view, shall be constructed of split-face block or precision block that is veneered, burnished (using color other than common gray), plastered or stuccoed, and should complement color scheme dictated in Ontario Esperanza Specific Plan color palette. Decorative caps and the use of pilasters to help enhance the perimeter appeal of the walls are encouraged. Walls visible from the community streets may not be made of exposed or painted precision block or slumped block.

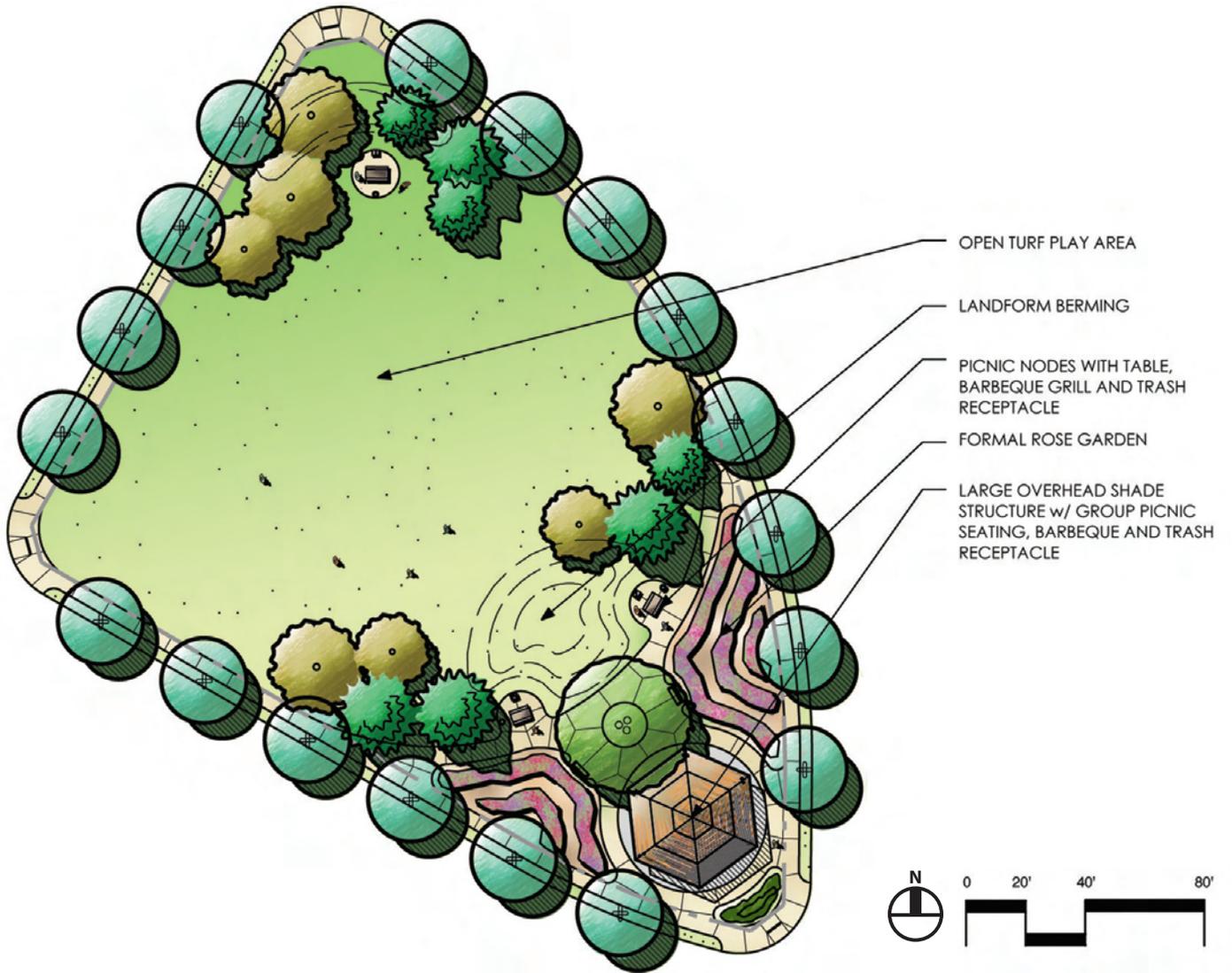


Exhibit 48
Mini Park Example (Park 2)

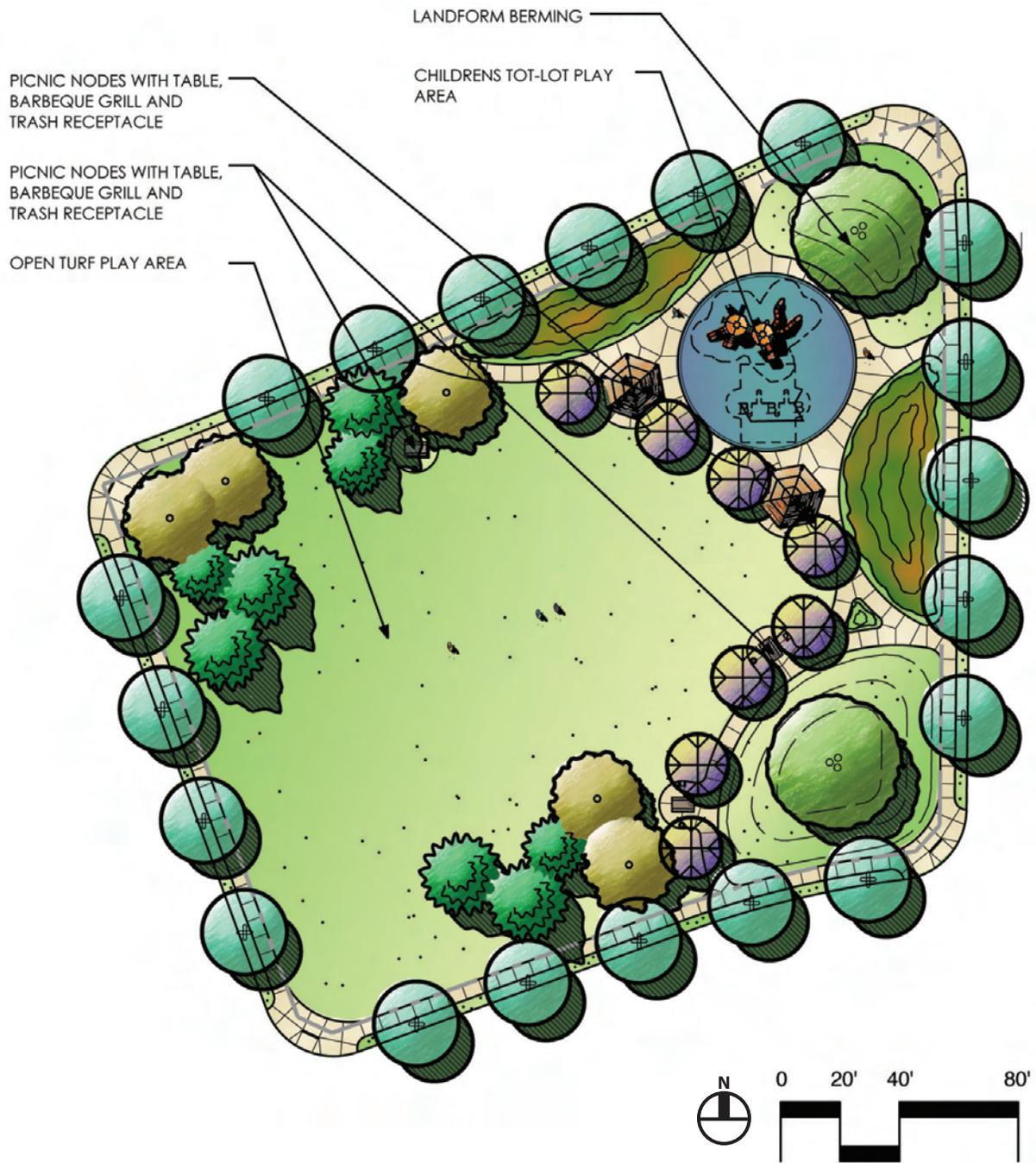


Exhibit 49
Mini Park Example (Park 3)

Section 8. DESIGN GUIDELINES

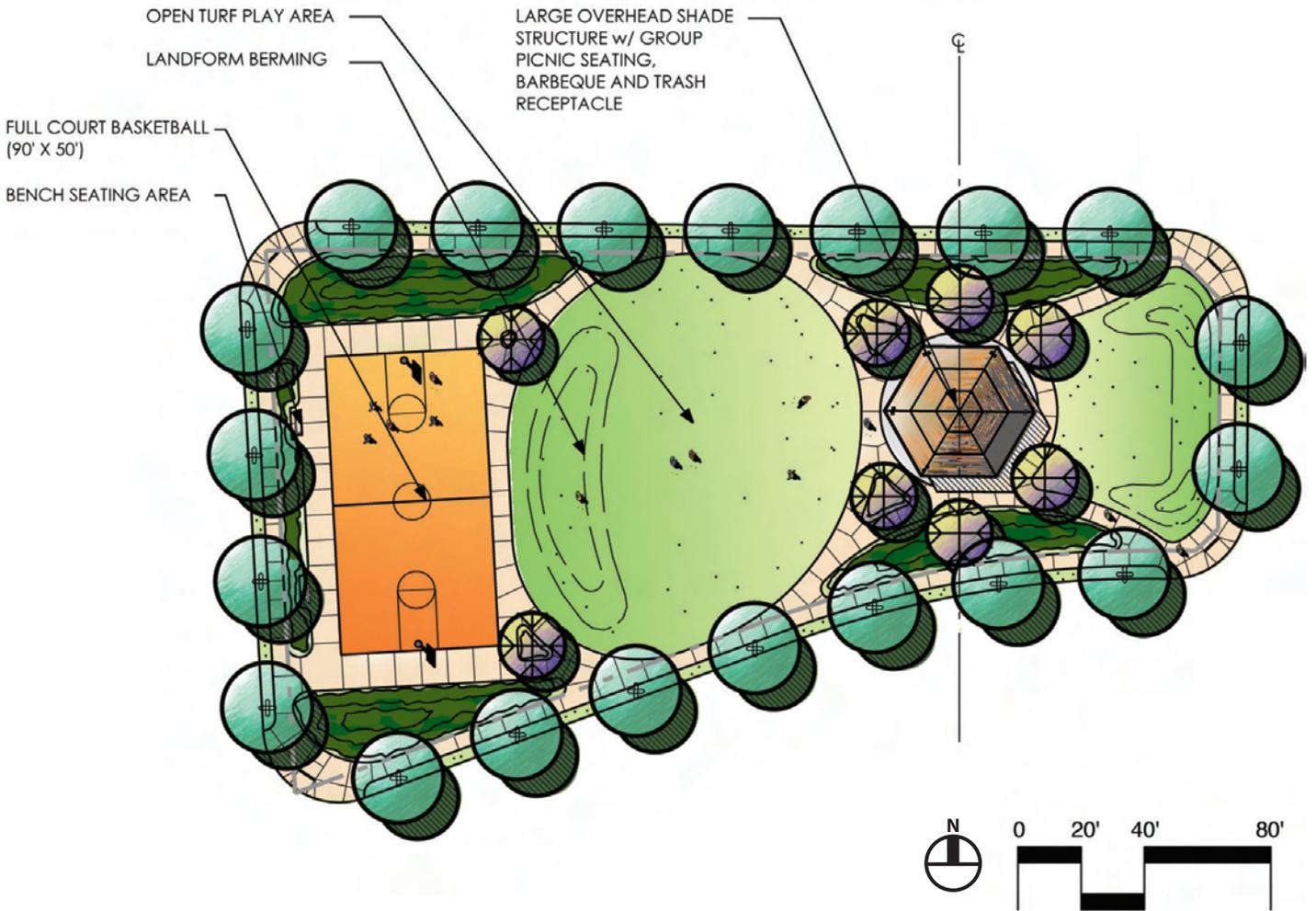


Exhibit 50
Mini Park Example (Park 4)

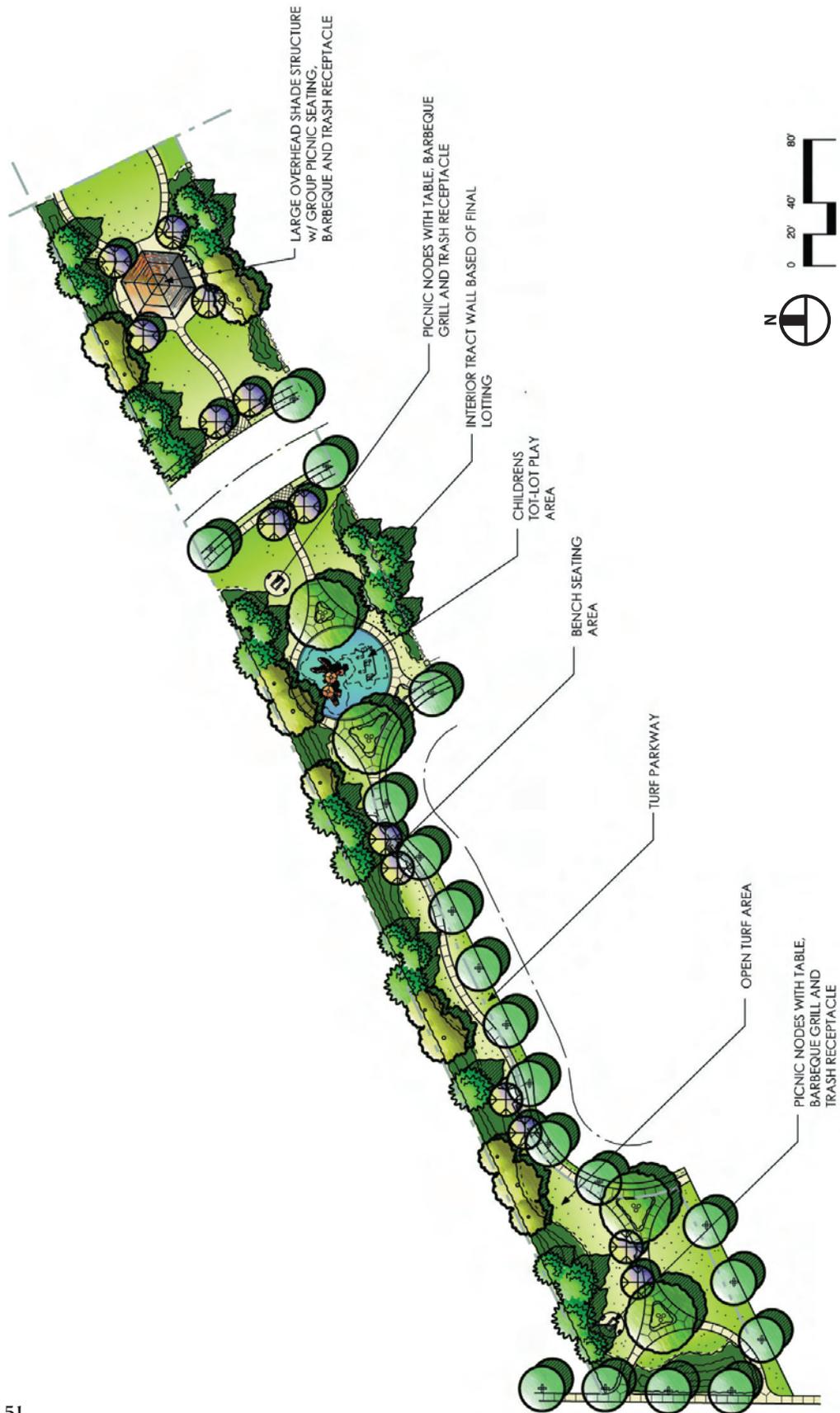


Exhibit 51
Mini Park Example (Park 5)

Section 8. DESIGN GUIDELINES

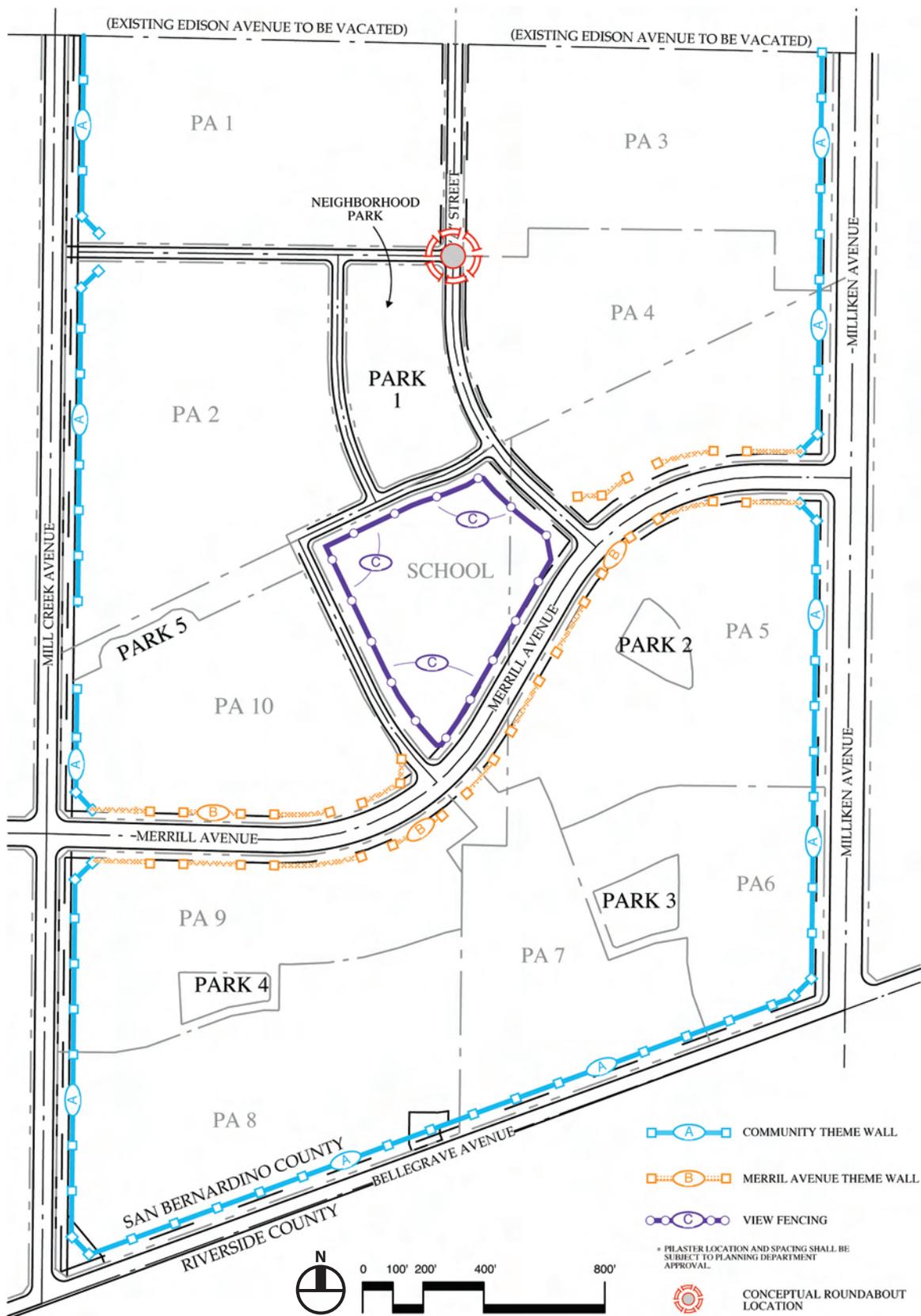
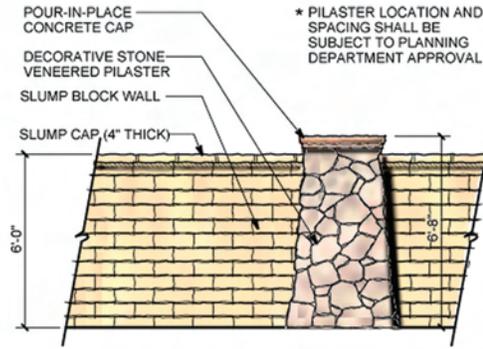
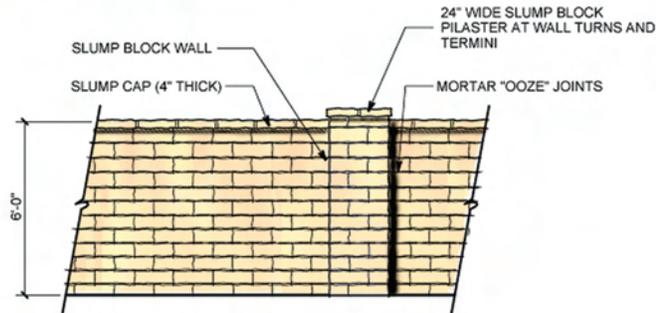


Exhibit 52
Master Walls and Fence Plan



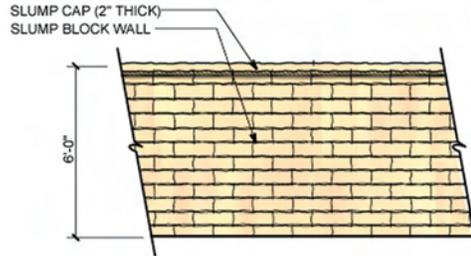
COMMUNITY THEME WALL

COMMUNITY THEME COLORED SLUMP BLOCK WALL WITH MORTAR "OOZE" JOINTS AND DECORATIVE STONE VENEERED PILASTERS



MERRILL AVENUE THEME WALL

COLORED SLUMP BLOCK WALL WITH MORTAR "OOZE" JOINTS WITH SLUMP BLOCK PILASTERS AT CHANGES IN WALL DIRECTION



SLUMP BLOCK WALL

NEIGHBORHOOD BLOCK WALL IS TYPICALLY USED WHERE PRIVACY IS DESIRED AT SIDE YARD RETURNS AND PROPERTY LINE LOCATIONS. OVERALL WALL HEIGHT SHALL BE 6'-0" FEET.



TUBULAR STEEL VIEW FENCING

OPEN TUBULAR STEEL FENCING IS TYPICALLY UTILIZED ON MULTI-FAMILY/HIGH DENSITY PROJECTS AROUND THE PERIMETER AND IN REAR YARDS WHERE VIEW PRESERVATION IS DESIRABLE.

Exhibit 53
Wall and Fence Details

8.16.3 View Fencing

If applicable, view fences should be located in the rear yards of those properties abutting large slope areas where the adjacent property is a minimum of 15' above/below the house pad. These fences allow open views but not physical access; they shall be 5'-6" high and made of tubular steel or lexan glass panel construction. Areas where view fencing occurs will be subject to review by the City of Ontario. The use of tubular steel view fencing shall incorporate pilasters utilizing materials consistent with adjacent walls.

8.17 OUTDOOR LIGHTING

Lighting standards within the Ontario Esperanza community shall be consistent in style, color, and materials in order to maintain uniformity throughout. Lighting should be subtle, providing a soft wash of light over illuminated objects such as monumentation. Hierarchy shall be established by using a variety of lighting fixtures and illumination levels based off of lighting design intent. Lighting styles shall tie into architectural styles and provide sufficient illumination for the safety and well being of the community. Preservation of "Night-Sky" should be considered in lighting design layout and fixture selection. Use of "cut-off" or louvered lamps to preserve ambiance of "Night-Sky" is highly encouraged. Fixture locations should be designed so that light source is not visible by pedestrian or vehicular traffic. Frosted, louvered, or prismatic lens should be considered where decorative lighting fixtures are visible and part of the aesthetic lighting program. Accent lighting of landscape and monumentation shall be incorporated into the following areas:

8.17.1 Entry Monument Lighting:

Avoid intensely bright or "hot" lighting of monuments; rather, each should be lit to provide a soft wash of light across the monument signage. Specimen trees should be up-lit with several fixtures into the canopy to avoid creating dark sides of the trees.

8.17.2 Neighborhood Park/Mini Parks/Walkway Lighting

Lighting of the walkways, tot lots, restroom facility, and parking areas within the Parks should be considered for safety and security. All planned parking areas shall have a minimum maintained lighting level of one-foot candle (1 F.C.) or greater. The lighting shall be from sunset to sunrise and be operated by a photocell. The site plan shall be provided to the Police Department. It shall show all buildings, parking areas, walkways, detailed landscape areas and point-by-point photometry calculation of required light levels. Utilization of a traditional Globe/Acorn Post mounted light fixture should be considered for both the park open space areas as well as interior street lighting fixtures. Keeping with the character of traditional materials, (like those found in the "Model Colony" in Downtown Ontario) this will help to create a better sense of scale to the pedestrian. Fixtures shall be vandal resistant, not less than (8) eight feet from ground level. Luminaries of not less than (42") may be utilized to illuminate a walkway if adjacent landscaping is of a variety which does not mature higher than (2) two feet.

8.18 LANDSCAPE DESIGN

8.18.1 Public Landscapes

- Landscape plantings in public areas should reflect a commitment to both developing a “sense of place” and maintaining harmony with the NMC.
- Landscape Maintenance Districts (LMD) areas shall be separated with a 6” by 6” concrete mow strip when adjacent to private property.
- A landscape architect licensed in California shall be retained to prepare planting and irrigation plans for all public areas. Arrangement of plants should incorporate the concepts of mass planting; plants should be placed to allow them to grow to their natural sizes and forms, and sheared hedges should be kept to a minimum.

The plant matrix at the end of this section offers a suggested plant palette for Ontario Esperanza; while it is by no means all-inclusive, plantings in public areas should draw primarily from this palette for visual community continuity.

8.18.2 Front Yard Landscapes

Plantings in front yards may vary substantially from the Ontario Esperanza palette, but should retain some of the character and style of the public plantings. No more than 70% of the total square footage of any front yard shall be lawn; the balance shall be composed of shrubs and groundcovers, with an emphasis on drought tolerant plant species. No more than 60% of the front yard area shall be hardscape. Turf areas shall be sized and shaped to optimize irrigation efficiency. If turf is used in isolated areas such as driveway strips, subsurface irrigation or micro-spray heads shall be required to avoid overspraying of these areas. Irregular shapes that cannot be irrigated should be avoided.

- Each single-family lot shall be provided with front yard landscaping and a permanent automatic irrigation system. At a minimum, a seeded turf lawn, appropriate shrubs and trees shall be provided as landscaping materials. A variety of typical landscape designs shall be provided for use on each lot within the subdivision.
- Multiple family residential product areas shall be provided with full landscape improvements throughout the development. At a minimum, a seeded turf lawn, appropriate shrubs and trees, and a permanent irrigation system shall be provided.
- Landscape and irrigation drawings for each development shall be submitted in conjunction with house construction plans. The plans shall be approved by the Planning Department and the Public Facilities Development Section prior to the issuance of building permits.
- Areas of a lot or site which are not used for drive entries, parking, or approved outdoor uses shall be fully landscaped; all unpaved areas shall be landscaped; and all future development phase areas shall be hydroseeded.

8.18.3 Soil Testing

Soil samples shall be taken from several locations after the completion of rough grading operations, and a reputable soil-testing laboratory shall perform an agronomic soils test. The test shall assess soil fertility needs for water-wise California native and Mediterranean plant types. No planting shall take place until the soil has been properly prepared based on the recommendations of the soils testing laboratory. Organic soils amendments shall be incorporated as necessary to achieve a recommended percolation rate of one inch per hour.

8.18.4 Slope Landscaping

All manufactured and cut/fill slopes which exceed 3' in height shall be planted with an effective mixture of groundcover, shrubs, and trees. Such slopes shall also be irrigated as necessary to ensure germination and establishment.

8.18.5 Interior Slopes: Residential Interior

- Interior slopes may be more ornamental in character than exterior slopes. They may have a somewhat broader range of plant materials than exterior slopes, but should still be chosen primarily from the Ontario Esperanza plant palette and are subject to the same fuel modification restrictions.
- All manufactured and cut/fill slopes which exceed 3' in height shall be planted with an effective mixture of groundcover, shrubs, and trees. Such slopes shall also be irrigated as necessary to ensure germination and establishment.

8.18.6 Streetscape Landscaping

Streetscape Development Standards

- Turf grass shall not exceed 30% of streetscape planting and shall be located adjacent to the sidewalk or curb line.
- All new plantings within the Ontario Esperanza planned community shall draw substantially from the Ontario Esperanza Plant List included in this document.
- All streetscape landscaping within the Ontario Esperanza planned community will be implemented by the Developer in accordance with this Specific Plan.

- The Developer shall install all primary and secondary improvements concurrently with the construction of the roadway on which they front. Neighborhood intersections shall be constructed as each neighborhood street is built.
- The Developer shall provide site inspection of all construction and installation of entries and intersections in accordance the City of Ontario requirements.

8.18.7 Irrigation Design

Irrigation for both public and private landscapes should be designed to be as water-efficient as possible. All irrigation systems shall have automatic controllers designed to properly water plant materials given the site's soil conditions, and irrigation systems for all public landscapes shall have automatic rain shut-off devices. Drip irrigation is not permitted with LMD landscape areas. Spray systems shall have low volume (gpm) matched-precipitation heads. All LMD areas are to be controlled with a central control irrigation system and all trees are to be irrigated utilizing a flush grade bubbler system on a separate valve. All LMD areas shall be designed to City Standard Specifications.

All irrigation products specified shall achieve an irrigation operational distribution uniformity of 70% or greater in all turf areas and 80% in all other landscaped areas. Turf areas shall be irrigated with equipment that has a precipitation rate of one inch or less per hour as specified by the manufacturer. Stream rotator heads or low volume spray heads are acceptable for turf areas. Use of standard spray heads shall be avoided. Non turf shrub areas shall be irrigated with low volume micro spray or point application devices, where manufacturer's specification indicates output measured and expressed in gallons per hour.

Botanical Name	Common Name	Merrill Avenue (Per NMC Streetscape Master Plan)	Beilgrave Avenue (Per NMC Streetscape Master Plan)	Mill Creek Avenue (Per NMC Streetscape Master Plan)	Milliken Avenue (Per NMC Streetscape Master Plan)	SCE Easement (Mill Creek Avenue)	Primary Community Entries	Secondary Community Entries	Neighborhood Entries	Neighborhood Park Open Space	Mini Parks	Alleys
<i>Arbutus unedo</i>	Strawberry Tree					•						•
<i>Acacia cultriformis</i>	Knife Acacia	■	■			•	■	■				
<i>Brachychiton populneus</i>	Bottle Tree								•	•	•	•
<i>Callistemon viminalis</i>	Weeping Bottlebrush	■	■	■	■		■	■	■			•
<i>Cedrus deodara</i>	Deodar Cedar								•			
<i>Chionanthus retusus</i>	Chinese Fringe Tree	■	■	■	■		■	■	•	•	■	
<i>Cupressus sempervirens</i>	Italian Cypress						•	•	•			
<i>Dodonaea viscosa</i>	Hopseed Bush	■	■		•		■	■	■			•
<i>Eriobotrya deflexa</i>	Bronze Loquat				•							•
<i>Juniperus chinensis 'Torulosa'</i>	Hollywood Juniper	■	■	■	■		■	■	■			•
<i>Lagerstroemia indica hybrids</i>	Crape Myrtle								•	•	•	
<i>Liquidambar styraciflua</i>	American Sweet Gum	■	■	■	■		■	■	■	•		■
<i>Magnolia grandiflora 'St. Mary'</i>	NCN										•	
<i>Magnolia soulangeana</i>	Saucer Magnolia	■	■	■	■		■	■	■	•	•	•
<i>Melaleuca linariifolia</i>	Falxleaf Paperbark								•			
<i>Melaleuca nesophila</i>	Pink Melaleuca	■	■		•		■	■	■			•
<i>Melaleuca quinquinervia</i>	Cajeput Tree								•			
<i>Pinus canarensis</i>	Canary Island Pine	■	■	■	■		■	■	■	•	•	■
<i>Platanus acerifolia</i>	London Plane Tree								•	•	•	
<i>Platanus racemosa</i>	Western Sycamore	■	■	■	■		•	■	■	•		■
<i>Podocarpus gracillior</i>	Yew Pine								•		•	
<i>Populus nigra 'Italica'</i>	Lombardy Poplar	■	■	■	■		■	■	■	•	•	■
<i>Pyrus calleryana 'Aristocrat'</i>	Ornamental Pear								•		•	•
<i>Quercus agrifolia</i>	Coast Live Oak	■	■	■	■		•	•	■	•		■
<i>Quercus ilex</i>	Holly Oak								•			
<i>Rhus lancea</i>	African Sumac	■	■	■	■		■	■	■			•
<i>Schinus molle</i>	California Pepper						•	•	•			
<i>Tristania laurina</i>	Water Gum	■	■	■	■		■	■	■			•

Table 6
Plant Matrix - Trees

Botanical Name	Common Name	Merril Avenue	Belgrave Avenue	Mill Creek Avenue	Milliken Avenue	SCE Easement (Mill Creek Avenue)	Primary Community Entries	Secondary Community Entries	Neighborhood Entries	Community Park Open Space	Linear Park	Paseo Trail System	Alleys
<i>Agapanthus species</i>	Lily of the Nile												
<i>Anigozanthos species</i>	Kangaroo Paws												
<i>Arbutus unedo 'Compacta'</i>	Compact Strawberry Tree												
<i>Arctostaphylos d. 'Howard McMinn'</i>	McMinn Manzanita												
<i>Asparagus densiflorus 'Myers'</i>	Myers Asparagus												
<i>Bergenia cordifolia</i>	Bergenia												
<i>Buxus japonica</i>	Japanese Boxwood												
<i>Calliandra haematocephala</i>	Pink Powder Puff												
<i>Callistemon 'Little John'</i>	Dwarf Callistemon												
<i>Camellia species</i>	Camellia												
<i>Campanula poschcharskyana</i>	Serbian Bellflower												
<i>Carex tumulicola</i>	Berkeley Sedge												
<i>Cercis occidentalis</i>	Western Redbud												
<i>Cistus purpureus</i>	Common Rockrose												
<i>Cistus salviifolius</i>	White Rockrose												
<i>Correa pulchella 'Mission Bells'</i>	Australian Fuchsia												
<i>Cotoneaster lacteus</i>	Cotoneaster												
<i>Deschampsia cespitosa</i>	Hair Grass												
<i>Dietes iridioides</i>	Fortnight Lily												
<i>Dodonaea viscosa</i>	Hopseed-Bush												
<i>Echium fastuosum</i>	Pride of Madiera												
<i>Festuca mairei</i>	Atlas Fescue												
<i>Geranium incanum</i>	Carpet Geranium												
<i>Geranium 'Johnson's Blue'</i>	Johnson's Blue Geranium												
<i>Grevillea lanigera</i>	Woolly Grevillea												
<i>Grevillea species</i>	Grevillea												
<i>Helictotrichon sempervirens</i>	Blue Oat Grass												
<i>Hemerocallis hybrids (evergreen)</i>	Daylily - mixed colors												
<i>Heuchera sanguinea</i>	Coral Bells												
<i>Juniperus species</i>	Juniper												
<i>Kniphofia uvaria</i>	Red Hot Poker												
<i>Lantana species</i>	Lantana												
<i>Lavatera maritima</i>	Tree Mallow												
<i>Leptospermum scoparium</i>	New Zealand Tea Tree												
<i>Ligustrum japonicum 'Texanum'</i>	Japanese Privet												
<i>Mahonia aquifolium</i>	Oregon Grape												
<i>Mimulus species</i>	Monkey Flower												
<i>Muhlenbergia rigens</i>	Deer Grass												
<i>Myoporum parvifolium</i>	Trailing Myoporum												
<i>Myrtus communis 'Compacta'</i>	Dwarf Myrtle												
<i>Nandina domestica</i>	Heavenly Bamboo												
<i>Nephrolepis cordifolia</i>	Southern Sword Fern												
<i>Nessella tenuissima</i>	Mexican Feather Grass												
<i>Penstemon species</i>	Beard Tongue												
<i>Phormium hybrids</i>	Hybrid New Zealand Flax												
<i>Photinia x fraseri</i>	Photinia												
<i>Plumbago auriculata</i>	Cape Plumbago												
<i>Prunus c. 'Bright 'n Tight'</i>	Carolina Laurel Cherry												
<i>Rosa species</i>	Rose												
<i>Rosmarinus officianalis and hybrids</i>	Rosemary												
<i>Salvia greggii and cultivars</i>	Autumn Sage												
<i>Sedum 'Autumn Joy'</i>	Autumn Joy Stonecrop												
<i>Tecomaria capensis</i>	Cape Honeysuckle												
<i>Teucrium x lucidrys</i>	Bush Germander												
<i>Xylosma congestum</i>	Shiny Leaf Xylosma												
<i>Viburnum tinus 'Spring Boquet'</i>	Spring Boquet Laurustinus												

Table 7
Plant Matrix - Shrubs