

4.0 FREEWAY COMMERCIAL (FC) PLANNING AREA

4.1 General Development Standards

4.1.1 The site design of each development within the Freeway Commercial (FC) planning area shall give careful consideration to the use of setbacks, building massing, building orientation, the distance between buildings and landscape as design tools to maintain shelter from the prevailing wind and to thoughtfully shape views both to and from the site.

4.1.2 All structures shall be designed in three-dimensions and all facades and the roofscapes shall receive equal consideration.

4.1.3 Site designs, submitted for development review, shall contain clear and direct indications, on the plans as to how these criteria have been satisfied.

4.1.4 Minimum Lot Size

There is no minimum lot size, however all lots must be large enough to meet the total space requirements of their ultimate users. Sufficient space must be provided to accommodate the principal and accessory structures, parking, landscaping provisions, and setback areas.

4.1.5 Setbacks

Refer to Section 4.3.

4.1.6 Maximum Building Height

Forty feet (40') except that towers and other architectural features may be increased by fifteen feet (15') to a maximum of fifty-five feet (55'). The City of Ontario has adopted an ordinance setting forth specific regulations for buildings 45 feet in height or greater. These regulations shall also apply within **The Exchange**. Both the City and Federal Aviation Administration, pursuant to the existing Airport hazard Map (Figure V-2) may grant height exceptions. Building height shall be measured from the finished pad elevation.

4.1.7 Maximum Building Coverage

Maximum Building Coverage in the Freeway Commercial District is .50 FAR, as averaged over the net area of the planning area. Maximum coverage calculation includes all main and accessory structures and excludes public and private streets. This coverage may be increased to a maximum of 1.00 FAR percent by the Planning Commission at Site Plan Review when the finding can be made that increased coverage will result in a superior building design, enhancing the character of the overall urban environment.

4.1.8 Utilities and Exterior Equipment

- 4.1.8.1 All utilities, including drainage systems, sewer, gas and water lines, electrical, telephone and communication wires and related equipment shall be installed and maintained underground.
- 4.1.8.2 Roof mounted mechanical equipment shall be hidden from view by building parapets or decorative elements of equal height.
- 4.1.8.3 Electric transformers, utility pads, cable TV and telephone boxes shall be located out of public rights-of-way and underground or screened with walls, fences or vegetation or otherwise enclosed in a manner harmonious with the overall architectural theme.

4.2 Permitted Uses

Freeway Commercial (FC) uses include lower intensity commercial and retail uses placed in a park-like setting with a strong, freeway oriented signage and architectural program. Freeway Commercial uses, totaling approximately 12 acres, are located at the northerly portion of the Center, south of Fourth Street to maximize aesthetics, employment and transportation benefits.

The following are Permitted Uses within the Freeway Commercial (FC) Planning Area:

1. Automotive Rental Agencies
2. Building Supplies and Sales
3. Business Supply Services
4. Business Support Services
5. Durable Goods Sales, Retail
6. Package Food & Beverage Sales
7. Restaurants (Sit Down/ Full Service)
8. Restaurants (Sit Down with No Alcohol Sales)
9. Infrastructure facilities, including but not limited to public and private roadways, pedestrian walkways, utilities and related uses, as approved by the City Engineer and subject to the City standards and policies in effect at the time of submittal of offsite improvement plans.
10. Accessory structures and uses necessary and customarily incidental to permitted uses.
11. Other uses as approved by the Planning Commission, which comply with the goals and intent of the Specific Plan.

The following uses require a Conditional Use Permit:

1. Administrative/ Professional/ General Business Offices
2. Alcohol Beverage Sales
3. Car Wash
4. Churches/ Houses of Worship
5. Communication Facilities (Subject to the provisions of Section 9-1.3289 of the Ontario Development Code)

6. Conference/ Convention Facilities
7. Convenience Sales and Services
8. Durable Goods Sales, Wholesale
9. Entertainment
10. Fast Food/ Drive-Thru Restaurants
11. Gas Stations
12. Health Clubs & Spas
13. Hotels, Motels and Residential Inns
14. Medical/ Health Care Services
15. Parking lots, structures and facilities providing parking for permitted uses.
16. Personal Services
17. Public Storage Facilities
18. Repair Services
19. Restaurants with Bar/ Cocktail Lounge
20. Retail Sales of Goods Produced On-Site
21. Vocational & Trade Schools

Prohibited Uses:

Uses other than those specifically listed above shall be prohibited, unless it is determined by the Planning Commission that the use is similar to and no greater intensity than the permitted uses listed herein.

4.3 Setbacks and Distances Between Buildings

4.3.1 Setbacks from Property Lines

Table 4.3-A governs setbacks from property lines adjacent to streets for structures within **The Exchange** as well as parking setbacks from property lines adjacent to streets.

4.3.2 Building Separations with Plazas

4.3.2.1 For buildings within plazas, the minimum distance between buildings shall be 30 feet. This standard shall apply only in instances where adjacent buildings are at an oblique angle and non-parallel. In all other instances, building separations shall be calculated by dividing the sum of the height of the two adjacent buildings by two (2), except that the distance between a building of two stories or less and any other building may be one-half the height of the taller building. However, in no case may the distance be less than ten (10) feet.

4.1.3.1. Building Separations not in Plazas

Buildings not in a plaza setting, which are not contiguous, and which are on the same or different lots shall be subject to the following setback requirements:

- (A) For buildings up to fifty (50) feet high, there shall be a separation of fifty (50) feet.
- (B) For buildings between fifty (50) and one hundred (100) feet high, there shall be 100 feet separation.
- (C) For buildings higher than 100 feet, there shall be a minimum of 100 feet building separation, plus one (1) foot of separation for each one (1) foot of height above 100 feet.

**TABLE 4.3-A
SETBACKS for FREEWAY COMMERCIAL (FC)**

Minimum Building Setbacks Along:	
Fourth Street	30'
Interstate 15 Right-of-Way	20'
Industrial Park (IP) Planning Area	0'
Southern California Edison Right-of-Way	0'
Minimum Parking Setbacks Along:	
Fourth Street	25'
Interstate 15	5' Min/ 15' Avg
Industrial Park (IP) Planning Area	5'
Southern California Edison Right-of-Way	5'

Notes Applicable to Table 4.3-A

- A. All setbacks measured from the property line.
- B. Setbacks include front, side, and rear setbacks from streets.

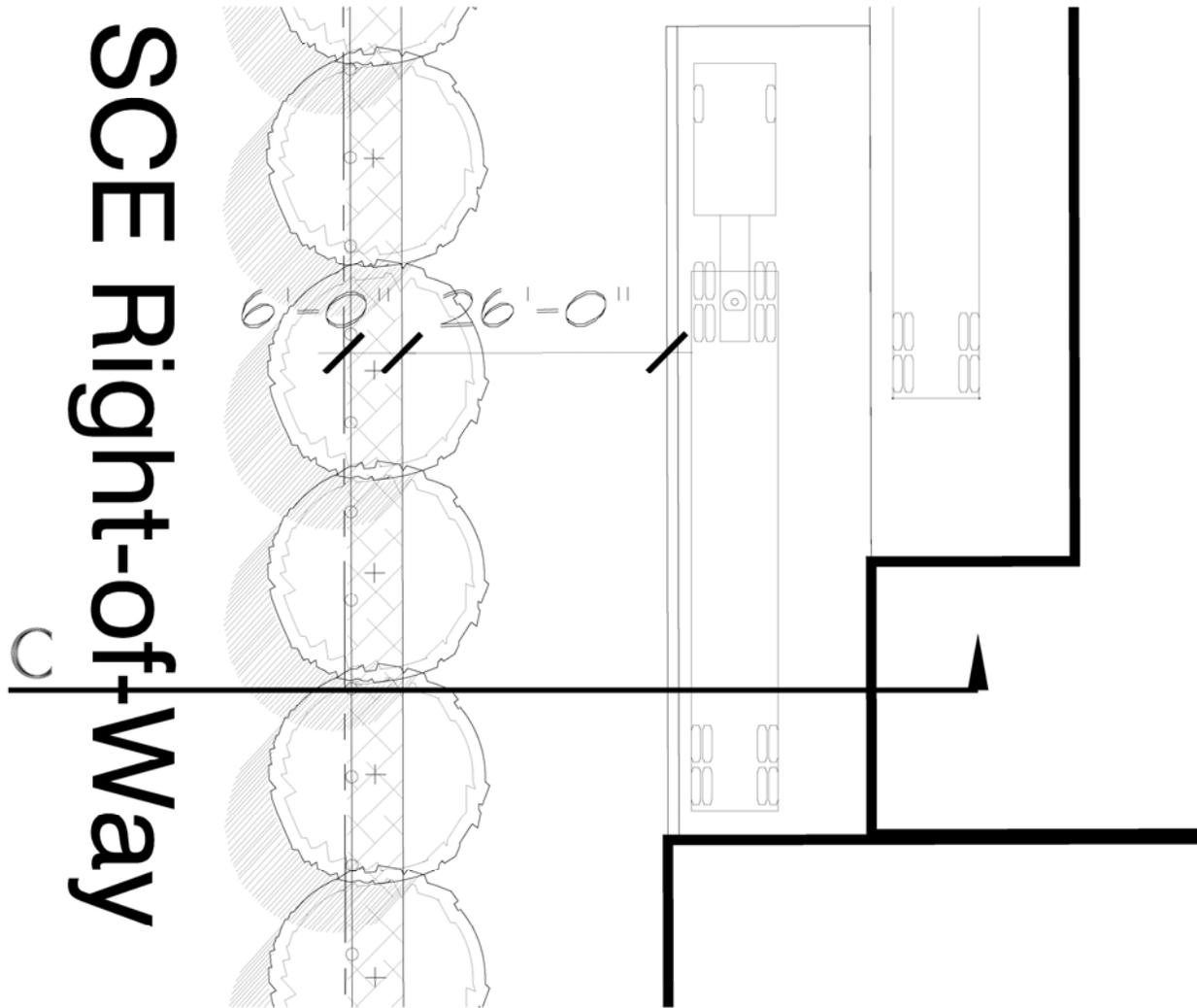
- C. The full depth of all parking and building setbacks shall be landscaped, excluding areas for pedestrian walkways and vehicular drives unless a special parking lot design is approved which maintains the equivalent total amount of landscaped area between the property line and the parking lot.
- D. Greater setbacks than required herein may be required to meet the objectives of the plan.
- E. The Planning Commission may grant reductions to these standards when the findings can be made that (1) adequate landscaped open space will be provided elsewhere within the project, (2) reduced setbacks will result in a superior building design enhancing the character of the urban environment.
- F. Sidewalks and public transit facilities (i.e., bus shelters) may encroach into required setback areas, but shall be required to be located within easements
- G. The requirement for five feet (5') minimum/ fifteen feet (15') average of landscape setback adjacent to the freeway may be reduced by one foot for each foot of landscaping constructed within Caltrans right-of-way, and provided, further, that the freeway right-of-way be landscaped as approved by Caltrans.

4.4 Loading & Storage Areas

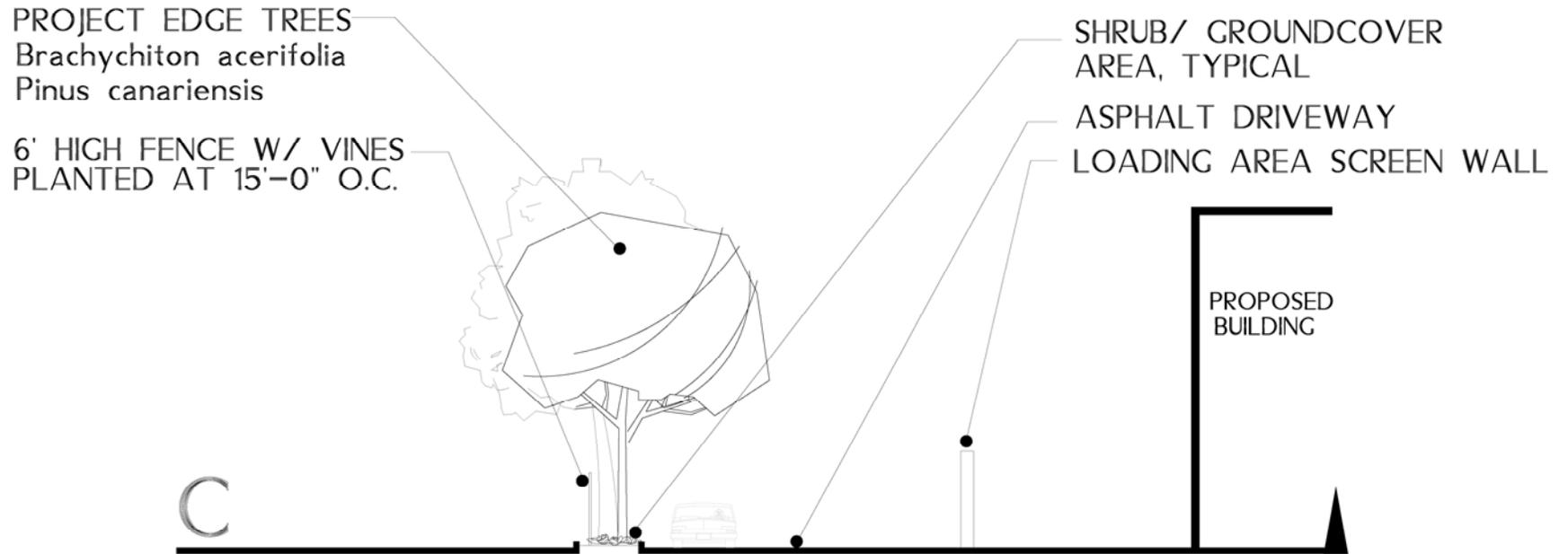
- 4.4.1 Provisions shall be made, on-site, for all necessary vehicle loading.
- 4.4.2 Loading docks or staging areas shall be located in the rear or side-yard of buildings, recessed and/or screened so as not to be visible from neighboring properties or public rights-of-way. In no event shall a loading dock be closer than seventy-five (75) feet from a property line fronting upon a street.
- 4.4.3 No materials, supplies, or equipment, including trucks or other motor vehicles, shall be stored upon any site except inside a closed building or behind a screen so not to be visible off-site.
- 4.4.4 Earth berms, landscape materials, fencing or walls and appropriate combinations thereof, shall be used for screening purposes. Chain link may be used to screen service or truck loading areas not in public view, however, where employed, the metal fabric must be substantially obscured by vines or other plant materials.
- 4.4.5 Outdoor storage areas shall be screened with masonry walls, vine covered wire mesh (not chain link) fencing or a combination of landscaping and walls and/or fencing not less than 8 feet in height. No materials shall be stored higher than 8 feet.

Schematic design and sections are shown on Exhibit 4.4-A and 4.4-B.

EXHIBIT 4.4-A
LOADING AND STORAGE CONCEPT



**EXHIBIT 4.4-B
LOADING AND STORAGE SECTION**



4.5 Refuse Collection Areas

- 4.5.1 No refuse collection areas shall be permitted between a street and the front of a building.
- 4.5.2 Refuse collection areas shall be so designed as to contain all refuse generated on-site and deposited between collections. Deposited refuse shall not be visible from outside the refuse enclosure.
- 4.5.3 Screen walls and enclosures should be visually connected to the primary building structure or designed to be harmonious in style, material, finish and color with the overall architectural theme.
- 4.5.4 All trash enclosures associated with restaurant and/ or food uses shall be roofed in order to minimize rain infiltration and runoff.

4.6 Architectural Design Guidelines

4.6.1 Intent

This specific plan is not intended to define a specific “style” for building design within the FC District. However, with approximately 700,000 cars per day passing the site at freeway speeds, the proximity and relationship to Interstate 15 on the west should be considered as the primary design influence. The design theme of the FC planning area within **The Exchange** shall be one, which creates a harmonious building style, form, size, color and material palette, and roof line as it relates to surrounding planned or existing development. Subtle variations are encouraged which provide visual interest but do not create abrupt changes causing discord in the overall design of the immediate area. It is not intended that one style of architecture be dominant, but that individual structures create and enhance a high quality and harmonious community experience. All projects shall comply with Commercial Design Guidelines of Article 16 of the Development Code.

General design criteria to be considered within the development shall include the following:

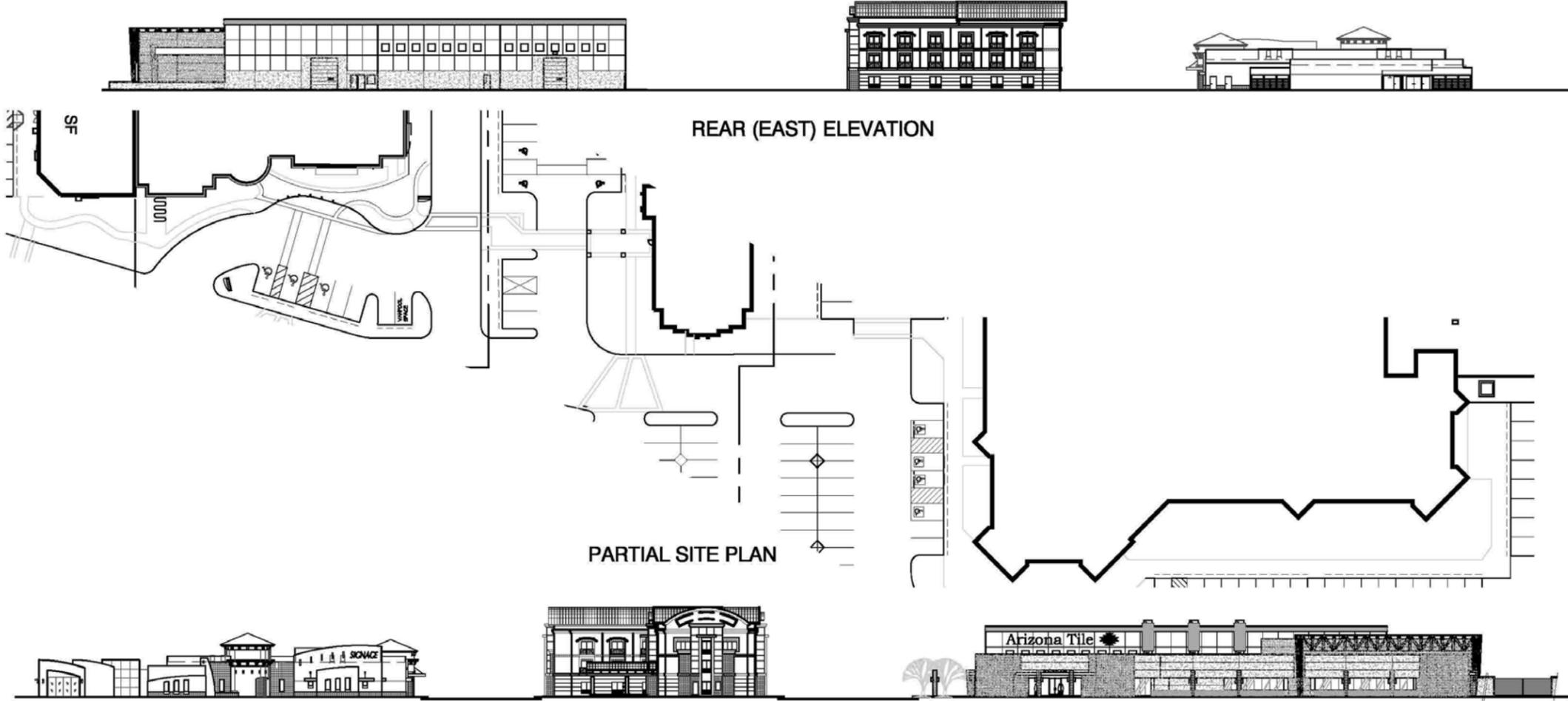
- (A) The freeway elevation of the major buildings should receive treatment designed to attract attention and convey the character and uses of the development to freeway commuters traveling at high speeds in a simple, yet dynamic way. Bold color, enhanced building materials, simple massing, and dynamic building forms and details are the primary means for accomplishing this attraction.
- (B) Pad buildings and buildings oriented towards Fourth Street should receive a more intimate level of detail designed to enhance the character of the development to customers traveling at normal surface street speeds. Special consideration should be given that all north-bound freeway traffic exiting at Fourth Street will observe the development and the Fourth Street frontage from the off-ramp at a signalized intersection directly opposite the development entry. Colors, textures and materials shall be coordinated to achieve compatibility of design, blend well with the surrounding environment and not cause abrupt changes.
- (C) Design elements to be considered are:
 - 1. Provide offsets or bays

2. Provide strong base material or approximately thirty percent (30%) use of alternative and enhanced building materials on primary elevations.
 3. Create unique and identifiable entry and storefront treatment.
 4. Provide architectural treatment to all elevations (360 degree architecture).
 5. Design rear elevations to be visually attractive by providing articulation to the building plane and vertical variation of the roof line.
 6. Avoid expanses of blank wall that are devoid of any articulation or embellishment.
 7. Integrate screening for roof-mounted equipment into the building design (i.e. extend parapet walls) rather than having a “tacked-on” appearance.
- (D) A uniform sign program for the development shall be developed to create a coordinated project theme of uniform design elements such as color, lettering style and placement. The sign program shall specify a consistent sign type and avoid mixing different sign types, such as canister signs with channelized letters; use a consistent size (i.e. maximum height and length) which is proportionate to the building; limit sign length to no more than seventy percent (70%) of the leased space width; major anchor tenants may have variation in sign letter style, color and size (i.e. height, area and length). Signage oriented towards Fourth Street or towards the interior of the development should be scaled to a slower moving, closer proximity observer. Refer to Section 3.4.6.
- (E) Freeway monument or pylon sign(s) shall be addressed through the review of the Uniform Sign Program and shall comply with the sign standards Article 31, Section 9-1.3155, Table 31-7 of the Ontario Development Code.

4.6.2 Implementation

- 4.6.2.1 A Development/ Site Plan Review per the submittal guidelines of the City of Ontario is required for all site plans within the Freeway Commercial Planning Area. Refer to current submittal requirements and fees published by the City. Exhibit 4.8-A depicts one potential concept as described herein.
- 4.6.2.2 All projects and site plans within the development shall be compatible with regard to architectural theme.
- Exhibits 4.6-A , 4.6-B and 4.6-C depict one potential concept as described herein.

EXHIBIT 4.6-B
CONCEPTUAL FREEWAY COMMERCIAL (FC) ARCHITECTURAL ELEVATIONS & SIGNAGE



FRONT (WEST) ELEVATION
THE EXCHANGE
ONTARIO, CALIFORNIA

LAND USE PLAN
CONCEPTUAL SITE PLAN

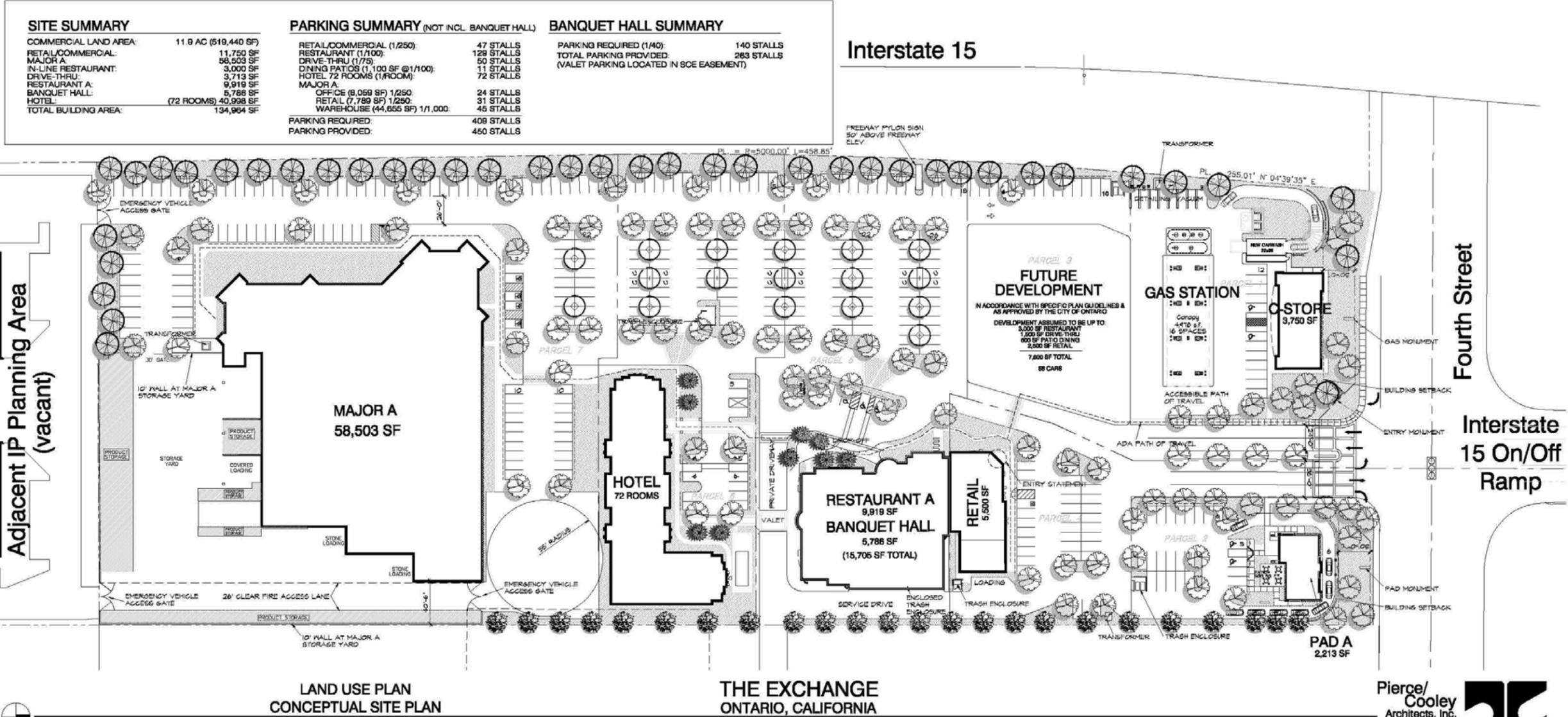


PROPOSED



17280 Red Hill Avenue
Ontario, CA 91764
P: 951.288.0276
F: 951.288.0288
www.piercecooley.com

EXHIBIT 4.6-A
CONCEPTUAL FREEWAY COMMERCIAL (FC) SITE & LANDSCAPE/ HARDSCAPE PLAN



SITE SUMMARY		PARKING SUMMARY (NOT INCL. BANQUET HALL)		BANQUET HALL SUMMARY	
COMMERCIAL LAND AREA:	11.8 AC (519,440 SF)	RETAIL/COMMERCIAL (1/250):	47 STALLS	PARKING REQUIRED (1/40):	140 STALLS
RETAIL/COMMERCIAL-MAJOR A:	11,750 SF	RESTAURANT (1/100):	128 STALLS	TOTAL PARKING PROVIDED:	263 STALLS
IN-LINE RESTAURANT:	3,000 SF	DRIVE-THRU (1/75):	50 STALLS	(VALET PARKING LOCATED IN SCE EASEMENT)	
DRIVE-THRU RESTAURANT A:	9,919 SF	DINING PATIOS (1,100 SF @1/100):	11 STALLS		
BANQUET HALL:	5,788 SF	HOTEL 72 ROOMS (1/ROOM):	72 STALLS		
HOTEL:	(72 ROOMS) 40,998 SF	MAJOR A:			
TOTAL BUILDING AREA:	134,964 SF	OFFICE (8,069 SF) 1/250:	24 STALLS		
		RETAIL (7,789 SF) 1/250:	31 STALLS		
		WAREHOUSE (44,655 SF) 1/1,000:	45 STALLS		
		PARKING REQUIRED:	408 STALLS		
		PARKING PROVIDED:	450 STALLS		

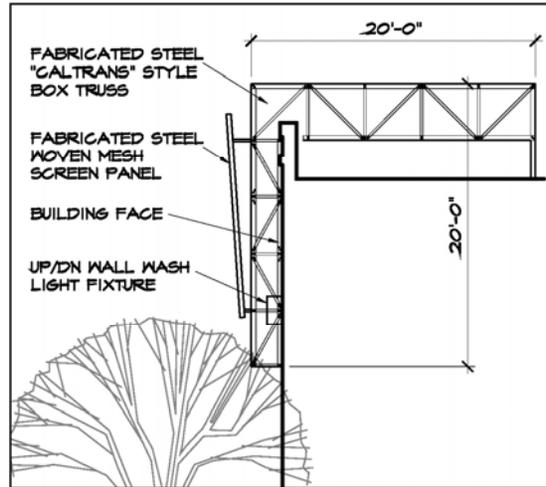
LAND USE PLAN
CONCEPTUAL SITE PLAN

THE EXCHANGE
ONTARIO, CALIFORNIA

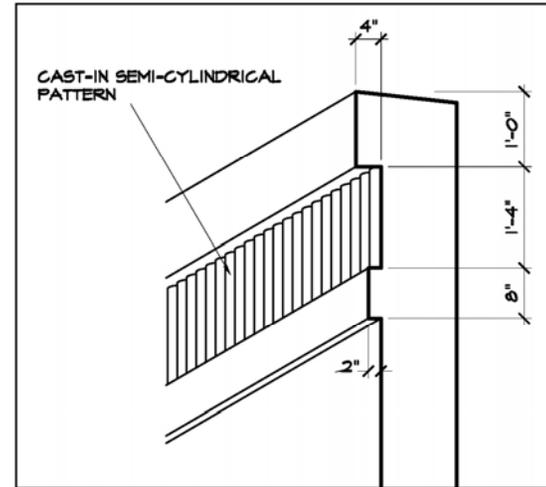
PROPOSED

Pierce/Cooley Architects, Inc.
17280 Red Hill Avenue
Ontario, CA 91764
V 949.398.0279
F 949.398.0269
www.piercecology.com
ARCHITECTURE

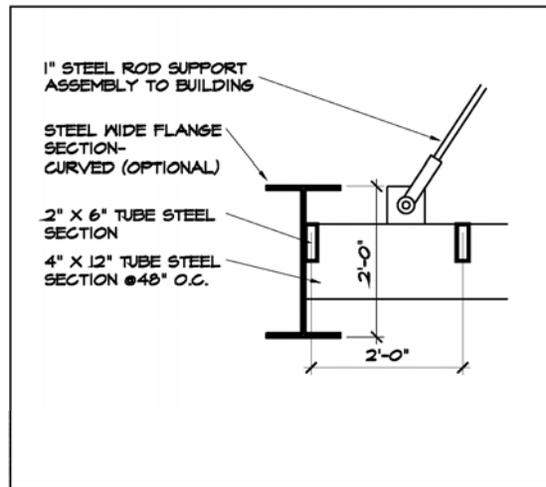
EXHIBIT 4.6-C
FREEWAY COMMERCIAL (FC) ARCHITECTURAL DETAILS



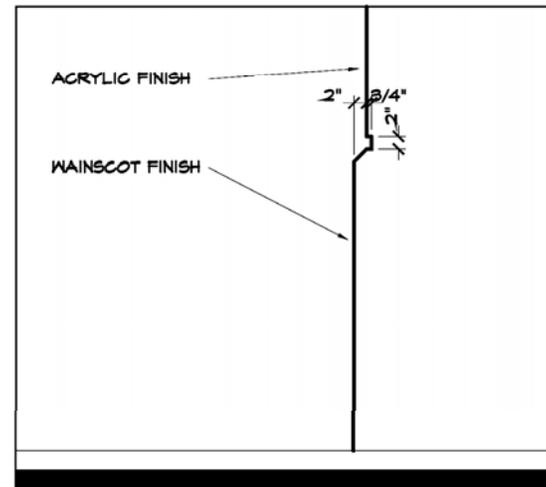
(A) BOX TRUSS



(B) PARAPET DETAIL



(C) METAL CANOPY



(D) WAINSCOT

4.7 Landscaping and Streetscape/ Entire Project Shall Comply With City of Ontario Landscape Standards

4.7.1 4th Street Improvements

4.7.2 Interstate 15 Freeway Edge Treatment

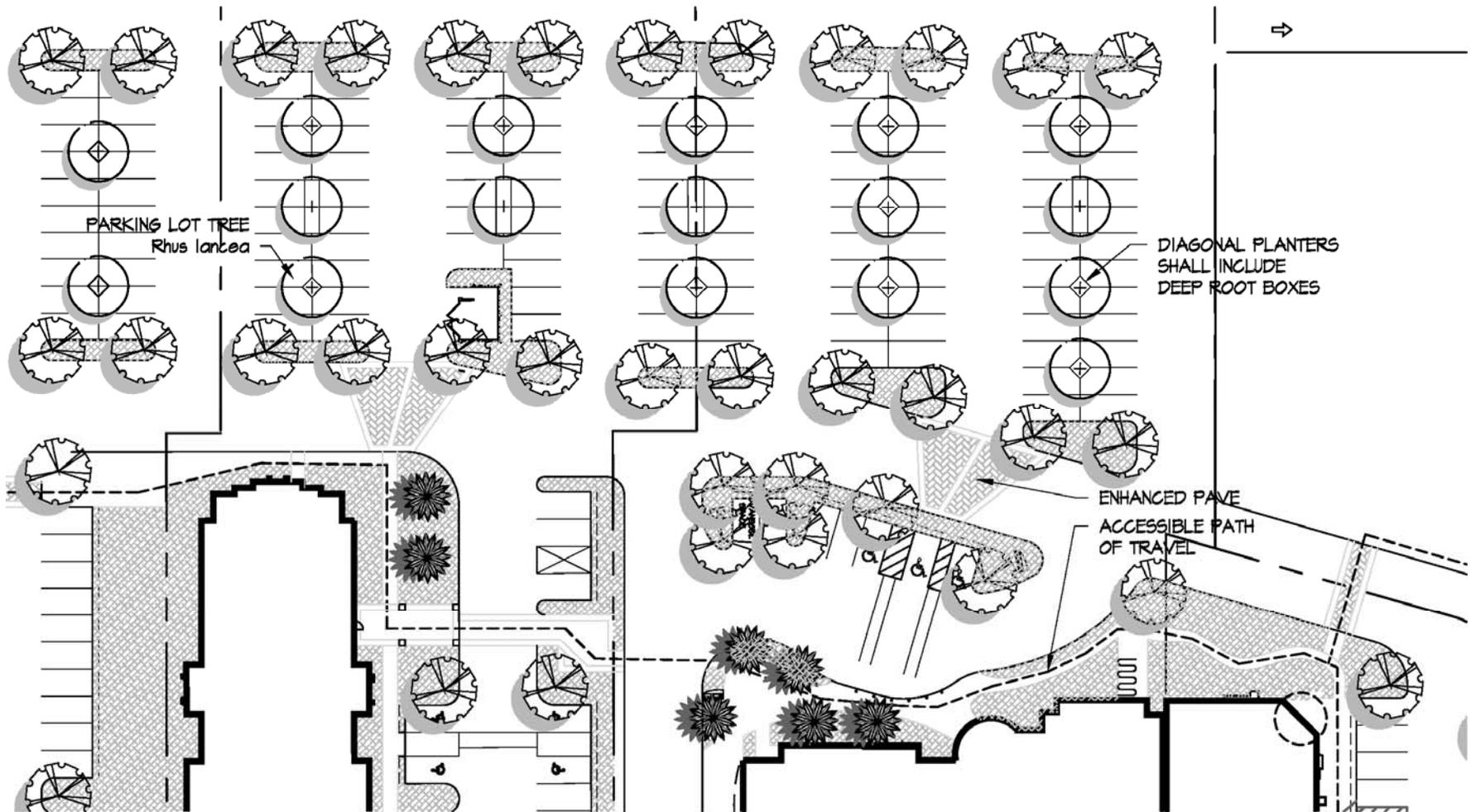
4.7.2.1 Along Interstate 15, landscape material has been chosen to screen adjacent service areas while maintaining the view to the freeway signage element.

4.7.2.2 The requirement for five feet (5') minimum/ fifteen feet (15') average of landscape setback adjacent to the freeway may be reduced by one foot for each foot of landscaping constructed within Caltrans right-of-way, and provided, further, that the freeway right-of-way be landscaped as approved by Caltrans.

4.7.3 Project Entry and Intersection Treatments

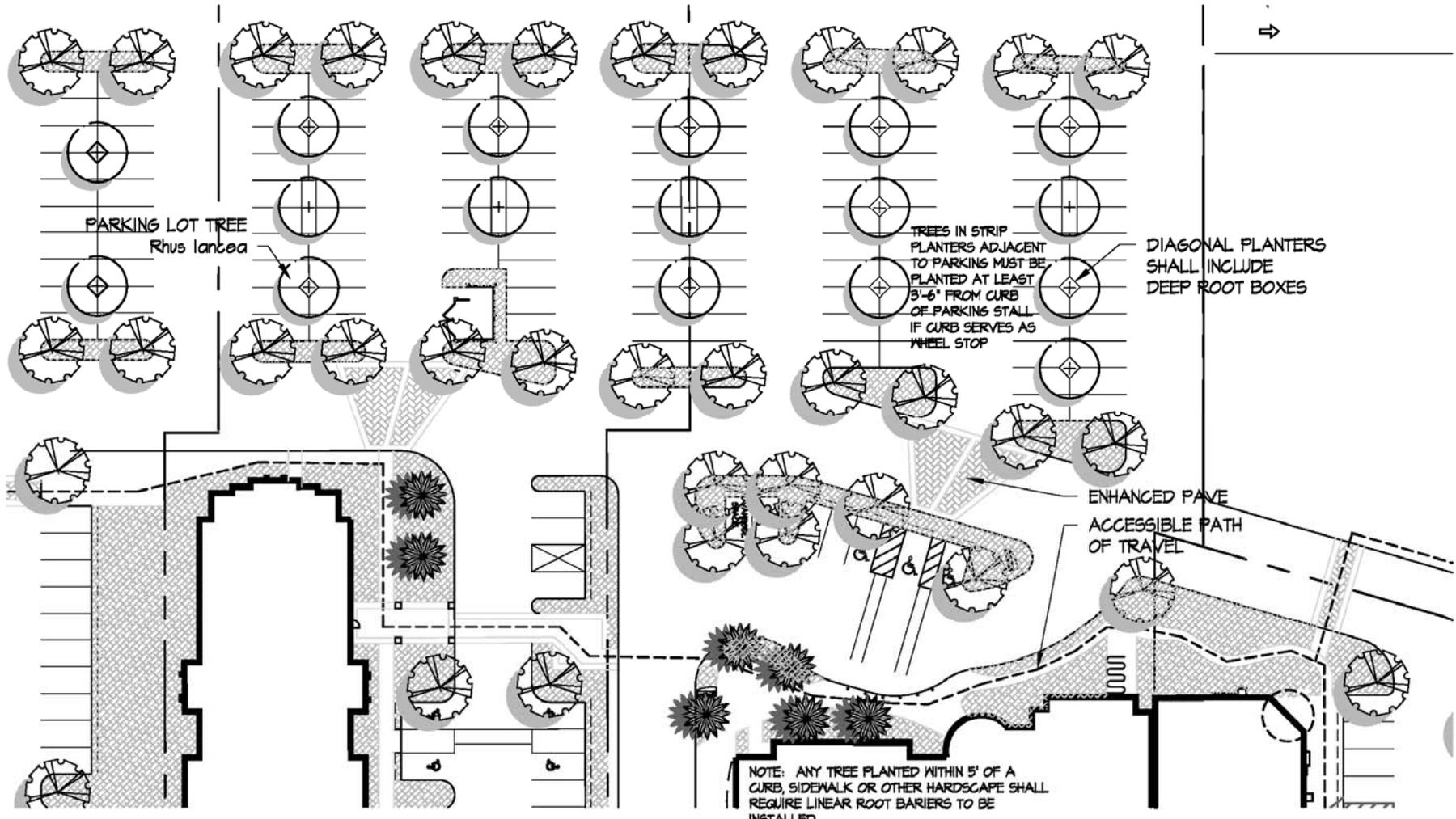
4.7.3.1 Exhibit 4.8-A shows the location of the primary project entries and secondary site entries. Schematic designs and dimensional criteria for these special treatments are shown on Exhibits 4.7.A and 4.7-B.

EXHIBIT 4.7-A
BUILDING ENTRY LANDSCAPE/HARDSCAPE CONCEPT



PROPOSED

EXHIBIT 4.7-B
PARKING LOT PLANTING CONCEPT



PROPOSED

4.7.4 General Landscape and Planting Requirements/ Entire Project Shall Comply With City of Ontario Landscape Standards

4.7.4.1 The following general standards shall guide the selection and installation of landscape improvements:

- (A) All street trees shall be planted and staked per City of Ontario Standards. All trees planted in turf areas shall receive tree boots.
- (B) All plant material shall be planted in the following minimum sizes:
 - (1) Trees - 24-inch Box (Fast growing trees to be no less than fifteen 15 gallon.
 - (2) Shrubs - Five (5) gallon. Exceptions may be granted by the Community Services Agency.
 - (3) Primary tree species shall be a minimum of 36-inch box.
- (C) Tree planting ratios for major streets shall be:
 - (1) Primary tree species: 40 percent
 - (2) Secondary tree species: 60 percent
- (D) Planting ratios for major street medians and parkway shall be:
 - (1) Turf: 35 percent
 - (2) Ground cover and shrubs: 50 percent

In addition, 15 percent of the median area shall be devoted to cobble treatment.
- (E) All City-owned well sites shall be screened by a solid masonry wall and extensive landscaping security shrubs, as approved by the Community Services Agency.
- (F) The City of Ontario Community Services Agency shall designate street trees for all public local streets within **The Exchange**, as part of the City of Ontario Master Plan of Street Trees. Staking and guying of trees shall be in accord with City standards.
- (G) Individual developments, open space and any wall adjoining public areas shall be designated to use security shrubs, as appropriate, as an anti-graffiti measure.
- (H) Replacement of dead or broken plant material shall be the responsibility of the applicable property owner association or property owner as appropriate.
- (I) All landscaped areas within the boundary of **The Exchange** Specific Plan shall be maintained to the standards established by **The Exchange** Owners Association.

- (J) All landscape and irrigation plans shall be submitted to and approved by the Public Facilities Department of the City of Ontario.
- (K) Changes in the landscape and irrigation plans may be made by the Public Facilities Department. Equivalent plant materials may be substituted as necessary, as determined by the Public Facilities Department.

4.7.5 Planting Palette

Section 4.8 depicts those species of trees which comprise the planting palette of **The Exchange**. The palette is intended as a guide for plant selection. Other species may be approved by the City of Ontario Public Facilities Department. Trees along the pedestrian pathway are intended to provide shading of the pathway.

4.8 Landscape Design Guidelines/ Entire Project Shall Comply With City of Ontario Landscape Standards

4.8.1 Introduction

4.8.1.1 Design Guidelines for the Exchange are intended to define and emphasize the uniqueness of the project areas. Fourth street is an important business corridors of the City; they carry a significant amount of through-travel, and they will provide an important focus for the City of Ontario.

4.8.1.2 In general, it is intended that **The Exchange's** landscaping and site design be organized and informal in nature, complementing its structured, urban character. Site design and landscape development should promote a strong identity and "sense of place" within the Specific Plan area. The Plan must respond to the multiple purposes of the Retail Center; general business park, hotel and retail commercial center. The emphasis for design treatments should advance these objectives through forms and materials in streetscapes, project perimeter, and on-site project areas. Combined, these elements can allow **The Exchange** to be distinctively different from its surroundings, and provide a sense of identity to this project.

4.8.2 Landscape Concept Plan

4.8.2.1 The Landscape Concept Plan (Exhibit 4.6-A) is an integral element in achieving a distinctive development character for the project area. This character is reinforced through the coordinated design and selection of landscape and paving materials, and emphasis on special features. Required guidelines are specified for the following categories:

- a. Streetscape
- b. Project Entries
- c. Project Edges
- d. Internal Roadways
- e. On-Site Landscaping
- f. Hardscape Design Elements

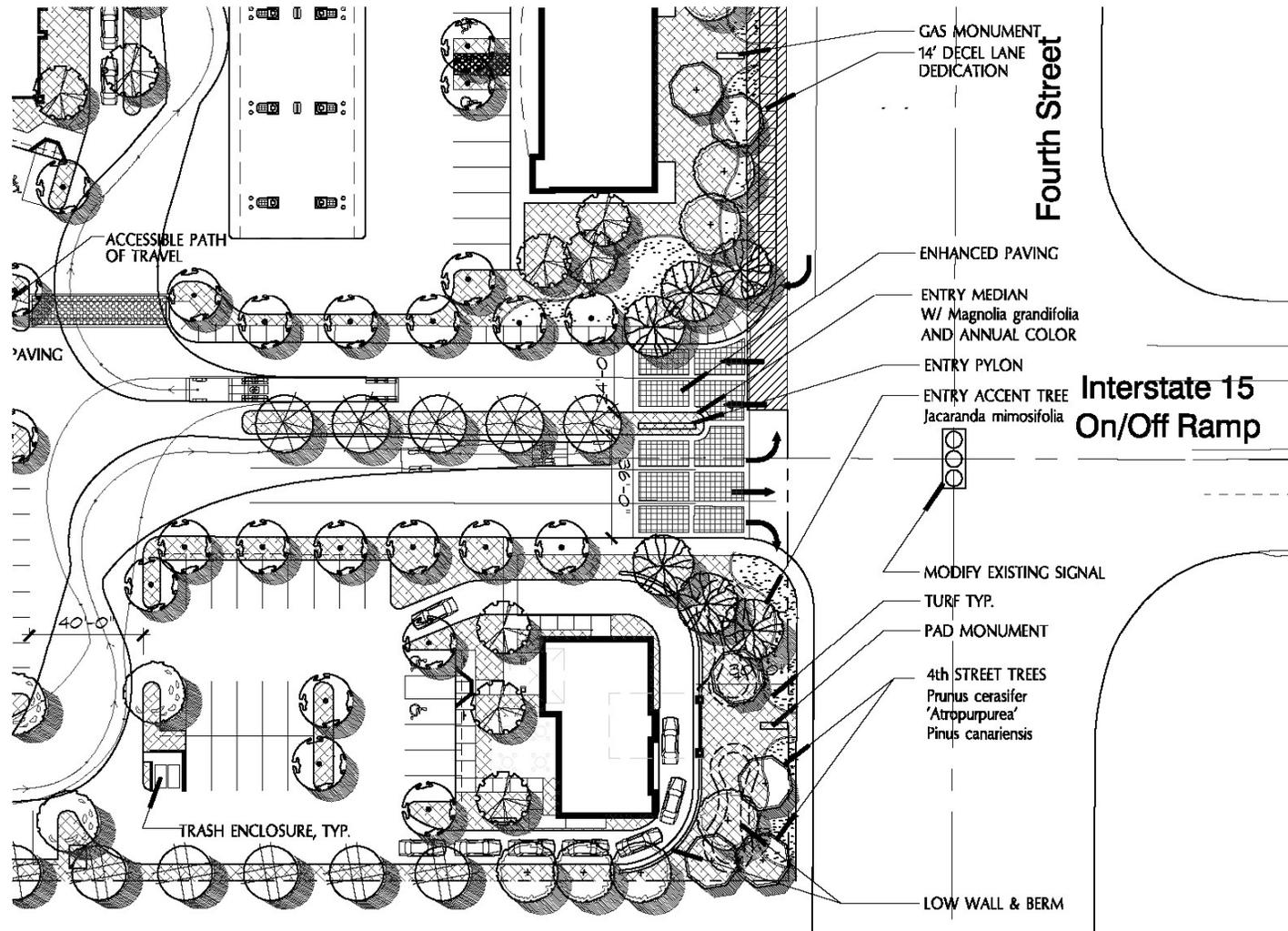
4.8.2.2 The Landscape Concept Plan (Exhibit 4.6-A) contained herein establishes a framework for consistency of design between the ultimate development pattern and phased increments. As phases are implemented, landscape plans that are consistent with these concepts and which implement them shall be approved. **The Exchange** maintains the final approval of all landscape improvements and maintenance guidelines. The above categories are described in the following pages.

4.8.3 Streetscape

4.8.3.1 Landscape Edge Adjacent to Surrounding Arterial Corridors

In order to create a unifying element surrounding the project area, a landscape edge will be maintained adjacent to Fourth Street. It will include informal shrub masses with groundcover and informal dense tree on parkway, which is bermed 2' at maximum height. Minimum widths of 5 feet between curb and meandering sidewalk shall be maintained except where the walk meets the curb. Concrete mow strips shall separate the turf and shrub/groundcover planting areas (Exhibits 4.6-A and 4.8-A).

EXHIBIT 4.8-A
FOURTH STREET EDGE & ENTRY DESIGN CONCEPT



4.8.3.2 Recommended plant materials for streetscape are as follows;

- Trees (24" box min.): Koelreuteria bipinnata (Chinese Flame Tree)
Liriodendron tulipifera (Tulip Tree)
Magnolia grandiflora 'Samuel Summer' (Southern Magnolia)
Pinus canariensis (Canary Island Pine)
Pistacia chinensis (Chinese Pistache)
Platanus acerifolia (London Plane Tree)
Podocarpus gracilior (Fern Pine)
- Shrubs (5 gal. min.): Abelia grandiflora (Glossy Abelia)
Hemerocallis hybrids (Daylily)
Raphiolepis indica (India Hawthorn)
Bougainvillea spp. (Bougainvillea)
- Groundcovers: Cerastium tomentosum (Snow in Summer)
Fragaria chiloensis (Sand Strawberry)
Lantana montevidensis (Dwarf Lantana)
Oenothera berlandieri (Mexican Evening Primrose)
Myoporum parvifolium 'Putah Creek'
Trachelospermum jasminoides (Star Jasmine)
Verbena peruviana (Verbena)
Viburnum tinus (Laurustinus)

4.8.4 Project Entries

4.8.4.1 Secondary corner quadrants at the entry drive to **The Exchange** shall be special accent, which announce the arrival to the space and the theme of the Center. Flowering canopy trees along with larger scale background trees will be utilized at specific project entries to highlight and provide an entry gateway at project sites (Exhibit 4.8-A).

4.8.4.2 Recommended plant materials are as follows:

- Trees (24" box min.): Cassia leptophylla (Golden Medallion Tree)
Cinnamomum Camphora (Camphor Tree)
Jacaranda mimosifolia (Jacaranda)
Lagerstroemia indica (Crape Myrtle)
Phoenix Canariensis (Canary Island Date Palm)
Phoenix Dactylifera (Date Palm)
Pinus spp.
Pistacia chinensis (Chinese Pistache)

Schinus molle (California Pepper)
Washingtonia filifera (California Fan Palm)

Shrubs (5 gal min.): Baccharis pilularis (Dwarf Coyote Bush)
Ceanothus (Wild Lilac)
Cistus spp. (Rockrose)
Dietes Bicolor
Abelia grandiflora (Glossy Abelia)
Hemerocallis hybrids (Daylily)
Ligustrum japonicum 'Texanum' (Privet)
Phormium tenax (New Zealand Flax)
Raphiolepis indica (India Hawthorn)

Groundcovers: Cerastium tomentosum (Snow in Summer)
Frageria chiloensis (Sand Strawberry)
Hedera helix (English Ivy)
Hypericum calycinum (Creeping St. Johnswort)
Lonicera japonica (Japanese Honeysuckle)
Oenothera berlandieri (Mexican Evening Primrose)
Lantana montevidensis (Dwarf Lantana)
Myoporum parvifolium 'Putah Creek'
Trachelospermum jasminoides (Star Jasmine)
Verbena peruviana (Verbena)
Viburnum tinus (Laurustinus)

Vines (5 gal min.): Clytostoma callistegioides (Violet Trumpet Vine)
Gelsemium sempervirens (Carolina Jessamine)
Ficus pumila (Creeping Fig)

4.8.4.3 Special Paving

Specially enhanced paving shall be utilized at specific project entries, but shall not be a part of the public right-of-way. The special paving will highlight the entry by providing a visual and textural contrast to the surrounding paving materials.

Recommended materials: Textured and colored concrete

4.8.5 Project Edges

4.8.5.1 The objective of landscaping of this edge is to visually screen undesirable views and to create a sense of enclosure. The edge buffer shall consist of a dense, formal planting of trees in a minimum of five (5) foot landscape strip (Exhibit 4.8-A). This consistently landscaped edge will identify the boundaries of the Ontario Center and will provide buffer from the adjacent land-use activities. Permanent groundcover will be established under the trees.

4.8.5.2 Recommended plant materials for typical edge buffers are as follows:

Trees (24" box min.): Brachychiton acerifolia (Flame Tree)
Pinus canariensis (Canary Island Pine)
Tristania conferta (Brisbane Box)

Shrubs (5 gal. min.): Abelia grandiflora (Glossy Abelia)
Hemerocallis hybrids (Daylily)
Raphiolepis indica (India Hawthorn)
Liriope muscari (Big Blue Lily Turf)

Groundcover: Lantana montevidensis (Dwarf Lantana)
Lonicera japonica 'Halliana' (Hall's Honeysuckle)
Viburnum tinus (Laurustinus)

Vines (5 gal. min.) Clytostoma callistegioides (Violet Trumpet Vine)
Gelsemium sempervirens (Carolina Jessamine)
Ficus pumila (Creeping Fig)

4.8.6 Internal Roadways

4.8.6.1 To provide a unifying element within the project boundaries, the following streetscape guidelines shall be implemented. Major circulation roadways in the Ontario Center shall be landscaped in a formal urban arrangement. These roadways shall be laced with consistent tree specie to identify roadways as the primary circulation feature, to create interest and give strong sense of direction.

All roadways shall maintain a minimum of 5-foot landscape strip between the curb and parking or building edge. These strips of areas shall be planted with formal shrub rows along the parking lot edges.

4.8.6.2 Recommended plant materials are as follows:

Trees (24" box min.): Brachychiton acerifolia (Flame Tree)
Tristania conferta (Brisbane Box)
Washingtonia filifera (California Fan Palm)

Shrubs (5 gal. min.): Calliandra hematocephala (Pink Powder Puff)
Ceratostigma abyssinicum (Plumbago)
Pennisetum setaceum 'Cupressus' (Fountain Grass)
Dodonaea viscosa (Hopseed Bush)
Diets vegeta (Fortnight Lily)
Ilex vomitoria (Yaupon)
Raphiolepis indica (India Hawthorn)
Strelitzia nicolai (Giant Bird of Paradise)
Viburnum tinus (Laurustinus)

Groundcovers: Fragaria chiloensis (Sand Strawberry)
Rosmarinus officinalis 'Prostratus' (Dwarf Rosemary)
Trachelospermum jasminoides (Star Jasmine)
Verbena peruviana (Verbena)

4.8.7 On-Site Landscaping

4.8.7.1 In addition to the selections previously specified, the following trees, shrubs, groundcovers and turf shall be incorporated into the site where appropriate (Exhibit 4.6-A). Alternative choices are subject to Site Plan approval. Developers shall have the option to incorporate materials other than what are listed below; however this will be subject to the approval of the City of Ontario.

g. Building Entrances

Entrances to the building will be accented with enhanced concrete paving as well as densely planted shrubs, annual and perennial colors and accent trees in larger sizes (36"-48" box), while maintaining visibility to users (Exhibit 4.7-A).

4.8.8 Parking Lots

4.8.8.1 All open parking area and their adjacent vehicular access ways shall incorporate landscaping, which may be comprised of trees, shrubs and groundcovers. Landscaping shall include at least one (1) 24" Box shade tree per 10 parking stalls in open parking area and vehicular access way. Planting areas shall be a minimum of 5'x5' diamond shaped (Exhibit 4.7-B).

4.8.8.2 Recommended parking lot trees are as follows:

Cassia leptophylla (Golden Medallion Tree)
Cupaniopsis anacardioides (Carrot Wood)
Koelreuteria bipinnata (Chinese Flame Tree)
Podocarpus gracilior (Fern Pine)
Rhus lancea (African Sumac)
Tipuana tipu (Tipu Tree)
Tristania conferta (Brisbane Box)

4.8.8.3 Landscape Planter Installation

Any landscaped area shall be separated from an adjacent vehicular area by a wall or curb.

4.8.9 Tree Planting

Trees shall be planted to enhance the identity of architecture and sense of place, at the same time accenting the entrance to the building, complementing the perimeter, and providing shading in parking lots. They shall be planted at a minimum of 24" Box container size.

Brachychiton acerifolia (Flame Tree)
Cinnamomum camphora (Camphor Tree)
Jacaranda mimosifolia (Jacaranda)
Koelreuteria bipinnata (Chinese Flame Tree)
Magnolia grandiflora (Southern Magnolia)
Pinus canariensis (Canary Island Pine)
Pistacia chinensis (Chinese Pistache)
Podocarpus gracilior (Fern Pine)
Tristania conferta (Brisbane Box)
Washingtonia filifera (California Fan Palm) Skinned 25' to 30' b.t.h.

4.8.10 Shrub Planting

Shrubs shall be used for screening of parking areas and for special effects at building entrances, building perimeter and parking lot islands and planting strips. Shrubs of similar species shall be used in large masses to avoid spotty and disconnected ground plane. They shall be planted at minimum rate of one per 16 square-feet, and shrub planting shall be minimum 5 gallon size materials. Vines may be used in place of tall hedge to screen trash enclosure and utility equipment. They shall be of minimum 5 gallon container.

Abelia grandiflora (Glossy Abelia)
Baccharis pilularis (Dwarf Coyote Bush)
Bougainvillea spp. (Bougainvillea)
Calliandra hematocephala (Pink Powder Puff)
Dietes vegeta (Fortnight Lily)
Dodonaea viscosa (Hopseed Bush)
Hemerocallis hybrids (Daylily)
Ilex vomitoria (Youpon)
Pennisetum setaceum 'Cupressus' (Fountain Grass)
Raphiolepis indica (Indina Hawthorn)
Strelitzia nicolai (Giant Bird of Paradise)
Viburnum tinus (Laurustinus)

4.8.11 Groundcover Planting

For use in planting beds to complement turf area, groundcovers shall be of types that are easy to maintain. Groundcovers shall be planted at maximum spacing of 12" on center from flats or larger.

Fragaria chiloensis (Sand Strawberry)
Lantana montevidensis (Dwarf Lantana)
Rosmarinus officinalis (Dwarf Rosemary)
Trachelospermum jasminoides (Star Jasmine)
Verbena peruviana (Verbena)
Cerastium tomentosum (Snow in Summer)
Oenothera berlandieri (Mexican Evening Primrose)
Myoporum parvifolium 'Putah Creek'
Turf-type Tall Fescue

4.8.12 Vines

For use in planting beds in place of tall hedge to screen trash enclosure and utility equipment. They shall be of minimum 5 gallon container.

Clytostoma callistegioides (Violet Trumpet Vine)
Gelsemium sempervirens (Carolina Jessamine)
Ficus pumila (Creeping Fig)

4.8.13 Hardscape Design Elements

Hardscape design elements shall be incorporated into the overall design scheme for plaza, courtyard or transitional spaces within **The Exchange**. Hardscape elements will function as visual and physical connection between buildings, buildings and landscape materials within the project area in a coordinated and consistent manner. The elements, which are depicted in the following exhibits, shall include but may not be limited to the following:

Light fixtures
Bollards
Benches
Trash receptacles
Planter pots
Signage

4.8.14 Installation and Maintenance

4.8.14.1 Water

Permanent automatic irrigation facilities shall be provided for all landscape areas. This system may be augmented by drought-resistant vegetation.

4.8.14.2 Maintenance

All landscaping shall be permanently maintained in neat, clean and healthful condition.