



City of Ontario
 Planning Department
 303 East B Street
 Ontario, California 91764
 Phone: 909.395.2036
 Fax: 909.395.2420

Sign Program Application Form



GENERAL INFORMATION

Business: RELIABLE PROPERTIES
 Address: 6420 WILSHIRE BLVD. SUITE 1500
LOS ANGELES, CA 90048
 Phone: (323) 653-3777
 Email: EDDY@RELIABLEPROP.COM
 Business License No. _____ Exp. Date: _____

Applicant: RELIABLE PROPERTIES
 Address: 6420 WILSHIRE BLVD. SUITE 1500
LOS ANGELES, CA 90048
 Phone: (323) 653-3777 Email: EDDY@RELIABLEPROP.COM

Applicant's Representative: EDDY SUTIONO
 Address: SAME AS ABOVE
 Phone: _____ Email: _____

For Staff Use Only

File No.: PS6N17-004
 Related Files: PDEV16-025

Submitted: 6.12.17
 Rec'd By: JN + DC
 Fees Paid: \$ 1225.00
 Cash Check (# 33340)
 Credit Card
 Receipt No.: 282144

Action:
 Approved Denied
 By: [Signature]
 Date: 12/22/2017

PROJECT INFORMATION

Address: 1305 EAST 4TH ST. ONTARIO, CA 91764
 Assessor Parcel No(s): 0108-381-05
 Development Name: 1305 EAST 4TH STREET
 Zone: CN

Is the project site located within the Downtown District? Yes No

Note: The Downtown District is bordered by "I" Street on the north, Vine Avenue on the west, railroad tracks (immediately south of Emporia Street) on the south, and Sultana Avenue on the east.

DEVIATIONS FROM PROPOSED SIGN STANDARDS

A Sign Program may allow certain minor deviations from prescribed sign standards, limited to: [a] a 20 percent increase in maximum sign area, [b] an increase in the maximum total number of signs allowed, and [c] the use of decorative exposed neon. The Planning Director may approve such deviations, provided the below-listed findings are clearly established.


1. The Plan's contribution to the overall design quality of the site and the surrounding area will be superior to the quality that would otherwise result under regulations normally applicable to the site;
2. The proposed signs are compatible with the style or character of existing improvements on the site and are well-related to each other; and
3. Any deviations from the prescribed sign standards are fully consistent with the purposes of the Development Code.

Attach to this application form, a description of all requested deviations, and the reasons supporting each of the above-listed findings. Failure to clearly establish each finding will result in denial of the deviation request.

APPLICANT AFFIDAVIT


I, the undersigned, certify and say that I am the applicant in the foregoing application, that I have read the foregoing application and know the content thereof, and state that the same is true and correct to the best of my knowledge and belief.

Furthermore, I hereby agree to defend, indemnify, and hold harmless the City of Ontario or its agents, officers, and employees, from any claim, action or proceeding against the City of Ontario or its agents, officers or employees, to attack, set aside, void, or annul any approval by the City of Ontario, whether by its City Council, Planning Commission, or other authorized board or officer, as it pertains to this application. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

Date: 6/8/2017 Signature: 
Name (print or type): EDDY SUTIONO

PROPERTY OWNER OR APPROVING AGENT ACKNOWLEDGEMENT

I, the undersigned, certify and say that I am the owner, approving agent, for the property in the foregoing application, that I have read the foregoing application and know the content thereof, and agree to the filing of this application with the City of Ontario.

Date: 6/8/2017 Signature: 
Name (print or type): JACK NOURAFSHIAN
Address: 6420 WILSHIRE BLVD. SUITE 1500
LOS ANGELES, CA 90048
Phone: (323) 653-3777

1305 East 4th Street Shop Building

ONTARIO, CALIFORNIA

SIGN PROGRAM

PSGP17-004

PROJECT LOCATION:

1305 East 4th Street, Ontario, CA 91764

PSGN17-004

City of Ontario
PLANNING DEPARTMENT
APPROVED

SUBJECT TO CONDITIONS
NEC OF FOURTH & GROVE
RELATED FILE: PDEV16-025

Approved By: *[Signature]* Date: 12/22/17

PREPARED BY:



RELIABLE PROPERTIES

6420 Wilshire Blvd., Ste. #1500
Los Angeles, CA 90048
Phone: (323) 653-3777
Fax: (323) 651-4011

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PROJECT INFORMATION:

CONTACTS:

LANDLORD:

Reliable Properties
6420 Wilshire Blvd. #1500
Los Angeles, CA 90048
Contact: Eddy Sutiono
Phone: (323) 653-3777 Ext.162
Fax: (323) 651-4011

CITY PLANNING

City of Ontario Planning Department
303 East B Street
Ontario, CA 91764
Contact: Ontario Planning Department
Phone: (909) 395-2036
Fax: (909) 395-2420

Purpose & Intent

The following criteria have been established for the purpose of assuring a consistent sign design program for the mutual benefits of all Tenants. Flexibility of design is encouraged, yet at the same time, overall visually harmony needs to be maintained. Conformity with these criteria will be enforced by the Landlord and the City of Ontario. Any sign that is non-conforming or unapproved will be brought into conformity at the expense of the Tenant.

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Tenant Signage Submittals & Approvals

There is a formal process for the development, review, and approval of business identification signs at this Shopping Center. All Tenant signage is subject to the Landlord's written approval. Approval will be granted based upon the following:

1. Design, fabrication, and method of installation of ALL signs shall conform to this sign program.
2. Proposed signage is in harmony with approved Sign Program.

A. Submittal To Owner:

Tenant shall submit three (3) copies of detailed shop drawings to Landlord for approval prior to City submittal or sign fabrication. Sign drawings are to be prepared by a sign contractor with a Class C-45 California state contractor license. All signs must conform to the City Requirements of the City's Planning & Building Departments, and this Sign Program.

Submittals shall include the following:

Front Elevations:

Scaled elevations of Tenant's sign depicting the proposed sign design and all the dimensions as they relate to the Tenant's sign.

Shop Drawings:

Fully dimensioned and scaled shop drawings specifying exact dimensions, copy layout, type styles, materials, colors, means of attachment, Illumination, electrical specifications, and all other details of construction.

Site Plan:

Fully dimensioned and scaled site plan specifying sign location(s) and setbacks.

B. Submittal To City:

Three (3) full sets of plans must be approved by Landlord prior to permit application. Tenant shall handle the city submission and will be responsible for completion of all appropriate applications, payment of any fees and acquisitions of all applicable Planning & Building Department permits.

C. Tenant's Responsibility:

1. All Sign Contractors must be fully Insured by an admitted insurance carrier for the total aggregate amount of One Million Dollars (1,000,000) and provide proof of insurance acceptable to the Landlord. Landlord must received the Sign Contractor's Certificate of Insurance naming Landlord as an Additional insured prior to installation.

2. The Landlord may, at his discretion and at the Tenant's expense, correct, replace, or remove any sign that is installed without written approval.

3. Tenant shall be responsible for the following expenses relating to the signage at his or her building:

- 100% of approval and permit processing costs and application fees.
- 100% of costs for sign fabrication and installation.
- All costs relating to sign removal, including repair of any damage to the building.
- Tenant to provide wiring, Power, and final hook up from Landlord's house panel to J-box.

Tenant Signage Design Guidelines

The purpose of establishing these designs guidelines is to ensure that each Tenant sign will contribute to the center's success. High quality signage, which reflects the integrity of the architecture, is required. Tenant individual signs should incorporate a diversity of sign styles, icons, and materials.

A. Materials

Tenant signage should incorporate the following acceptable materials subject or City approvals.

- All tenant signs shall consist of individual channel letters and/or logos.
- Approved signs to be fabricated from minimum .063 aluminum pan channel construction.
- Illumination to be LED.

B. Illumination

Tenant signage should incorporate one or more of the following Lighting methods subject to Landlord and City approval:

- Reverse/Halo illumination
- Silhouette illumination
- Fiber optics
- Individually internal L.E.D. illumination

C. Sign Colors and Finishes

All tenants color must be approved by the Landlord, Governing Agencies and City prior to fabrication. To assist in achieving a harmonious blend of colors throughout the center, the following guidelines are to be adhered to:

- Sign colors should be selected to provide sufficient contrast against building background colors and be compatible with them.
- Colors within each sign should be compatible with existing building colors.

D. Typestyles and Logos

The use of logos and distinctive typestyles are encouraged for all Tenant signs. Tenants may adapt established typestyles and logos. Logos are permitted and must be architecturally compatible with the building elevations and approved by Landlord. Registered trademark logos must be submitted with a clear description of the logos or trademark.

E. Sizes and Quantities

Sizes and quantities for tenant signs shall be outlined in this criteria for each sign type. Notwithstanding, the maximum square footage specified for copy area allowances, adequate amounts of visual open space shall be provided around wall signs so that they appear balanced and in scale in relation to their backgrounds and building elevation.

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Tenant Signage Fabrication Requirements

Fabrication and installation of all signs shall be subject to the following restrictions:

A. All signs shall be fabricated and installed with UL approved components and be in compliance with all building and electrical codes.

B. All signs shall be fabricated and installed with no visible screws, seams, rivets, or fastening devices.

C. Signs shall be made of durable rust inhibited materials that are appropriate and complementary to the building.

D. Sign manufacturer shall supply a UL label in an inconspicuous location.

E. Paint colors and finishes must be reviewed and approved by the Landlord.

F. Neon tubing and Fluorescent lamps are not permitted.

G. Letter faces shall be attached to returns using a continuous weld. Light leaks between face and returns will not be permitted.

H. Letters shall be installed pin-mounted using threaded rods or anchor bolts. Spacers shall be non-corrosive, and painted to match building color. All bolts and mounting devices shall consist of porcelain finished iron, stainless steel, aluminum or carbon bearing steel with painted finish. Angle clips attached to letter sides will not be permitted.

I. All sign finishes shall be free of dust, orange peel, drips, and runs. Finishes should have uniform coverage and be of the highest quality.

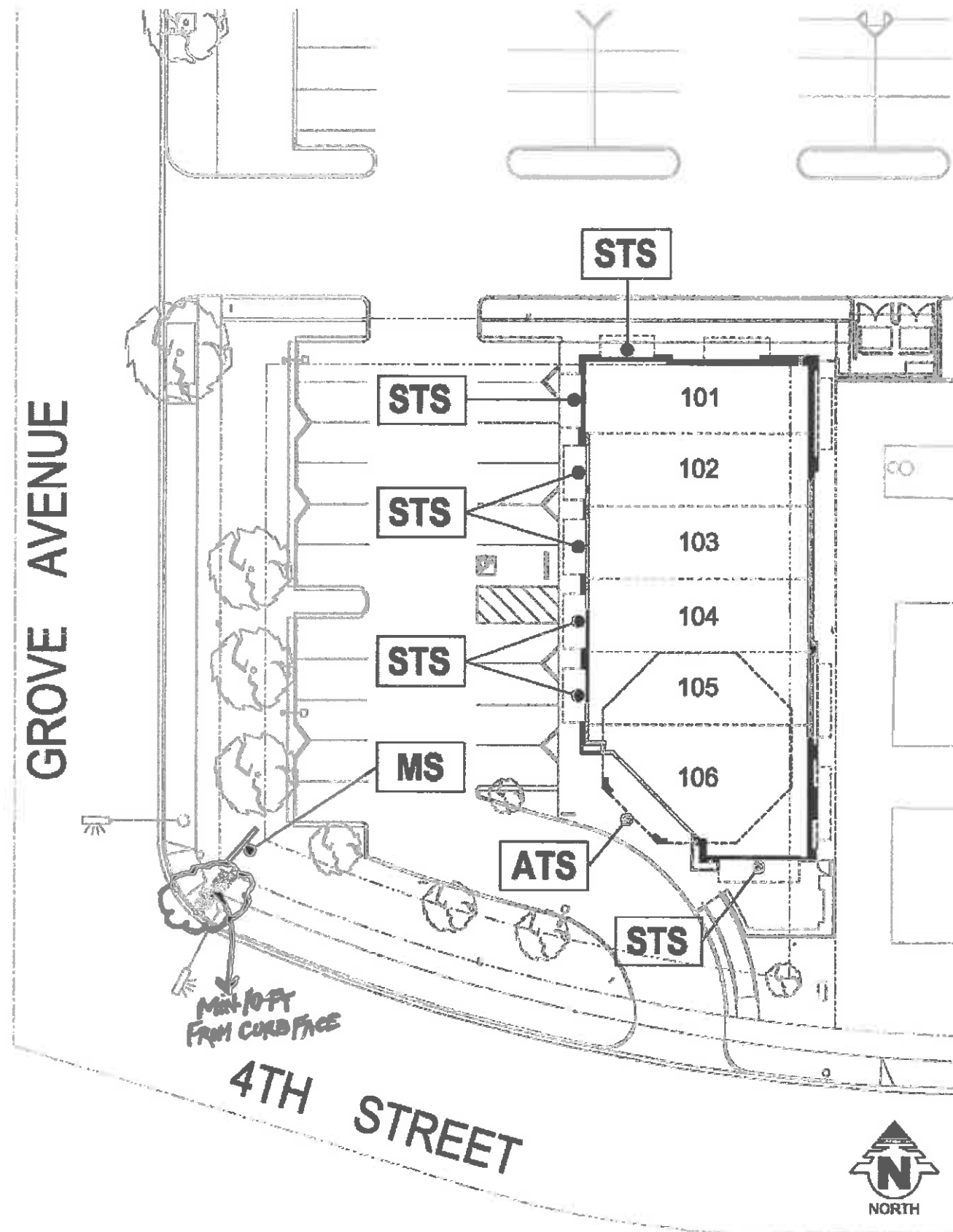
J. Electrical raceways shall not extend beyond the outside edges of the sign copy and shall be painted to match the color of the background on which they are placed.

Prohibited Tenant Signs

The following signs are prohibited by the Landlord, pursuant to the prohibited signs section of the City of Ontario Development Code:

- Temporary wall signs, pennants, flags, banners, inflatable displays, or sandwich boards unless specifically approved by Landlord and subject to City approval.
- Exposed junction boxes, transformers, lamps, tubing, conduits, raceways, or neon crossovers of any type (except for interior of space).
- Pre-manufactured signs, such as franchise signs, subject to Landlord and City approval.
- Paper, cardboard or Styrofoam signs, stickers, or decals hung around, on, or behind window and/or storefront shall be limited to a maximum twenty five percent (25%) of the glass area to allow visibility into the establishment for security purposes.
- Exposed fastenings, unless fastenings make an intentional statement.
- Animated lights or other "moving" sign components.
- Rooftop signs, signs projecting above roof lines or parapets.
- Advertising or promotional signs on parked vehicles.
- Cabinet, canister (can) signs.
- All other signs listed under Section 8-01.015: Prohibited Signs of the Ontario Development Code.

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NOTES:

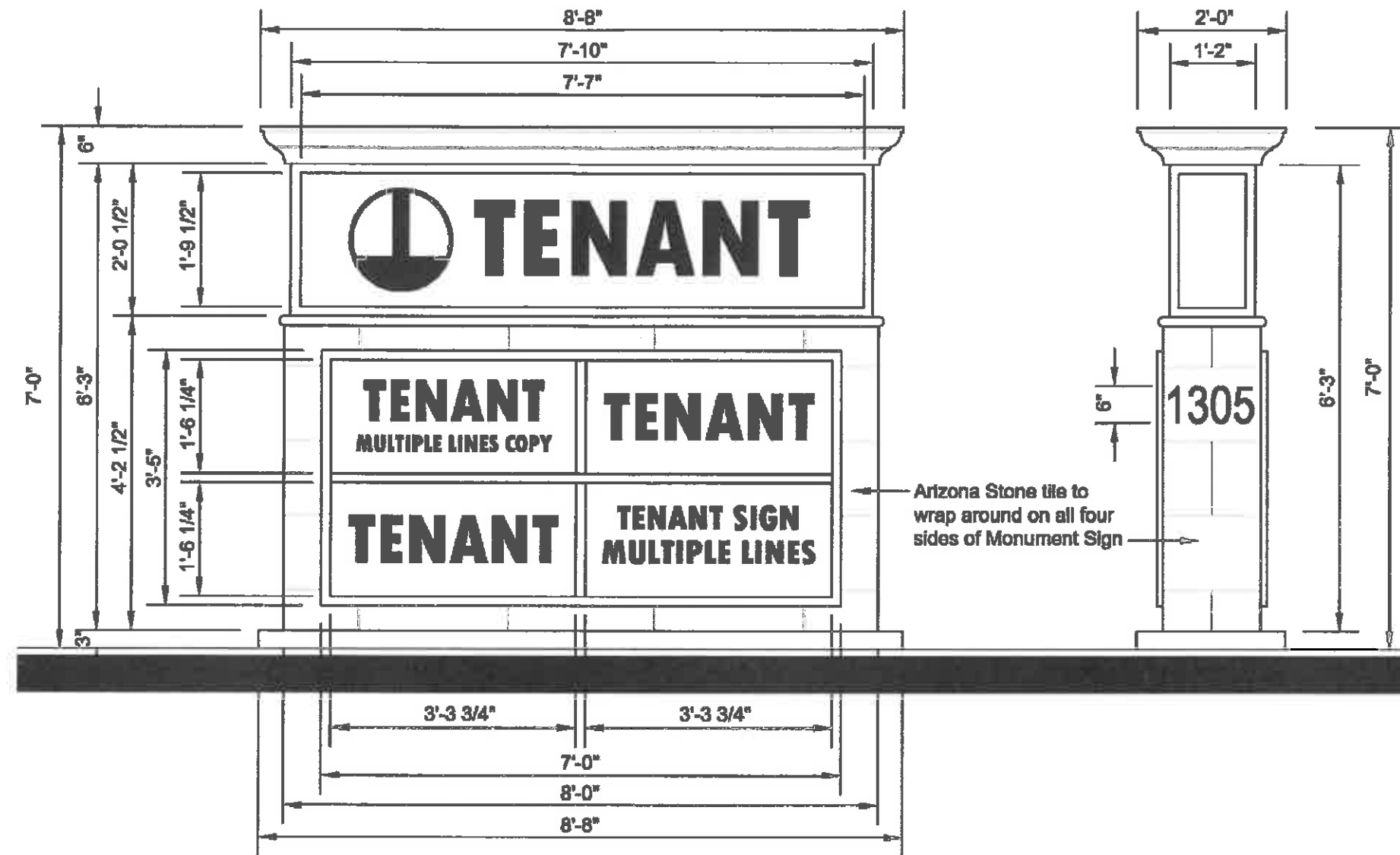
- Tenants located on the corner of the building (Suite 101 & 106) are allowed maximum two wall signs, one per building elevation.
- All other Tenants are allowed one wall sign per building elevation.
- Monument sign shall be located at least 10-feet set back from face of curb.

1305 E. 4th Street		
STS	ATS	SQ. FT.
101		824 S.F.
102		800 S.F.
103		800 S.F.
104		800 S.F.
105		800 S.F.
	106	1,064 S.F.

SIGN INVENTORY:

- STS** Shop Tenant Sign Location (500 S.F. - 999 S.F.)
- ATS** Anchor Tenant Sign Location (1,000 S.F. - 5,999 S.F.)
- MS** Monument Sign Location

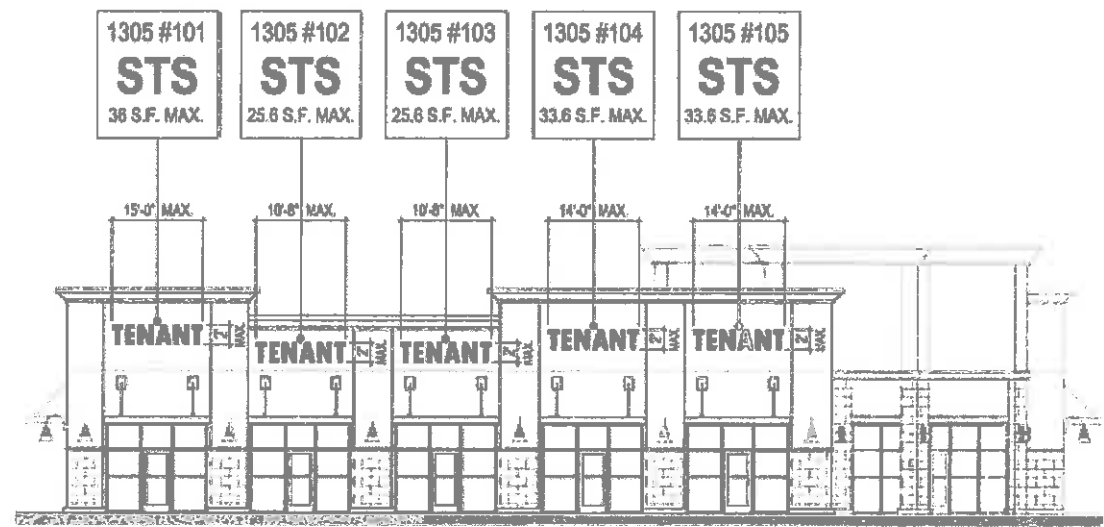
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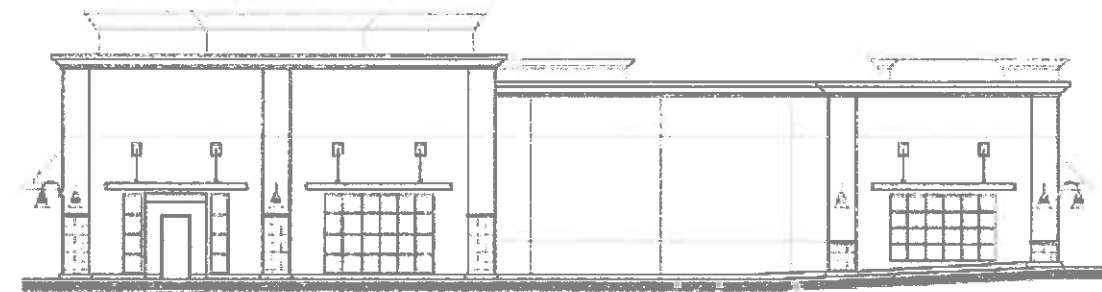
MS Monument Sign

- Quantity:** One (1) double face internal illuminated monument sign located at southeastern landscape area of the parcel.
- Main/Tenant Face:** .080 aluminum face painted PPG12-04 "Bulletin Board" to match building color with routed out copy.
- Main/Tenant Copy:** 1/2" thick push through clear acrylic with color vinyl overlay.
- Retainers:** 1 1/2" x 1 1/2" aluminum painted PPG12-04 "Bulletin Board" to match.
- Divider Bars** 1 1/2" aluminum divider bars painted PPG12-04 "Bulletin Board" to match.
- Cornice:** Prefabricated aluminum cornice painted PPG1099-2 "Vanilla Love" to match building's cornice color.
- Tile:** Arizona Stone with staggered running joints bond by Porcelanosa.
- Illumination:** Internally illuminated with flourescent lamps or L.E.D. illumination.
- Typeface:** Helvetica Medium or Recognized Tenant Logo.
- Address #:** 1/4" thick clear acrylic painted black mounted to tile with VHB tape and silicone on both sides.

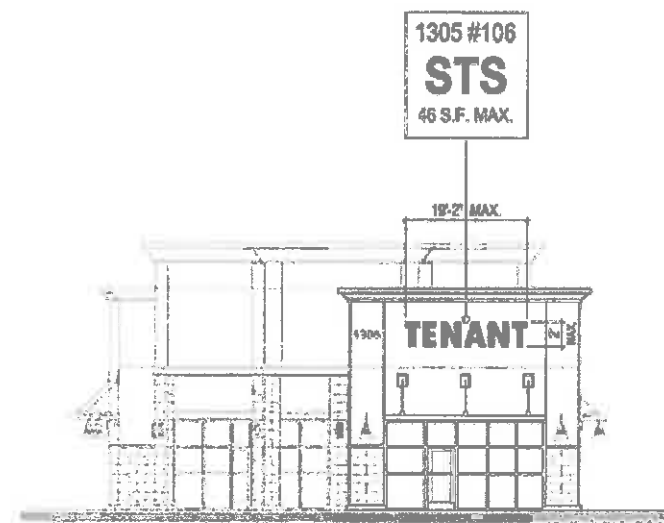
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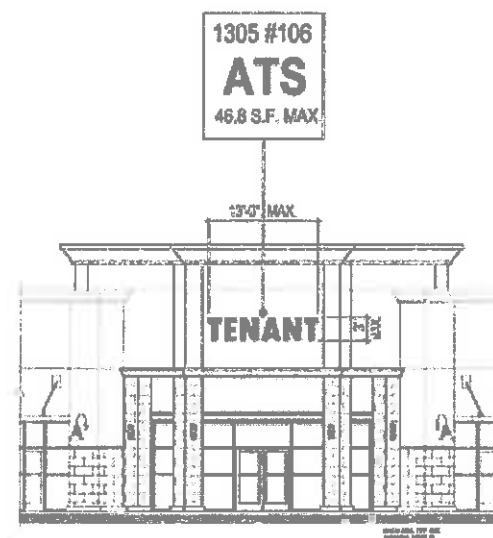
EXTERIOR ELEVATION - WEST (FACING GROVE AVENUE)



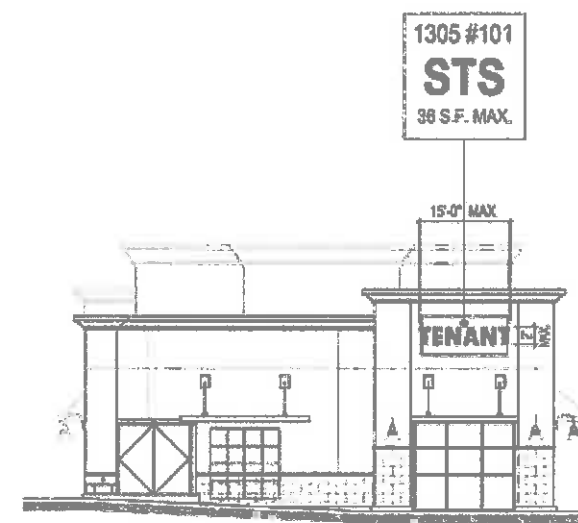
EXTERIOR ELEVATION - EAST (REAR)



EXTERIOR ELEVATION - SOUTH (FACING 4TH STREET)



EXTERIOR ELEVATION - SOUTHWEST



EXTERIOR ELEVATION - NORTH (LEFT SIDE)

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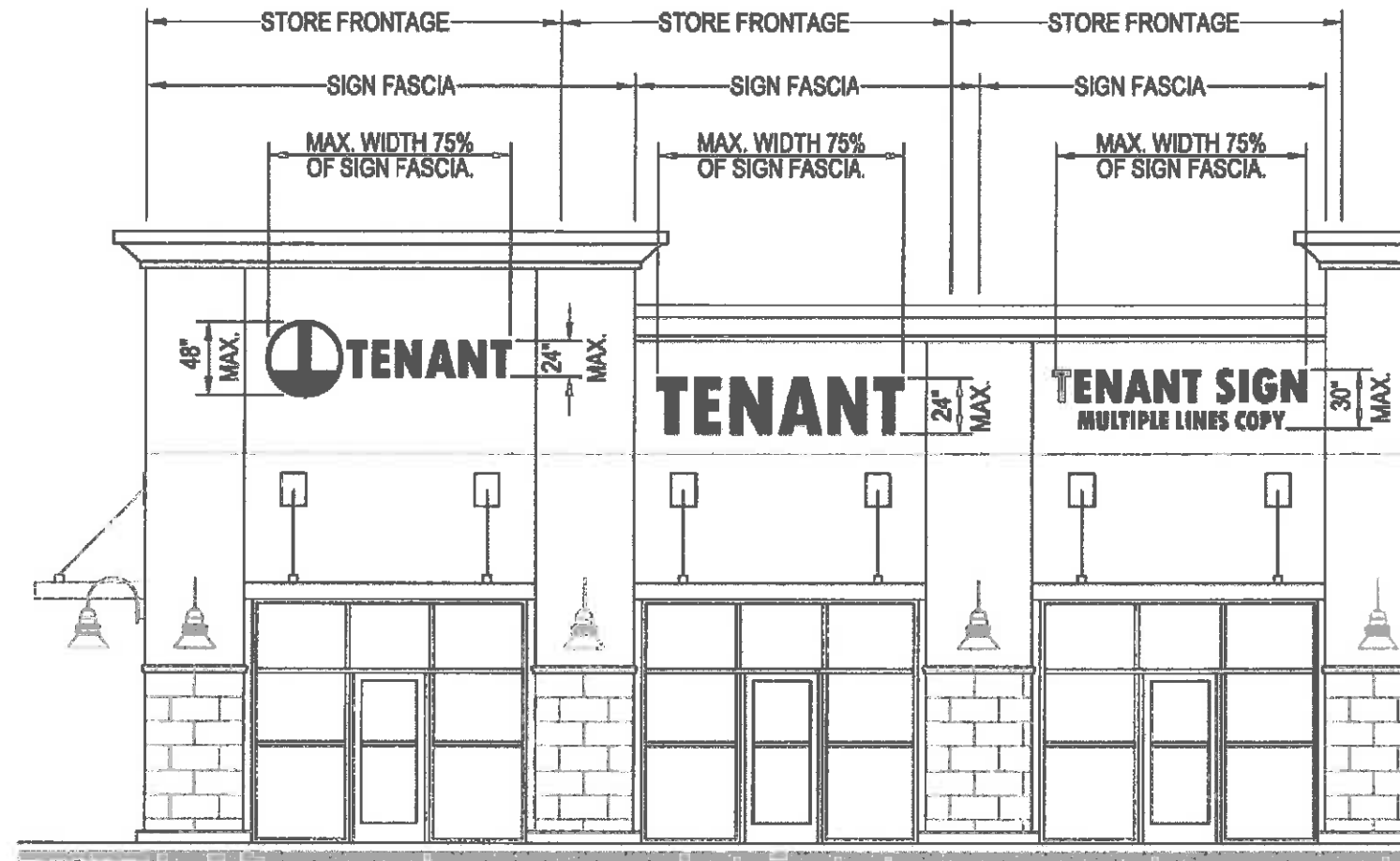


TYPICAL ANCHOR TENANT WALL ELEVATION

ATS Anchor Tenant Signage

Materials:	Tenant signage to consist of individual channel letters and optional logo fabricated from min. 0.050 aluminum with 3/16" translucent pigmented acrylic faces. (See Design Guidelines, Page 1.4)
Allowable Sign Area:	The surface area of sign shall be maximum of 1.5 sq. ft. per linear foot of lease store frontage.
Allowable Sign Location:	Tenant at building corner lease space can have maximum of two building wall signs, one wall sign per frontage.
Sign Height:	Maximum alphanumeric characters height shall not exceed 36", maximum signs with multiple lines of copy shall not exceed 30" and maximum logos/icons height shall not exceed 48".
Sign Length:	Maximum of 75% of width of leasable store frontage, per each Tenant.
Colors:	Tenant's choice, with Owner approval.
Typeface:	Tenant's choice, with Owner approval.
Illumination:	Channel letter & logo must be individual internally illuminated LED or indirectly illuminated by means of internal LED casting light back onto the building fascia through a clear acrylic back lense (known as "halo" illumination).
Installation:	Flush to wall, with transformers located remotely.

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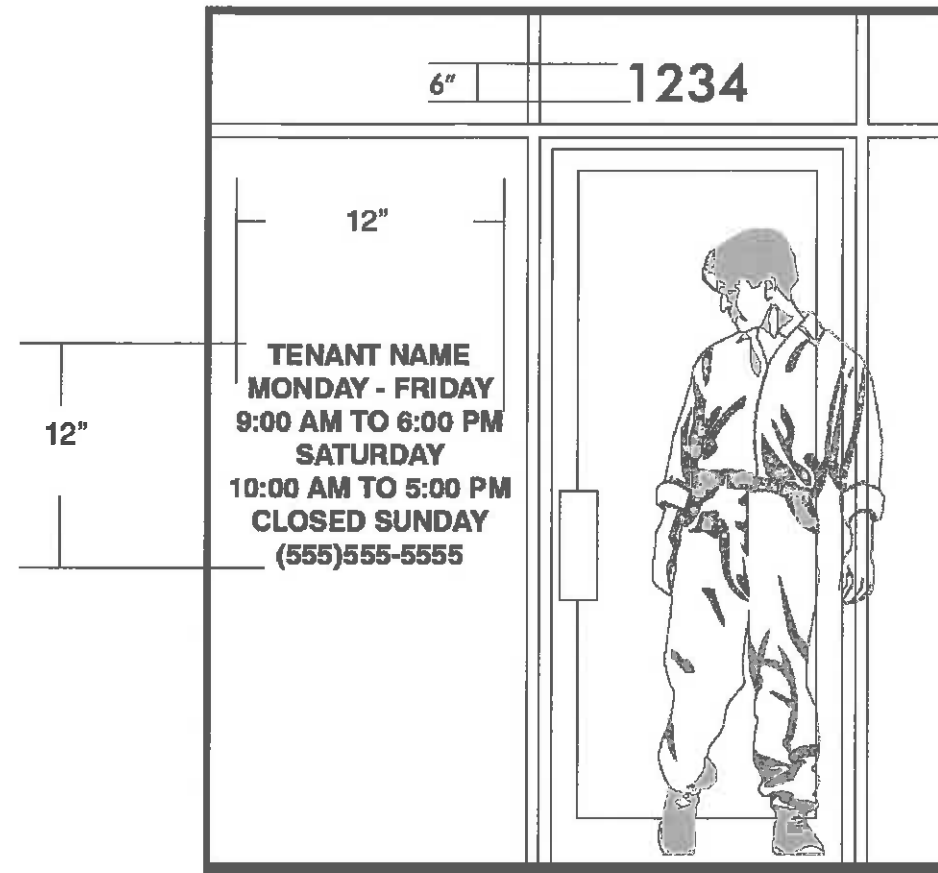


TYPICAL SHOP TENANT WALL ELEVATION

STS Shop Tenant Signage

Materials:	Tenant signage to consist of individual channel letters and optional logo fabricated from min. 0.050 aluminum with 3/16" translucent pigmented acrylic faces. (See Design Guidelines, Page 1.4)
Allowable Sign Area:	The surface area of sign shall be maximum of 1.5 sq. ft. per linear foot of lease store frontage or sign fascia.
Allowable Sign Location:	Tenant at building corner lease space can have maximum of two building wall signs, one wall sign per frontage.
Sign Height:	Maximum alphanumeric characters height shall not exceed 24", maximum signs with multiple lines of copy shall not exceed 30" and maximum logos/icons height shall not exceed 48" (see Exhibit C building elevations on page 4.1).
Sign Length:	Maximum of 75% of width of leasable store frontage, per each Tenant.
Colors:	Tenant's choice, with Owner approval.
Typeface:	Tenant's choice, with Owner approval.
Illumination:	Channel letter & logo must be individual internally illuminated LED or indirectly illuminated by means of internal LED casting light back onto the building fascia through a clear acrylic back lense (known as "halo" illumination).
Installation:	Flush to wall, with transformers located remotely.

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TYPICAL FRONT DOOR ELEVATION

WG Window Graphics

Materials: Matte white vinyl letters on window glass.

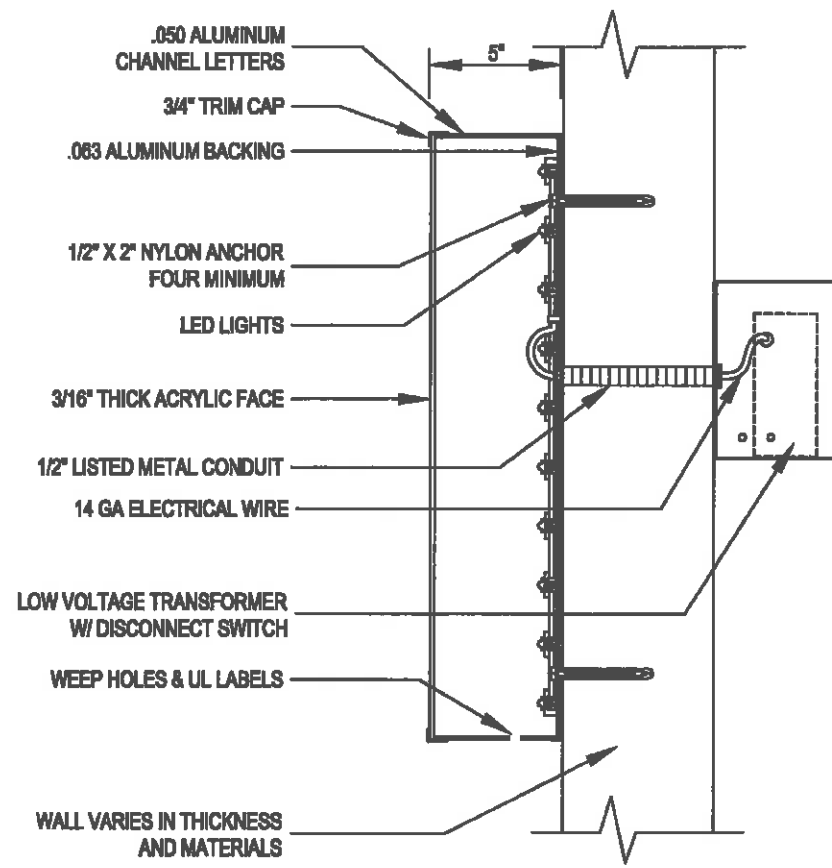
Allowable Sign Area: 8" high suite identification letters. Tenant information to have a maximum area of 12" X 12" = 144 sq. inches. Total window signage should not exceed 25% of individual window area.

Typeface: Futura medium or Landlord approved type face.

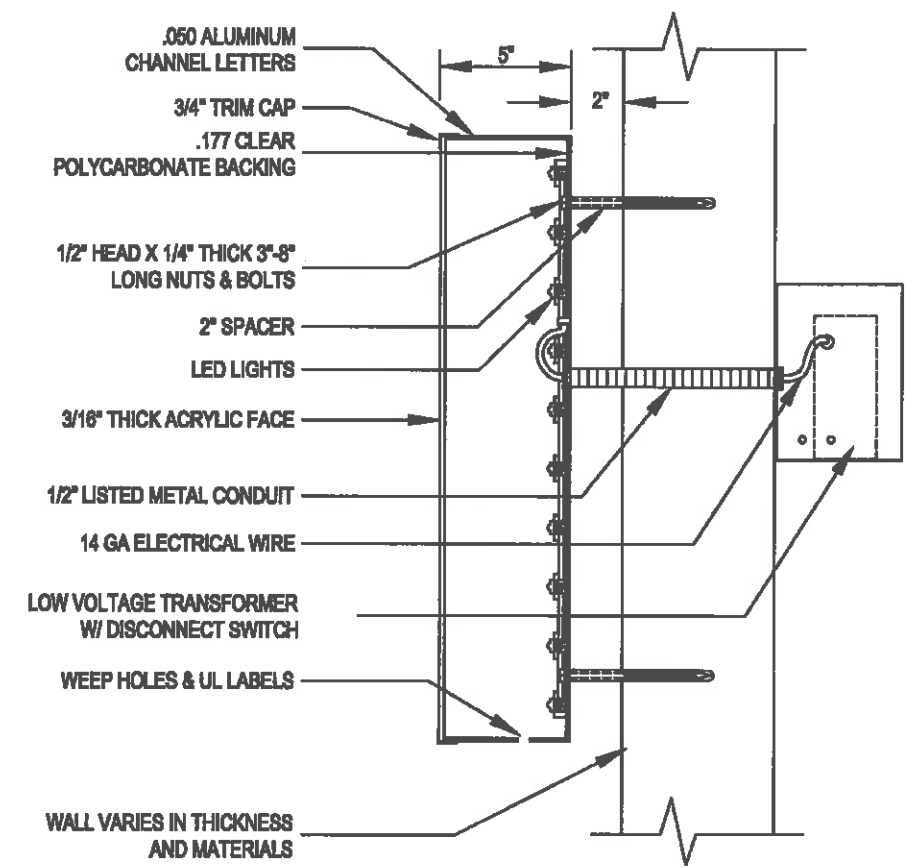
Color: White

Store advertising & neon sign on window are subject to Landlord approval.

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FRONT LIT CHANNEL LETTERS



FRONT & BACK LIT CHANNEL LETTERS

PRIMARY POWER TO BE PROVIDED WITHIN (5) FEET OF EACH SIGN LOCATION. ELECTRICAL REQUIREMENTS ARE (1) 20 AMP 120 V CIRCUIT PER SIGN.

ALL COMPONENTS -UL APPROVED

PSGP17-004