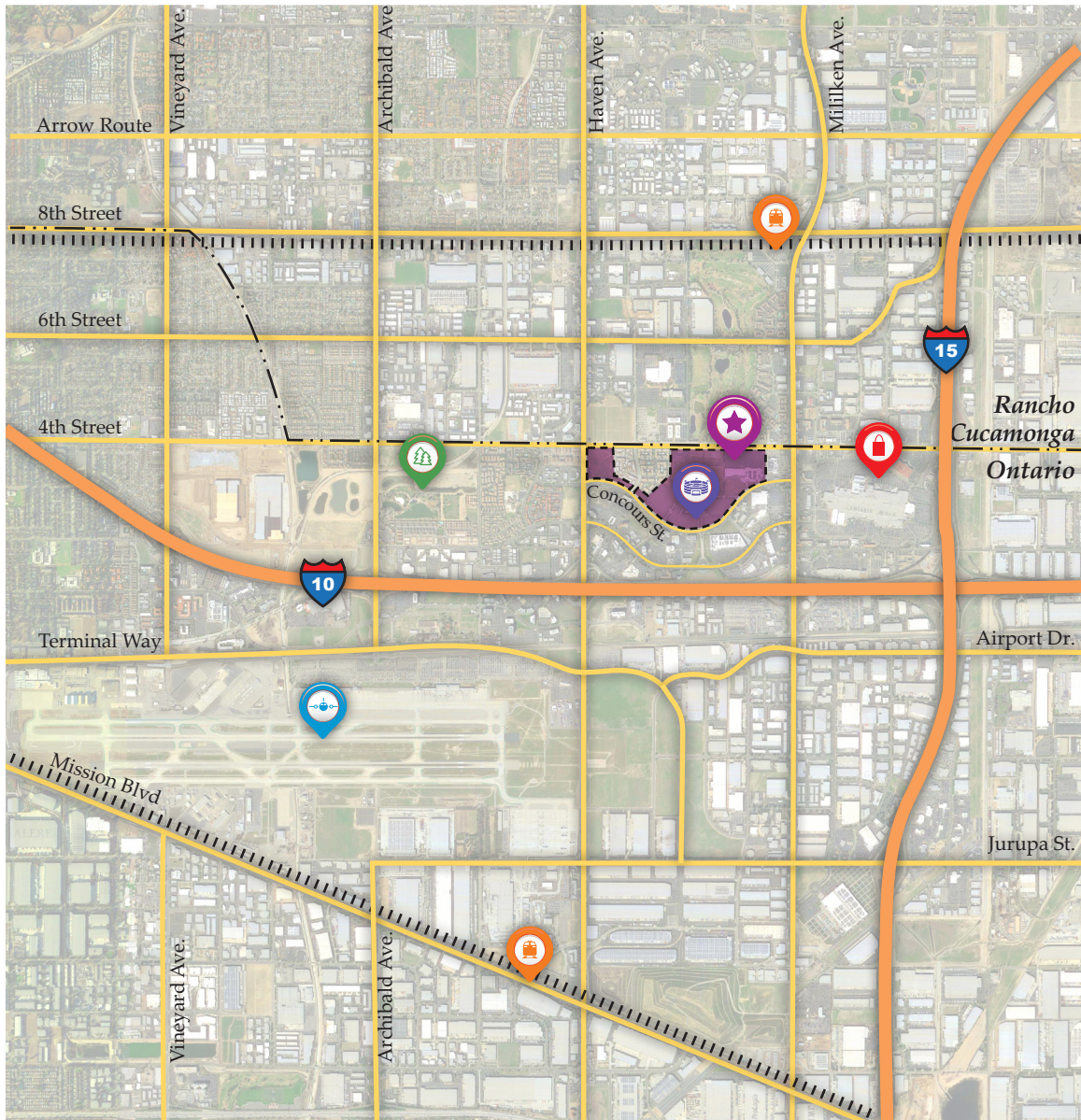


1.2 PURPOSE AND OBJECTIVES

The purpose of the Piemonte Overlay is to define the range of permitted uses, development regulations, requirements, and design guidelines for development within the Overlay area described below, to accomplish the following objectives:

- Provide design and development standards responding to, and reflecting, the urban characteristic elements of the Piemonte at Ontario Center;
- Implement a mix of related and mutually-supporting land uses at development intensities no greater than those identified for the OCSP;
- Provide for the orderly and master planned development of land uses within the OCSP, ensuring development of economically viable development proposals;
- Ensure development of the Piemonte Overlay area is consistent with the Ontario Plan (TOP) policies, objectives, and implementation programs;
- Provide the City of Ontario with standards for evaluation of individual development proposals within the Piemonte Overlay.



Legend











	Piemonte Overlay area		Cucamonga-Guasti Regional Park
	Site		Arena
	Ontario Mills Mall		Interstate 10 Freeway
	Metrolink Station		Interstate 15 Freeway
	Ontario International Airport		NTS

Figure 1.2: Overlay Vicinity

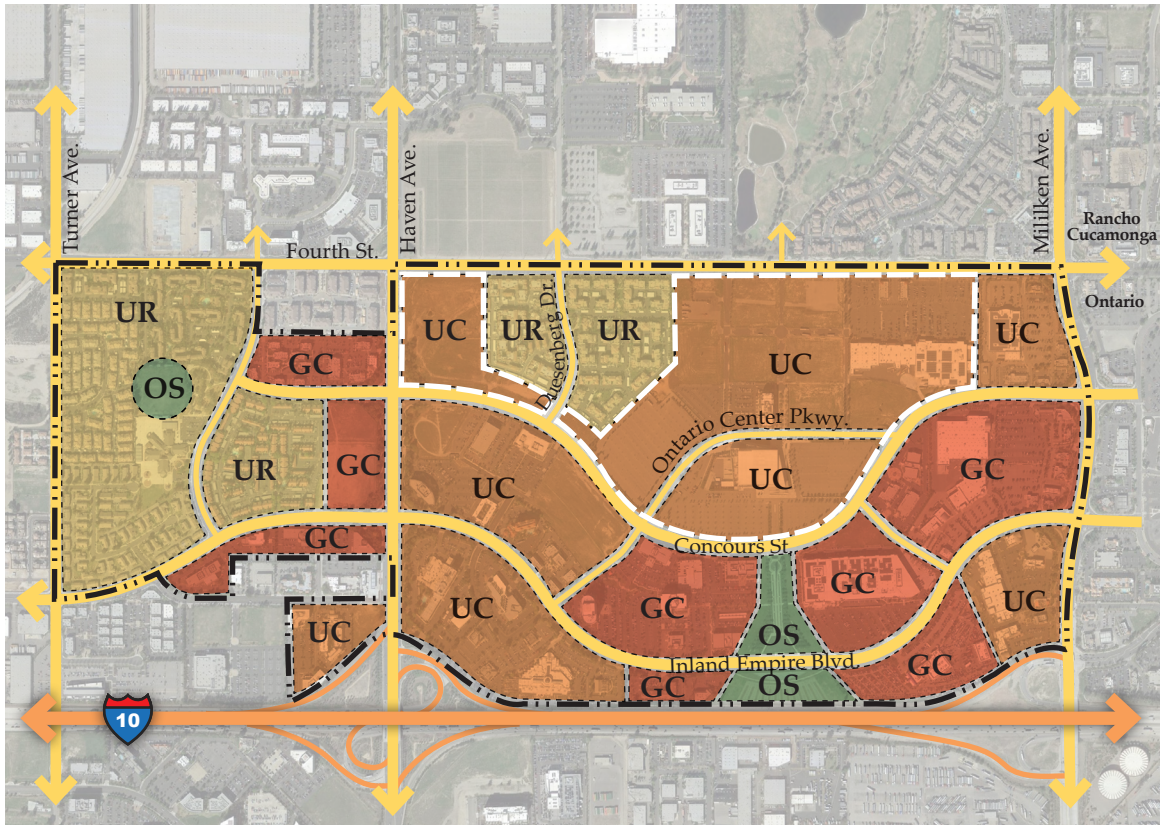
1.3 BACKGROUND

The City of Ontario approved the OCSP in August 1981. The OCSP, as originally approved, allowed for up to 1,530 residential units, close to seven (7) million square feet of commercial development, and nearly two (2) million square feet of industrial uses on approximately 600 acres. Several amendments to the OCSP, along with appropriate environmental review, have been approved by the City since its initial approval. Refer to Figure 1.3: OCSP Land Use Plan for the adopted land uses.

The Piemonte at Ontario Center Overlay was adopted in February of 2006 to allow a mix of urban commercial, retail, residential, and entertainment land uses on a portion of the OCSP, with a maximum of 1,292,068 square feet and 806 residential units on that portion. As such, this document serves as a Planning Area Plan, pursuant to Section 7.3 of the OCSP. In June 2017, the Piemonte at Ontario Center Overlay was amended to modify the location of the residential and non-residential development. The 2017 Specific Plan Amendment (SPA) expands the architectural and landscape themes to allow more options to ensure compatibility with existing development, to promote urban development and allow for landscape options that reduce the use of potable water and match the urban vernacular.

This 2022 Specific Plan Amendment incorporates land use and development standards focused on allowing mixed use developments in the Arena area that create a vibrant urban lifestyle.

All modifications to the OCSP have been incorporated into the body of the text, standards, and exhibits of this document. Revisions to the Design Guidelines and minor text revisions have also been completed. The prior amendments to the OCSP and the 2017 Overlay shall not be referenced for the remainder of this document.



Legend







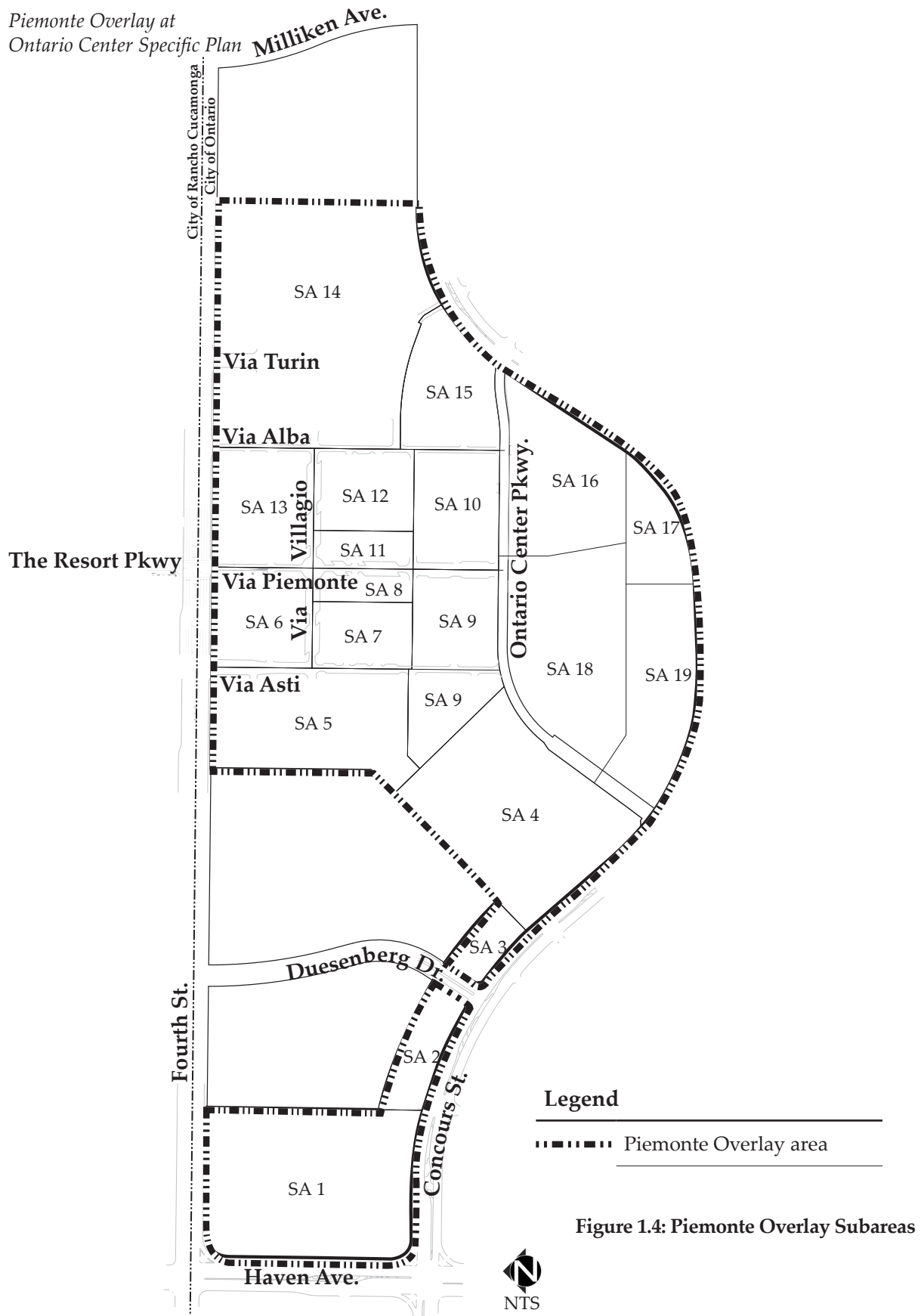
-  Boundary
-  Piemonte Overlay area
-  Urban Commercial (UC)
-  Garden Commercial (GC)
-  Urban Residential (UR)
-  Open Space (OS)



Figure 1.3: OCSP Land Use Plan

Piemonte Overlay at
Ontario Center Specific Plan



1.4 GOVERNING DOCUMENTS

Development of the Subareas of this Overlay is regulated by the following documents:

- The Ontario Plan (TOP) Policy Plan (General Plan) which establishes policies governing land use, circulation, housing, conservation and open space, noise, safety, and public facilities within the Specific Plan area;
- The City of Ontario Development Code, as applicable to development, where this Overlay is silent on development standards and regulations; and the subdivision of land within this Overlay area;
- The Airport Land Use Compatibility Plan of Ontario International Airport; and
- The certified Addendum to the Ontario Plan (General Plan) Environmental Impact Report.

1.5 AUTHORITY

This Overlay was prepared in accordance with California Government Code Section (Government Code) 65453 and applicable ordinances, policies, and resolutions of the City of Ontario. The City of Ontario adopts specific plans by ordinance, thereby establishing the zoning regulations for development of this Overlay.

Consistent with general requirements for Specific Plans as outlined under Government Code Article 8, this Overlay presents, or incorporates by reference, applicable regulations, conditions, and programs, which identify the following:

- The distribution, location, and extent of the uses of land, including open space, within the area covered by this Overlay;
- The proposed distribution, location, extent, and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses;
- Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources,

where applicable;

- A program of implementation measures including regulations, programs, public works projects, and financing measures necessary to carry out the development and,
- A statement of the relationship to the General Plan.

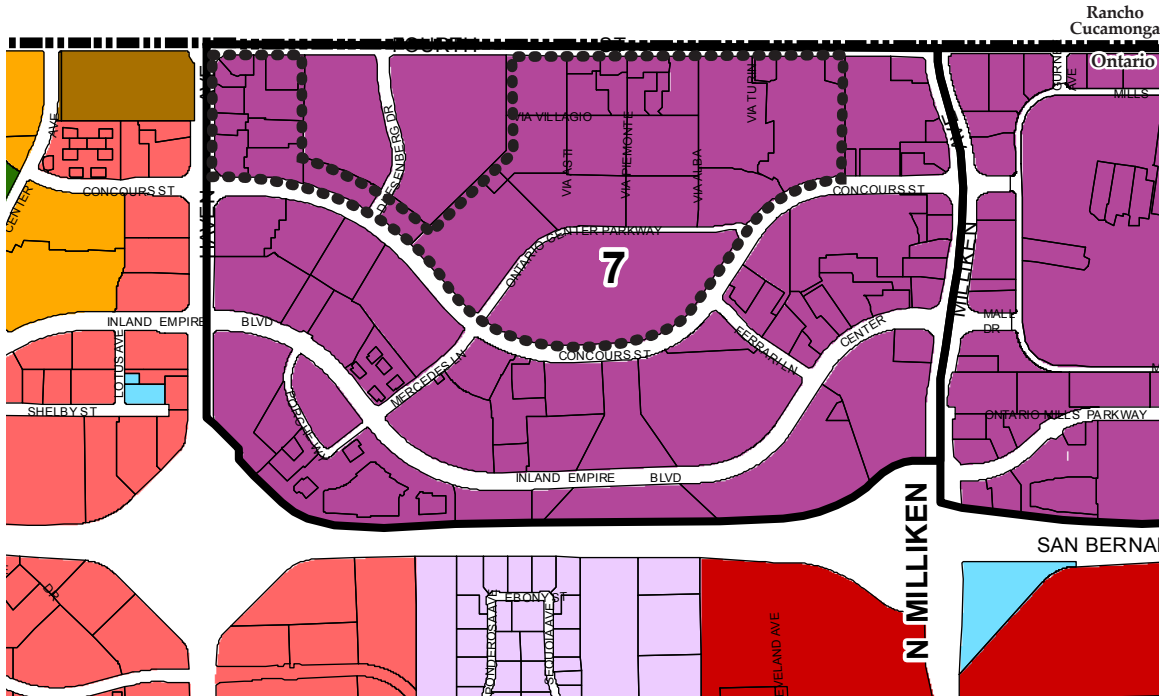
1.6. RELATIONSHIP TO THE GENERAL PLAN (POLICY PLAN) AND ZONING

The Ontario Plan (TOP) establishes the direction and vision for the City of Ontario, providing a single guidance system that will shape the Ontario community for the future. TOP provides for policies to accommodate change over a 30-year period commencing in 2010, the beginning of the planning period. TOP consists of a six part Component Framework: 1) Vision, 2) Governance Manual, 3) Policy Plan, 4) City Council Priorities, 5) Implementation, and 6) Tracking and Feedback.

This Overlay has been prepared in conformance with the goals and policies of TOP. The land use plan of TOP has identified the entire OCSP area as Mixed Use, refer to Figure 1.5: The Ontario Plan Land Use.

This Overlay implements relevant OCSP goals, principles, and standards. More specifically, the Piemonte Overlay provides for a cohesive and inter-related mix of residential and commercial/retail land uses such as is envisioned under the OCSP and TOP.

The OCSP further defines the Piemonte Overlay underlying land use and zoning as “Urban Commercial,” as shown on Figure 1.3: OCSP Land Use Plan. These land use designations allow for and encourage a mix of commercial, entertainment/retail, office, hotel, restaurant, and residential land uses as reflected on Figure 1.6: Piemonte Overlay Land Use Plan.



Legend

●●●●●●	Piemonte Overlay area		High Density (25.1-45 du/ac)
7	Mixed Use: Ontario Center		Medium Density (11.1-25 du/ac)
	General Commercial		Business Park
	Office Commercial		Public Facility



Figure 1.5: The Ontario Plan Land Use

The Piemonte Overlay satisfies the following OCSP Objectives (from Section 3.1.1 of the OCSP):

- A balance of employment, shopping, and housing opportunities, reducing the need for long commutes. This Overlay provides for integrated development that includes high-density housing, commercial retail/entertainment, restaurant uses, hotels, and office space. The mix of uses and their collocation within this Overlay provides for multiple employment, entertainment, housing, and shopping opportunities, available to residents of the Piemonte Overlay, and the greater Ontario area and surrounding region. Proximate collocation of this Overlay's mixed uses also promotes, and makes feasible, pedestrian access throughout the area, acting to reduce reliance on private automobiles. This is consistent with the intent of the OCSP to reduce dependence on private automobiles, with correlating reductions in commute distances.
- A higher density housing orientation, recognizing trends toward smaller household size. Up to 1,485 residential units can be constructed within the Piemonte Overlay. Those areas of the Overlay planned solely for residential development shall target a density of at least 25 units per acre, depending on the final site plan/unit configurations.
- A mixture of entertainment, retail and dining opportunities for OCSP users. The Piemonte Overlay provides a variety of restaurant, shopping, and entertainment opportunities. Further, integral to the Piemonte Overlay concept, is provision of a range of open space opportunities, to include enhanced and articulated streetscapes adjacent to ground-level commercial/retail and restaurant uses.
- A looped circulation network encouraging public transit opportunities, as well as pedestrian walkways and bicycle routes. This Overlay is defined by major roadways on all sides, with connecting roadways providing access to internal parcels. Transit opportunities will be provided at key locations, consistent with transit concepts articulated within the OCSP.
- A comprehensive urban design treatment, integrating the Arena into an urban form that is both visually pleasing as well as functional. Application

of Development Standards and Design Guidelines will ensure development within this Overlay as a visually interesting and attractive component of the OCSP. Further, the Piemonte architectural and site planning concepts continue to define this Overlay area as an inter-related core destination within the City, providing residential, entertainment, business, and shopping opportunities.

The Urban Commercial land use designation provides for development of a mix of tourist-related commercial uses, high and medium-rise office buildings, entertainment/recreation clusters, and high-density residential uses in close proximity. This Overlay also establishes applicable design guidelines and development regulations for these uses.

1.7 FORMAT AND CONTENT OF THE PIEMONTE OVERLAY

Figure 1.6: Piemonte Overlay Land Use Plan designates the Land Use areas as Commercial, Mixed-use, Office, Special Use, and Residential. -Design Guidelines and Development Regulations applicable to the entire Piemonte Overlay, and specific standards that apply within each of the Land Use areas, are presented in Section 3.0. It is noted here that the predominance of facilities proposed by this Overlay will be implemented consistent with existing standards of the OCSP.

Building designs, architectural renderings, and other representations presented within this Overlay reflect the overall character, development intensity, and composition of development. These graphic portrayals and related descriptions are conceptual in nature, and may be modified as the development is further refined. Within the limits of the maximum of development intensity allowed under the OCSP, subsequent development proposals within this Overlay will be subject to design and conformance review by and through the City of Ontario.

1.7.1 Piemonte Overlay Content

Section 1.0 presents an overview of the Piemonte Overlay designation.

Section 2.0 provides a description of the Overlay, including proposed land uses, facilities, and an overview of major infrastructure systems serving the area.

Section 3.0 presents design guidelines and development regulations applicable within the Piemonte Overlay. Design guidelines and development regulations applicable to the entire Overlay Area are identified, as are the guidelines and development regulations applicable to each Land Use within the Overlay.

Section 4.0 outlines administration of the Piemonte Overlay, including review processes for individual projects prior to any physical development. Means and procedures for interpretation and application of the Piemonte Overlay, associated land uses, and design guidelines, and development regulations are also presented.

Section 5.0 describes how the Piemonte Overlay is consistent with the goals and policies of The Ontario Plan (TOP) Policy Plan (General Plan).

Appendix A of this document presents the legal description of properties subject to provisions of the Piemonte Overlay.

Appendix B is a correlation between OCSP parcel numbers and the Piemonte Overlay Subarea parcel numbers.

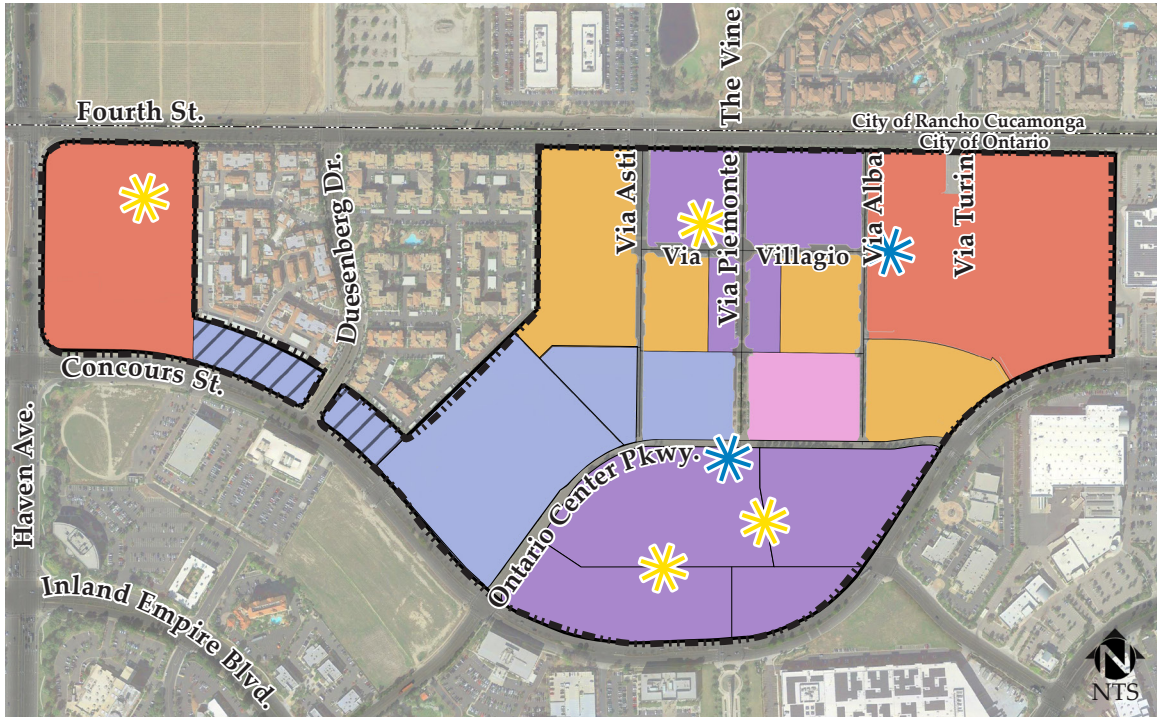
Appendix C includes the tabulation of existing development and remaining development allocation within the Piemonte Overlay.

Appendix D includes the tabulation of the development analyzed in the 2006 traffic study.

Appendix E includes a memorandum of the Piemonte trip generation comparison and the Piemonte/Empire Lakes 4th Street access configuration dated June 8, 2016.

Appendix F includes a summary of the Toyota Arena Mixed-use Development Traffic Impact Analysis dated September 17, 2021.

Appendix G includes the street tree planting matrix of the OCSP.



Legend










	Piemonte Overlay area		Residential
	Commercial		Residential Development Allowed
	Mixed Use		Constructed Plaza
	Office		Proposed Plaza
	Special Use		

Figure 1.6: Piemonte Overlay Land Use Plan