

Design Guidelines

Section 6

DESIGN GUIDELINES

A. PURPOSE AND INTENT

The *Design Guidelines* presented in this Section set expectations for the quality and character of development in MEREDITH INTERNATIONAL CENTRE. By following these *Guidelines*, the Specific Plan area will be a cohesive and attractive mixed-use center that is an asset to the surrounding community and the City of Ontario.

These *Guidelines* provide criteria for architecture, lighting, energy efficiency, signage, and landscape design, while allowing flexibility for architects, landscape architects, developers, builders, and others involved in designing and developing the details of MEREDITH INTERNATIONAL CENTRE's physical features. The CENTRE's visual identity will be expressed primarily through landscape, hardscape, and signage elements. The *Architectural Design Guidelines* contained in this Section are presented in a manner that ensures consistent architectural expression across MEREDITH INTERNATIONAL CENTRE, while allowing for flexibility in modern-day building design. The ultimate application of these *Guidelines* to a specific design feature should consider the associated land use category and the visual prominence of the feature when viewed from public spaces within and around MEREDITH INTERNATIONAL CENTRE.

All photographs, illustrations, and diagrams contained in these *Design Guidelines* serve as visual aids to convey the overall theme. Exact replication of the examples is neither required nor anticipated.

More specifically, the objectives of these Design Guidelines are:

- To provide the City of Ontario with assurance that MEREDITH INTERNATIONAL CENTRE will develop in accordance with the quality and character described within this Specific Plan.
- To provide guidance to developers, builders, engineers, architects, landscape architects, and other professionals to achieve and maintain the desired design quality.
- To provide guidance to City staff, the Planning Commission, and the City Council in their review of design elements associated with implementing development projects in the Specific Plan area.
- To provide guidelines that steer MEREDITH INTERNATIONAL CENTRE to convey a contemporary aesthetic theme and character while allowing flexibility for practical application and creative expression.
- To provide guidelines for energy efficiency that can be implemented in the site planning, design, and construction phases of the Specific Plan to minimize waste deposited at landfills, decrease energy use and fossil fuel consumption, and reduce domestic water consumption.
- To ensure that the Specific Plan implements the intent of the Ontario Policy Plan and Development Code.

These *Design Guidelines* may be subject to modification and contemporary interpretation to allow for responses to unanticipated conditions, including but not limited to changes in the real estate market, needs and desires of tenants, technology advancements, and fluctuations in economic conditions.

The majority of the *Design Guidelines* presented in this Section apply to development within the MEREDITH INTERNATIONAL CENTRE. For this reason, Specific Plan-wide guidelines are presented first, followed by guidelines that are specifically applicable to either Industrial, Urban Commercial, or Urban Residential planning areas.

B. DESIGN THEME

MEREDITH INTERNATIONAL CENTRE is a contemporary mixed-use center containing Industrial, Urban Commercial, and Urban Residential land uses that takes advantage of the property's location near regional transportation corridors. MEREDITH INTERNATIONAL CENTRE is a place where businesses can locate, thrive, have access to goods and services, and where multi-family homes in an urban residential area are within walking distance to shopping, employment opportunities, and a variety of transportation modes.

MEREDITH INTERNATIONAL CENTRE features a contemporary design aesthetic, which provides architectural styling with attractive detailing, a light-toned color palette, and timeless features. Signs are modern, lighting is focused and directed, landscaping is colorful and drought-tolerant, and design features are applied that lower energy use demands of building operations.

MEREDITH INTERNATIONAL CENTRE's design theme complements the City of Ontario's character and the surrounding region and comports with the City's Development Code. When viewed from surrounding public streets, MEREDITH INTERNATIONAL CENTRE is perceived as an inviting place to work, shop, live, and invest time and resources.



C. SPECIFIC PLAN-WIDE DESIGN GUIDELINES

This section sets forth design guidelines that apply to all planning areas within MEREDITH INTERNATIONAL CENTRE. Developers, builders, engineers, architects, landscape architects, and other design professionals should utilize these guidelines in order to maintain design continuity throughout the mixed-use MEREDITH INTERNATIONAL CENTRE.

C.1. Architecture Design Guidelines

a. *Architectural Design Theme*

The architectural style of MEREDITH INTERNATIONAL CENTRE emphasizes building massing over structural articulation. Buildings are characterized by simple and distinct cubic masses with interlocking volumes of wall planes, colors, and materials to create visual appeal. Exterior building colors are light and warm tones with darker or more vibrant accent colors on wall planes at focal points, such as around building entrances and near outdoor gathering spaces. Additionally, architectural designs may mix colors, materials, and textures to articulate façades and create visual appeal.

Design elements shall be compatible in character, massing, and materials in order to promote a clean and contemporary feel. Individual creativity and identity is encouraged, but care must be taken to maintain design integrity and compatibility among all buildings and planning areas to reinforce a unified image within MEREDITH INTERNATIONAL CENTRE. Generally, buildings within the CENTRE shall not be overly “trendy” or strongly historical; however subtle references to the history of the region are acceptable. Architectural styles should complement, not detract

from, the general architectural character found in the City of Ontario and along the Interstate 10 corridor.

b. *Building Form*

Building form is one of the primary elements of architecture. Numerous design aspects, including shape, mass (size), scale, proportion, and articulation, are elements of a building’s “form.” Building forms are especially important for building faces that are visible along the following view corridors:

- Building façades in Planning Area 1 and Planning Area 1A that are visible from East 4th Street;
- Building façades in Planning Area 1 and Planning Area 2 that are visible from North Vineyard Avenue;
- Building façades in all planning areas that are visible from Inland Empire Avenue;
- Building façades in Planning Area 3 that are visible from North Archibald Avenue;
- Building façades in Planning Area 2 and Planning Area 3 that face Interstate 10; and

Buildings within MEREDITH INTERNATIONAL CENTRE should comply with the following guidelines to ensure that development is visually appealing and inviting to pedestrians and motorists:

- (1) Simple geometric forms shall constitute the overall building form. Rectangular forms are encouraged to promote balance and visual interest. Arbitrary, complicated building forms shall be avoided.

- (2) Long horizontal wall planes visible from a public street shall include periodic changes in exterior building materials, color, decorative accents, and/or articulated features.
- (3) Modulation and variation of building masses between adjacent buildings visible from public streets is encouraged.
- (4) Pedestrian entrances to buildings should be made obvious through changes in massing, color, and/or building materials.
- (5) Pedestrian and ground-level building entries should be recessed or covered by architectural projections, roofs, or arcades in order to provide shade and visual relief.
- (6) Architectural and trim detailing on building façades shall be clean, simplistic, and not overly complicated.
- (7) Materials applied to any elevations shall turn the corner of the building to a logical termination point in relation to architectural features or massing.

Note that building faces that orient inward to truck courts or service areas and that are not visible from public roads, the Interstate 10 Corridor, or publically accessible viewing areas, are not required to adhere to the preceding building form guidelines.

c. *Building Materials, Colors, and Textures*

The use of building materials and colors plays a key role in developing a clean, contemporary visual environment; therefore, the selected exterior materials, colors, and textures should complement one another throughout the CENTRE. Slight variations are encouraged within MEREDITH INTERNATIONAL CENTRE to provide visual interest.

- (1) Appropriate primary exterior building materials include stucco, concrete, and similar materials, as well as tilt-up panels. The primary materials shall be accented by secondary materials including but not limited to natural or fabricated stone, wood siding (horizontal or vertical), metal, brick, tile or tile panel systems; glass or glazing units; and glass block.
- (2) Unfinished exterior surfaces are not permitted on any building façade with the exception of natural concrete or masonry.
- (3) The use of metal and/or glass fabrications for storefronts or curtain wall areas are appropriate.
- (4) Trim details may include metal finished in a consistent color, plaster, or concrete elements finished consistently with the building treatment. Use of overly extraneous “themed” detailing, like oversized or excessive foam cornice caps, foam moulding and window detailing is discouraged.
- (5) Material changes shall occur at intersecting planes, preferably at the inside corners of change of wall planes, or where architectural elements intersect.
- (6) Primary exterior building colors shall be light and warm tones. Darker and/or more vibrant accent colors may be provided in focal point areas, such as around building entrances and near outdoor gathering spaces.
- (7) Bright primary colors, garish use of color and arbitrary patterns or stripes that will clash with this color palette are discouraged, except in signage logos.
- (8) Exposed downspouts, service doors and mechanical screen colors shall be the same color as the adjacent wall.

Building Form



Materials, Colors, Textures



d. Windows and Doors

The patterns of openings – windows and doors – shall correspond with the overall rhythm of the building and should be consistent in form, pattern, and color within a planning area. Guidelines for windows and doors within MEREDITH INTERNATIONAL CENTRE are as follows:

- (1) Recessed window and door openings are encouraged to enhance the visual play of light and shadow.
- (2) When possible, the layout of doors and windows on individual building façades should be placed in a repetitive pattern to create continuity.
- (3) Window styles and trims shall be consistent in form and color. Window trims shall be finished in a consistent color on each building.
- (4) Gold or unfinished/untreated metal window or door frames are prohibited. Clear silver anodized frames are allowed.
- (5) Glass shall be clear or colored with subtle reflectiveness. Silver glass is prohibited.
- (6) Pedestrian entrances to buildings shall be clearly defined by features such as overhangs, awnings, and canopies or embellished with decorative framing treatments – including but not limited to accent trim. Dark and confined entries, flush doorways, and tacked-on entry alcoves are discouraged.

Windows and Doors



e. Walls and Fences

The following guidelines for walls and fencing will ensure that these features will complement the overall MEREDITH INTERNATIONAL CENTRE design theme, attractive from public viewing areas, scaled appropriately, durable, and integrated consistently within MEREDITH INTERNATIONAL CENTRE.

- (1) Freestanding walls and fences should not exceed a height of 14 feet, measured from the base of the wall/fence to the top of wall/fence.
- (2) Landscape hedge walls may be used as an option to minimize the perceived height of walls and fences.
- (3) Walls and fences in public view should be built with attractive, durable materials.
- (4) Chain-link fencing is only allowed in areas not within public view.
- (5) Along street frontages, long expanses of wall surfaces shall be offset and architecturally treated to prevent monotony. Techniques to accomplish this may include, but are not limited to: openings, material changes, pilasters and posts, and staggered sections.
- (6) Wall and fencing materials shall be compatible with other design elements of MEREDITH INTERNATIONAL CENTRE.

f. Functional Elements

The design and location of functional elements common to Industrial, Urban Commercial and/or Urban Residential buildings should be carefully considered. Examples of functional elements include loading doors, service docks, ground or wall-mounted equipment, rooftop equipment, and trash enclosures. The design and placement of these elements should minimize their prominence when viewed from public roads, the Interstate 10 Corridor, publically accessible parking lots, and other locations within MEREDITH INTERNATIONAL CENTRE.

Loading Doors and Service Docks

- (1) Loading doors, service docks, and equipment areas should be oriented or screened to reduce visibility from public roads and publically accessible locations within MEREDITH INTERNATIONAL CENTRE. Screening may be accomplished with solid walls or fences that are compatible with the architectural expression of the building. Screening may also be accomplished by landscaping.
- (2) No loading or unloading activity is permitted to take place from public streets. Service vehicles shall have clear and convenient access into and within MEREDITH INTERNATIONAL CENTRE and should not disrupt vehicular and pedestrian circulation.

Walls, Fences, and Functional Elements



Ground or Wall-Mounted Equipment

- (1) Ground-mounted equipment, including but not limited to mechanical equipment, electrical equipment, emergency generators, boilers, storage tanks, risers, electrical conduits, shall be screened when feasible from public viewing areas within Planning Areas 2, 3, 4 and 5 and/or from adjacent public roads. Screening may be accomplished with site walls or landscape elements that are consistent with these Guidelines.
- (2) Electrical equipment rooms shall be located within the building envelope. Pop-outs or shed-like additions are discouraged.
- (3) Wall-mounted items, such as roof ladders or electrical panels, should not be located on the building façade facing adjacent public roads. Wall-mounted items should be screened or incorporated into the architectural elements of the building so as not to be visually apparent from the street or other public areas within MEREDITH INTERNATIONAL CENTRE.

Rooftop Equipment

- (1) All rooftop equipment, including but limited to mechanical equipment, electrical equipment, storage tanks, cellular telephone facilities, satellite dishes, skylights, vents, exhaust fans, smoke hatches, and mechanical ducts, shall be screened so as not to be visible from public roads, and publically accessible locations within MEREDITH INTERNATIONAL CENTRE.
- (2) Rooftop screens shall be integrated into the architecture of the main building.
- (3) Wood finished rooftop screens are prohibited.

Trash Enclosures

- (1) All outdoor refuse containers shall be screened within a permanent, durable enclosure and should be oriented so they are not easily visible from public roads, publically accessible parking lots within MEREDITH INTERNATIONAL CENTRE, or other public viewing areas. The enclosure's design shall reflect the architectural style of adjacent buildings and use similar, high-quality materials.
- (2) Refuse collection areas shall be located behind or to the side of buildings, away from the building's main entrance.
- (3) All outdoor trash enclosures shall be constructed with solid roofs to prevent exposure of dumpster contents to rainfall and prevent polluted storm water runoff from these structures.

C.2. Landscape Design Guidelines

These project-wide *Landscape Design Guidelines* establish landscape principles and standards that apply to all planning areas within MEREDITH INTERNATIONAL CENTRE to ensure that plant materials, entries and monuments, streetscapes and other amenities are compatible with the CENTRE’s design theme and that all land use categories are united under a common design vocabulary. The *Landscape Design Guidelines* also commit MEREDITH INTERNATIONAL CENTRE to an environmentally sensitive design by establishing a water-efficient plant palette and thoughtfully grading green space areas to function as retention/infiltration swales to conserve water resources. These *Landscape Design Guidelines*, when taken with the companion *Architectural Design Guidelines* provided herein, establish an identity for MEREDITH INTERNATIONAL CENTRE that is contemporary, visually appealing, and sensitive to the environment.

Although a great deal of specific design information is presented in these *Landscape Design Guidelines*, these Guidelines are not intended to establish a set of rigid landscaping requirements for MEREDITH INTERNATIONAL CENTRE, and it is recognized that, at times, there will be a need to adapt these Guidelines to meet certain parcel-specific or user-identity requirements. As such, these *Landscape Guidelines* are intended to be flexible, and are subject to modification over time. However, it is critical to MEREDITH INTERNATIONAL CENTRE’s long-term design integrity that any deviations from these Landscape Guidelines are in keeping with the spirit of the core elements of the overall theme described herein to ensure a cohesive and unified landscape concept across MEREDITH INTERNATIONAL CENTRE.

a. *Plant Palette*

The plant palette for MEREDITH INTERNATIONAL CENTRE includes colorful shrubs and groundcovers, ornamental grasses and succulents, and evergreen and deciduous trees – including flowering varieties – that are commonly used throughout Southern California and complement the CENTRE’s design theme and setting. Many of the plant materials are water-efficient species native to Southern California or naturalized to the arid Southern California climate.



Table 6-1, *Plant Palette*, provides a list of plant materials approved for use in MEREDITH INTERNATIONAL CENTRE. The plants listed in Table 6-1 establish a base palette for MEREDITH INTERNATIONAL CENTRE landscape design. Other similar plant materials may be substituted for species listed in Table 6-1, provided the alternative plants are drought-tolerant and complement the MEREDITH INTERNATIONAL CENTRE design theme.

Table 6-1 Plant Palette

Botanical Name	Common Name	Application	Botanical Name	Common Name	Application
Trees			Trees (cont.)		
<i>Arbutus 'Marina'</i>	Marina Strawberry Tree	Accent / Background	<i>Pinus halepensis</i>	Aleppo Pine	Background
<i>Feijoa sellowiana</i>	Feijoa	Accent	<i>Pistachia chinensis</i>	Chinese Pistache	On-site / Parking Lot Tree
<i>Geijera parviflora</i>	Australian Willow	Water Quality Basin	<i>Platanus acerifolia</i>	London Plane	Street Tree
<i>Jacaranda mimosifolia</i>	Jacaranda	Street Tree	<i>Platanus m. 'Alamo'</i>	Mexican Sycamore	Water Quality Basin
<i>Juniperus 'Skyrocket'</i>	Skyrocket Juniper	Accent / Background	<i>Platanus racemosa</i>	California Sycamore	Street Tree
<i>Koelreuteria bipinnata</i>	Chinese Flame Tree	Street Tree	<i>Podocarpus gracilor</i>	Fern Pine	On site
<i>Koelreuteria paniculata</i>	Goldenrain	On site	<i>Quercus agrifolia</i>	Coast Live Oak	On site / Water Quality Basin
<i>Lagerstroemia f. 'Natchez'</i>	Crape Myrtle	Street Tree / On site / Water Quality Basin	<i>Quercus virginiana</i>	Southern Live Oak	Street Tree
<i>Magnolia grandiflora 'Little Gem'</i>	Little Gem Magnolia	Accent	<i>Schinus Molle</i>	California Pepper Tree	Water Quality Basin
<i>Magnolia spp.</i>	Magnolia	On site	<i>Tristania spp.</i>	Brisbane Box	On site
<i>Olea europaea - fruitless</i>	Fruitless Olive	Theme	<i>Ulmus parvifolia</i>	Chinese Elm	On site
<i>Pinus chinensis</i>	Chinese pistache	On site			
Shrubs and Groundcovers			Shrubs and Groundcovers (cont.)		
<i>Acacia redolens</i>	Acacia	Groundcover	<i>Furcraea gigantea</i>	Mauritius Hemp	Accent / Protected
<i>Achanthus mollis</i>	Bear's breech	Accent	<i>Hemerocallis sp.</i>	Day Lily	Accent
<i>Aloe arborescens</i>	Torch Aloe	Accent / Protected	<i>Heteromeles arbutifolia</i>	Toyon	Water Quality Basin (slopes)
<i>Aloe petricola</i>	Stone Aloe	Accent / Protected	<i>Leucophyllum f. 'green cloud'</i>	Texas Ranger	Background
<i>Arbutus u. 'Compacta'</i>	Compact Strawberry Tree	Background	<i>Ligustrum japonicum</i>	Texas Privet	Background / Midground / Foreground
<i>Baccharis 'Starn P.P.#11240 Thompson'</i>	Thompson Baccharis	Midground / Foreground	<i>Liriope gigantean</i>	Liriope	Accent
<i>Bougainvillea 'La Jolla'</i>	La Jolla Bougainvillea	Accent / Protected / Water Quality Basin (slopes)	<i>Lonicera j. 'Halliana'</i>	Hall's Honeysuckle	Groundcover
<i>Buxus japonica</i>	Japanese Boxwood	Background / Midground / Foreground	<i>Muhlenbergia 'regal mist'</i>	Pink Muhly	Midground / Foreground
<i>Callistemon 'Little John'</i>	Dwarf Callistemon	Midground / Foreground	<i>Myoporum p. 'Putah Creek'</i>	Putah Creek Myoporum	Parkway Groundcover
<i>Carex</i>			<i>Nassella tenuissima</i>	Mexican Feather Grass	Accent
<i>Cistus purpureus</i>	Purple Rock Rose	Midground / Water Quality Basin (slopes)	<i>Pittosporum tobira</i>	Japanese Pittosporum	Background / Midground
<i>Cistus salviifolius</i>	Rock Rose	Parkway Groundcover	<i>Rhaphiolepis i. 'Springtime'</i>	Indian Hawthorne	Accent
<i>Cotoneaster 'Lowfast'</i>	Bearberry Cotoneaster	Parkway Groundcover	<i>Rosa californica</i>	California Rose	Water Quality Basin (slopes)
<i>Cupressus sempervirens</i>	Italian Cypress	Accent / Background	<i>Rosa 'Flowering Carpet'</i>	Carpet Rose	Groundcover
<i>Dietes bicolor</i>	Bicolor Iris	Midground / Foreground / Water Quality Basin (slopes)	<i>Rosa spp.</i>	Rose	Accent / Midground / Foreground
<i>Elaeagnus pungens</i>	Thorny Olive	Background / Water Quality Basin (slopes)	<i>Rosmarinus var.</i>	Rosemary	Parkway Groundcover
<i>Feijoa sellowiana</i>	Pineapple Guava	Background / Midground / Foreground	<i>Salvia greggii</i>	Autumn Sage	Midground / Foreground
<i>Fescue mairei</i>	Atlas Fescue	Accent	<i>Senecio mandraliscae</i>	Blue Chalk Sticks	Parkway Groundcover
<i>Festuca mairei</i>	Blue Fescue	Midground / Foreground	<i>Westringia 'Wynyabbie Gem'</i>	Coast Rosemary	Midground

b. Entries and Monuments

MEREDITH INTERNATIONAL CENTRE provides a three-tiered hierarchy of entry and corner treatments to identify the CENTRE and distinguish individual planning areas. The entry and corner treatments are designed to provide distinctive visual statements and emphasize the Specific Plan’s contemporary aesthetic. All hardscape and landscape features at entry and monument locations shall provide adequate “line-of-sight” for motorists and shall comply with applicable City design standards and specifications.

The entry and corner concepts described and illustrated on the following pages have been designed to provide a prominent reminder of the quality and distinctiveness of MEREDITH INTERNATIONAL CENTRE and to complement and reinforce the CENTRE’s general architectural and landscape theme. Implemented entry and corner treatments should be flexible to respond to physical contexts and the needs and desires of specific tenants and may differ slightly from the concepts presented herein; however, all entry and corner treatments within MEREDITH INTERNATIONAL CENTRE shall be consistent in theme and character.

Inland Empire Boulevard Entry Monuments

Entry monuments are located at the Inland Empire Boulevard and North Vineyard Avenue intersection (northeast and southeast corners) to announce arrival to MEREDITH INTERNATIONAL CENTRE. The monuments at Inland Empire Boulevard are the largest of the entry/monument family. The conceptual design for these monuments include a low, curved wall with entry signage (approximately 3.5 feet tall and 32 feet wide) framed by battered stone pedestals (approximately 4 feet tall and 4-feet wide, measured at cap). The pedestals feature precast concrete caps. Landscaping at

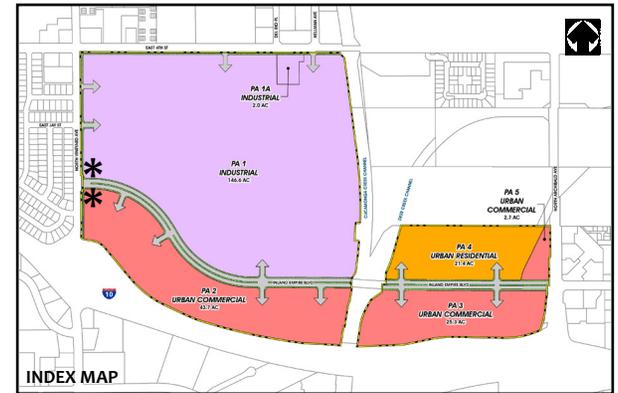
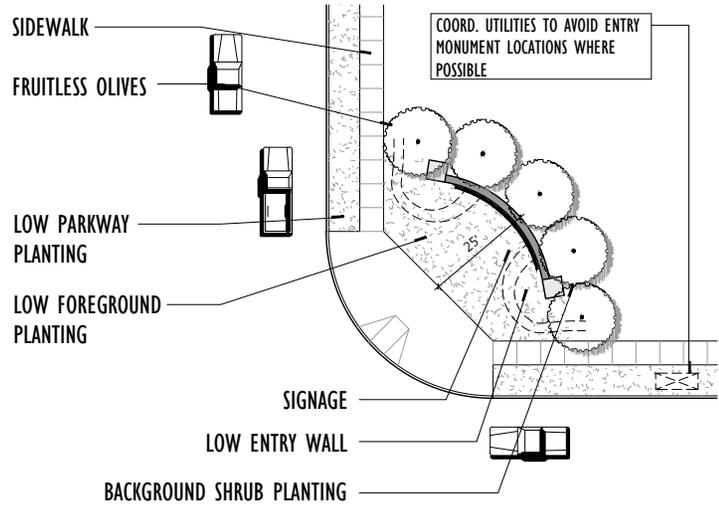
the Inland Empire Boulevard entries includes low foreground plants with medium shrubs and densely planted olive trees behind the monument wall. Figure 6-1, *Inland Empire Boulevard Entry* conceptually illustrates these monuments.

Corner Monuments

MEREDITH INTERNATIONAL CENTRE provides a monument at the southeast corner of the East 4th Street and North Vineyard Avenue intersection (Planning Area 1) to subtly promote the CENTRE’s design theme at a key focal point. This Corner Monument features two battered stone pedestals with precast concrete caps. The stone pedestals will be approximately 3.5 feet tall and 4 feet wide (measured at the cap). Landscaping at the Corner Monument includes low foreground plantings (groundcovers), colorful, tiered foreground plantings (low shrubs, accent grasses, and succulents), background hedges, and a small cluster of olive trees. Figure 6-2, *Corner Monument*, conceptually illustrates the Corner Monument.

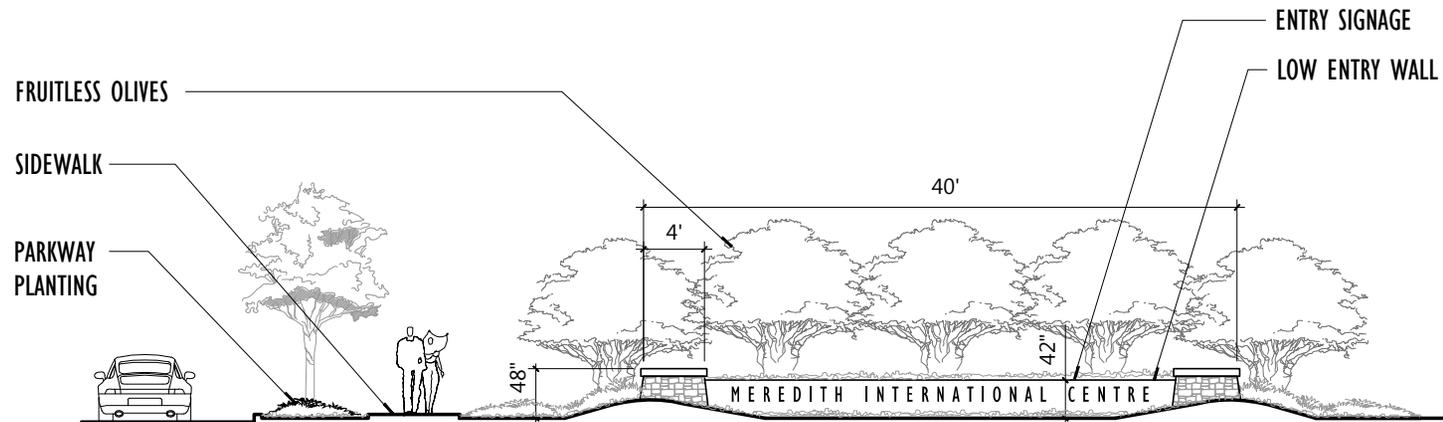
Primary Parcel Entry Monuments

Primary Parcel Entry Monuments may be provided at primary driveways to Planning Areas 1, 2, 3, and 4. Most Primary Parcel Entry Monuments are planned along Inland Empire Boulevard. Primary Parcel Entry Monuments are not required on driveways fronting East Jay Street, Del Rio Place, or East 4th Street. These monuments feature paired battered stone pedestals with concrete caps (approximately 3.5 feet tall and 4-feet wide – measured at cap), foreground plantings (groundcovers), background shrubs and hedges, and a small cluster of olive trees. As an option, low monument signs may be incorporated into Primary Parcel Entry Monuments as conceptually illustrated on Figure 6-3, *Primary Parcel Entry Monument*.



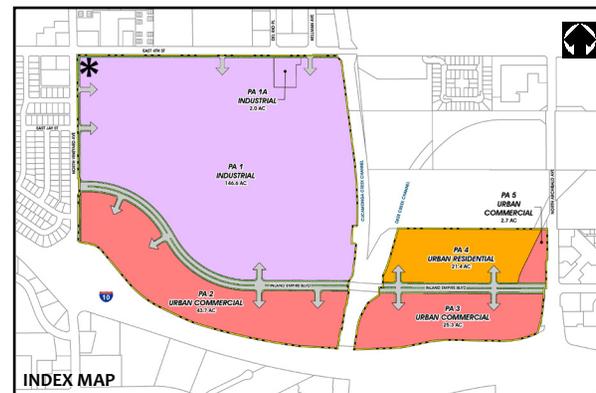
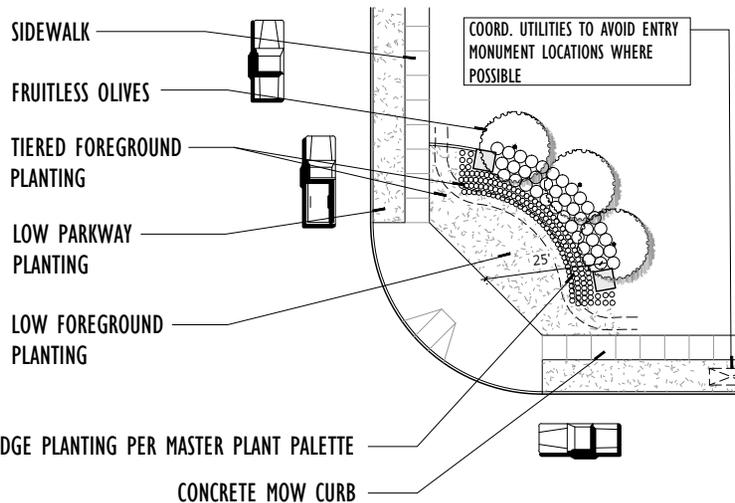
Note: Entry monuments shall be designed in accordance with City of Ontario Traffic and Transportation Guidelines for monument placement.

PLAN VIEW



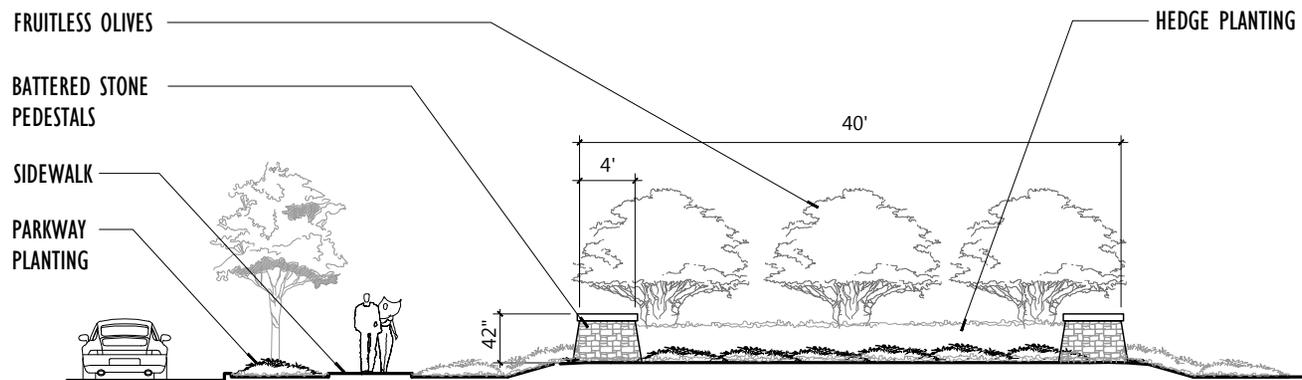
ELEVATION VIEW

Source: SJA (01-19-2015)



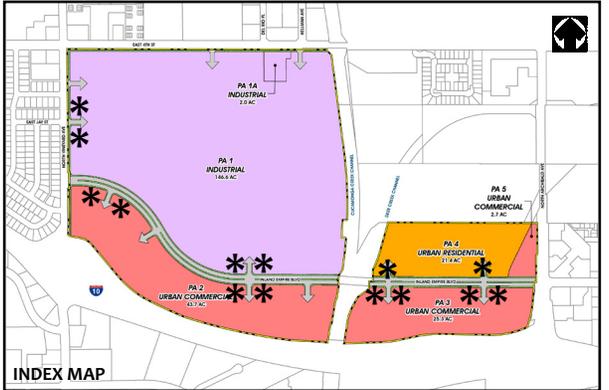
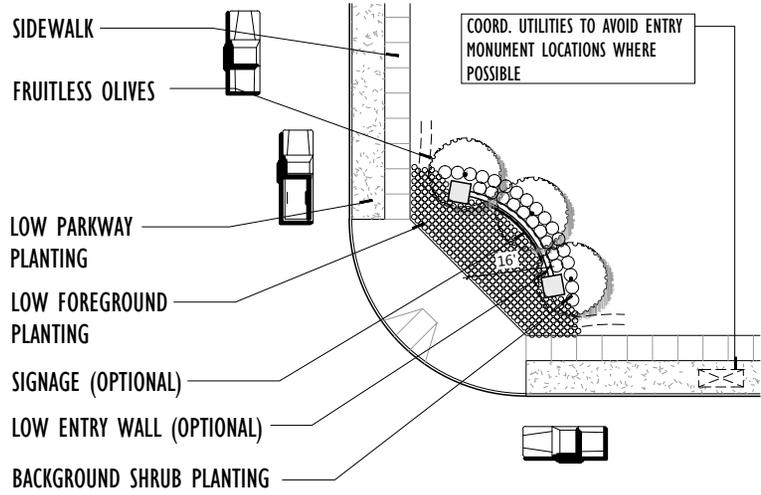
Note: Entry monuments shall be designed in accordance with City of Ontario Traffic and Transportation Guidelines for monument placement.

PLAN VIEW



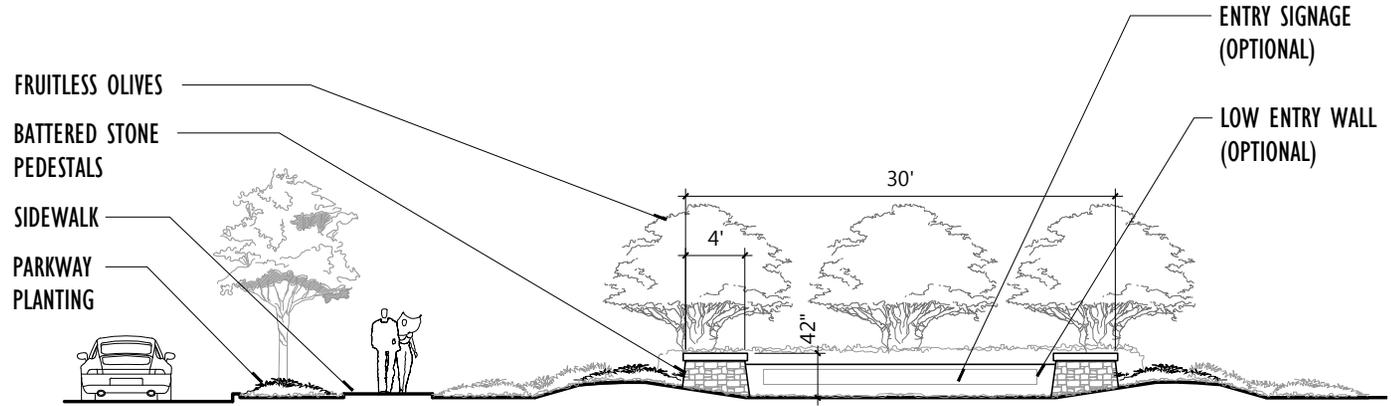
ELEVATION VIEW

Source: SJA (01-19-2015)



Note: Entry monuments shall be designed in accordance with City of Ontario Traffic and Transportation Guidelines for monument placement.

PLAN VIEW



ELEVATION VIEW

Source: SJA (01-19-2015)

c. Streetscapes

Streetscape landscaping plays an important role in creating a sense of place. In addition, streetscapes serve functional purposes, including screening undesirable views from public view. Within MEREDITH INTERNATIONAL CENTRE, streetscapes are planted with a combination of evergreen and deciduous trees, low shrubs, and masses of groundcovers to create a visually pleasing experience for pedestrians and passing motorists. The landscaping plant palette for streetscapes should link the roadways to the rest of MEREDITH INTERNATIONAL CENTRE and should reflect the CENTRE's landscape design theme.

The conceptual streetscape landscape treatments within MEREDITH INTERNATIONAL CENTRE are presented on the following pages.

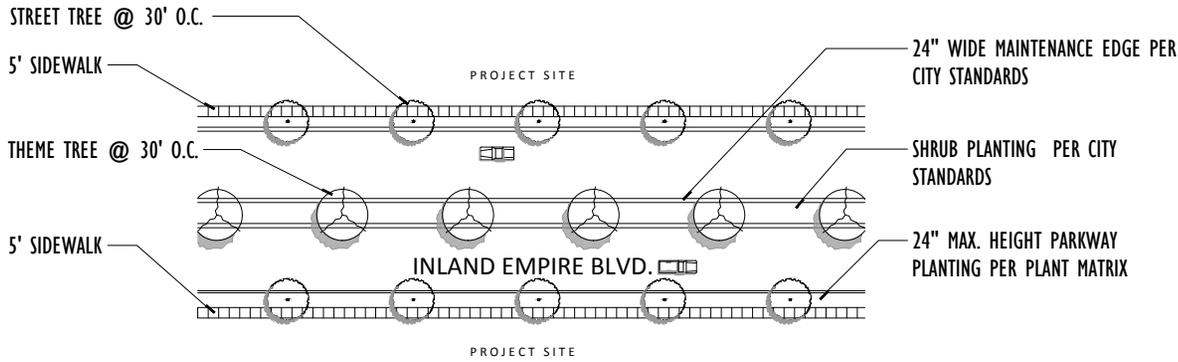
Inland Empire Boulevard

The typical Inland Empire section features two landscaped components: a 14-foot-wide raised median and 12-foot-wide parkways on both sides of the street. The raised median is planted with thematic accent trees at regular intervals – to reinforce the theme established at entries and monuments – and colorful groundcovers and succulents. Parkway include a curb-adjacent park strip planted with deciduous and/or evergreen trees, such as California Sycamore and/or Southern Live Oak, and low flowering groundcovers and succulents, as well as a sidewalk. Evergreen trees are planted outside of the right-of-way to provide pedestrians using the sidewalk with additional opportunities for shade and to screen undesirable views. The typical Inland Empire Boulevard section is illustrated on Figure 6-4, *Inland Empire Boulevard Streetscape*.

The bridge segment of Inland Empire Boulevard (crossing the Cucamonga Creek and Deer Creek Channels) do not feature a landscaped median or a landscaped park strip; however, this segment does include a 5-foot-wide, curb-adjacent sidewalk on both sides of the street.

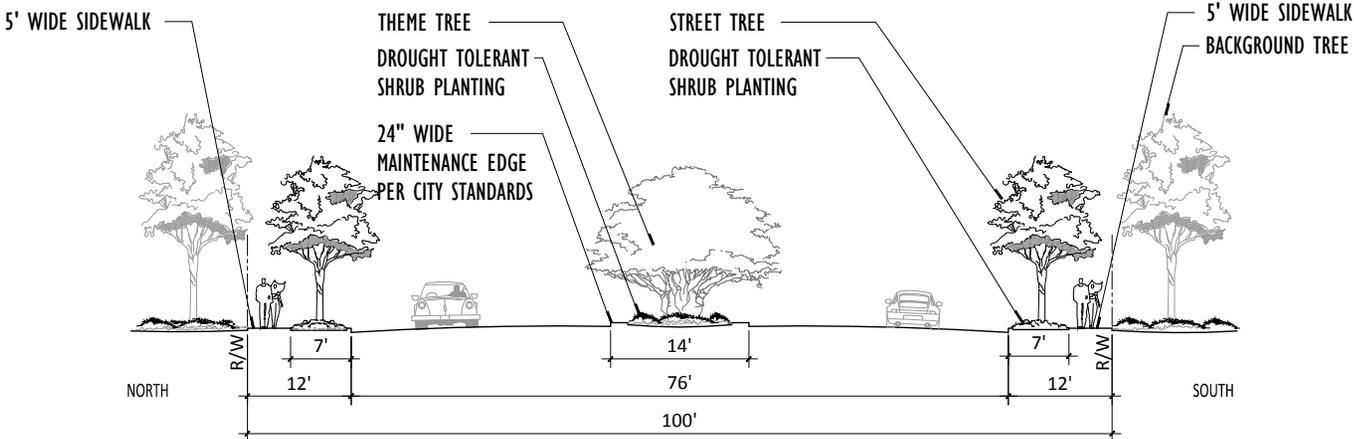
North Vineyard Avenue

The segment of North Vineyard Avenue abutting the MEREDITH INTERNATIONAL CENTRE features two landscaped components: 1) a 14-foot-wide raised center median and 2) parkways on both sides of the street. The raised center median features deciduous trees selected to match the existing landscape theme along North Vineyard Avenue. The parkway on the east side of the street provides evergreen and coniferous trees planted at regular intervals in the curb-adjacent park strip; tree species will be selected to match the existing landscape theme along North Vineyard Avenue. In addition, the park strip features drought tolerant shrub plantings (maximum height of 24 inches). Evergreen trees are planted outside of the right-of-way to provide pedestrians using the sidewalk with additional opportunities for shade and to screen undesirable views. The 12-foot wide parkway on the west side of the street was existing as of the date of the writing of this Specific Plan (2015) and will be maintained in its existing condition. The typical North Vineyard Avenue section is illustrated on Figure 6-5, *North Vineyard Avenue Streetscape*.



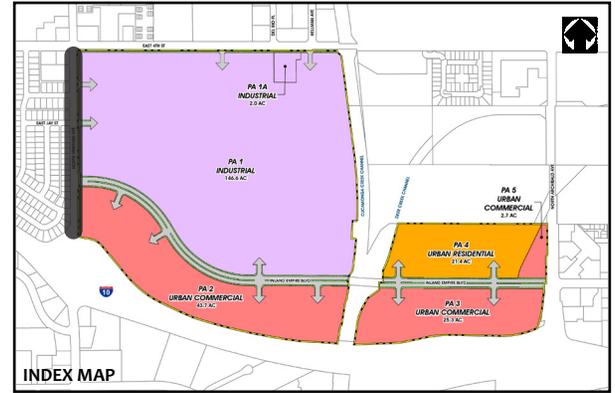
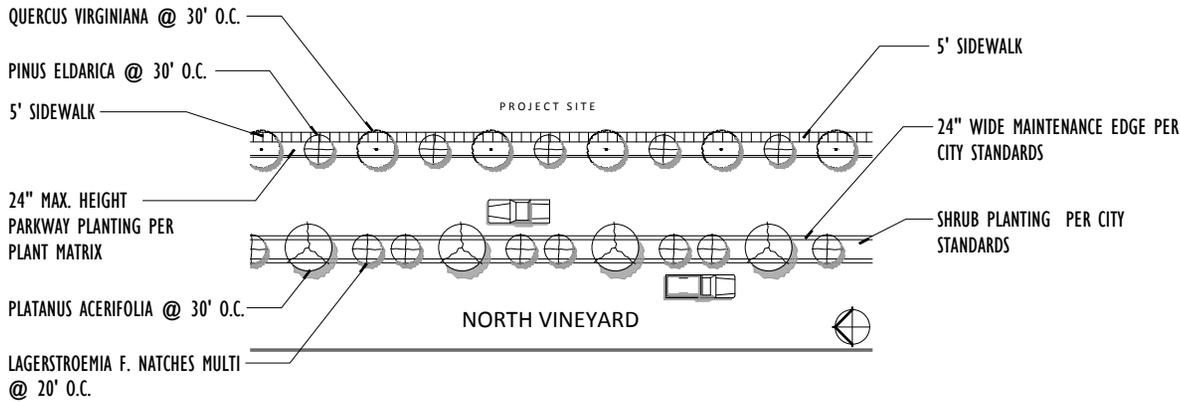
Note: Entry monuments shall be designed in accordance with City of Ontario Traffic and Transportation Guidelines for monument placement.

PLAN VIEW

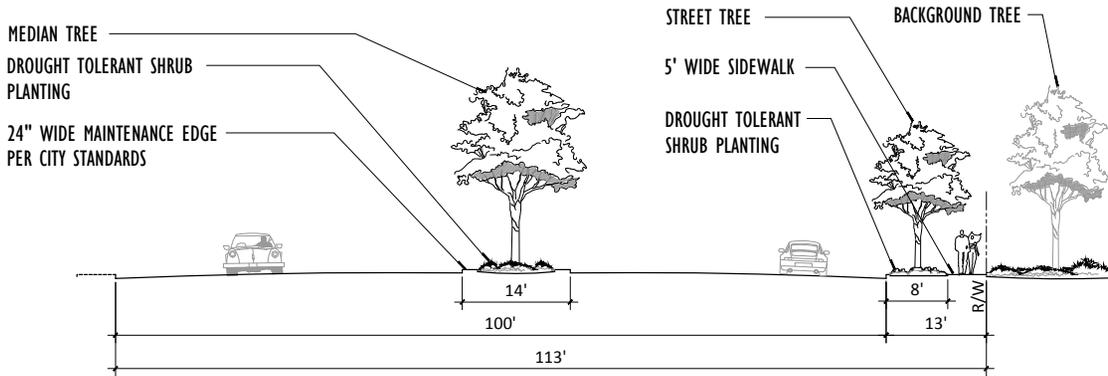


ELEVATION VIEW

Source: SJA (01-19-2015)



PLAN VIEW



ELEVATION VIEW

Source: SJA (01-19-2015)

East 4th Street

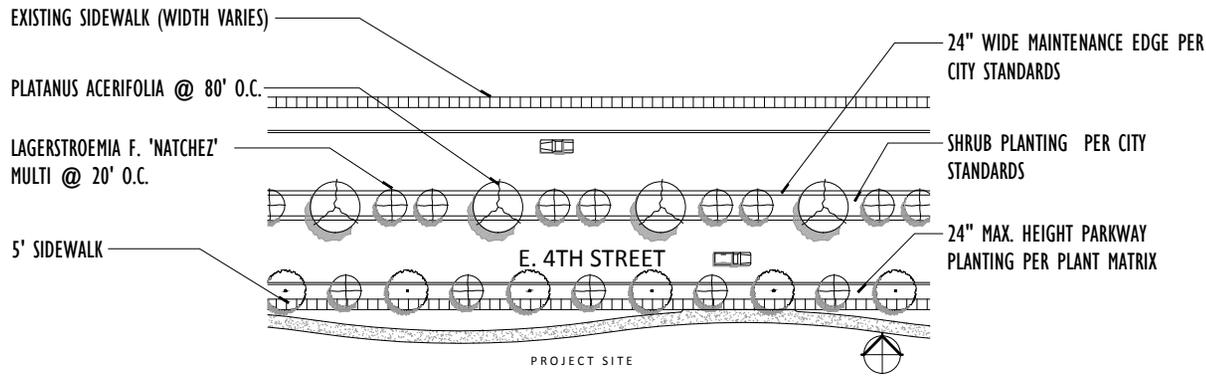
The segment of East 4th Street abutting the MEREDITH INTERNATIONAL CENTRE features two landscaped components: 1) a 14-foot-wide raised center median and 2) 14-foot wide parkways on both sides of the street. The raised median features deciduous trees and low shrubs (maximum 24-inch height) selected to match the existing landscape theme along East 4th Street. The parkway on the south side of the street includes street trees planted at regular intervals and low, colorful, drought tolerant shrub plantings in the curb-adjacent park strip. Plant species will be selected to match the existing landscape theme along East 4th Street and to create a gradual visual transition to the enhanced landscape zone provided along East 4th Street (refer to Figure 6-9, *Industrial/East 4th Street Interface*). The parkway on the north side of the street was existing as of the date of the writing of this Specific Plan (2015) and will be maintained in its existing condition. Figure 6-6, *East 4th Street Streetscape*, illustrates the typical streetscape for East 4th Street.

North Archibald Avenue

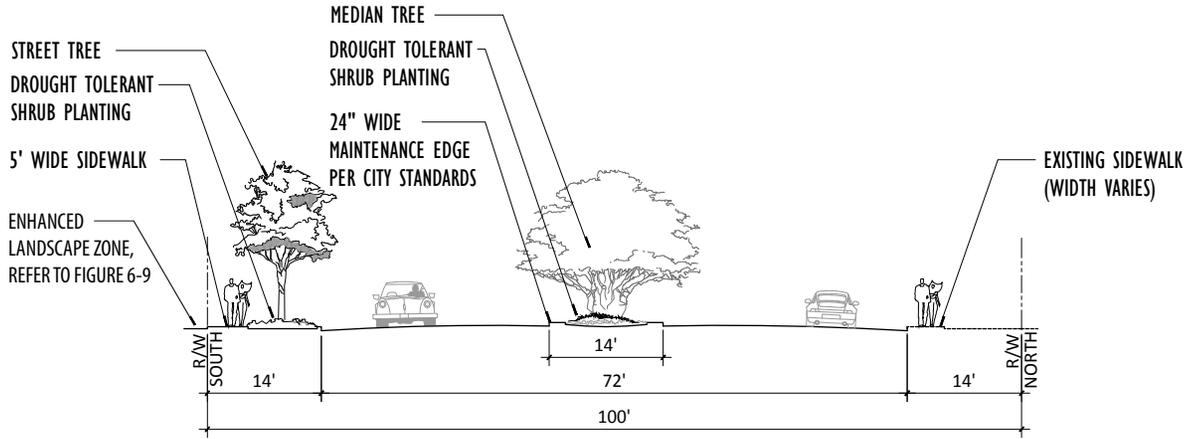
As previously described in Section 3 of this Specific Plan (*Circulation Plan*), the typical roadway segment improvements on North Archibald Avenue that were in place at the time the 2015 Specific Plan Amendment were prepared are expected to remain in place. However, the intersection of North Archibald Avenue and Inland Empire Boulevard will require minor improvements to accommodate development planned by this Specific Plan. The planned North Archibald/Inland Empire Boulevard intersection streetscape is illustrated on Figure 6-7, *North Archibald Avenue Streetscape*. As shown, the parkways on both sides of the street will feature curb-adjacent, 5-foot-wide sidewalks.

East Jay Street and Del Rio Place

East Jay Street and Del Rio Place provide direct access to individual parcels in Planning Area 1 and, as such, the streetscapes for these streets are designed to facilitate operations of Industrial land uses as well as provide opportunities for screening. As illustrated on Figure 6-8, *East Jay Street and Del Rio Place Streetscape*, East Jay Street and Del Rio Place provide 13-foot-wide parkways on both sides of the street. The parkways feature 8-foot-wide curb adjacent park strips (planted with deciduous and/or evergreen trees and low flowering groundcovers and succulents), as well as 5-foot-wide sidewalks abutting the limits of the right-of-way. Landscaped hedges and/or fencing may be provided adjacent to parking, loading, and/or storage areas for additional screening.

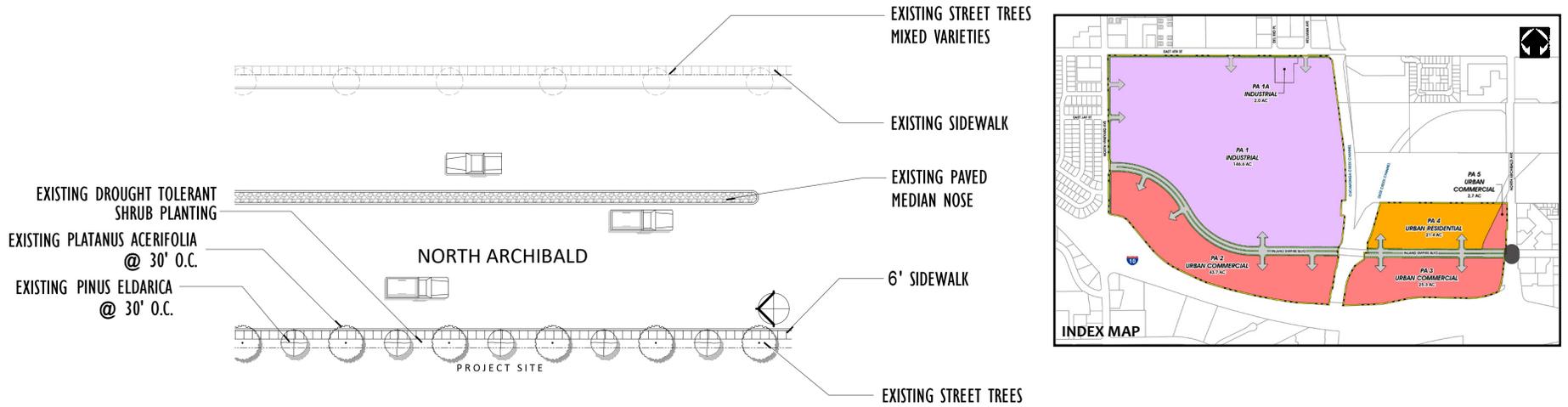


PLAN VIEW

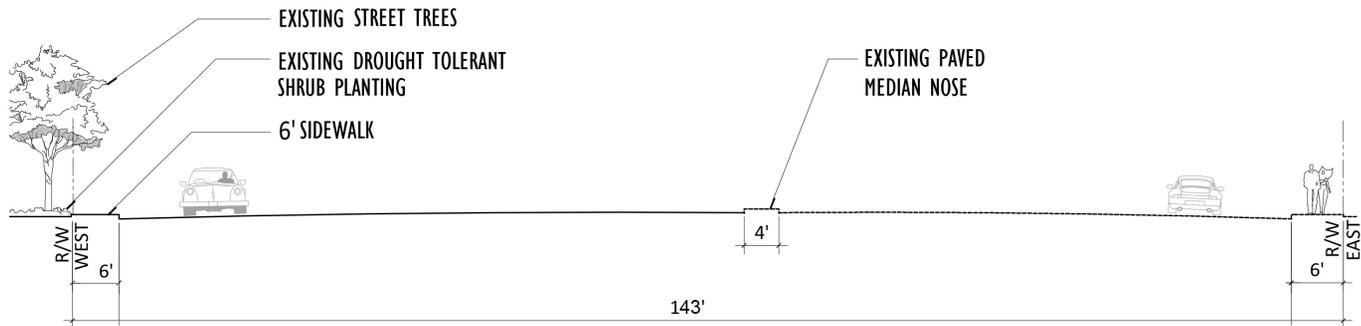


ELEVATION VIEW

Source: SJA (01-19-2015)

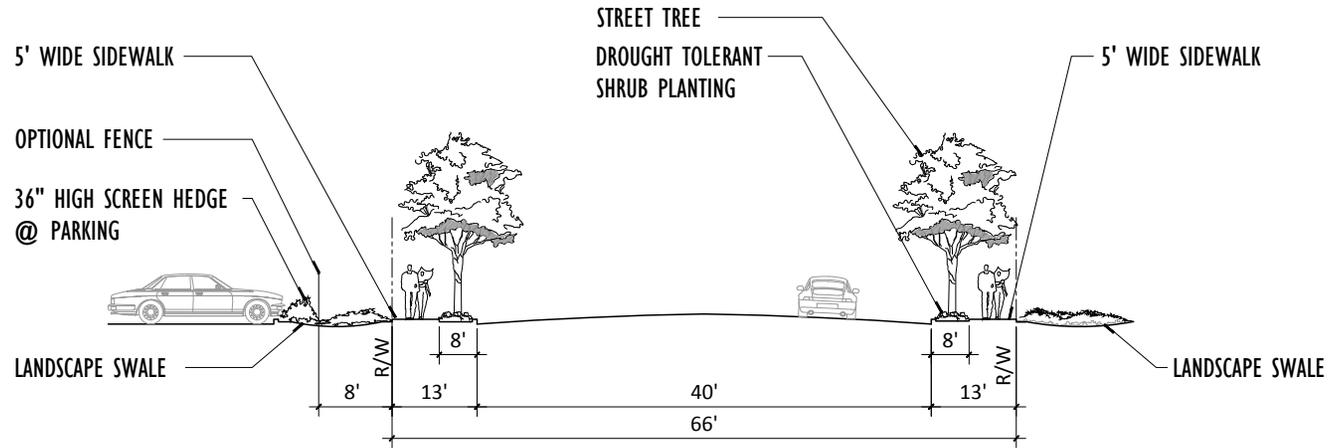
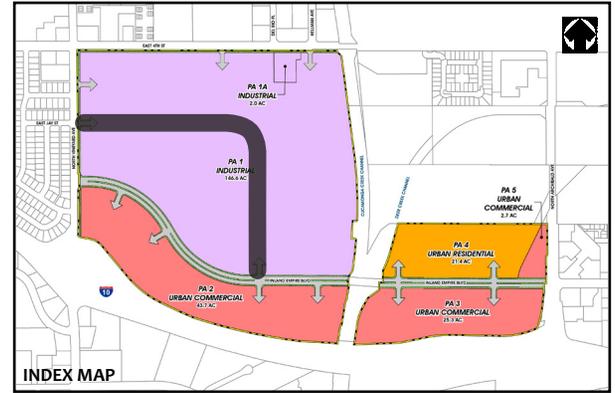
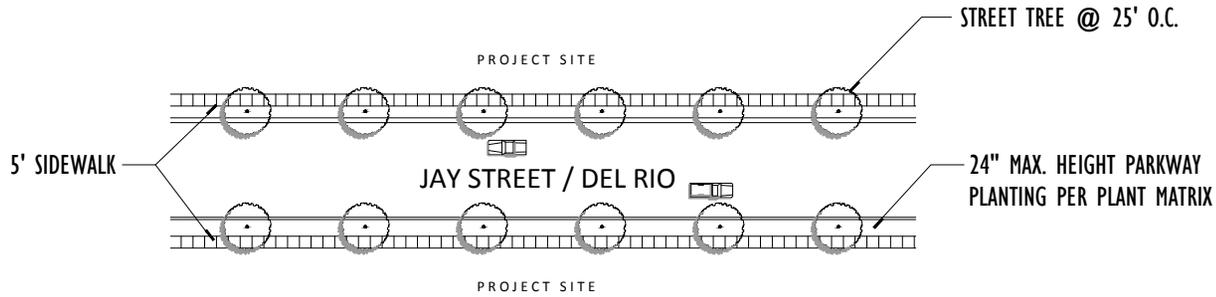


PLAN VIEW



ELEVATION VIEW

Source: SJA (03-26-2015)



Source: SJA (01-19-2015)

d. Irrigation

The following general irrigation concepts shall be considered in the design and installation of irrigation systems within MEREDITH INTERNATIONAL CENTRE:

- (1) All landscaped areas shall be equipped with permanent, automatic, underground irrigation system. Drip systems are encouraged in all areas needing irrigation. Irrigation systems must conform to all City of Ontario requirements.
- (2) Irrigation systems should be designed to apply water slowly, allowing plants to be deep soaked and to reduce run-off.
- (3) “Pop-up” type sprinkler heads may be used adjacent to all walks, drives, curbs (car overhangs), parking areas and public right-of-way but must be designed to prevent all run-off and overspray
- (4) The design of irrigation systems, particularly the location of controller boxes, valves, and other above-ground equipment (e.g., backflow prevention devices), shall be incorporated into the overall landscaping design. Where aboveground equipment is provided, it shall be screened or otherwise removed from public view, to the extent possible.
- (5) The irrigation system shall be programmed to operate between 8:00pm and 9:00am.

C.3. Outdoor Lighting Guidelines

Outdoor lighting of MEREDITH INTERNATIONAL CENTRE is an important architectural element that creates visual appeal, facilitates safe pedestrian and vehicular circulation, and adds to security. These Outdoor Lighting Guidelines are categorized into two (2) elements: Public Lighting and Parcel Lighting. “Public Lighting” refers to lighting positioned along the perimeter of MEREDITH INTERNATIONAL CENTRE and along internal public streets. “Parcel Lighting” refers to illumination of internal areas for purposes of safety, security, and nighttime ambience.

The following guidelines provide effective and visually appealing outdoor lighting that serve a variety of spaces such as public streets, parking lots, loading docks, walkways, courtyards/patios, building entries, rooftops, and building-mounted façade lights.

a. General Lighting Guidelines

- (1) All outdoor lighting, including spotlights, floodlights, electrical reflectors, and other means of illumination for signs, structures, landscaping, parking, loading, unloading, and similar areas, shall feature cutoff devices as appropriate and be focused, directed, and arranged to minimize glare and “spill over” to public streets or adjoining property.
- (2) Low intensity, energy-conserving night lighting is preferred.
- (3) All lighting fixtures shall be from the same - or complementary - family of fixtures with respect to design, materials, fixture color, and light color.

Outdoor Lighting



- (4) Lights shall be unbreakable plastic, recessed, or otherwise designed to reduce the problems associated with damage and replacement of fixtures.
- (5) Neon and similar types of lighting are prohibited in all areas within MEREDITH INTERNATIONAL CENTRE. The only exception is within Urban Commercial planning areas (Planning Areas 2, 3 and 5) where such lighting may be located in storefront windows.
- (6) All electrical meter pedestals and light switch/control equipment shall be located with minimum public visibility if possible or shall be screened with appropriate plant materials.

b. Public Lighting

- (1) Lighting within the public right-of-way shall adhere to applicable City of Ontario requirements.

c. Parcel Lighting

- (1) Parking lots, loading dock areas, pedestrian walkways, building entrances, and public sidewalks shall be illuminated to the level necessary for building operation and security reasons. Dimmers and motion detectors are permitted.
- (2) Along pedestrian movement corridors, the use of low mounted fixtures (ground or bollard height), which reinforce the pedestrian scale, are encouraged.
- (3) Building-mounted lights generally shall be for architectural accent purposes. Building-mounted lights are permissible for general illumination on building façades that are not fronting public roads, so long as the light is directed downward and

concentrated so “spill over” to other properties does not occur.

- (4) Exterior lights should be used to accent entrances, plazas, activity areas, and special features.
- (5) Trees and other landscape features may be illuminated by concealed uplight fixtures. The angle of the uplight should be no more than 25 degrees.

C.4. Signage Guidelines

Within a large, mixed-use center like MEREDITH INTERNATIONAL CENTRE, signage serves a variety of purposes:

- ➔ To identify MEREDITH INTERNATIONAL CENTRE with elements that convey a distinct character;
- ➔ To ensure the efficient circulation of vehicle traffic within the site;
- ➔ To clearly identify vehicular entry points and to direct vehicles to designated parking areas; and
- ➔ To enhance the pedestrian experience through the design of way finding components: directories, directional signage and destination identifiers.

As such, clear, concise and easy-to-understand signage that is also visually appealing is vitally important for positive worker, resident, and visitor experiences at MEREDITH INTERNATIONAL CENTRE. General design requirements for signage within MEREDITH INTERNATIONAL CENTRE are as follows:

- (1) Signage shall be compatible with and complementary to the building's exterior materials, colors and finishes.
- (2) The dimensions and shape of free-standing signs and sign panels or elements mounted on building façades or marquees shall be scaled proportionately to the architecture.
- (3) All signs shall be contained within the parcel to which applicable and shall be so oriented as to preclude hazardous obstructions to person and/or vision of pedestrians and/or vehicle operators.
- (4) Tenant identification signage shall be in keeping with the character established for MEREDITH INTERNATIONAL CENTRE with variations allowed to accommodate individual tenant identities/corporate branding standards.
- (5) All signs are expected to be of the highest quality to pass eye-level examination and scrutiny, and shall comply with the following fabrication specifications:
 - (a) Signs shall be constructed to eliminate burrs, dents, cutting edges and sharp corners;
 - (b) Welds on exposed surfaces be imperceptible in the finished work;
 - (c) Surfaces which are intended to be flat shall be without dents, bulges, oil canning, gaps or other physical deformities;
 - (d) All fasteners shall be concealed;
 - (e) Access panels shall be tight-fitting, light-proof and flush with adjacent surfaces;
 - (f) Manufacturers' recommended fabrication procedures regarding expansion/contraction, fastening and restraining of acrylic plastic shall be followed; and
 - (g) Painted, polished and plated surfaces shall be unblemished in the finished work.
- (6) Prohibited sign components include the following:
 - (a) Letters with exposed fastening and unfinished edges (unless architecturally consistent);
 - (b) Paper, cardboard, Styrofoam or untreated cloth;

Signage



Signage



- (c) Visible moving parts or simulated moving parts by means of fluttering, rotation, or reflecting devices; and
 - (d) Flashing, flickering, blinking, rotating, moving lights, or any other illuminating device that changes light intensity or color, except for parts designed to give public service information such as time, date, temperature, or similar information.
- (7) Illuminated signs shall comply with the following standards:
- (a) All sign elements must be internally and/or externally illuminated;
 - (b) Primary sign, secondary sign (if applicable) and canopy signs shall remain illuminated during business hours after sundown and shall be controlled by a time clock; and
 - (c) All conductors, transformers, cabinets, housing and other equipment shall be concealed and/or incorporated into storefront and/or sign components.
- (8) Signs shall be constructed so as to not have exposed wiring, raceways, ballasts, conduit, transformers, or the like.
- (9) Direction signs shall be located at any vehicular or pedestrian decision point within MEREDITH INTERNATIONAL CENTRE.
- (10) Vehicular direction signs shall comply with the following standards:
- (a) Vehicular direction signs shall clearly direct to destination anchors within MEREDITH INTERNATIONAL CENTRE, on-site parking areas, and/or freeways;
 - (b) Vehicular direction signs shall be consistent in size, shape and design throughout MEREDITH INTERNATIONAL CENTRE;
 - (c) Vehicular signs should have no more than three messages per sign;
 - (d) Typography on vehicular direction signs should be legible and have enough contrast to be read from an appropriate windshield viewing distance; and
 - (e) Vehicular direction signs shall incorporate reflective vinyl copy for night-time illumination.
- (11) All direction signs and general information signs (e.g., restrooms, telephones, fire extinguishers, elevators, escalators, stairs) throughout MEREDITH INTERNATIONAL CENTRE shall incorporate the appropriate identity symbol as established by the Society of Environmental Graphic Design (SEGD) and comply with all state, local and federal regulations.
- (12) All traffic control signs, whether on public or private property, shall conform to the California Manual on Uniform Traffic Control Devices (MUTCD).

D. INDUSTRIAL DESIGN GUIDELINES

This section sets forth design guidelines that address considerations unique to the Industrial land use category within MEREDITH INTERNATIONAL CENTRE. These design guidelines shall be implemented by development within Planning Area 1 and shall supplement the *Common Design Guidelines* previously provided in Subsection 6.C.

D.1. Architecture Design Guidelines

a. *Site Planning Guidelines*

Buildings within Industrial areas (Planning Area 1) should be oriented as follows.

- (1) Pedestrian access to buildings shall be designed so that the access is visible from surrounding roadways, sidewalks, and parking areas.
- (2) Elements such as trash enclosure areas, loading bay doors, and service docks shall be oriented or screened to minimize their visibility from East 4th Street, North Vineyard Avenue, and Inland Empire Boulevard
- (3) Site design shall specifically address the needs of pick-up, delivery, and service vehicles related to Industrial land uses.
 - (a) Interior driveways and drive aisles shall be designed to provide adequate stacking and prevent queuing of vehicles on public streets.
 - (b) Service entrances shall be sited such that they do not interfere with owner/tenant/customer access.

- (c) Loading areas shall be designed to provide for backing and maneuvering on-site and not from a public street.
- (d) Appropriate on-site service vehicle parking/turnouts shall be provided in an efficient, non-obtrusive location appropriate to the scale and needs of the development.
- (e) Loading vehicles, when parked, shall not impede normal traffic flow.

b. *Building Form*

The following building form guidelines provide for Industrial development within MEREDITH INTERNATIONAL CENTRE that that complements planned development within the CENTRE.

- (1) Architectural design of Industrial buildings may be utilitarian in form; however, consideration should be given to blending the quality of development and façade elevation into the context of MEREDITH INTERNATIONAL CENTRE design theme.
- (2) Textured forms, reveals, or scoring on concrete tilt-up panels is recommended for visual relief; however, smooth panels with color variation may be used in lieu of textured finishes.

c. *Roof Forms*

Roofs shall be designed for functionality and to complement the overall architectural design of the building. Although primary roof forms are expected to be horizontal and flat, architectural projections are permitted and encouraged.

- (1) Primary roof forms should be flat or gently sloping. The ridge line elevation of the primary roof form should not exceed the parapet wall.

- (2) Arched, gable, hip and shed roof forms shall not be used as a primary roof form, but may be used as a secondary/accent roof form.
- (3) All rooftop mounted equipment shall be screened from public view using materials complementary to those used on the main structure (see Subsection 6.C.1.f).

D.2. Landscape Design Guidelines

a. Land Use Transitions

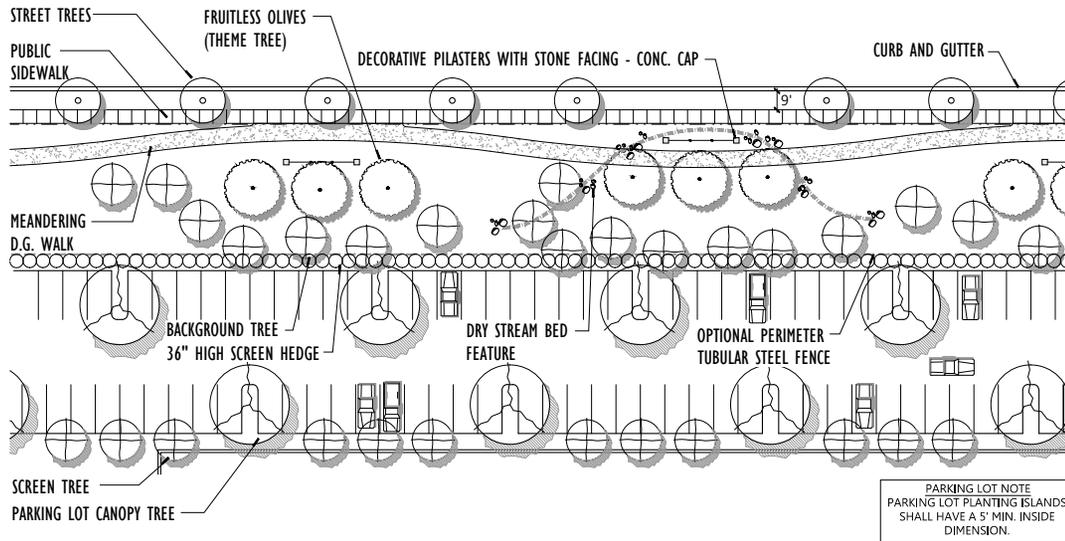
MEREDITH INTERNATIONAL CENTRE utilizes landscape treatments to provide visual and physical buffers between on-site Industrial land uses and various abutting, on- and off-site land uses. Conceptual interface conditions are presented below.

Industrial/East 4th Street Interface

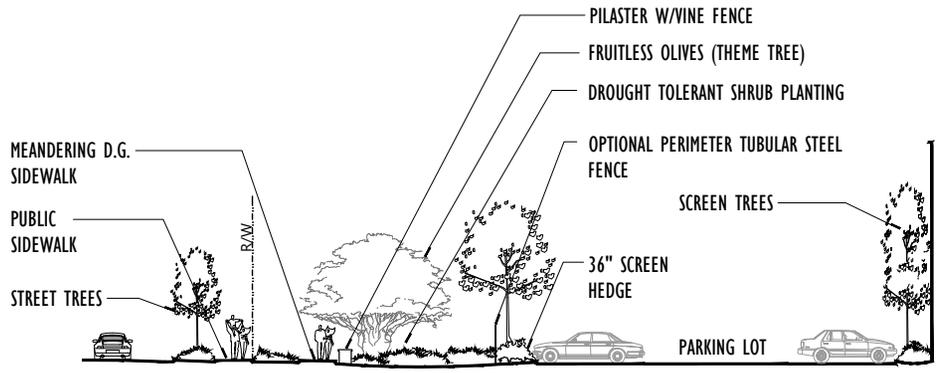
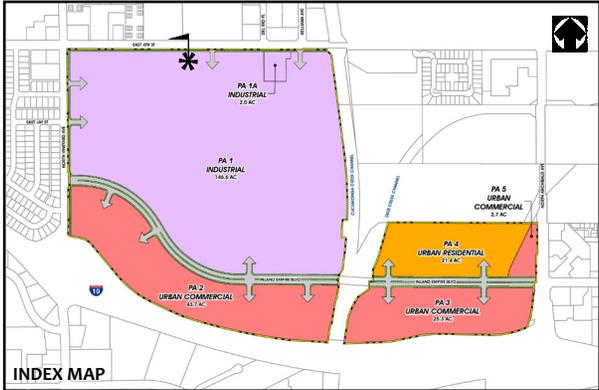
An enhanced landscaped zone is provided between Industrial land uses in Planning Area 1 and East 4th Street. This enhanced landscaped zone effectively serves as a parkway and is intended to promote pedestrian activity within the public right-of-way. The conceptual enhanced landscape zone may feature a meandering sidewalk, and features such as a dry streambed and flowering vines trained to a cable fence (which features decorative stone pilasters). Landscaping within the enhanced landscape zone may include clusters of theme (fruitless olives), evergreen and coniferous trees, and densely planted colorful shrubs. This conceptual interface condition is illustrated on Figure 6-9, *Industrial/East 4th Street Interface*.

Industrial/Cucamonga Creek Interface

The Cucamonga Creek abuts the eastern boundary of Planning Area 1. MEREDITH INTERNATIONAL CENTRE provides a fence to physically separate development from the Creek. Shade and screen trees, shrubs, and groundcovers may be planted along the fence to soften the appearance of the fence from within MEREDITH INTERNATIONAL CENTRE and to screen on-site buildings from off-site public viewing areas. Alternatively, a screen wall over 12 feet in height (featuring an articulated exterior wall face) with no landscaping is allowed along this interface. See Figure 6-10, *Industrial/Cucamonga Creek Interface*.

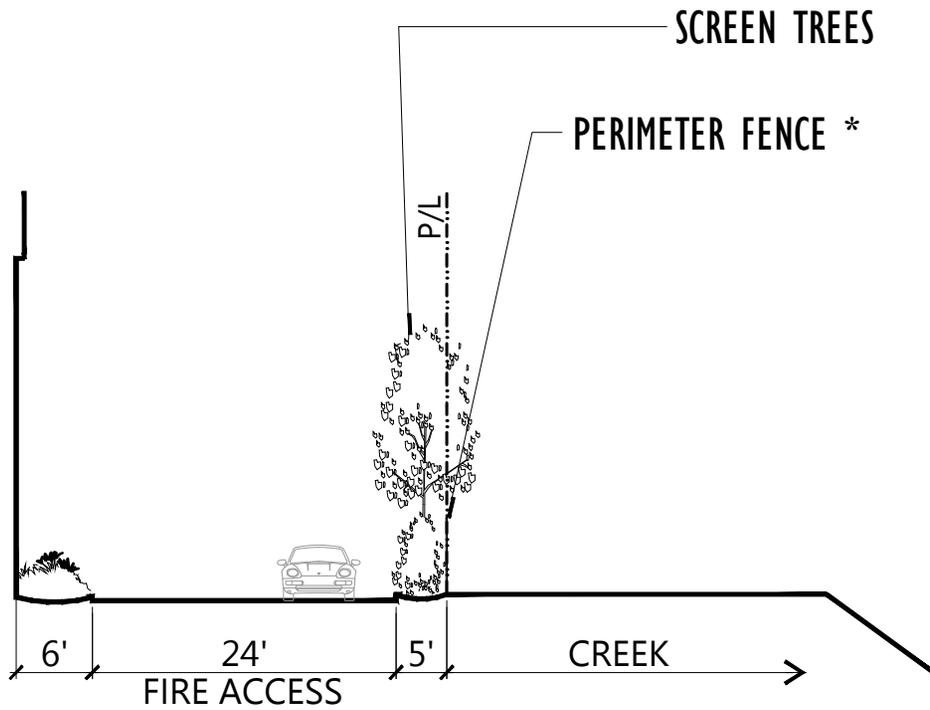
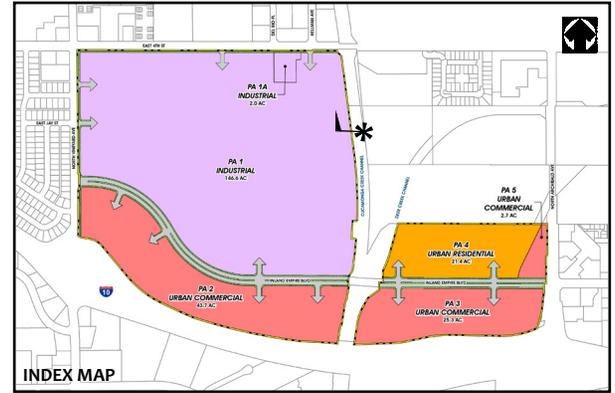


PLAN VIEW



ELEVATION VIEW

Source: SJA (01-19-2015)



PA 1/CUCAMONGA CREEK

* Alternatively, a screen wall over 12 feet in height with no landscaping is allowed along this interface.

Source: SJA (01-19-2015)

E. URBAN COMMERCIAL DESIGN GUIDELINES

This section sets forth design guidelines that address considerations unique to the Urban Commercial land use category within MEREDITH INTERNATIONAL CENTRE. These design guidelines shall be implemented by development within Planning Areas 2, 3, and 5, and shall supplement the *Common Design Guidelines* previously provided in Subsection 6.C.

E.1. Architecture Design Guidelines

a. *Site Planning Guidelines*

The design of building sites, public spaces, and the pedestrian environmental plays an important role in creating an innovative, exciting Urban Commercial center with a welcoming, positive atmosphere. Building site design influences not only how users experience the center, but also how motorists on nearby roadways view the development.

Additionally, the southern portion of Planning Areas 2 and 3 are visible to motorists on Interstate 10 and special care is required to ensure buildings are visually appealing when viewed from the freeway.

The following site planning design guidelines promote aesthetic quality, efficient use of land, and public safety.

- (1) Gathering places for people should be furnished with appropriate site amenities such as benches, low walls, and shade (trees and/or shade structures).
- (2) Primary building entrances should face off-street parking areas.

- (3) Site design shall specifically address the needs of pick-up, delivery, and service vehicles related to Urban Commercial land uses.
 - (a) Service entrances shall be sited such that they do not interfere with owner/tenant/customer access.
 - (b) Loading areas shall be designed to provide for backing and maneuvering on-site and not from a public street.
 - (c) Appropriate on-site service vehicle parking/turnouts shall be provided in an efficient, non-obtrusive location appropriate to the scale and needs of the development.
 - (d) Loading vehicles, when parked, shall not impede normal traffic flow.
- (4) When possible, individual parcels should make internal connections to adjoining Urban Commercial parcels to encourage walking instead of driving to the same destination.
- (5) Well-defined pedestrian connections shall be provided from parking areas to building entrances.
- (6) Clearly delineated pedestrian paths should be provided from perimeter sidewalks to implementing development.
- (7) Bicycle parking areas shall be located near the building's main entrance.

b. *Building Form*

The following building form guidelines provide for Urban Commercial development within MEREDITH INTERNATIONAL CENTRE that is visually appealing and welcoming.

- (1) Building massing shall consist of a mix of building heights to provide visual interest.

- (2) Building form should be simple and maximize the play of light on mass and void to provide strong contrasts. Blank walls shall be carefully balanced between glass and wall areas.
- (3) Building faces that orient toward North Vineyard Avenue, North Archibald Avenue, Inland Empire Boulevard, and Interstate 10 shall consider their appearance in relation to the public streets and freeway corridor. Free-standing architectural treatment may be used in front of the building walls to create layering.
- (4) Lower building masses, signage, doors, light fixtures, and/or landscape planters should be provided adjacent to pedestrian entries – particularly entries that face North Vineyard Avenue, North Archibald Avenue, Inland Empire Boulevard, and Interstate 10 – and walkways in order to create human-scaled development.

c. Roof Forms

Roofs shall be designed for functionality and to complement the overall architectural design of the building. Although primary roof forms are expected to be horizontal and flat, architectural projections are permitted and encouraged.

- (1) Buildings shall incorporate vertical plane breaks, changes in building/ridge height, or other accent roof forms to create visual interest.
- (2) Primary roof forms should be flat or gently sloping. The ridge line elevation of the primary roof form should not exceed the parapet wall.

- (3) Arched, gable, hip and shed roof forms shall not be used as a primary roof form, but may be used as a secondary/accent roof form.
- (4) When used, parapet walls shall incorporate side/rear elevation returns to preclude an unfinished, “false front” appearance.
- (5) Exposed downspouts and overflow holes on building front façades are prohibited.
- (6) All rooftop mounted equipment shall be screened from public view using materials complementary to those used on the main structure (see Subsection 6.C.1.f, *Functional Elements*).

d. Functional Elements

Loading Doors and Service Docks

- (1) Service and delivery/loading areas shall be separated from visitor, customer, and resident parking areas and pedestrian circulation areas (walkways, pathways, etc.).

E.2. Landscape Design Guidelines

a. Land Use Transitions

MEREDITH INTERNATIONAL CENTRE utilizes landscape treatments to provide visual and physical buffers between on-site Urban Commercial land uses and various abutting, off-site land uses. The conceptual interface conditions are described below and illustrated on the following pages.

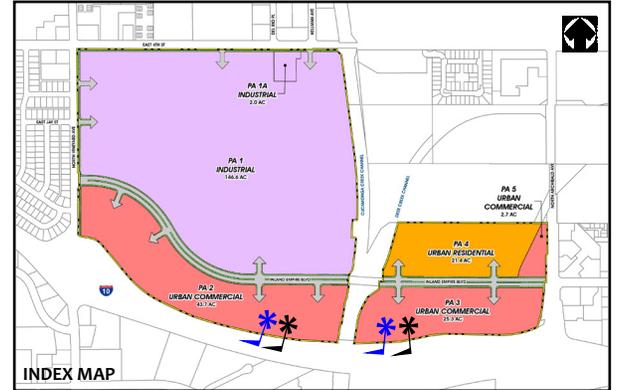
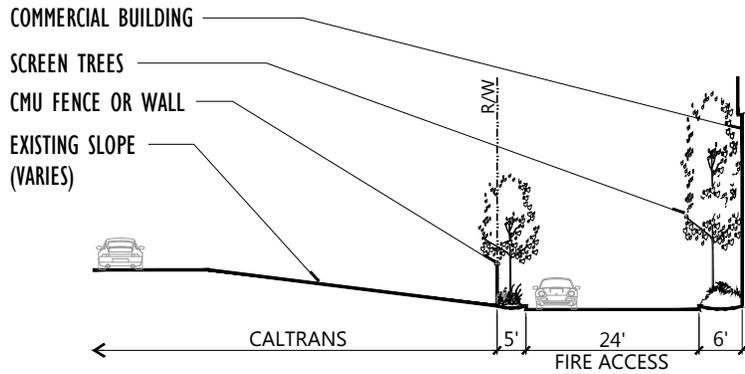
Urban Commercial/Interstate 10 Interface

The southern boundary of MEREDITH INTERNATIONAL CENTRE (Planning Areas 2 and 3) abuts Interstate 10. At this interface, layers of shade trees and shrub masses provide a green buffer between Urban Commercial development and the freeway, and a solid masonry wall or fence separation at MEREDITH INTERNATIONAL CENTRE.

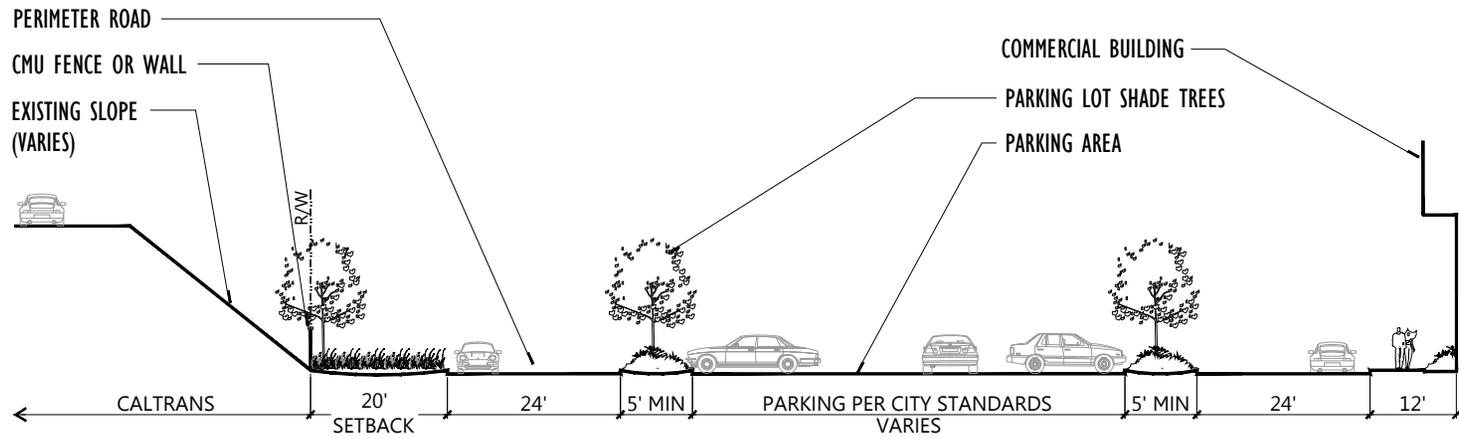
Figure 6-11, *Urban Commercial/Interstate 10 Interface*, illustrates two conceptual design options at the Urban Commercial/Interstate 10 interface: one option where a front building elevation and parking lot are oriented toward the freeway and another option where a side or rear elevation and drive aisle are oriented toward the freeway. Figure 6-11 also illustrates the varying topographic conditions along this interface; along some portions of the interface, Interstate 10 is elevated above MEREDITH INTERNATIONAL CENTRE and along other portions the CENTRE is generally level with the freeway.

Urban Commercial/Cucamonga Creek Interface

The Cucamonga Creek abuts the eastern boundary of Planning Area 2 and the western boundary of Planning Area 3. To protect the character and integrity of this open space area, MEREDITH INTERNATIONAL CENTRE provides a solid masonry wall or fence along this interface to physically separate development from the Creek. Large canopied shade trees and masses and shrubs and groundcovers are planted along the masonry wall or fence to soften the appearance of the wall from within MEREDITH INTERNATIONAL CENTRE. Figure 6-12, *Urban Commercial/Cucamonga Creek Interface*, presents a conceptual illustration of this interface.

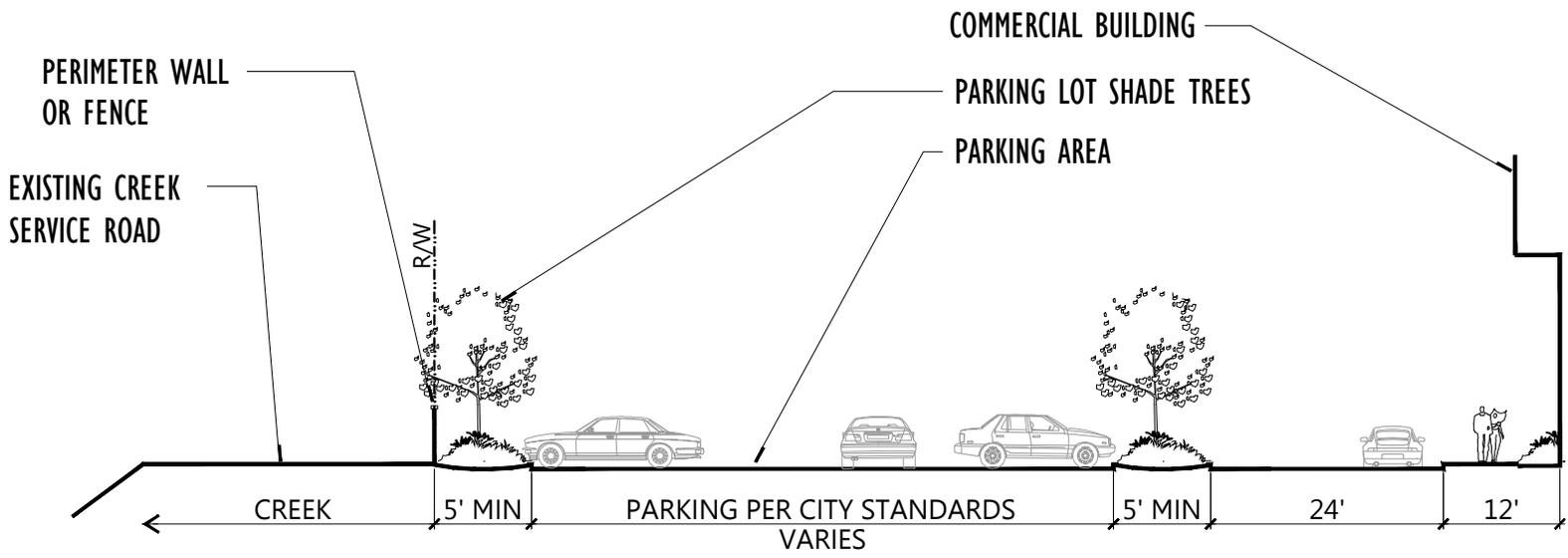
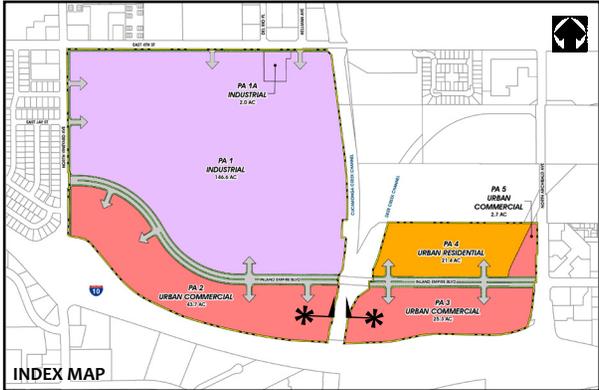


PA 2 & 3/I-10 INTERFACE



PA 2 & 3/I-10 INTERFACE

Source: SJA (01-19-2015)



PA 2 & 3/CUCAMONGA CREEK

Source: SJA (01-19-2015)

FIGURE 6-12 URBAN COMMERCIAL/CUCAMONGA CREEK INTERFACE

F. URBAN RESIDENTIAL DESIGN GUIDELINES

This section sets forth design guidelines that address considerations unique to the Urban Residential land use category within MEREDITH INTERNATIONAL CENTRE. These design guidelines shall be implemented by development within Planning Area 4 and shall supplement the *Common Design Guidelines* previously provided in Subsection 6.C.

F.1. Architecture Design Guidelines

a. *Site Planning Guidelines*

- (1) Site planning should emphasize pedestrian access and connections to public sidewalks, bikeways, the trail adjacent to Cucamonga Creek, and the potential Gold Line LRT.
- (2) Transitional spaces between common areas and private areas such as entry courtyards, private patios, low walls, and porches are encouraged.
- (3) The location of doors and windows should consider indoor/outdoor relationships to create intimate and secure spaces.
- (4) Private outdoor spaces such as balconies and patios should be oriented away from noise-generating uses (e.g., adjacent public streets and Planning Area 5) when possible.

b. *Building Form*

The following building form guidelines provide for Urban Residential development within MEREDITH INTERNATIONAL CENTRE that is visually appealing, street friendly, and pedestrian scale.

- (1) The scale of buildings shall be broken down through the use of varied building massing and forms on a single structure.
- (2) Building details should be proportional to the overall massing.
- (3) Corner buildings should provide massing and details that reflect the visual prominence of this location at a pedestrian scale.
- (4) Vertical and horizontal plane breaks are strongly encouraged on all four sides of buildings as a functional element or detail enhancement. Offset forms are appropriate for changes in materials and/or colors. Blank or unarticulated (uninterrupted) walls are discouraged in areas visible from the public street and/or common areas.
- (5) Building elevations should consider sun orientation by including shaded and sheltered areas.
- (6) Balconies are recommended to break up large wall planes, add human scale to buildings, and provide outdoor living opportunities. Balcony composition should create visual interest and should reinforce the architectural style of the building. Balconies should be designed to screen stored items.

c. *Windows and Doors*

Supplemental window and door guidelines for Urban Residential development within MEREDITH INTERNATIONAL CENTRE are provided below:

- (1) Doors should be protected by porch elements or recessed entries.

- (2) Window details such as shutters, trim surrounds, window boxes and window recesses are encouraged in keeping with the architectural style.

d. Roof Forms

Roofs shall be designed for functionality and to complement the overall architectural design of the building. The following roof design guidelines shall apply to Urban Residential development within MEREDITH INTERNATIONAL CENTRE.

- (1) Buildings shall incorporate vertical plane breaks, changes in building/ridge height, direction of gables, or other accent roof forms to create visual interest.
- (2) Appropriate forms include traditional hip and gable designs but also include curved roofs, flat roofs with parapet walls, and half gable roofs.
- (3) Exposed downspouts and overflow holes on building front façades shall be discrete and carefully located.
- (4) Rooftop mounted equipment is prohibited unless screened from view at surrounding streets.

F.2. Landscape Design Guidelines

a. Land Use Transitions

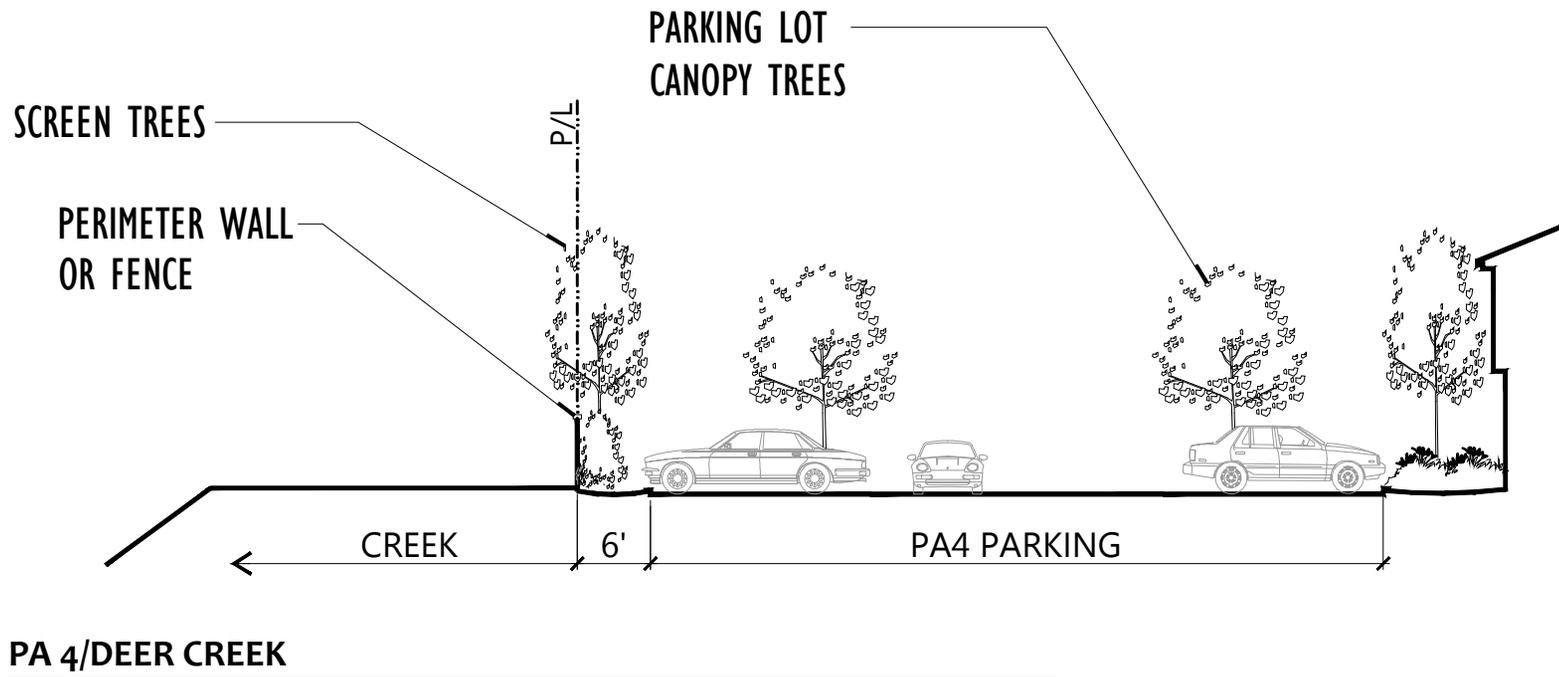
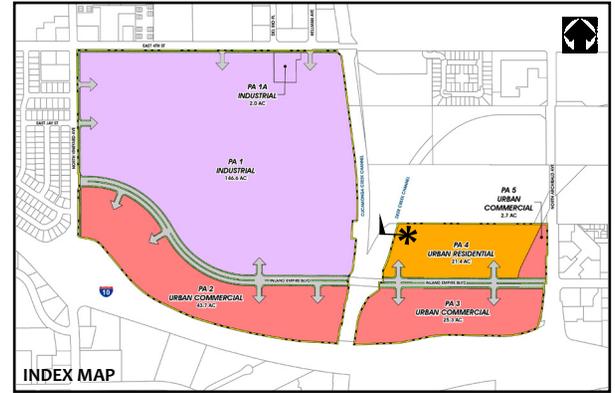
MEREDITH INTERNATIONAL CENTRE utilizes landscape treatments to provide visual and physical buffers between on-site Urban Residential land uses and various abutting, on- and off-site land uses. The conceptual interface conditions are described below and illustrated on the following pages.

Urban Residential/Deer Creek Interface

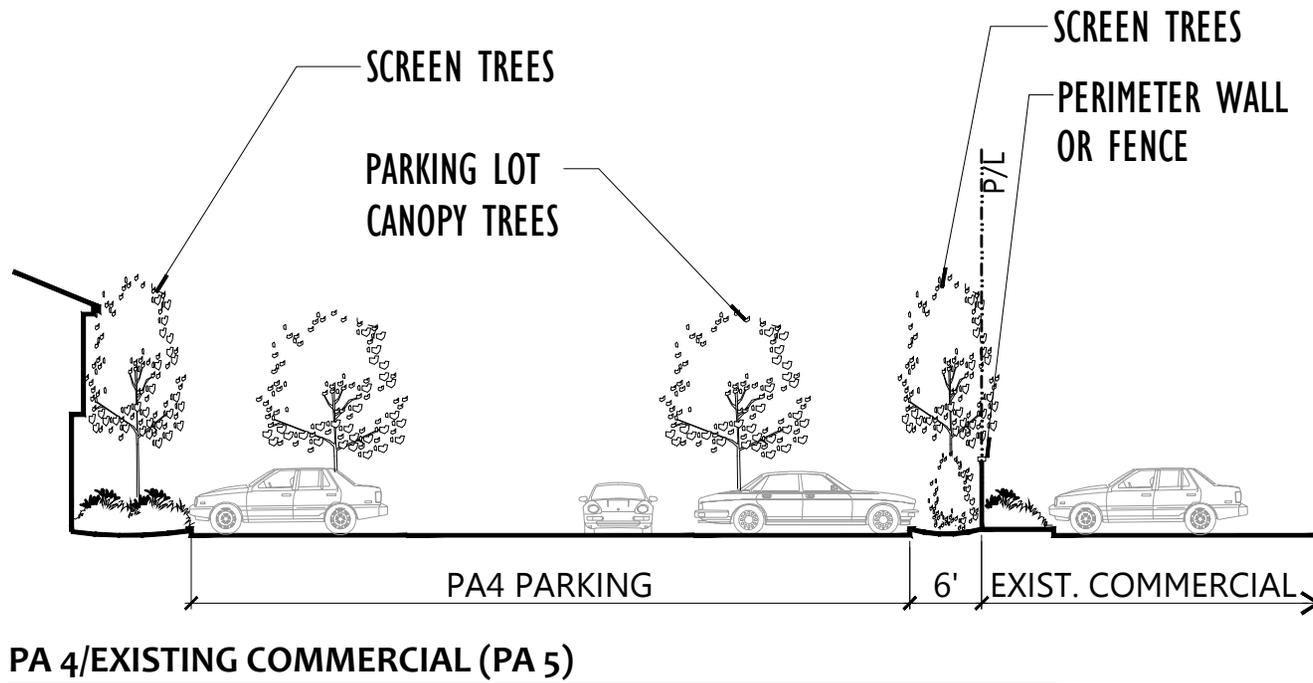
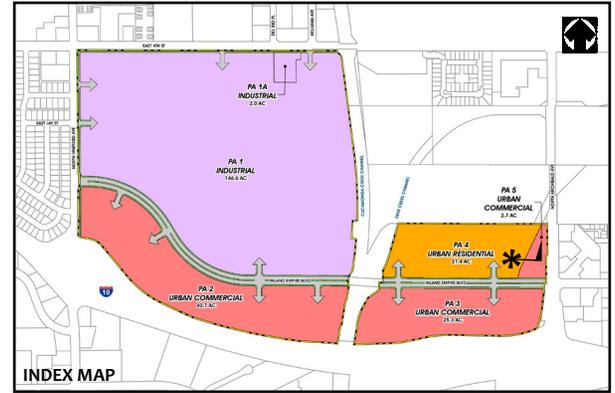
The western boundary of Planning Area 4 abuts Deer Creek. MEREDITH INTERNATIONAL CENTRE provides a solid masonry wall or fence along this interface to physically separate development from the Creek. Large canopied shade trees and masses and shrubs and groundcovers are planted along the masonry wall or fence to soften the appearance of the wall or fence from residential areas within Planning Area 4. Figure 6-13, *Urban Residential/Deer Creek Interface*, provides a conceptual illustration of this interface.

Urban Residential/Urban Commercial Interface

As depicted in Figure 6-14, *Urban Residential/Urban Commercial Interface*, MEREDITH INTERNATIONAL CENTRE provides a solid masonry wall or fence and several layers of landscaping (primarily evergreen and coniferous screen trees) to create a physical barrier between planned residential land uses in Planning Area 4 and existing Urban Commercial land uses in Planning Area 5 and to reduce the visibility of Urban Commercial buildings. The height of the masonry wall or fence shall be adequate to separate residents in Planning Area 4 from routine operations in Planning Area 5. Landscaping, including shrubs/hedges and vines shall be planted on both sides of the masonry wall or fence to soften the appearance.



Source: SJA (01-19-2015)



Source: SJA (01-19-2015)