

## **6. DESIGN GUIDELINES**

The South Milliken Avenue Specific Plan proposes to adopt the newly approved City of Ontario "Industrial Development Design Guidelines" as the guidelines for their development. Within this section are summaries of the sections that may be most needed as reference for future development. For a more detailed guide, refer to the City of Ontario Development Code for Industrial Districts in its entirety. The sections summarized here are:

**6.1 Building Design Features**

**6.2 Loading/Storage**

**6.3 Fencing**

**6.4 Lighting**

### **6.1 Building Design Features**

As mentioned in the Introductory Provisions of this document, the City of Ontario is one of the most rapidly expanding areas in Southern California. This is verified by the fact that numerous large-scale industrial developments have chosen Ontario as their "home." It is believed that one primary reason for this growth, is Ontario's exceptional central location.

This industrial growth has simultaneously brought about a resurgence of creative, high quality industrial development. The City of Ontario seized this opportunity by establishing design guidelines at the onset of this rapid development. The City promoted high quality architecture, landscaping, and over-all construction guidelines. Most important of these guidelines, was the establishment of ratios for breaking up long horizontal plans, which are universal to large industrial developments.

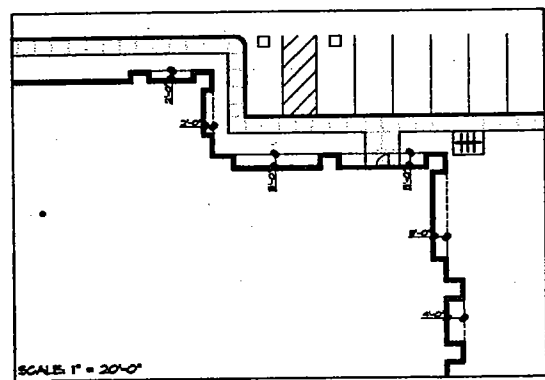
The City and several architects seemed to all agree that, by using various landscape treatments, tower elements, tall voids, and entry plazas, these large "industrial masses" could be made to be "beautiful." Driving through these developed industrial areas is a pleasurable experience, because of these beautiful architectural and landscape elements.

The project intends to equal or exceed the high quality industrial development that has been established. Therefore, The South Milliken Avenue Specific Plan is incorporating the City of Ontario's Industrial Development Design Guidelines.

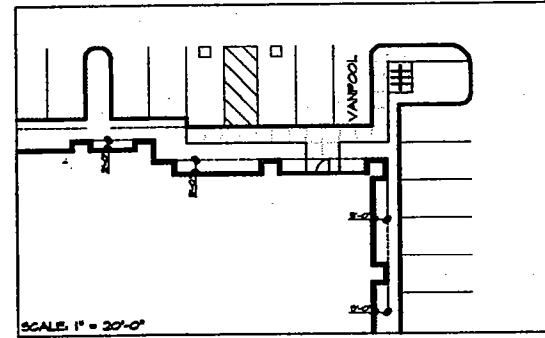
The following is a highlighted summary of the guidelines that the South Milliken Avenue Specific Plan will follow.

- A consistent architectural style should be adhered to for each project, including building design and all other elements of the development, such as walls, planters, lighting, etc.
- Highlight primary building entries through the massing of the building.
- Long expanse of building area should be avoided. Changes in vertical and horizontal plans are preferred. Refer to the ratios of vertical and horizontal plans under General Massing, p. 17-14.
- Buildings should have a recognizable "base" and "top." This can be created by the use of texture, color, architectural treatments, and landscaping.
- Colors for large building surfaces should be muted and lighter in value.

All proposed site plans, including architectural designs, shall be subject to the review and approval of the City of Ontario Development Advisory Board. Submittal shall include all the requirements listed on the Development Advisory Review application form. **See Exhibits 16, Site Plan, and 17 through 20, Building Elevations.**



ENLARGED POP-OUT PLAN A&B, TYP.



ENLARGED POP-OUT PLAN C-H, SIM.

LOT AREA:	71,666 #
TOTAL BUILDING AREA:	56,702 #
building footprint:	38,202 #
mezzanine:	1,800 #
SITE COVERAGE:	47.1 %
PARKING PROVIDED:	88 spaces
STANDARD:	80 spaces
HANDICAP ACCESSIBLE:	8 spaces
PARKING REQUIRED (less 10%):	62 spaces
PARKING REQUIRED:	64 spaces
OFFICE (8'x20')	12 spaces
STORAGE (8'x20')	7 spaces
REVENUE (8'x20')	45 spaces
PARKING RATIO PROVIDED:	1.78/1000
LANDSCAPE REQUIRED (10%):	71,664 #
LANDSCAPE PROVIDED:	15,225 #

BUILDING "A"

LOT AREA:	61,524 #
TOTAL BUILDING AREA:	27,822 #
building footprint:	23,682 #
mezzanine:	1,800 #
SITE COVERAGE:	44.2 %
PARKING PROVIDED:	48 spaces
STANDARD:	47 spaces
HANDICAP ACCESSIBLE:	1 space
PARKING REQUIRED (less 10%):	47 spaces
PARKING REQUIRED:	52 spaces
OFFICE (8'x20')	12 spaces
STORAGE (8'x20')	7 spaces
REVENUE (8'x20')	33 spaces
PARKING RATIO PROVIDED:	1.71/1000
LANDSCAPE REQUIRED (10%):	6,156 #
LANDSCAPE PROVIDED:	10,754 #

BUILDING "B"

LOT AREA:	56,245 #
TOTAL BUILDING AREA:	14,902 #
building footprint:	14,902 #
SITE COVERAGE:	26.5 %
PARKING PROVIDED:	38 spaces
STANDARD:	34 spaces
HANDICAP ACCESSIBLE:	4 spaces
PARKING REQUIRED (less 10%):	26 spaces
PARKING REQUIRED:	24 spaces
OFFICE (8'x20')	4 spaces
STORAGE (8'x20')	4 spaces
REVENUE (8'x20')	16 spaces
PARKING RATIO PROVIDED:	1.74/1000
LANDSCAPE REQUIRED (10%):	6,126 #
LANDSCAPE PROVIDED:	9,802 #

BUILDING "C"

LOT AREA:	44,917 #
TOTAL BUILDING AREA:	14,844 #
building footprint:	14,844 #
SITE COVERAGE:	44.2 %
PARKING PROVIDED:	88 spaces
STANDARD:	84 spaces
HANDICAP ACCESSIBLE:	4 spaces
PARKING REQUIRED (less 10%):	55 spaces
PARKING REQUIRED:	40 spaces
OFFICE (8'x20')	10 spaces
STORAGE (8'x20')	25 spaces
REVENUE (8'x20')	5 spaces
PARKING RATIO PROVIDED:	1.81/1000
LANDSCAPE REQUIRED (10%):	4,492 #
LANDSCAPE PROVIDED:	5,214 #

BUILDING "D"

LOT AREA:	24,445 #
TOTAL BUILDING AREA:	5,235 #
building footprint:	5,235 #
SITE COVERAGE:	51.0 %
PARKING PROVIDED:	37 spaces
STANDARD:	27 spaces
HANDICAP ACCESSIBLE:	10 spaces
PARKING REQUIRED (less 10%):	27 spaces
PARKING REQUIRED:	30 spaces
OFFICE (8'x20')	4 spaces
STORAGE (8'x20')	12 spaces
REVENUE (8'x20')	14 spaces
PARKING RATIO PROVIDED:	1.71/1000
LANDSCAPE REQUIRED (10%):	2,495 #
LANDSCAPE PROVIDED:	2,521 #

BUILDING "E"

GROSS LOT AREA:	470,506 #
NET LOT BUILDABLE AREA:	482,646 #
MEZZANINE:	4,400 #
WILDLIFE REFUGE:	25,248 #
TOTAL BUILDING AREA:	205,080 #
SITE COVERAGE (NET):	47.0 %
SITE COVERAGE (GROSS):	48.2 %
PARKING PROVIDED:	88 spaces
STANDARD:	80 spaces
HANDICAP ACCESSIBLE:	8 spaces
PARKING REQUIRED (LESS 10%):	56.0 spaces
PARKING RATIO PROVIDED:	1.78/1000
LANDSCAPE REQUIRED (NET) (10%):	45,268 #
LANDSCAPE PROVIDED (NET):	55,711 #

PROJECT SUMMARY

LOT AREA:	25,225 #
TOTAL BUILDING AREA:	11,412 #
building footprint:	11,412 #
SITE COVERAGE:	44.5 %
PARKING PROVIDED:	31 spaces
STANDARD:	23 spaces
HANDICAP ACCESSIBLE:	8 spaces
PARKING REQUIRED (less 10%):	23 spaces
PARKING REQUIRED:	25 spaces
OFFICE (8'x20')	6 spaces
STORAGE (8'x20')	3 spaces
REVENUE (8'x20')	16 spaces
PARKING RATIO PROVIDED:	1.88/1000
LANDSCAPE REQUIRED (10%):	2,516 #
LANDSCAPE PROVIDED:	2,606 #

BUILDING "F"

LOT AREA:	35,817 #
TOTAL BUILDING AREA:	17,621 #
building footprint:	16,200 #
mezzanine:	1,200 #
SITE COVERAGE:	47.0 %
PARKING PROVIDED:	58 spaces
STANDARD:	57 spaces
HANDICAP ACCESSIBLE:	1 space
PARKING REQUIRED (less 10%):	55 spaces
PARKING REQUIRED:	57 spaces
OFFICE (8'x20')	10 spaces
STORAGE (8'x20')	5 spaces
REVENUE (8'x20')	23 spaces
PARKING RATIO PROVIDED:	1.84/1000
LANDSCAPE REQUIRED (10%):	3,817 #
LANDSCAPE PROVIDED:	4,541 #

BUILDING "G"

LOT AREA:	58,825 #
TOTAL BUILDING AREA:	17,467 #
building footprint:	16,267 #
mezzanine:	1,200 #
SITE COVERAGE:	40.1 %
PARKING PROVIDED:	58 spaces
STANDARD:	57 spaces
HANDICAP ACCESSIBLE:	1 space
PARKING REQUIRED (less 10%):	52 spaces
PARKING REQUIRED:	58 spaces
OFFICE (8'x20')	10 spaces
STORAGE (8'x20')	4 spaces
REVENUE (8'x20')	23 spaces
PARKING RATIO PROVIDED:	1.85/1000
LANDSCAPE REQUIRED (10%):	5,885 #
LANDSCAPE PROVIDED:	2,820 #

BUILDING "H"

LOT AREA:	41,024 #
TOTAL BUILDING AREA:	21,501 #
building footprint:	20,301 #
mezzanine:	1,200 #
SITE COVERAGE:	51.4 %
PARKING PROVIDED:	88 spaces
STANDARD:	84 spaces
HANDICAP ACCESSIBLE:	4 spaces
PARKING REQUIRED (less 10%):	58 spaces
PARKING REQUIRED:	42 spaces
OFFICE (8'x20')	10 spaces
STORAGE (8'x20')	6 spaces
REVENUE (8'x20')	26 spaces
PARKING RATIO PROVIDED:	1.78/1000
LANDSCAPE REQUIRED (10%):	4,105 #
LANDSCAPE PROVIDED:	4,841 #

BUILDING "J"

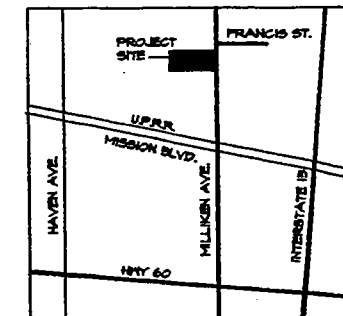
LOT AREA:	41,781 #
TOTAL BUILDING AREA:	21,501 #
building footprint:	20,301 #
mezzanine:	1,200 #
SITE COVERAGE:	51.0 %
PARKING PROVIDED:	88 spaces
STANDARD:	80 spaces
HANDICAP ACCESSIBLE:	8 spaces
PARKING REQUIRED (less 10%):	58 spaces
PARKING REQUIRED:	42 spaces
OFFICE (8'x20')	10 spaces
STORAGE (8'x20')	6 spaces
REVENUE (8'x20')	26 spaces
PARKING RATIO PROVIDED:	1.78/1000
LANDSCAPE REQUIRED (10%):	4,178 #
LANDSCAPE PROVIDED:	4,711 #

BUILDING "K"

**DEVELOPER/OWNERS**  
 JACKSON SMITH PROJECT MANAGER  
 PANATTONI DEVELOPMENT  
 18000 PARKFIELD, SUITE 255  
 IRVINE, CA 92612  
 PHONE: (949) 474-7850  
 FAX: (949) 474-7858

**ARCHITECT**  
 CARILE COATSWORTH ARCHITECTS  
 CALVIN J. COATSWORTH, AIA  
 2450 DUPONT DRIVE  
 IRVINE, CA 92612  
 PHONE: (949) 855-1150  
 FAX: (949) 855-1140

PROJECT TEAM

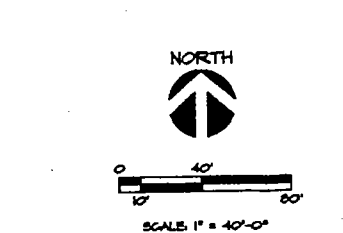


KEY MAP

ALL THAT PORTION OF THE SOUTHWEST 1/4 OF SECTION 26, TOWNSHIP 1 SOUTH, RANGE 1 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL MAP OF SAID LAND APPROVED BY THE UNITED STATES SURVEYOR, GENERAL'S OFFICE, SAN FRANCISCO, CALIFORNIA ON APRIL 16, 1997, DESCRIBED AS FOLLOWS:

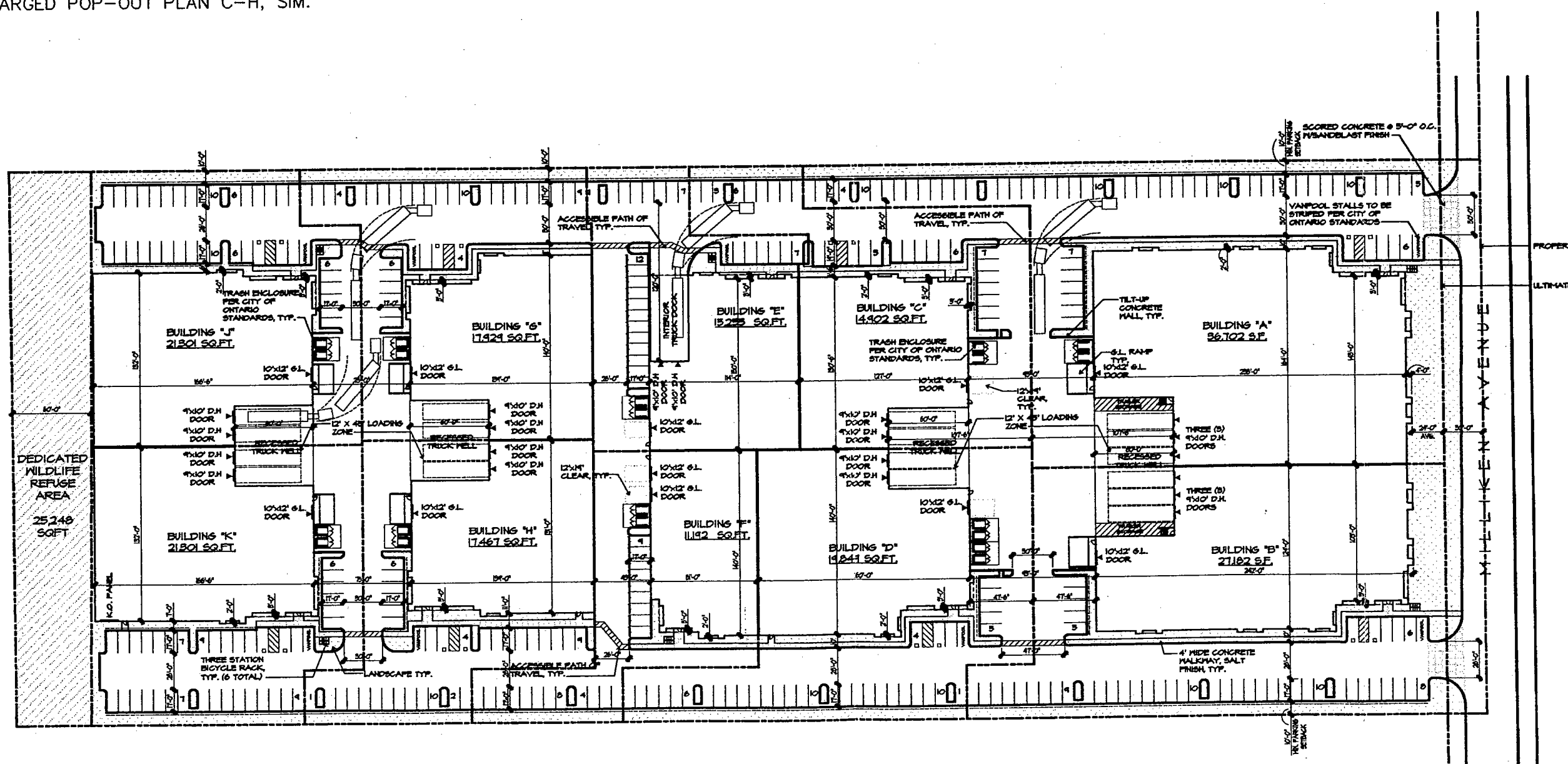
EXCEPTING THEREOF THE EAST 30 FEET, AS CONVEYED TO THE COUNTY OF SAN BERNARDINO, A BODY CORPORATE AND POLITY, BY DEED RECORDED NOVEMBER 23, 1992, IN BOOK 5005, PAGE 18, OFFICIAL RECORDS.

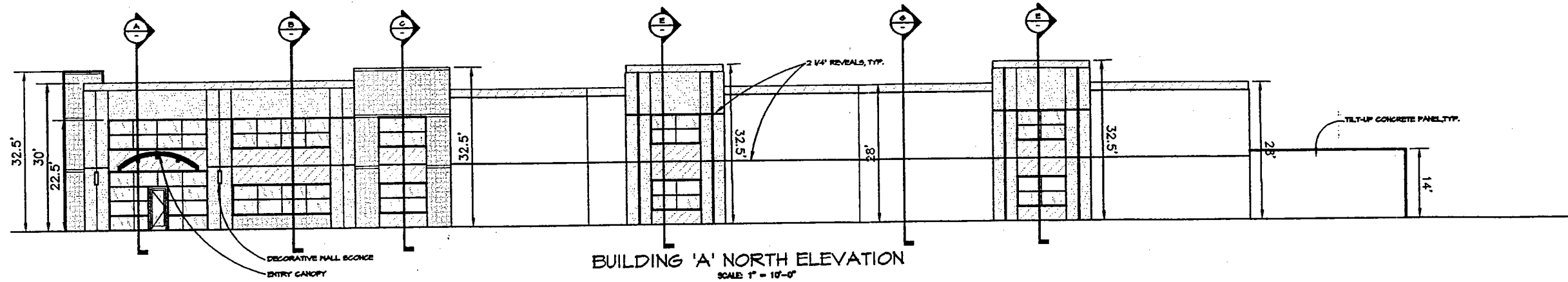
LEGAL DESCRIPTION



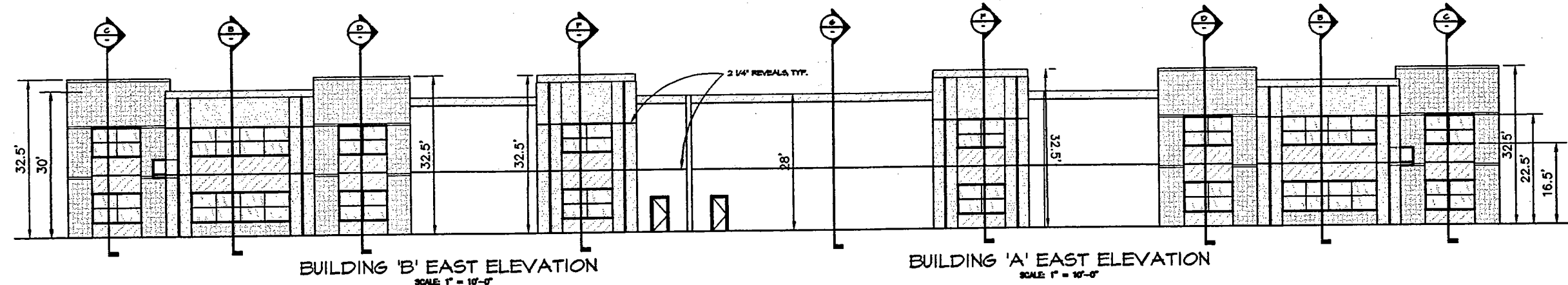
Carile Coatsworth Architects, Inc  
 2450 Dupont - Irvine, CA 92612 - Phone: 949.855.1150 - Fax: 949.855.1140

**PANATTONI**  
 Panattoni Development Company LLC  
 18000 Parkfield - Suite 255 - Irvine, CA 92612 - Phone: 949.474.7850 - Fax: 949.474.7858



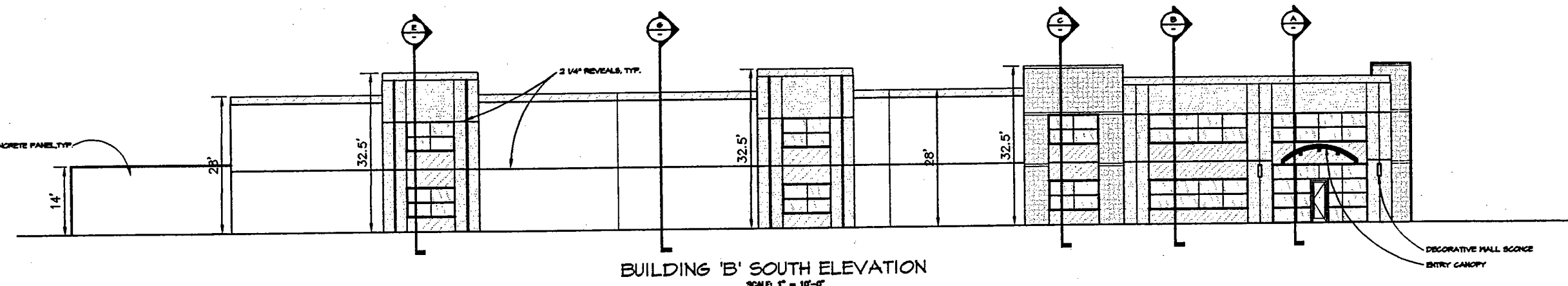


BUILDING 'A' NORTH ELEVATION  
SCALE: 1" = 10'-0"

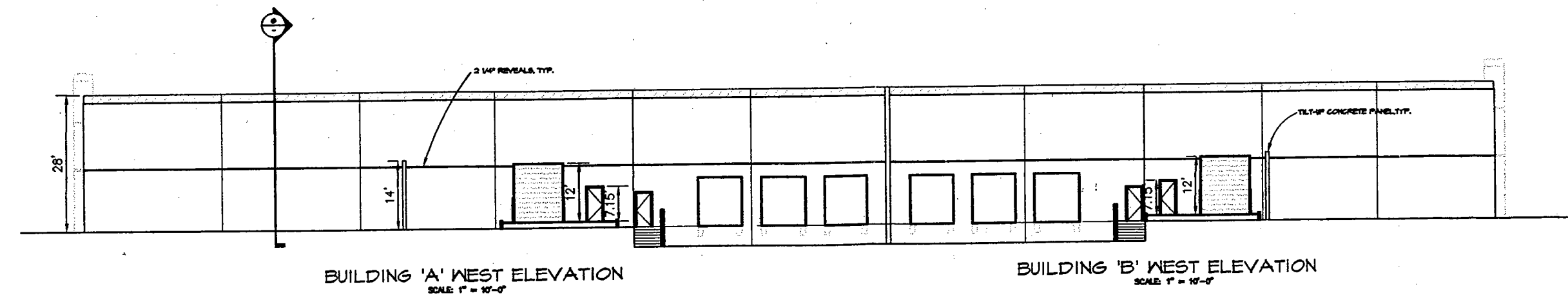


BUILDING 'B' EAST ELEVATION  
SCALE: 1" = 10'-0"

BUILDING 'A' EAST ELEVATION  
SCALE: 1" = 10'-0"

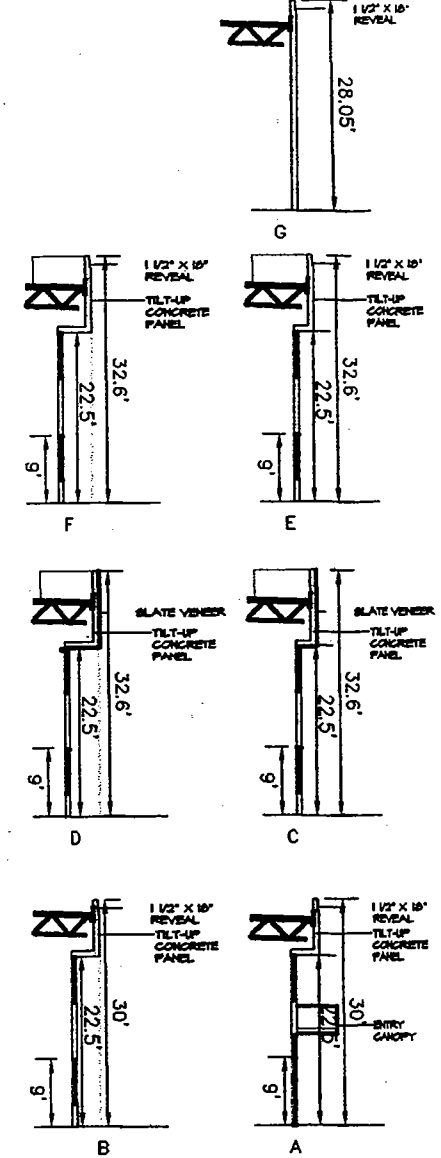


BUILDING 'B' SOUTH ELEVATION  
SCALE: 1" = 10'-0"

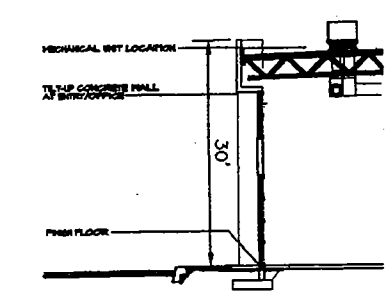


BUILDING 'A' WEST ELEVATION  
SCALE: 1" = 10'-0"

BUILDING 'B' WEST ELEVATION  
SCALE: 1" = 10'-0"



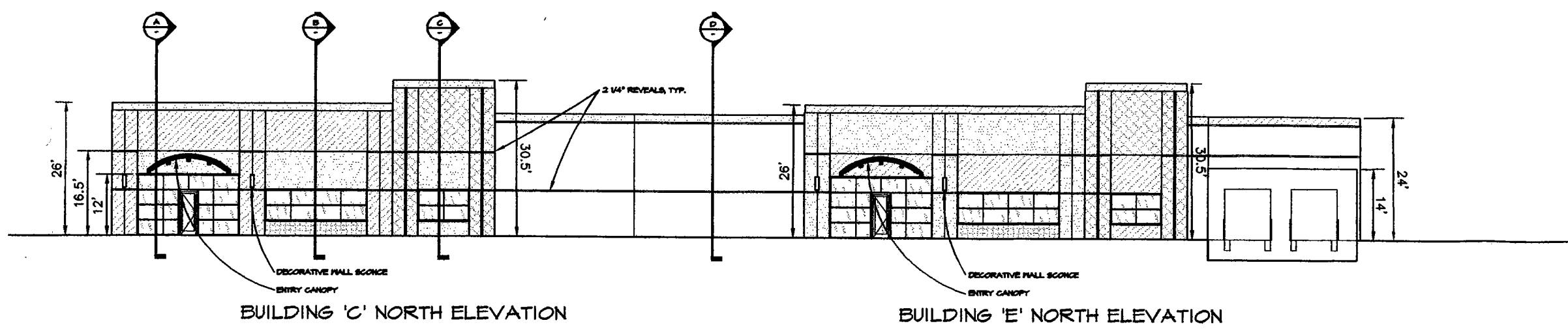
TYPICAL FEATURE PANEL SECTIONS  
SCALE: 1" = 10'-0"



TYPICAL ROOFTOP SCREENING  
SCALE: 1" = 10'-0"

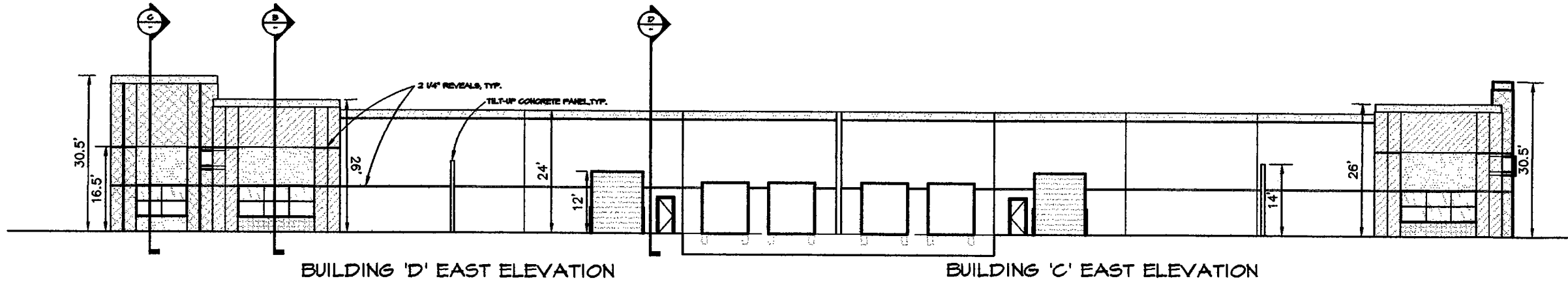
	TILT-UP CONCRETE WALL PANEL, ONE COAT FINISH, ONE COAT FIELD PAINT COLOR, SHIPWEN PELLAS, 1/2\"/>
	TILT-UP CONCRETE WALL PANEL, ONE COAT FINISH, ONE COAT ACCENT PAINT COLOR, SHIPWEN PELLAS, 1/2\"/>
	TILT-UP CONCRETE WALL PANEL, ONE COAT FINISH, ONE COAT ACCENT PAINT COLOR, SHIPWEN PELLAS, 1/2\"/>
	MULTICOLOR SLATE TILE SPOT AND SPOT ACCENT TILES OVER TILT-UP CONCRETE PANEL.
	REFLECTIVE GLAZING WITH ANODIZED CLEAR ALUMINUM MULLION, VERTICAL BLUE SCOPER, TYP.

FINISH LEGEND



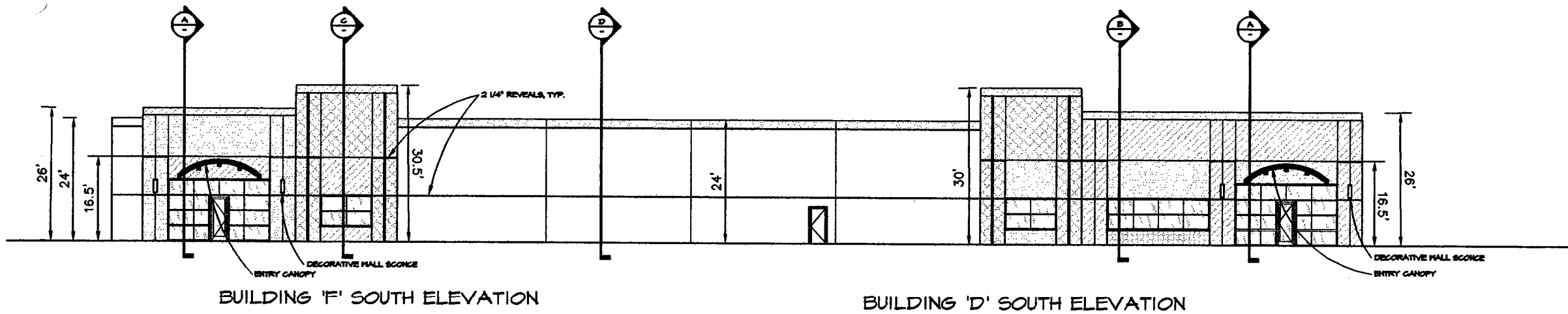
BUILDING 'C' NORTH ELEVATION

BUILDING 'E' NORTH ELEVATION



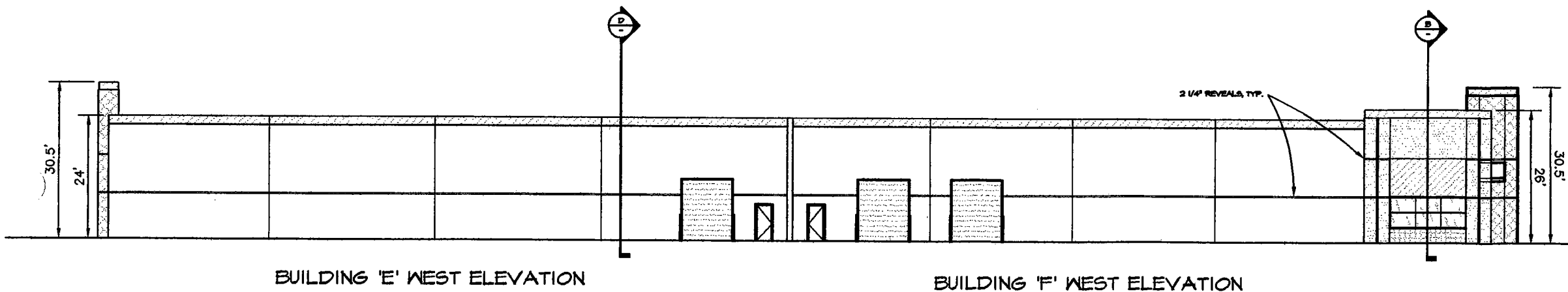
BUILDING 'D' EAST ELEVATION

BUILDING 'C' EAST ELEVATION



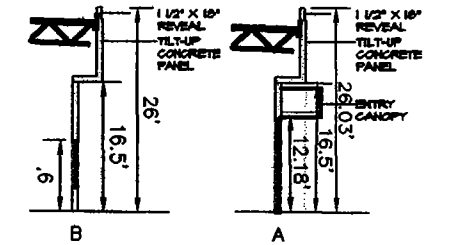
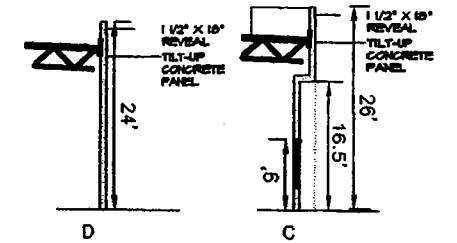
BUILDING 'F' SOUTH ELEVATION

BUILDING 'D' SOUTH ELEVATION

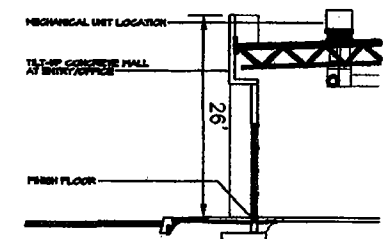


BUILDING 'E' WEST ELEVATION

BUILDING 'F' WEST ELEVATION



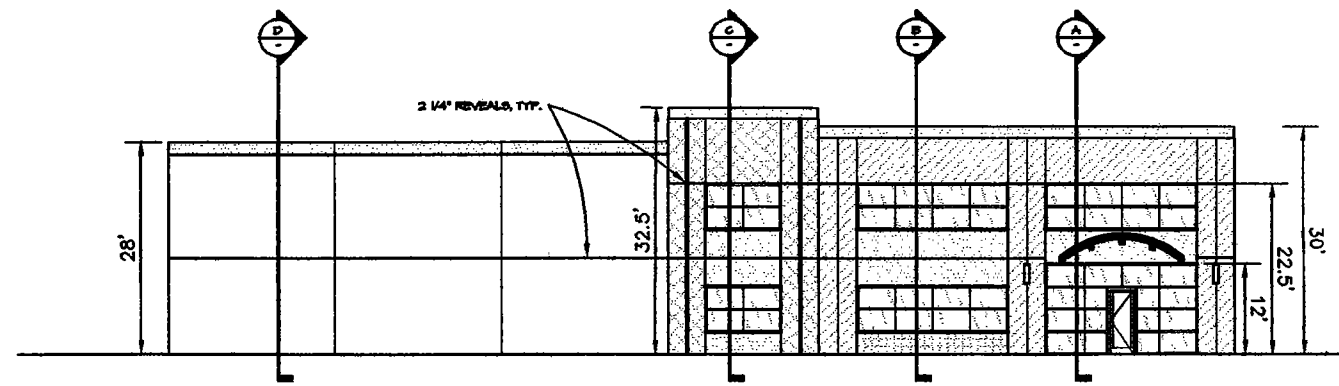
TYPICAL FEATURE PANEL SECTIONS  
SCALE 1" = 10'-0"



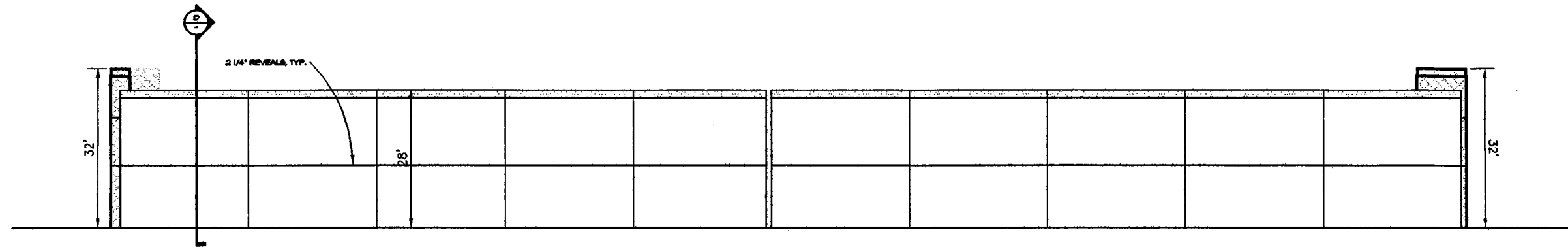
TYPICAL ROOFTOP SCREENING  
SCALE 1" = 10'-0"

	TILT-UP CONCRETE WALL PANEL, ONE COAT PRIMER, ONE COAT FIELD PAINT COLOR, SHADOW PELLOWS, 100 2000\"/>
	TILT-UP CONCRETE WALL PANEL, ONE COAT PRIMER, ONE COAT ACCENT PAINT COLOR, SHADOW PELLOWS, 100 2000\"/>
	TILT-UP CONCRETE WALL PANEL, ONE COAT PRIMER, ONE COAT ACCENT PAINT COLOR, SHADOW PELLOWS, 100 2000\"/>
	TILT-UP CONCRETE WALL PANEL, ONE COAT PRIMER, ONE COAT ACCENT PAINT COLOR, SHADOW PELLOWS, 100 2000\"/>
	REFLECTIVE GLAZING WITH ANCHORED CLEAR ALUMINUM MULLIONS, VERSALUX BLUE 2000, TYP.

FINISH LEGEND

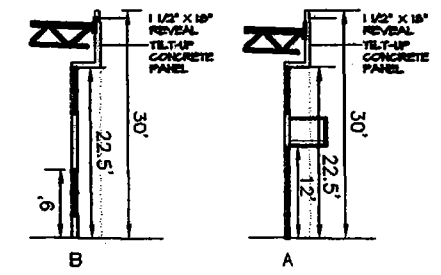
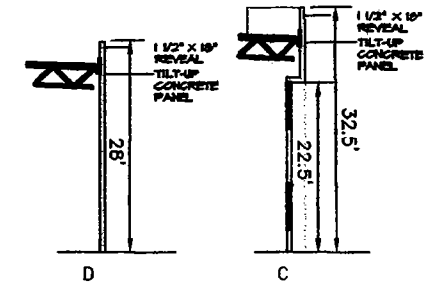


BUILDING 'G' NORTH ELEVATION

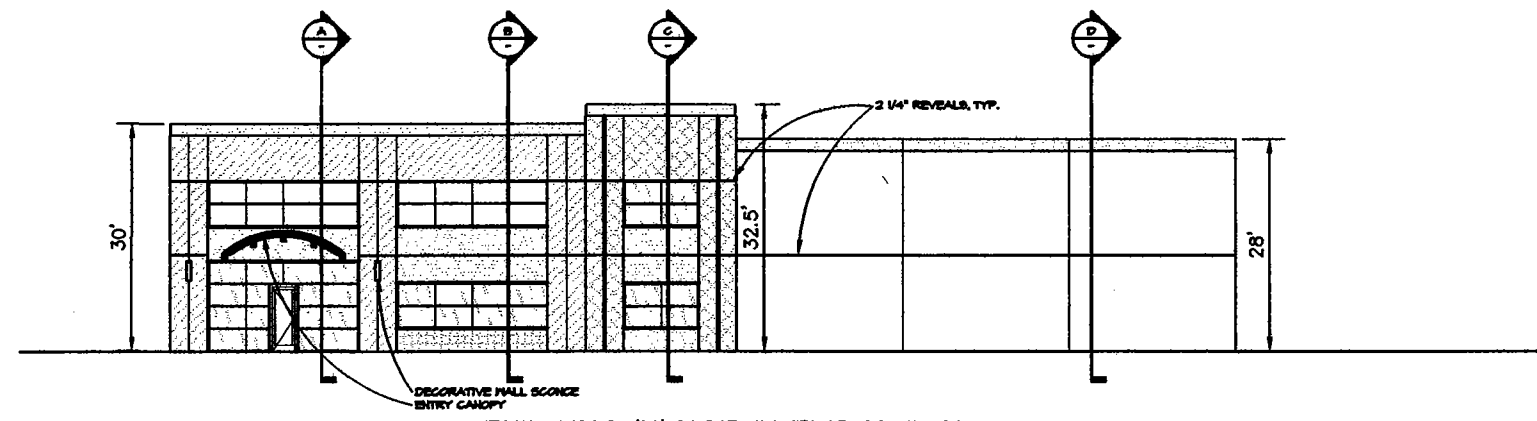


BUILDING 'H' EAST ELEVATION

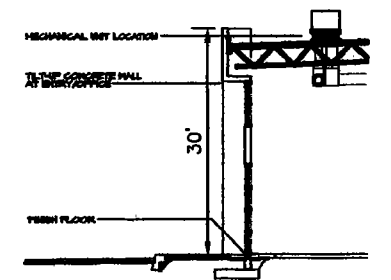
BUILDING 'G' EAST ELEVATION



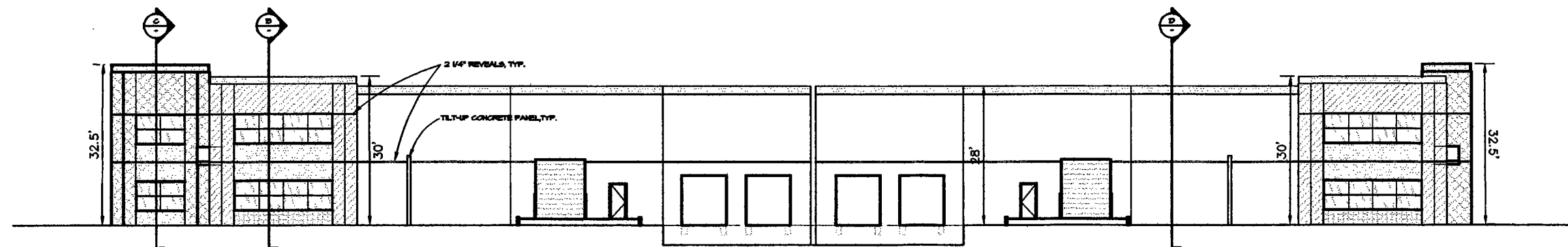
TYPICAL FEATURE PANEL SECTIONS  
SCALE 1" = 10'-0"



BUILDING 'H' NORTH ELEVATION



TYPICAL ROOFTOP SCREENING  
SCALE 1" = 10'-0"

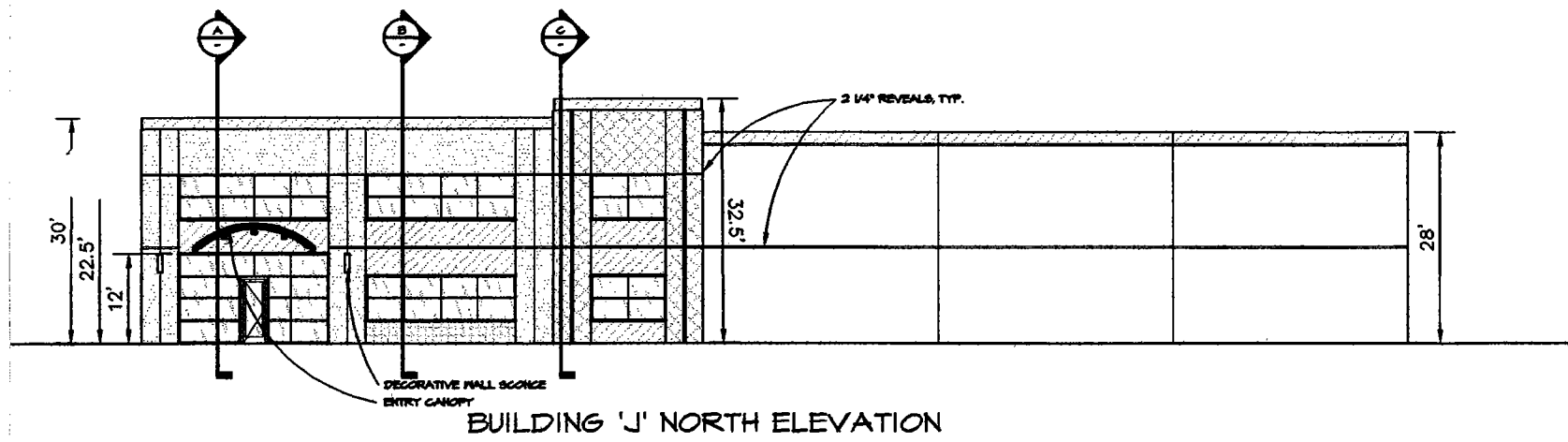


BUILDING 'G' WEST ELEVATION

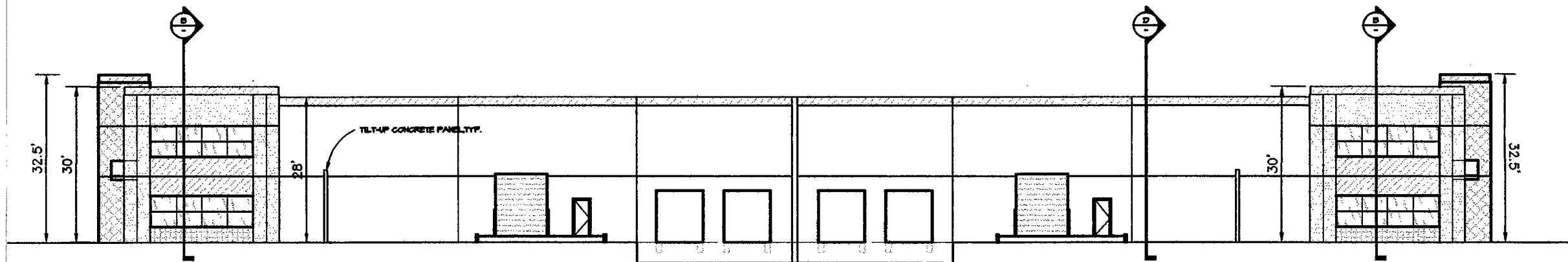
BUILDING 'H' WEST ELEVATION

	TILT-UP CONCRETE WALL PANEL, ONE COAT FINISH, ONE COAT FIELD PAINT COLOR, BROWN FILLINGS, 1/2" 20# SAND
	TILT-UP CONCRETE WALL PANEL, ONE COAT FINISH, ONE COAT ACCESS PAINT COLOR, BROWN FILLINGS, 1/2" 20# SAND
	TILT-UP CONCRETE WALL PANEL, ONE COAT FINISH, ONE COAT ACCESS PAINT COLOR, BROWN FILLINGS, 1/2" 20# SAND
	TILT-UP CONCRETE WALL PANEL, ONE COAT FINISH, ONE COAT ACCESS PAINT COLOR, BROWN FILLINGS, 1/2" 20# SAND
	REFLECTIVE GLASS WITH ARGON-FILLED CLEAR ALUMINUM FILLINGS, VERTICAL BLUE DOOR, TYP.

FINISH LEGEND

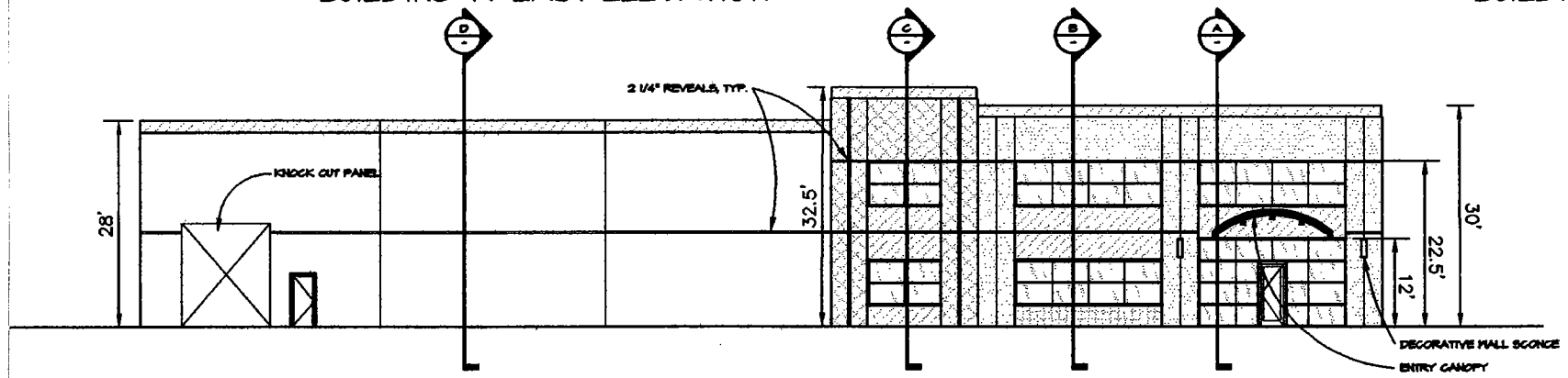


BUILDING 'J' NORTH ELEVATION

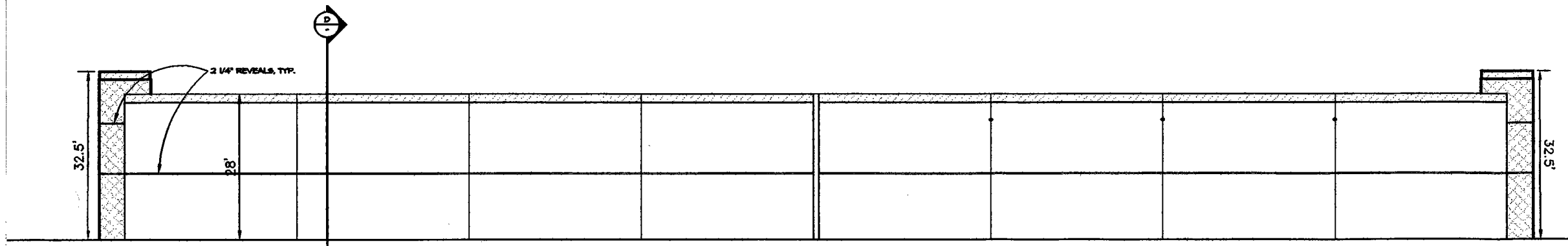


BUILDING 'K' EAST ELEVATION

BUILDING 'J' EAST ELEVATION

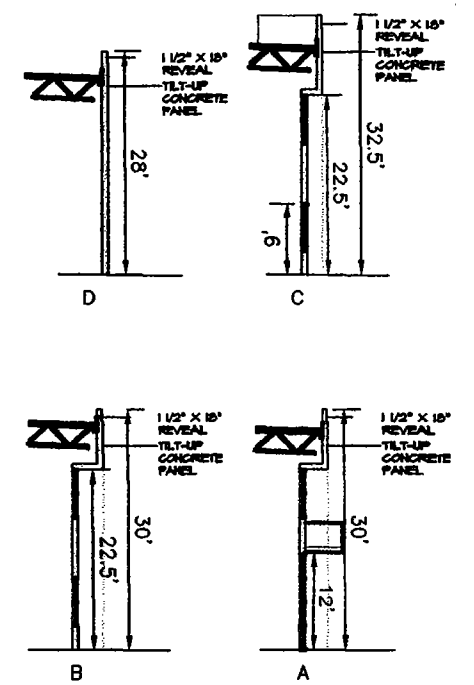


BUILDING 'K' SOUTH ELEVATION

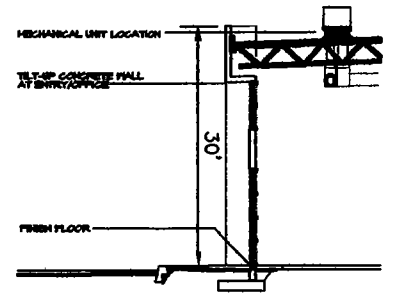


BUILDING 'J' WEST ELEVATION






BUILDING 'K' WEST ELEVATION



TYPICAL FEATURE PANEL SECTIONS  
SCALE: 1" = 10'-0"



TYPICAL ROOFTOP SCREENING  
SCALE: 1" = 10'-0"

-  TILT-UP CONCRETE WALL PANEL, ONE COAT PRIMER, ONE COAT FIELD PAINT COLOR, BERRIN FILLERS, 101 2000 CONCRETE
-  TILT-UP CONCRETE WALL PANEL, ONE COAT PRIMER, ONE COAT ACCENT PAINT COLOR, BERRIN FILLERS, 101 2000 SAND
-  TILT-UP CONCRETE WALL PANEL, ONE COAT PRIMER, ONE COAT ACCENT PAINT COLOR, BERRIN FILLERS, 101 2000 SAND
-  TILT-UP CONCRETE WALL PANEL, ONE COAT PRIMER, ONE COAT ACCENT PAINT COLOR, BERRIN FILLERS, 101 2000 FIBERGLASS TYP.
-  REFLECTIVE GLAZING WITH ANODIZED CLASH ALUMINUM HILLOCKS, VERTICAL BLUE 2000, TYP.

**6.2 Loading/Storage Area**

Loading and Storage Areas shall abide by the recommendation found in the City of Ontario's Development Code, some examples of the requirements include:

- Loading areas should not face Mission Boulevard (P.C. Res. 2392).
- Loading areas shall be screened with a solid decorative wall or berm.
- Loading areas should be offset from drive openings where reasonably possible.
- Loading areas should be designed to include attractive and durable materials. Design considerations for loading and storage areas include:
  - a. Locate fixed hardware for rolling doors on the inside of buildings to minimize visual "clutter."
  - b. In the loading and storage areas, buildings segments above loading doors visible from the street and surrounding properties should conform with other guidelines pertaining to building features, materials and finishes.
  - c. If located adjacent to residential areas, the design of overhead doors should minimize noise through devices such as rubber seals and/or other dampening features.
  - d. Outdoor storage exceeding a height of 8 feet shall be prohibited unless screened; lower the grade of loading docks, where practical, to minimize views from the street and the need for tall walls or fencing.

**6.3 Fencing/Screening**

The fencing and screening design guidelines shall comply with the guidelines found in The City of Ontario Development Code for Industrial Development.



**6.4 Lighting**

***Public Street***

All public street lighting requirements shall conform with both the type and location prescribed by the City of Ontario Public Works Department.

***Project Site***

Site lighting shall comply with City requirements. The following lighting guidelines are a summary of the guidelines found in The City of Ontario Development Code.

- Exterior lighting shall be located to minimize glare.
- Light standards under 25' are preferred.
- Light standards should illuminate all sidewalks and connecting walkways.
- Illuminate pedestrian paths with bollards or lighting standards that are of an appropriate scale.
- Lighting is encouraged at entries, plazas and activity areas.