

FINAL ENVIRONMENTAL IMPACT REPORT

Volume II

SCH #2004071095

West Haven Specific Plan
(PSP03-006)

APPENDIX J

Will Serve Letters



RECEIVED
FEB 12 2004
L.D. KING

February 10, 2004

LDKING, Inc.
Attn: Tim Stapleton
2451 Convention Center Way, Suite 100
Ontario, CA 91764

SUBJECT: South of Riverside Dr. and West of Haven Ave.

Dear Tim:

This is to advise that the subject property is located within the service territory of the Southern California Edison Company (SCE) and that the electrical loads of the project are within parameters of projected load growth, which SCE is planning to meet in this area.

Our total system demand is expected to continue to increase annually, however, excluding any unforeseen problems, our plans for new distribution resources indicate that our ability to serve all customers' loads in accordance with our rules and tariffs will be adequate during the decade of the 2000's.

Current conservation efforts on the part of SCE customers have resulted in energy savings. Optimization of conservation measures in this project will contribute to the overall energy savings goal.

If you have any additional questions, please feel free to call me at (909) 930-8432.

Sincerely,

Mike Callen
Customer Service Planner

MDC:hcl



Southern California Gas Company
1981 W. Lygonia Avenue
Redlands, CA 92374-9720

Mailing Address:
PO Box 3003
Redlands, CA 92373-0306

Sempra Energy utility

February 4, 2004

C.D. King Engineers
2151 Convention Center Way, Suite 100
Ontario, CA 91764

Attention: Mr. Tim Stapleton

Re: West Haven Specific Plan

RECEIVED
FEB 11 2004
L.D. KING

Dear Mr. Stapleton:

Thank you for inquiring about the availability of natural gas for your project. We are pleased to inform you that Southern California Gas Company has facilities in the area where the above-named project is proposed. Gas service to the project could be provided from nearest existing gas facilities: 3" and 6" main on Haven and 6" main on Riverside Drive. The service would be in accordance with the Company's policies and extension rules on file with the California Public Utilities Commission at the time contractual arrangements are made.

This letter is not a contractual commitment to serve the proposed project, but is only provided as an informational service. The availability of natural gas service is based upon conditions of gas supply and regulatory agencies. As a public utility, Southern California Gas Company is under the jurisdiction of the California Public Utilities Commission. Our ability to serve can also be affected by actions of federal regulatory agencies. Should these agencies take any action, which affects gas supply, or the conditions under which service is available, gas service will be provided in accordance with revised conditions. This letter is also provided without considering any conditions of non-utility laws and regulations (such as environmental regulations) which could affect actual construction of a main or service line extension (for example, if hazardous wastes were encountered in the process of installing the line). Those, of course, can only be determined around the time contractual arrangements are made and construction is begun.

If you need assistance choosing the appropriate gas equipment for your project, or would like to discuss the most effective applications of energy efficiency techniques, please contact your area Project Manager at (909) 333-7867.

Thank you again for choosing clean, reliable, and safe natural gas, your best energy value.

Sincerely,

Steve Durivm
Technical Services Supervisor

cc: Chino District, Project Manager



RECEIVED
FEB 19 2005
LD KING

February 18, 2004

LD King, Inc.
2151 Convention Center Way, Suite 100
Ontario, GA 31764

Attention: Mr. Tim Stapleton

IN REFERENCE: West Haven Specific Plan in the City of Ontario

For your information, Verizon serves the area where the referenced Project is located. There are existing telephone facilities adjacent to this project that can be extended, as telephone facilities are required.

Charges to the developer and/or individual subscribers may be applicable in accordance with PUC Tariff Rule 34

Any further questions, regarding this project, may be directed to Glen Hosch at 909/469-6336

Very truly yours,

Herman F. Gomez
Section Manager -
OSP Engineering

HG:gan

9.2.4 Landscape Requirements

9.2.4(a) Residential

The Ontario New Model Colony Streetscape Master Plan for backbone streets indicates tree varieties, sizes and spacing for these streets.

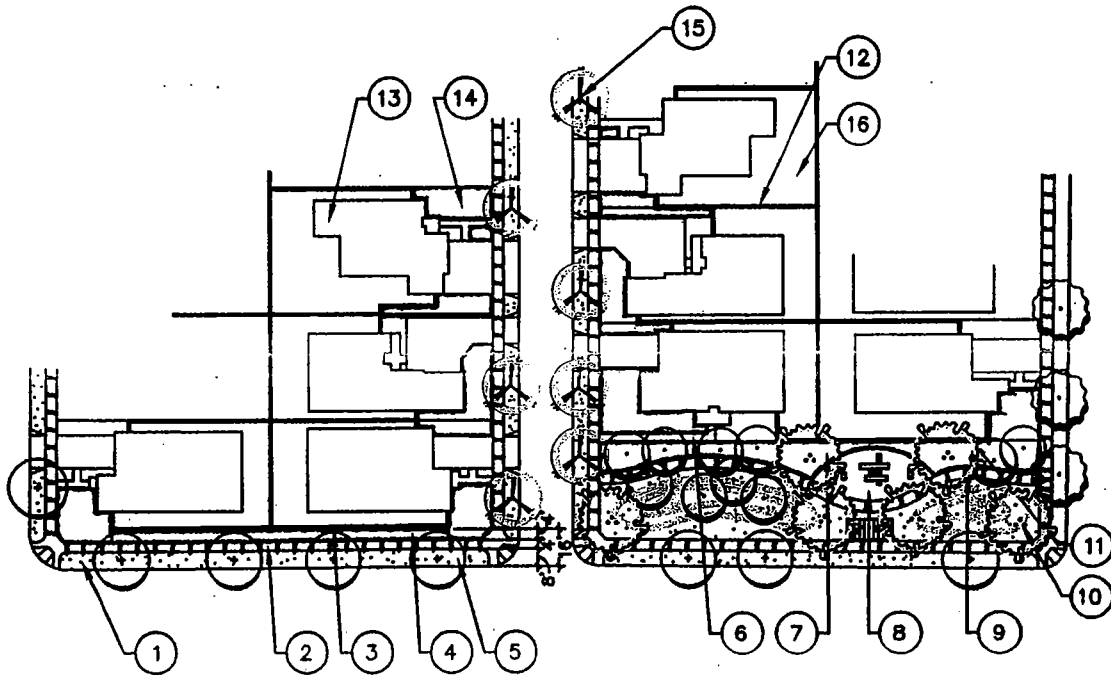
Each Planning Area residential lots shall receive a minimum of one (1), fifteen (15) gallon size street tree planted in the right-of-way, (*centered in the parkway*). Corner lots shall receive a minimum of two (2) fifteen (15) gallon Street trees also planted in the side yard right-of-way parkway. See **Exhibit 9-26, "Typical Neighborhood Plan Landscape"**. Note: Homeowners may not remove street trees.

One (1) species of tree shall be selected and approved for each residential street to enforce the individual neighborhood streetscene identity. All neighborhood street trees shall be selected from **Table 9-1, "Community Plant List"**.

9.2.4(b) Commercial

- All on-site trees shall be placed so as to integrate the commercial site into the overall community setting. On site trees shall not be planted within the streetscene neighborhood edge.
- Service areas must be screened with the use of a 6-foot high solid masonry wall. Service areas shall not be located within the front setback and shall not be viewable from perimeter roadways.
- Also refer to **Section 9.2.2(b), "Neighborhood Center Commercial Fencing"** for wall design criteria.
- All commercial entry drives shall incorporate a pedestrian sidewalk. Community entry thematic elements such as stone pilasters and use of stone on the entry walls serve to tie the commercial site into the overall community.
- All areas not occupied by buildings or parking lot shall be landscaped with turf, shrubs and trees, in accordance with the City of Ontario Standards. All plant material to be selected from **Table 9-1, "Community Plant List"**.
- The driveway and the entry planters shall be installed and maintained by the property owner. The driveway paving, walk, entry wall monument, lighting equipment and landscaping maintenance shall also be the responsibility of the property owner.

- | | | |
|------------------------------------------|--------------------------------------------------------------|----------------------------------------------------------------------------------------------------|
| ① 7'-0" TURF PARKWAY | ⑦ SHRUB BUFFER AT RESIDENTIALEDGE | ⑬ TYPICAL HOUSE PLOTTING |
| ② 5'-0" SIDEWALK | ⑧ PASSIVE OR ACTIVE POCKET PARK | ⑭ FRONT YARD LANDSCAPING BY THE DEVELOPER |
| ③ 6'-0" HIGH WALL | ⑨ PARK WALK | ⑮ EACH NEIGHBORHOOD STREET PLANTED WITH A DIFFERENT SPECIES OF TREE. ENFORCE STREETSCENE IDENTITY. |
| ④ 4'-0" WDE SIDEYARD SHRUB ZONE. | ⑩ PARK ACCENT TREE | ⑯ REAR YARD LANDSCAPING BY HOMEOWNER |
| ⑤ NEIGHBORHOOD STREET TREE - 15 GAL. | ⑪ 6'-0" HIGH SOLID COMMUNITY WALL (WHEN SIDEYARD FACES PARK) | |
| ⑥ RESIDENTIAL FRONT YARD (MAY FACE PARK) | ⑫ 6'-0" HIGH REAR AND SIDE YARD PROPERTY LINE WALL | |



- STREET TREES - ONE (1) PER LOT OR 30' ON CENTER SPACING (FRONT YARD)
- TWO (2) STREET TREES ON SIDEYARDS (MINIMUM)
- STREET TREES SELECTED FROM THE COMMUNITY PLANT LIST
- ALL TREES AND SHRUBS TO BE SELECTED FROM THE COMMUNITY PLANT LIST
- ALL STREET TREES TO BE 15 GALLON MINIMUM
- ALL STREET TREES TO BE CITY MAINTAINED

SCALE: N.T.S.

- Visual impact of parking areas shall be minimized by location and arrangement of parking spaces. The use of landscape screening plant materials and berms is encouraged.
- Parking requirements shall conform to regulations and ordinances of the City of Ontario.
- Truck and service vehicle parking must be provided in a designated area separate from the auto parking. It is to be located at the side or rear of the building and visually screened.
- All off-street parking spaces shall be a minimum of nine (9') feet in width and nineteen feet (19') in depth.
- Parking stalls with a side abutting a wall, shall be two (2') feet wider than the standard required width.
- All parking areas and drives shall be separated from landscaped areas by concrete curbs, which serve as automobile wheel stops. Unless 0" curb to comply with BMPs, NPDES, etc. in which case separate wheel stops will be provided.
- Parking area landscaping is required for the screening of large parking areas to limit their visual impact. Landscaped islands shall be provided at the ends and with the stall rows to break up parking areas. These islands shall be a minimum of five feet (5') in width (*excluding curbs*) to allow for planting of trees. Fingers within parking area too.
- At a minimum one (1) fifteen (15) gallon tree and landscape fingers shall be planted within the parking lot equal to one finger for every ten (10) parking stalls.

9.2.5 Maintenance Responsibility

Maintenance responsibility is shared between the Homeowners, the Builder, Homeowner Association, a Landscape Maintenance District and the Commercial Property Owner.

9.2.5(a) Homeowner

The individual lot owners will be responsible for the installation and maintenance of the landscape/hardscape of each of their individual parcel lots.

Front yard landscaping to be provided by developer. Street trees maintained by City.

9.2.5(b) Homeowners Association or Special District

The Community Homeowners Association (HOA), or Special District, will be responsible for maintenance of all builder installed hardscape/landscape features that are in common lots for which the Landscape Maintenance District will not assume responsibility. The HOA responsibilities may include:

- Gas Company Easement Landscaping
- Pocket Parks Landscaping
- Paseo Connections Landscaping
- Perimeter Walls
- Neighborhood Entry Roads and Landscaping

9.2.5(c) Landscape Maintenance District

The Landscape Maintenance District (LMD) for New Model Colony will be responsible for maintenance of the five (5) acre Neighborhood Park and all perimeter backbone streetscene neighborhood edges from curb to residential property line wall on the following streets and those areas above deemed acceptable by the City:

- Riverside Drive
- Haven Avenue
- Turner Avenue
- Chino Avenue

The Landscape Maintenance District will not maintain the neighborhood edge adjacent to commercial sites.

9.2.5(d) Commercial Parcel Owner

The commercial property Owner will be responsible for installation and maintenance of the commercial parcel, including the neighborhood edge when they are adjacent to the commercial parcel.

9.2.6 Landscape Lighting

All perimeter backbone and residential streets shall receive uniform lighting standards to insure project consistency. All street lights shall be per the City of Ontario Standards and Regulations and shall be in conformance with Southern California Edison Company. All other site lighting shall be uniform and unobtrusive and shall comply with City and Police Department Standards. To also aid in project

consistency, no neon or low-pressure sodium lighting will be permitted. All lighting shall comply with the following:

- The following areas are to be illuminated
 - Pocket Parks
 - Neighborhood Parks
- Per Southern California Edison (SCE) restrictions, no lighting will be allowed within the SCE Easements.
- Outdoor lighting shall comply with any and all applicable requirements and policies of the City of Ontario. Energy conservation, safety and security should be emphasized when designating any lighting system.
- All outdoor lighting, including spotlights, floodlights, electrical reflectors and other means of illumination for signs, structures, landscaping, parking, loading, unloading, and similar areas shall be focused, directed and arranged to prevent glare and illumination on streets or adjoining property.
- All exterior lights should be shielded and focused to minimize spill light into adjacent properties.
- Light globes shall be of unbreakable plastic, recessed or otherwise designed to reduce the problems associated with damage and replacement of fixtures. Fixtures should be vandal resistant, yet should not look institutional. All light fixtures shall meet all City of Ontario Public Works requirements and standards for light fixtures used in public spaces.
- All exterior lighting design should develop a sense of hierarchy by varying fixtures and illumination levels. Proper lighting helps to define the organization of public spaces. Entry areas (*both pedestrian and vehicular*), public plazas, community facilities and highly used recreation areas shall be creatively lit to develop a sense of place and arrival.
- All exterior lighting designs shall address the issue of security. Parking lots, pedestrian walkways and building entrances shall be well lighted for security reasons. In compliance with City standards.
- No freestanding residential lighting fixtures shall exceed 15-feet in height; parking lot light standards shall not exceed twenty-five feet (25'). In no case shall overwash occur beyond the property lines.

- Service area lighting shall be contained within the service yard boundaries and enclosure walls. No light spillover should occur outside the service area. The light source is not to be visible from the street. The use of wall packs shall be avoided.
- The lighting concept of the entry monumentation features is to illuminate the sign graphics and to gently wash the walls and pilasters with light. Trees and other landscape features will be illuminated by ambient light bounding off the entrance walls or uplighting.
- All electrical meter pedestals and light switch/control equipment shall be located with minimum public visibility or shall be screened with appropriate plant materials.

9.3 Plant Material Guidelines

9.3.1 *Introduction*

It is the intent of these guidelines to provide flexibility and diversity in plant material selection, while maintaining a limited palette in order to give greater unity and thematic identity to West Haven. The plant material listed have been selected for their appropriateness to the project theme, climatic conditions, soil conditions and concern for maintenance. Wherever possible, overall plant material selection for given project areas shall have compatible drought resistant characteristics. Irrigation programming can then be designed to minimize water application for the entire landscape setting.

9.3.2 *Planting Constraints*

There are several planting and hardscape restrictions, constraints and considerations which occur with the West Haven Community, as follows:

- No tree planted closer than 4-feet to a hardscape element – trees closer than 5-feet require a linear type root barrier adjacent to sidewalk and curb.
- Walkways within the greenbelt and SCE Easement are to be no closer than 10-feet to a property line wall to allow for adequate screening landscaping.
- Walkways within the Gas Company Easement are to be no closer than 10-feet to a property line wall to allow for adequate screening landscaping.
- Trees within the Gas Company Easement shall not be deep rooted trees. The ultimate drip line of all trees shall be held 10-feet clear of the existing gas line from centerline of pipe.

9.3.3 Planting Schedule

Installation of plant materials during the coldest winter months (*December through February*) and the hottest summer months (*July through September*) can be difficult. Container plant material not acclimated to the area can easily suffer from frost damage or sun/heat exposure resulting in partial or entire foliage loss even though such materials are perfectly suited to the temperature ranges once established. If planting is done during these difficult periods, plant establishment may be difficult, and may require a prolonged maintenance period of time.

9.3.4 Horticultural Soils Test Requirements:

Soil characteristics within the West Haven project will vary due to the current dairy operations. The owners of parcels shall procure a horticultural soils report prior to landscaping to determine the proper soil preparation, planting amendments and maintenance required for all plant material. The horticultural soils testing shall be performed by a qualified soils testing laboratory and shall include soil fertility, agricultural suitability analysis and pre-planting and post-planting recommendations.

9.3.5 Irrigation

All irrigation systems installed in any common lots and which are maintained by the Homeowner Association or a Landscape Maintenance District shall be designed to conform to the states Water Conservation Assembly Bill 325 and any City of Ontario Water Conservation Guidelines currently in effect. All irrigation systems shall be installed in conformance with all City of Ontario Standards.

All landscaped areas to include neighborhood parkways shall be watered with a permanent underground irrigation system, and shall be designed with head to head 100 percent double coverage. Landscape areas within the SCE Easement shall be watered using 'point irrigation' systems (*drip or bubbler*). No irrigation controllers or irrigation main line are allowed within the SCE Easement.

All HOA or Maintenance District maintained areas should be designed so as to be converted to recycled water when recycled water becomes available. Using "Purple Pipe" or designed using current City of Ontario Recycled Water Standards to accommodate the use of recycled water when it becomes available.

Water saving irrigation equipment shall be used, including flow sensors, moisture sensors, and using California Irrigation Management Information System (CIMIS).

9.4 Residential Architectural Guidelines

Architectural design guidelines create an identity and cohesiveness for the West Haven Specific Plan. They ensure a unifying theme for the entire Specific Plan area, while accommodating the individual neighborhood design considerations as required by each of the Project Site's uses which include: residential, Neighborhood Center/Commercial, educational and recreational activities.

9.4.1 Purpose

This section provides a general yet flexible standard set of concepts, goals and criteria for neighborhood design and architecture for the West Haven Specific Plan, providing direction in plotting and massing to enhance the streetscape and guidelines for building architecture.

9.4.2 Design Intent

The principal design criteria and architectural styles are not intended to be restrictive, but are meant to assist in the design, processing, and implementation of a high level of design direction and quality. The goal is to promote both visual compatibility and variety in a community setting achieved by utilizing a number of compatible styles and allow for quality architectural innovation. Great neighborhoods result from the synthesis of innovative architecture and successful site design techniques.

Conceptual emphasis is on specific interpretation of styles within the constraints and consistency of site planning, landscape and architecture, as well as on specific use and selection of details that correlate well with the designed floor plan, emphasizing such architectural concepts as:

- "Architecture forward" to support a pedestrian friendly environment,
- Varied garage placement and orientation to add richness and variety to the neighborhood,
- Variety of compatible architectural styles as well as a mix of detached housing types and sizes,
- Wrap around architectural detailing shall be applied to building sides that are adjacent to and viewable from public areas, both inside and outside each neighborhood, including common open space areas, sidewalks, alleys and streets,
- Varied roof heights and pitches to create a custom home feel, and

- Color palettes selected to enhance specific architectural styles, using consistent materials and complimentary colors as a “unifying theme” to connect the varying residential products and nearby commercial buildings.

The following characteristics in concept designs shall be encouraged:

- sensitivity to scale,
- Proper selection and execution of details, consistent with the selected architectural style.
- A balanced interpretation of the characteristics for each style, and
- Use of varied window treatments, which result in the enhancement of wall space, specifically on side and rear elevations. Treatment should be consistent with the architectural style.

Successful site design techniques will include: variable lot setbacks, pedestrian connections, shortened streets, curb separated sidewalks, street trees program, and a limited number of homes per neighborhood.

The resulting architectural expression should be sensible in its approach and unique in its outcome.

9.4.3 Architecture Forward Standards

“Architecture forward” as defined in the West Haven Specific Plan is characterized as follows:

- Advancing the architecture of the living spaces toward the front of the lot, while the garage is further recessed,
- Planning of the living spaces of the home in front of the garages such that the predominant features of the home fronting the street are the porches and the living area.
- Providing single story articulation elements such as covered front porches and side entries, on two-story homes facing streets and other areas exposed to public view, and
- Incorporating a variety of garage layout solutions to mitigate the negative impact of garages on the fronts of homes, including: shallow mid- and deep-recessed garages, tandem garages, split garages (*including swing-in*), garage wall plan furrouts, porte-cocheres, side-on garages, and screened garage door elements.

The above outlines general guidelines for designing homes in West Haven. For additional detail, please refer to **Section 9.5.1 "Plotting, Massing and General Neighborhood Criteria"**, **Section 9.5.2, "Garage Placement"**, **Section 9.5.3 "Building Elevations"** and **Section 10, "Development Standards"**.

9.4.4 Residential Architectural Styles

The following architectural styles, which have been chosen for the West Haven Specific Plan, had a presence in the City of Ontario since the turn of the 20th century. Chosen for their local historic significance, their inherent attractiveness and sense of elegance have preserved their popularity over the generations.

The proposed architectural styles include, but are not limited to the following:

- American Colonial
- American Farmhouse
- Craftsman
- East Coast Traditional
- French Country
- Monterey
- Spanish Colonial
- West Coast Traditional

It should be noted that the photographs illustrated on **Exhibit 9-27, "Architectural Styles"** are representative of architectural styles envisioned for the West Haven Specific Plan. The intention is to incorporate many of these design features into the proposed West Haven community. However, it must be acknowledged that these styles may be subject to future refinements based upon buyer preference detailed engineering and other factors. Therefore, the photographs shown are not intended to be exact duplicates of the future product types for the West Haven Specific Plan, but samples of quality design elements.

The following examples for each of the eight architectural styles proposed are strongly encouraged and appropriate for the various West Haven neighborhoods.

9.4.4(a) American Colonial (Neoclassical Revival)

This classic style descends from the first saltbox homes built in the New England colonies in the 17th century and evolved into more neoclassical forms with America's increasing prosperity. There are many smaller American Colonial / Neoclassical Revival Bungalow homes in Ontario, mostly in and around the Downtown area.



American Colonial (Neoclassical Revival)



American Farmhouse



Craftsman



East Coast Traditional (Colonial Revival)



French Country (French Eclectic Revival)



Monterey (Monterey Revival)



Spanish Colonial (Spanish Colonial Revival)



West Coast Traditional (Minimal Traditional)

LDKING

Architectural Styles

(December 15, 2004)

Exhibit
9-27

Common Features:

- Symmetrically balance windows
- Simple plan form massing and simple roof design
- Pitch hipped roofs with and often a prominent central dormer
- Colonnade Porch that is either the entire or partial width of the house
- Full height entry porches with classical columns
- Boxed eaves with a moderate overhang
- Architectural quality wood or asphalt shingles or smooth flat concrete roof tiles resembling slate
- Fine to light sand finish or light lace finish stucco or blended siding and stucco
- Ionic or Corinthian capitals

Windows: Windows are typically rectangular double or single-hung windows with wood or vinyl frames. Typically the upper sash was multi-paned with a single light lower sash. Vertical multi-paned windows at front elevations and in high visibility areas.

Doors: Doors are simple and typically stained or painted.

Colors: Homes are typically painted in color schemes consisting of 3 to 5 colors. Palettes are very eclectic, ranging from bright colors to muted tones. Every detail is painted in different colors to accentuate them.

Additional Style Elements: Single-light windows on sides and rear elevations, minimum 2 x 4 wood window and door trim, white aluminum or vinyl frame windows, stucco finish on horizontal siding wrapped chimney, round attic vents, brick accents, shutters, pastels to cool colors with white trims, dark color shutters, white trim / fascias, Corinthian or Ionic capitals, dentils or modillions and a wide frieze band.

9.4.4(b) American Farmhouse

With roots traceable to both Midwestern and Colonial styles appearing in the mid-to-late-19th century during America's westward expansion, the American Farmhouse style represents a practical adaptation of balloon framing techniques of earlier rural American architectural types. New England variations tend toward more symmetrical elevations with dormers and two-story massing, whereas

the more picturesque and decorated asymmetrical facades are typical of the Midwestern variety. The style is included as a tribute to West Haven's dairy history.

Common Features:

- Simple plan form massing and simple roof design, porches with simple wood columns and/or wood railings
- Medium to moderately steep roof pitched front to back main gable roof, shallow to modest overhangs with open eaves
- Architectural quality wood or asphalt shingles or smooth flat concrete roof tiles
- Light or medium sand finish stucco or blended siding and stucco
- Vertical multi-paned windows at front elevations and in high visibility public view areas, single light windows on sides and rear elevations
- Stucco finish or horizontal siding wrapped chimney, garage door and shutter patterns complimentary to style

Colors: White, light tinted or dark stucco wall colors: light earth tone bodies with contrasting cool or warm trims; white, light or dark complimentary color accent trims

Windows: Vertical multi-paned windows at front elevations and in high visibility public view areas. Single light windows on sides and rear elevations.

Additional Style Elements: Minimum 2 x 4 white trimmed doors and windows (*may be white vinyl or aluminum frame windows*), bay windows and single-hung windows with built up header trim at front, wood pot shelves, louvered attic vents, shaped wood columns, and garage door patterns complimentary to style. Roof ornamentation includes cupolas, weathervanes and dovescotes.

9.4.4(c) Craftsman

Developed as a contradiction to the Victorian era that preceded it, the Craftsman style was evolved from the Arts and Crafts movement that originated in England in the late 1800s. It was the first style that emphasized natural materials and functionality; the details were simple, contradicting the gingerbread visage of the Victorian home. The wood is stained, instead of painted, and the homes feature built-in cabinets, buffets and benches. The moldings and other trim work are simple shapes, which can create complex designs. There are several excellent examples of the Craftsman style in

Ontario, along with an abundance of Craftsman Bungalows, which is the dominant home style in Ontario's historic neighborhoods.

Common Features:

- Horizontal gable roofs (*or variations of the gable roof, i.e., cross gable, etc.*), with dormers and exposed rafter tails.
- Large, either full or partial entry porches, under roof supported by tapered square columns or by posts on stone piers.
- Low to medium roof pitch with moderate to generous overhang and shingles texture flat concrete roof tiles.
- Blended wood clapboard siding (or shingles) and stucco of light to medium sand finish.
- Stone, brick, stucco or clapboard piers, columns and balustrades (*often in combination*)

Windows: Windows are typically individual casement, vertically double or single-hung wood box or vinyl frames with divided upper mullioned lights as grids at front elevation and in high visibility areas. Stained glass windows are also used to accent an interior or exterior feature.

Doors: Doors are typically simple and can be stained. Three-light colonial door beveled glass panels and sidelights with either stained or beveled glass to match front door are also used on larger homes.

Colors: Homes are typically painted in color schemes consisting of three (3) to five (5) colors. Base colors are typically dark earth tones, usually browns or greens. Trim colors are typically in contrast to the base color. Darker homes use lighter color earth tones such as beiges and tans, with lighter homes using darker trim colors. Window frames and end rafters use a third accent color, closer in shade to the base color. Exposed roof and porch beams are typically painted dark brown. One alternative to the color scheme would be mixing color palettes. (*For example, a maroon base, an olive green trim and a dark brown window frame.*)

Additional Style Elements: Decorative beams and knee braces, shaped wood header trim at windows and doors, white vinyl or aluminum frame windows, Arts and Crafts style lighting fixtures, optional stone or brick foundations, bases and chimneys, and large, simple exposed attic vents.

9.4.4(d) East Coast Traditional (Colonial Revival)

One of the many Period Revival styles that became popular during the 1920s, the East Coast Traditional / Colonial Revival style took elements from America's colonial past, including Cape Cod, Georgian, and Federal styles. The style is simple and symmetrical, and has a variety of different roof

forms. This style is also adapted as a variation of the Bungalow style. There are very few East Coast Traditional homes in Ontario, but there are many examples of the Colonial Revival Bungalow.

Common Features:

- Plan form massing with a vertical and a horizontal break
- Blended wood clapboard (*brick is also used, although not typical in Ontario*) and stucco siding
- Gable or hipped roof at medium to moderately steep pitch and concrete roof tile with shingle look
- Simple porch columns and projecting pediment
- Often symmetrical façade with small centered porch

Windows: Typically individual single or double-hung wood frame or vinyl windows with 2 x 6 trim and shutters. Single-light windows at sides and rears, and also decorative accent windows.

Doors: Doors are typically decorative, solid and painted, often with glass sidelights.

Colors: The base color of the building is typically lighter shades of blues, yellows and greens. Typical colors were blue gray and sea foam green. Trim and accent colors are typically white.

Additional Style Elements: Full wood porches and or wood balconies, cornice trim at gable ends, 2 x 6 wood window and door trim, garage door patterns complimentary to style, white detailing trims, stone and/or brick foundations and accents.

Bungalow Variation: The Colonial Revival Bungalow has the elements of the Colonial Revival style with one modification. Colonial Bungalows typically use a hipped gable roof, rather than just the straight gable or hipped roof.

9.4.4(e) French Country (French Eclectic Revival)

One of the many period revival styles that began in the 1920s and became popular in the late 1920s to early 1930s, the French Eclectic style replicated the cottages that dotted the French countryside, and were popular in fairy tales. Noted for its substantial use of rusticated stone, this asymmetrical, informal style should not be confused with the more decorative "Beaux-Arts" style. There are many examples of French Eclectic homes in Ontario, primarily in the Rosewood Court Historic District.

Common Features:

- Steep pitched gable roof (*or variations of the gable roof, i.e., cross gable, etc.*) often with subtly flared curves at the eaves
- Stucco for exterior walls combined with a variety of exterior surface materials, often with stone or brick
- Small or no porches
- Large, often central chimneys
- Concrete tile roof to mimic wood shake with wavy pattern

Windows: Windows are typically individual casement, double or single-hung multi-paned windows either wood or vinyl frames. Stained glass windows are also used to accent an interior or exterior feature.

Doors: Doors are typically simple, often with stained wood finish, and can include stained or beveled glass panels.

Colors: Homes are typically painted in color schemes consisting of three (3) colors. Base colors are typically light earth tones. Trim colors are typically in contrast to the base color. Window frames tend to be dark colors.

Additional Style Elements: Curved roof ridge to simulate thatched roof or wood shake roof with wavy pattern, round silo type towers

9.4.4(f) Monterey (Monterey Revival)

The Monterey style is a cross between the adobe architecture of the Mission period in California and the New England Colonial architecture prevalent in the mid 1800s. The homes are a basic colonial house, typical of New England, with a second floor porch added to it. The home then took the common features in adobe architecture, including stucco walls, and incorporated them into the design. The Monterey style is rare in Ontario, with only a handful of examples.

Common Features:

- Moderately pitched red "mission" tile gable roof with a low pitched shed roof break over the balcony
- Concrete tile roof to mimic wood shake
- Vertical siding accents at gable ends
- Second-story balcony porch across entire front of house, usually cantilevered

Windows: Windows are typically individual casement with wood or vinyl frames, vertically hung 9 and 12 paned windows. On some occasions, metal frames are used to replicate the ironwork used on other details in the house. Either wood or black wrought iron are used for window grates and balconies, which may also feature awnings designed for sun control.

Doors: Doors are typically carved wood style, or other ornate wood (or fiberglass) doors of painted or stained finish.

Colors: Typical wall material is smooth or lightly textured stucco ranging in color from off-white to beige with a second trim color. Sometime a third color is used on the window frames. Typical accent colors are blue, dark green, ochre or red.

Additional Style Elements: White vinyl windows, stucco over foam window and door trim, arched stucco column porches, awnings, garage patterns complimentary to style, dark brown trims, use of pergolas, French doors and simple vent holes in walls, formal axial garden design.

9.4.4(h) West Coast Traditional (Minimal Traditional)

The West Coast Traditional style is the late 20th century refinement of the Minimal Traditional style, which was a transition between the revival styles of the 1920s and 30s and the post-war Tract homes. The Minimal Traditional style referenced traditional styles without actually achieving them, incorporating elements common to many styles, but belonging exclusively to none, including columns, gables, chimneys, and shutters. Houses of this style may be built of virtually any traditional material; brick and stucco are common. Roofs always lack the eaves or overhangs found on more assertive styles. Earliest existing examples in Ontario are one or 1-1/2 stories in height.

Common Features:

- Asymmetrical massing with single story wings, gable roof with dormered windows, or occasionally saltbox roof forms, medium to moderately high roof pitch, using flat concrete roof tile or shake appearance and moderate overhangs
- Front gable ends with cornice trim
- Variety of exterior surface materials, often with siding or brick combined with stucco, changes occurring at inside corners
- Small front porch
- Decorative details on windows, typically shutters

Windows: Windows are typically vinyl or aluminum, double-hung with gridded panes.

Doors: Doors are typically painted and may include glass panels.

Colors: Light color or off-white body with a contrasting trim and often white, light or dark accent colors.

Additional Style Elements: Wrapped horizontal siding elements on sides and/or rear elevations, round top accent or bay windows, square wood columns with trim, wood window pot shelves, brick veneer chimney wrap, garage door patterns complimentary to style.

9.5 Principal Design Guidelines

These architectural design guidelines are intended to direct the development of the West Haven Specific Plan. The goal of the design guidelines is to create a unique community, yet reminiscent of the heritage of the area, within the City of Ontario. The architecture of West Haven is to be historically accurate in its use of materials and forms. Each aspect of every project is viewed as a significant element in reinforcing the neighborhood concepts for the community of West Haven, and its expression of quality is highly influential on the overall essence of the West Haven Specific Plan area and integrity of the whole.

The overriding design intent is the creation of a warm and friendly community environment that encourages walking, socializing, an appreciation of both nature and local culture, and an economically vitalized destination. The overall character is intended to convey an environment that is cognizant of the historical significance of the area within the Specific Plan while also relating to adjacent districts and the broader City of Ontario. Therefore, the designers of the West Haven Specific Plan are encouraged to be mindful of the area's natural and cultural histories, local climate, and terrain. The design guidelines and standards they contain will be enforced and implemented through the review of plans submitted by developers and the official design review by the City of Ontario.

An important goal of these guidelines is to compose a street scene possessing both functional and visual variety. The plotting and massing garage placement and building elevation criteria are intended to provide this desired variety as well as a sense of uniqueness for each home.

The following **Sections 9.5.1, "Plotting, Massing and General Neighborhood Criteria", 9.5.2, "Garage Placement" and 9.5.3, "Building Elevations"**) describe plotting and massing garage placement and building elevations techniques which will assist in designing a successful streetscene for detached residential products. Appropriate use of these methods shall ensure the achievement of the desired results.

9.5.1 Plotting, Massing and General Neighborhood Criteria

The characteristics listed below describe the desired community setting and streetscene for the neighborhoods of West Haven: (Please refer to **Exhibit 9-28, "Plotting and Massing Concept"** and **Exhibit 9-29, "Clustered Massing Concept"**.)

- Limiting the numbers of homes per neighborhood
- Attention to the composition of building mass
- Minimizing the visual impacts of garages
- Shortening streets and providing curb separated sidewalks
- Varying setbacks at porches, living, and garage areas
- Incorporating single story elements in two story buildings
- Stepping back second stories and varying roof planes
- Opening corner lots through selective plan form and single story elements
- Providing innovative plans and avoiding repetitious plans and footprints

9.5.1(a) Architecture Forward, Recessed Garages

Design home sites to pull living portions of the house toward the front of the lot to allow active, articulated architecture to address the streetscene. Most plan variations should place entries, windows, front porches and living areas directly adjacent to the street.

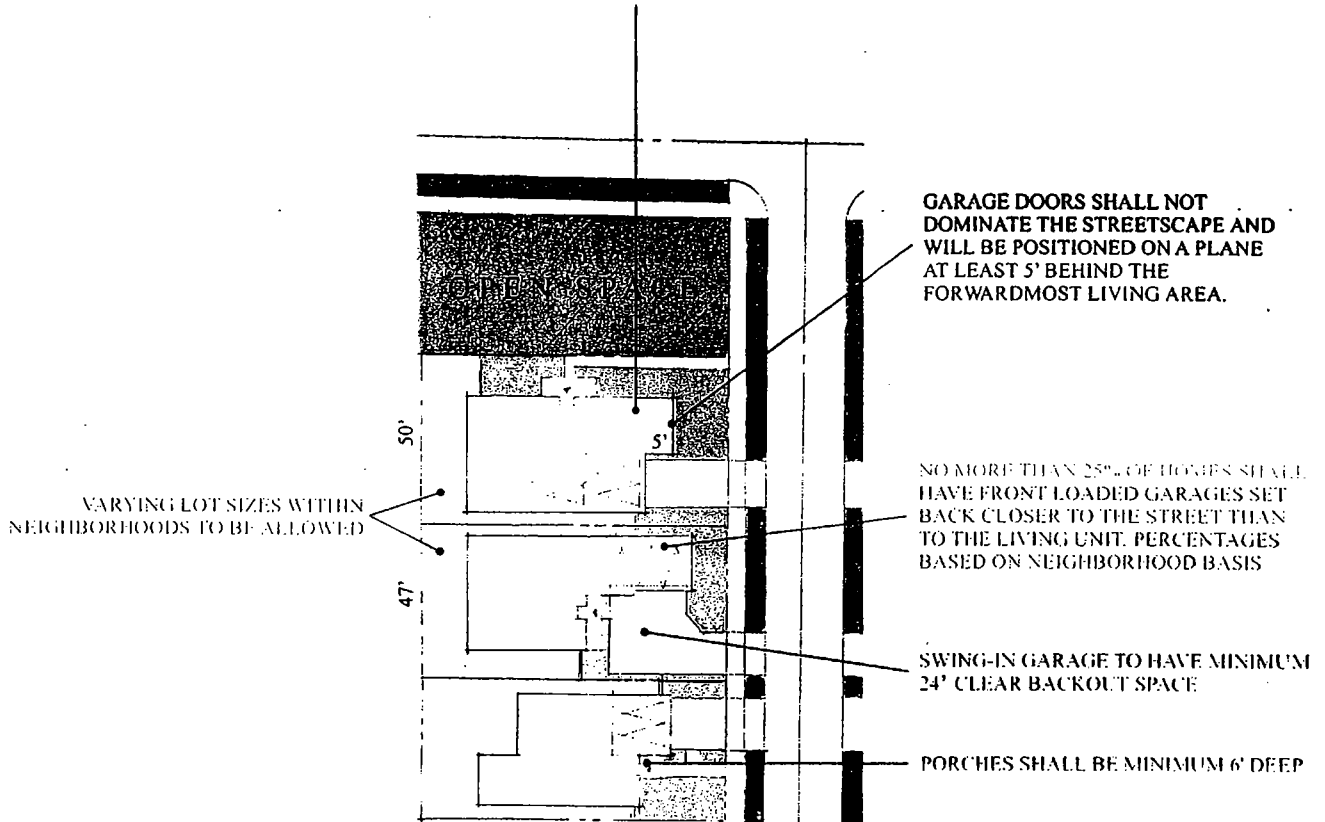
9.5.1(b) Varied Front and Rear Yard Setbacks

Create a more interesting neighborhood streetscene by using house forms and plans that result in a variation of front and rear yard setbacks. Also, use varied garage setbacks along street and alley frontage; monotonous repetition resulting from strict compliance to the minimum garage setbacks should be avoided.

9.5.1(c) Variable Lot Sizes

Vary lot sizes to increase buyer selection and variety in house and lot size combinations, where appropriate. Variations in lot widths may be matched to floor plans so long as the average lot size specified for the product type is maintained.

WHEN A SIDE OR REAR BUILDING FAÇADE
FACES A PUBLIC OR PRIVATE STREET OR PARK THE
BUILDING FAÇADE SHALL BE ARTICULATED
SIMILAR TO THE BUILDING'S FRONT FAÇADE

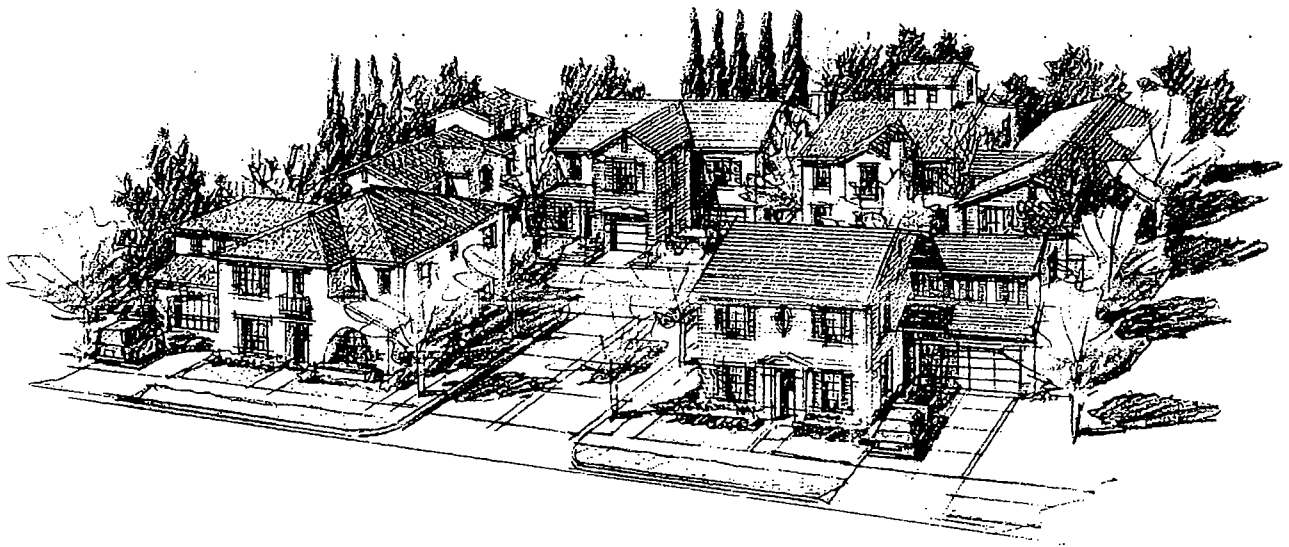


LDKING

Plotting & Massing Concept

(December 15, 2004)

Exhibit
9-28



	<h2>Clustered Massing Concept</h2>	<p>December 15, 2004</p> <p>Exhibit 9-29</p>
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9.5.1(d) Neighborhood Edge Treatments

The continuous overly "walled" appearance along neighborhood perimeter streets may be avoided through special treatments in selected locations as illustrated on **Exhibit 9-30, "Edge Treatments within Residential"**. Possible treatments may include incorporation of hedges and neighborhood street tree programs in a conventional format (Option 1), a reversible home format (Option 2), and side on courtyards with open cul-de-sacs and trail connections (Option 3), view fencing, etc. These treatments will be consistent with **Section 9.2.2(a), "Residential Fencing"** and will be determined at the Tentative Tract Map stage. Pedestrian portal design shall be consistent with landscape walls and entry monumentation.

9.5.1(e) Paseo and Parkway Pedestrian Linkages

Neighborhood layouts shall provide connections into the community paseo system to encourage pedestrian flow through the Project Site, as illustrated on **Exhibit 9-31, "Paseo Connection Options"**, which depicts pedestrian linkage treatment. Possible linkage treatments may include dedicated walkways (Option 1) or shared walkways with access to front doors (Option 2). Pedestrian portals shall mark connections between paseos and parkway pedestrian paseo systems.

9.5.1(f) Entry Open Space Features

Project entries provide a sense of arrival, establishing unique neighborhood identity, and provide ideal opportunities for locating neighborhood parks and greenbelts/paseos. Homes fronting onto these features activate the open spaces as well as add a sense of security as illustrated on **Exhibit 9-32, "Entry Open Space Features"**. Options 1, 2 and 3 illustrate examples of integrating small open spaces into the neighborhood entries.

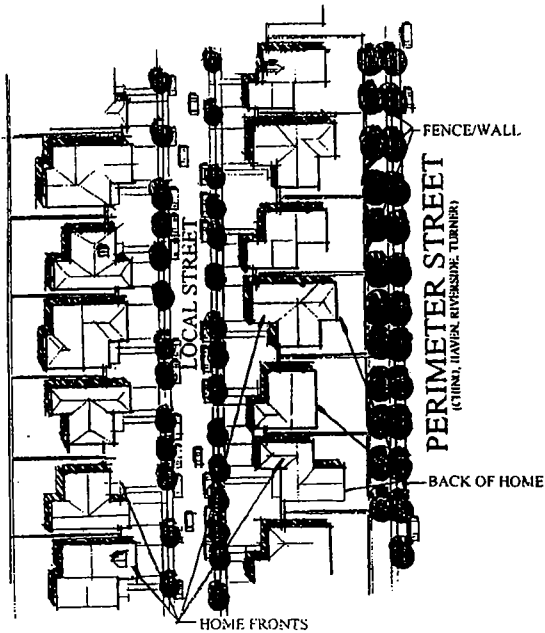
9.5.2 *Garage Placement*

Instead of the garage, the home and yard should be the primary view emphasis as experienced from the street. Each Planning Area should incorporate a variety of the garage placement solutions described as follows:

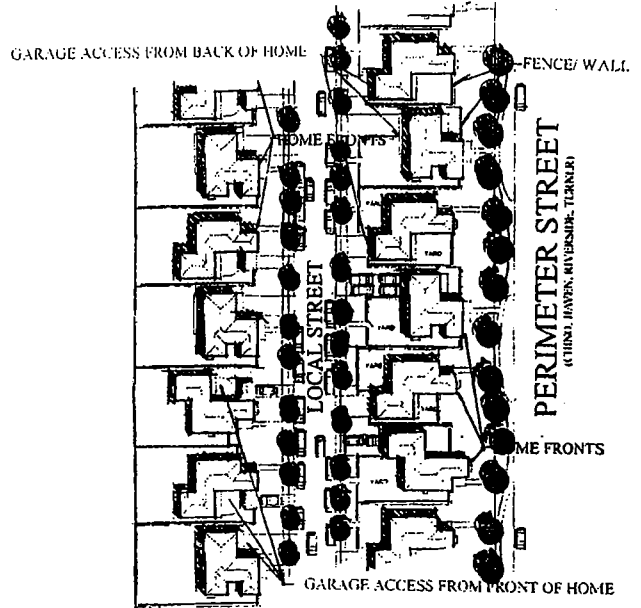
9.5.2(a) Conventional Garage (Forward) Placement

No more than 25% of street facing garages in any neighborhood may be placed forward of living space. Please refer to **Exhibit 9-33, "Conventional Garage (Forward) Placement"**.

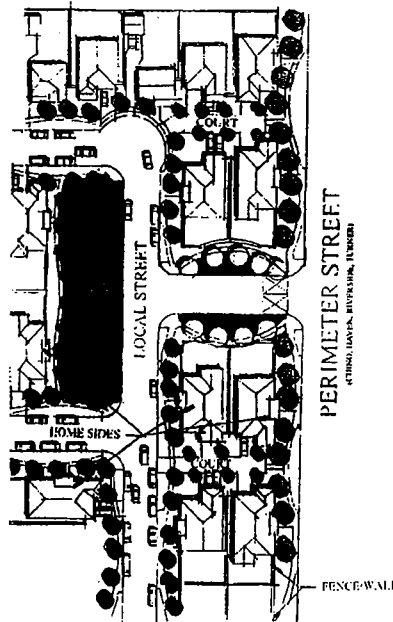
OPTION 1



OPTION 2



OPTION 3



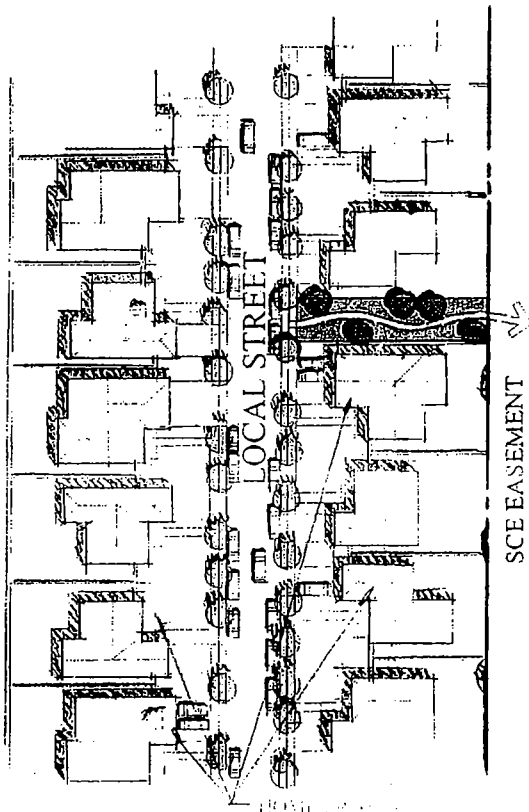
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Edge Treatments Within Residential

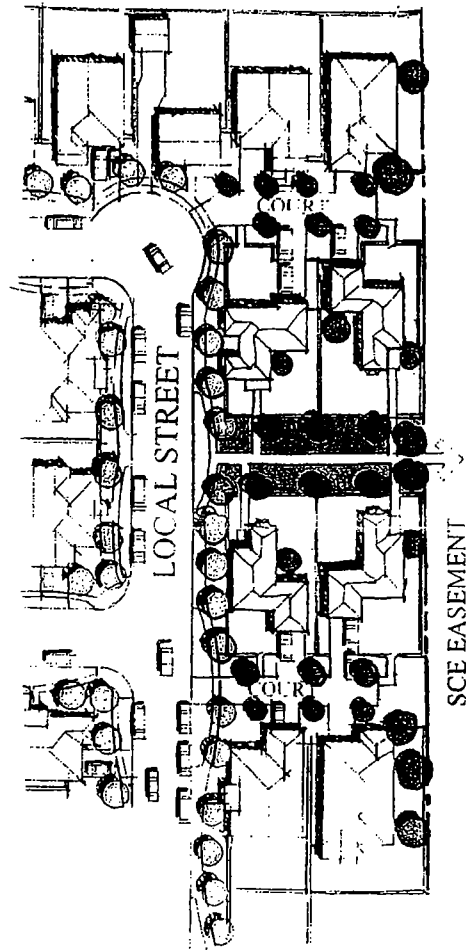
(December 15, 2004)

**Exhibit
 9-30**

OPTION 1



OPTION 2



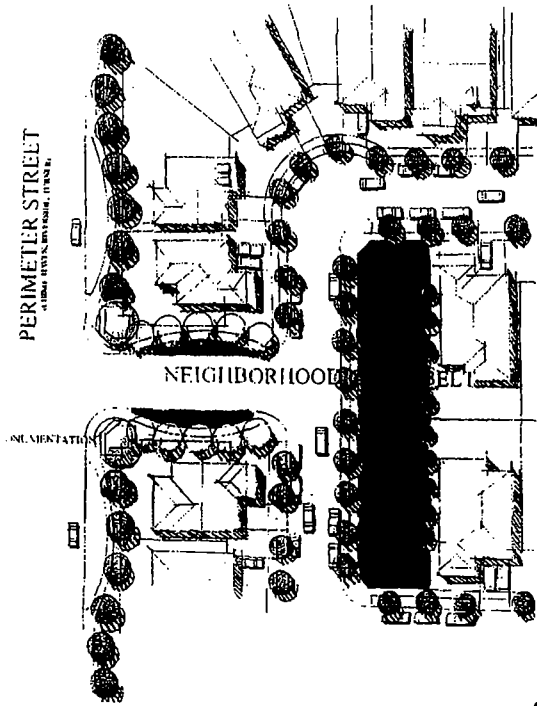
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Paseo Connection Options

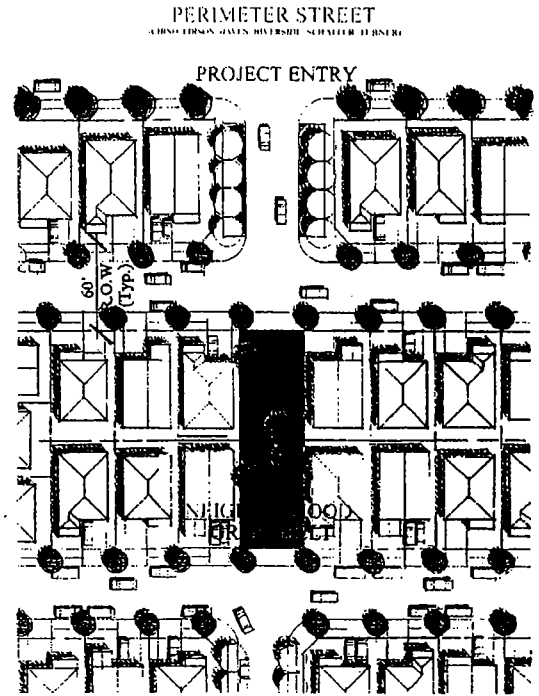
(December 15, 2004)

Exhibit
9-31

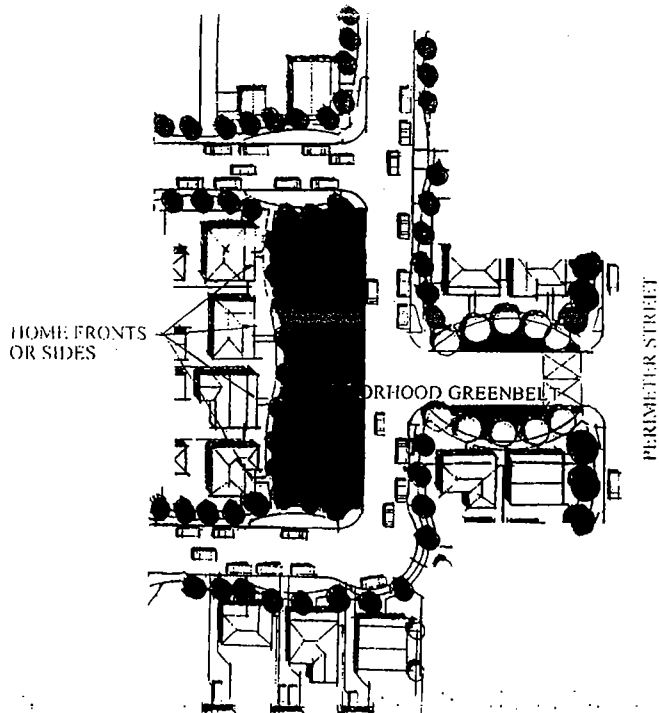
Option 1



Option 2



Option 3



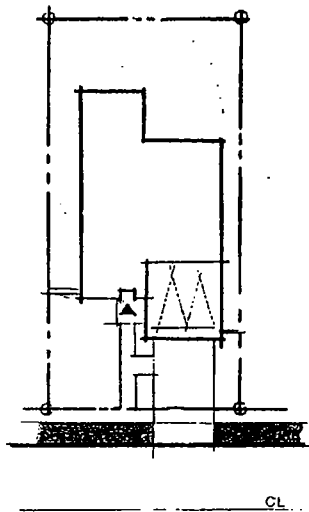
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Entry Open Space Features

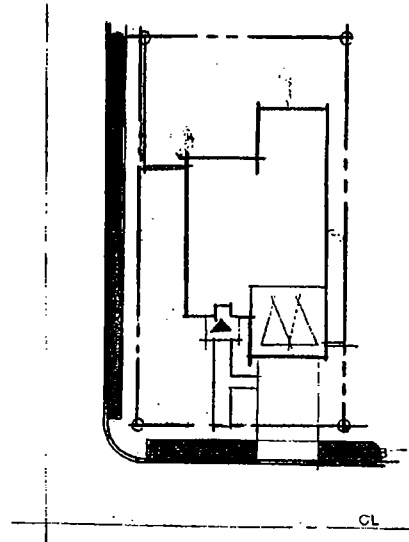
(December 15, 2004)

Exhibit
 9-32

INTERIOR



CORNER



LDKING

Conventional Garage (Forward) Placement

(December 15, 2004)

Exhibit
9-33

The overall visual mass of a garage may be reduced by setting the door back a minimum of 5-feet from the front plane of the house. Please refer to **Exhibit 9-34, "Shallow and Mid Recessed Garages"**.

9.5.2(c) Mid Recessed Garages

Setting the garage back toward the middle of the lot exposes more highly articulated, habitable architecture toward the street. Please refer to **Exhibit 9-34, "Shallow and Mid Recessed Garages"**.

9.5.2(d) Rear Access and Detached Garages

Garages may be concealed by detaching and locating them to the rear of the lot. Garage access ways may be relocated off neighborhood streets or rear-loaded alleys to promote a more traditional, pedestrian-friendly streetscene. Please refer to **Exhibit 9-35, "Rear Access and Detached Garages"**.

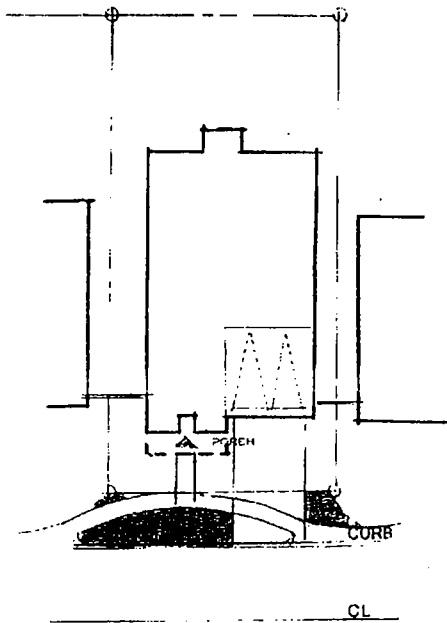
9.5.2(e) Side Entry Garages

On lots at least 52-feet wide, side entry garages may break the continuous view of garage doors along a streetscene, allowing a more formal motorcourt entrance. Side entry garage conditions also allow greater variation in the streetscene. Note that lots providing less than 24-feet of backup maneuvering room are subject to City approval of the alternative design standards. A 60-foot wide lot provides for optimal configuration. Please refer to **Exhibit 9-36, "Side Loaded Garage"**.

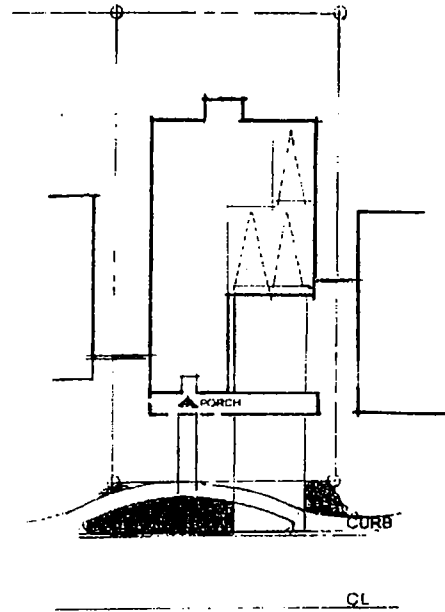
9.5.2(f) Tandem Three Car Garages

The two car tandem garage with a third car option de-emphasizes the third garage by concealing it behind a standard two car garage condition, permitting the tandem space to option into living space while still only showing the original two car garage to the street. It is typically either shallow or mid recessed into the lot so as to be incorporated into the architecture of the home. Please refer to **Exhibit 9-37, "Tandem Three Car Garages"**.

FRONT LOADED GARAGE



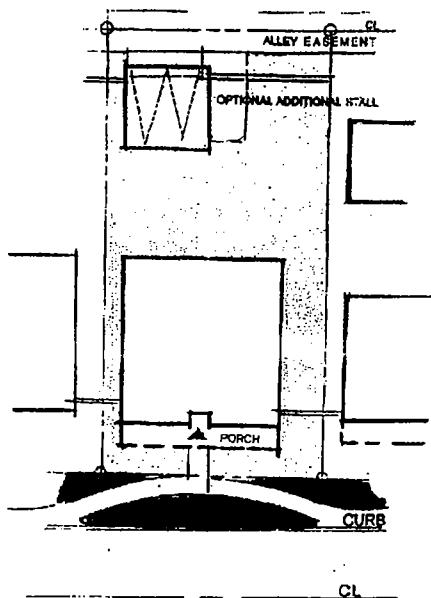
FRONT LOADED GARAGE



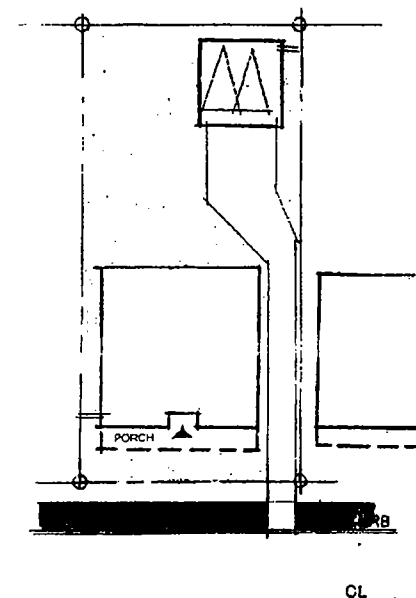
	Shallow And Mid Recessed Garages	(December 13, 2004) Exhibit 9-34
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ALTERNATES

REAR LOADED
DETACHED GARAGE



FRONT LOADED
DETACHED GARAGE



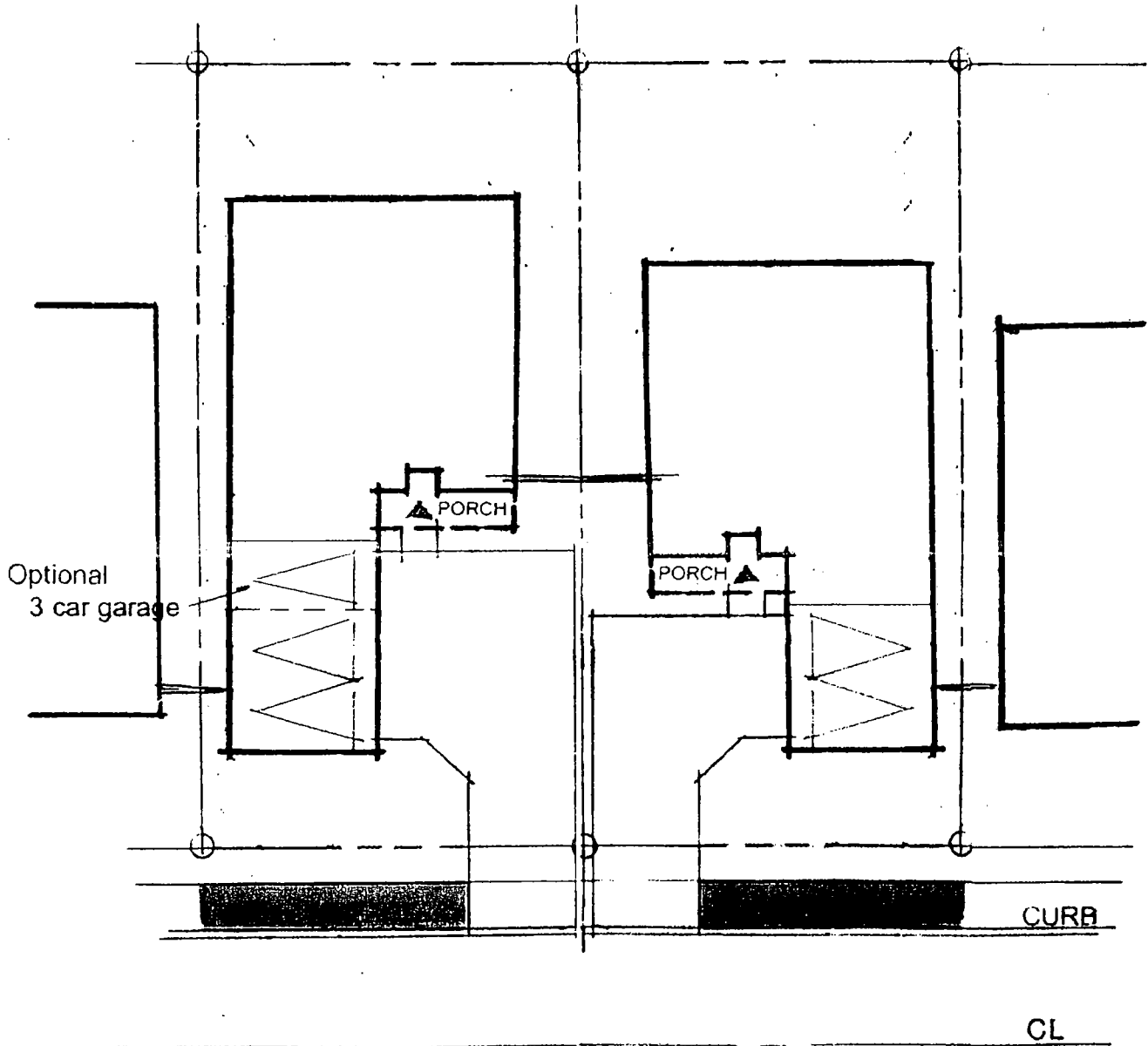
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Rear Access And Detached Garages

(December 15, 2004)

Exhibit
9-35

SIDE LOADED GARAGES



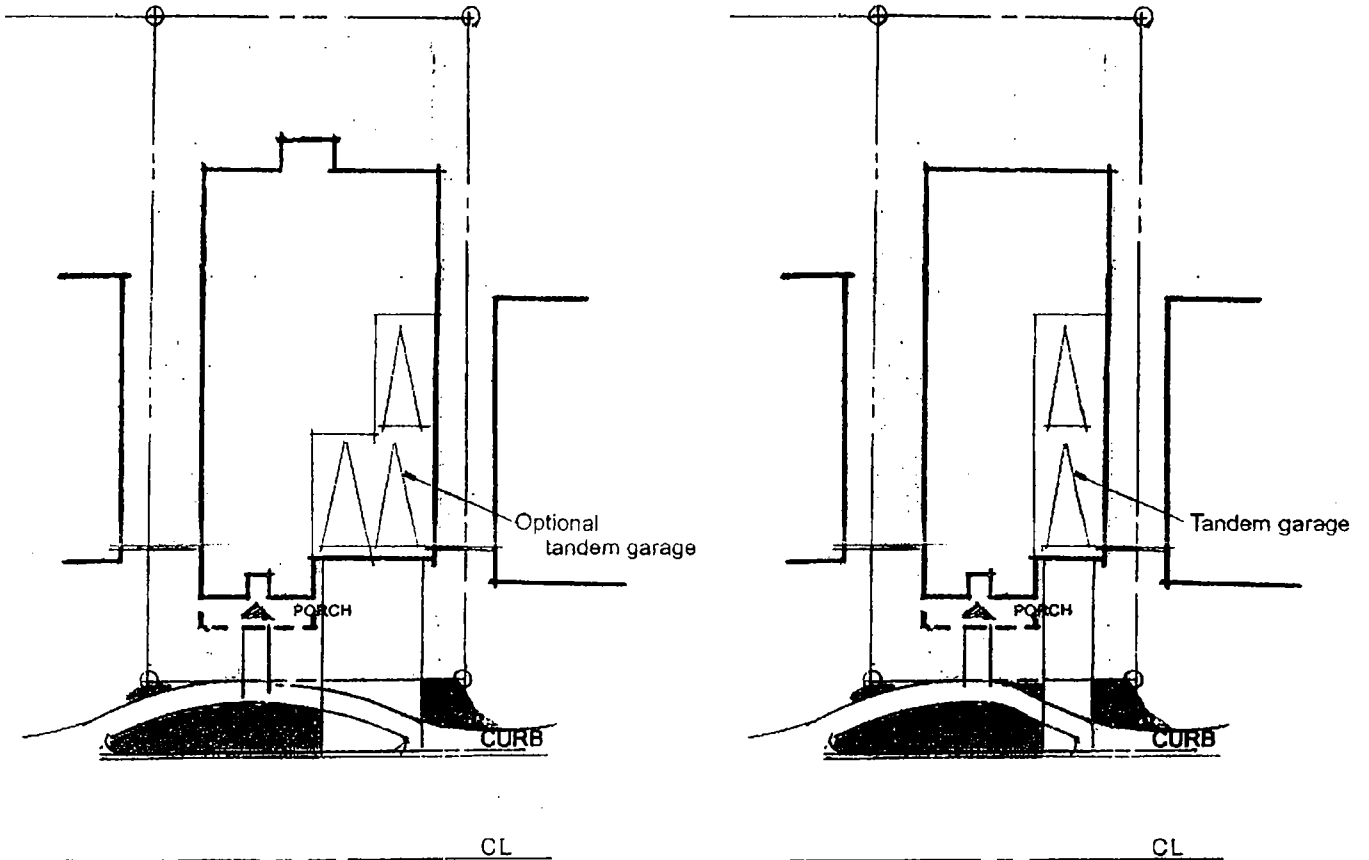
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Side Loaded Garage

(December 15, 2004)

Exhibit
9-36

FRONT LOADED GARAGES



	<h3>Tandem And Three-Car Garages</h3>	[December 15, 2004] Exhibit 9-37
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9.5.2(g) Mansion Corner Lot, Garages with Wrap Around Architecture

Having entry doors on the front elevation while the garage doors are located on a side elevation, mansion corner lot garages are plan forms that allow architectural enhancements to wrap around the home from front to side elevations. Please refer to *Exhibit 9-37, "Mansion Corner Lot"*, which illustrates garages with wrap around architecture.

9.5.3 Building Elevations

Building elevations may be designed to reflect the architectural style and interior uses as well as to create a positive relationship with the specified plotting. The impacts of the homes as they relate to the street, setbacks, adjacent lots, and corner plotting conditions may be controlled through the manipulation of exterior mass and form.

9.5.3(a) Single Story Elements

By either reducing the height of a living area or by utilizing a porch, a single story element transitions a two-story building mass to pedestrian scale and may promote undulation and variation in front and side elevations.

9.5.3(b) Roof Form

Articulate the rear elevation and roof plane to minimize the visual impact of repetitious flat planes, similar building silhouettes and similar ridge heights. Provide varied rear elevation forms adjacent to and exposed to public views.

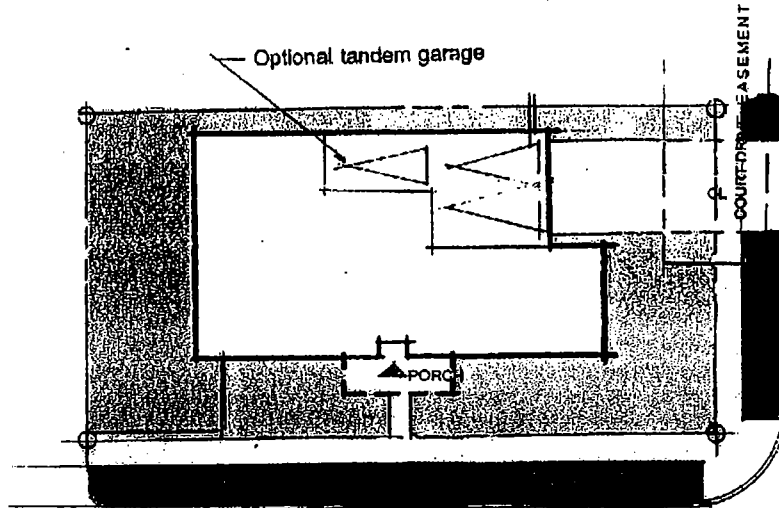
9.5.3(c) Corner Plotting

Provide plans that, when plotted on corner lots, have the flexibility to reposition the entry and garage to the exterior side.

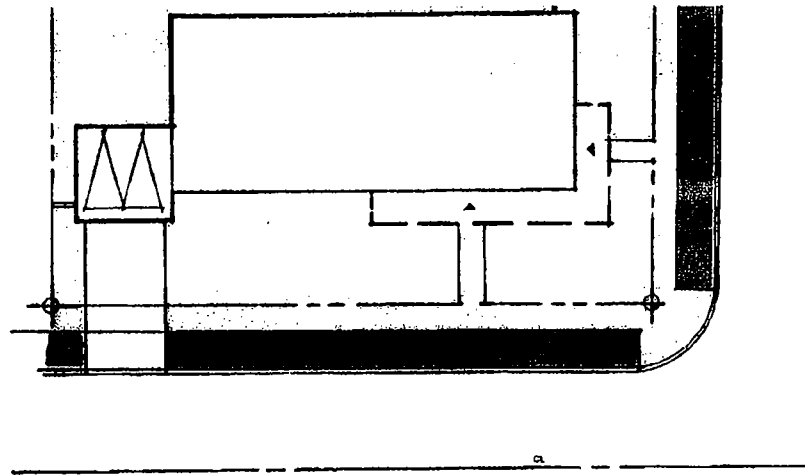
9.5.4 Secondary Exterior Elements

The additional character elements listed below will be reviewed for consistency with the architectural theme. These elements often go unnoticed as part of the architectural background in neighborhoods.

MANSION CORNER



CL



LDKING

Mansion Corner Lot

(December 15, 2009)

Exhibit
9-38

9.5.4(a) Appurtenant Structures

Any detached structure to be used as living space shall conform to the design standards of the existing dwelling on the lot.

9.5.4(b) Antennas and Dishes

Antennas are generally restricted to the attic or interior of the residences. Dishes should be screened from public or adjacent homeowner views.

9.5.4(c) Awnings

Metal awnings are prohibited. Fabric awnings of solid accent colors are permitted in moderation when consistent with architectural style.

9.5.4(d) Chimneys and Decorative Accents

Use of chimneys and chimney caps as an architectural accent is encouraged. Clay pipe wall vents, decorative wall tile, floor pavers (*concrete, clay or stone*), fountains, benches, and flower pots are all elements that can enhance the overall appearance.

9.5.4(e) Downspouts and Gutters

Exposed downspouts will be colored to match the surfaces to which they are attached. Exposed gutters will be colored to match fascia board color or roof material when no fascia exists.

9.5.4(f) Garages and Garage Doors

Garage doors shall compliment the architectural style. (Setbacks in attached garages should be staggered). Detailed garage door headers are encouraged.

9.5.4(g) Mailboxes

The type of box shall be integrated into the architecture and approved by the U.S. Postmaster.

9.5.4(h) Mechanical Equipment

All air conditioning/heating equipment, soft water tanks, pool and spa equipment, and electric self-timer boxes for sprinklers or exterior lighting shall be screened from public view in the rear or side yard, behind walks. Sound attenuation is encouraged.

9.5.4(i) Meters

Both gas and electric meters, and cable panels shall be screened from view and integrated into the architecture.

9.5.4(j) Patio and Accessory Structures

Patio structures, trellises, pergolas, and other exterior structures shall be constructed of a complimentary material and color and integrated into the building form to add articulation to otherwise large unbroken wall masses. Today, there are many new innovations that often make metal accessory structures acceptable

9.5.4(k) Roof Flashing, Sheet Metals and Vents

All flashing, sheet metal, vent stacks and pipes shall be colored to match the adjacent building surface.

9.5.4(l) Sky Lights

Skylights shall be designed as an integral part of the roof. The glazing shall be clear or solar bronze; white glazing is prohibited. The framing materials shall be colored to blend with the roof.

9.5.4(m) Stairs and Steps

The design of exterior stairs providing access to second story living areas shall be incorporated into the theme of the home. Railings should be integral into the building design and should have detail consistent with the architectural style of the unit.

9.5.4(n) Trash Containers

Space shall be provided in an adjacent side yard or interior portion of the garage to accommodate the size of at least three 90-gallon-waste containers.

9.5.4(o) Walls and Fences

Fences and walls should be designed to be consistent in treatment with the main buildings.

9.6 Neighborhood Center Commercial Architectural Design Guidelines

Situated at the intersection of Haven Avenue and Riverside Drive, West Haven's primary entry point, the Neighborhood Center Commercial Land Use Area presents a unique opportunity to establish an appropriate and unifying theme to reinforce district identity. The Neighborhood Center commercial development presents certain architectural opportunities and limitations. These are due to building massing, parking requirements, pedestrian and service access, and lighting concerns that require integrated design and master planning prior to any land subdivision or development of Planning Area 2 within the West Haven community. Therefore, this section provides a standard set of concepts, goals and criteria for Neighborhood Center architectural design that builders will use to achieve the goal of quality design. The objective is to create an attractive Neighborhood Center commercial environment, related in scale and aesthetic to the entire West Haven development.

The purpose of the Design Guidelines is to provide advisory and supplemental guidance to implement the West Haven Specific Plan vision in order to direct its desired development outcome. This information is important to future project development because it describes the basic design and planning principles upon which more specific design standards are based. Observing these guidelines will help assure that the promise of the vision for the Project will be fulfilled.

The goal of the Design Guidelines is to create a unique community, yet reminiscent of the heritage of the area, within the City of Ontario. The architecture of West Haven is to be historically accurate in its use of materials and forms. Each aspect of every project is viewed as a significant element in reinforcing the neighborhood concepts for the community of West Haven and its expression of quality is highly influential on the overall essence of the West Haven Specific Plan area and integrity of the whole.

Pleasant, tree-lined sidewalk connections and comfortable pedestrian paseos will link the Neighborhood Center commercial development area with adjacent residential neighborhoods, encouraging many local trips to be made on foot. Moreover, shops and services will be oriented to activate streets and public spaces, while attractive outdoor spaces will accommodate dining and other social activities.

The following is a list of additional criteria, which apply to this land use area. The West Haven Specific Plan takes precedence over regulations in the Development Code. However, it should be noted that site design and architectural standards not specified within this section shall be subject to the City's Design Guidelines and Performance Standards (*City of Ontario Development Code Article 16: Commercial and Professional Districts*) and the Uniform Building Code.

9.6.1 *Siting and Orientation*

1. Buildings shall be designed using accurate local historic forms integrated with public spaces and landscape elements that reinforce its function as a community gathering place and architectural focal point for the West Haven community.
2. All design shall incorporate the combination of compatible architecture and landscape forms to ensure that this development achieves an image that is positively differentiated as distinctive, clearly understandable and unified.
3. All designs shall appear as an integrated part of an overall design concept, as well as including logical connections to adjacent uses.
4. To unify the site, use common site design elements such as lighting, signage, enriched paving, and landscape treatments.
5. Site design shall incorporate variations in elevations.
6. In order to avoid the appearance of monolithic scale and orientation, buildings shall be arranged to create a variety of outdoor spaces (*courts, eating areas, usable open space, etc.*) large enough to be usable but not so large as to appear empty.
7. Building units shall vary in orientation and be dispersed throughout the site to reduce the impact of development on neighboring residential areas.

9.6.2 *Access and Parking Facilities*

1. On site parking facilities access should be shared to minimize curb cuts.
2. Use enhanced paving to announce vehicular entries; their treatment and color should complement the building architecture and overall site design.
3. Vehicular and pedestrian circulation routes shall be well separated and defined by landscape and site design elements, including decorative paving and/or lighting.

4. Customer parking shall be located in close proximity to main entrances. Employee parking and loading zones shall be located to the side or rear of the buildings and attractively screened from public streets with landscaping or other site design elements.
5. Screen on-site parking facilities from the street and adjacent residential uses. A combination of extensive plantings and decorative boundary walls should block views from and buffer adjacent residential properties; shrubs, and/or low, decorative screen walls are recommended to screen views of parking facilities from the street.
6. Mitigate the expansiveness of surface parking lots; shade trees and other plants should be provided within parking areas to enhance their appearance, reduce heat build-up, and help regulate storm water runoff.
7. Illuminate parking areas for added security; however, security lighting should be consistent with the design character of the site, and directed and shielded to avoid impacts and minimize glare on neighboring residential uses.

9.6.3 Service Facilities

1. Locate service, loading and storage facilities away from public streets and outdoor spaces. As far as is feasible, these facilities should be unobtrusive and not sited as an afterthought.
2. Screen impacts and views of service, loading and storage facilities from streets, outdoor spaces, and adjacent residential uses; appropriate screening strategies include compatible architectural treatment or decorative walls with complementary landscape. These facilities should also be attractively screened from direct views from parking areas. Similarly screen utility transformer boxes if they must be placed within yard areas adjacent to a street and/or the public right-of-way.
3. Introduce refuse enclosures and equipment as an integral part of the site design, including provisions for easy access by service vehicles. These facilities should be located within a screened enclosure built of high quality materials that reflect the architectural style of the building.

9.6.4 Form, Scale and Massing

1. Buildings shall be designed with well-articulated elevations and with openings and entries that are clearly defined.

2. Scale, particularly for the larger tenants/buildings, should be given careful consideration. Long, uninterrupted expanses of walls shall not be allowed.
3. Employ varied massing, with deep wall openings that create shadow lines and provide visual relief.
4. Interconnection and lapping of building forms and heights, to break up long expanses of blank walls, to help relieve monotony is desirable.
5. Appropriate Form, Scale and Massing:
 - a. All building sides should be considered equally; the architectural concept must be consistent on all sides. Buildings may not have a special treatment only on the façade facing the street.
 - b. Development of special design character at building entrances is required.
 - c. Use fenestration, as well as changes in wall plane, material, texture, color, etc., to create shadow lines and articulate building walls.
6. Inappropriate / Prohibited Form, Scale and Massing:
 - a. Monolithic buildings and extensive blank wall surfaces are not allowed, especially along sidewalks, outdoor spaces, and heavily trafficked areas.
 - b. Used brick or used brick appearance as well as exposed standard concrete block are not permitted as finish materials (see 9.6.5-6.b below).
 - c. Corrugated metal siding and metal panel wall systems are not acceptable.
 - d. Exposed plywood sheathing is not acceptable.
 - e. Bold application of color, such as accent strips or super graphics, are not acceptable.

9.6.5 Architectural Styles and Features

1. Promote architectural design that fits with and enhances its surroundings, emphasizing visually attractive buildings that bring interest to the street and add richness and variety to the community.

2. Encourage compatibility between commercial and residential architecture within the Specific Plan area; the introduction of unifying elements such as common materials and colors should be considered.
3. Building facades shall be based upon a pleasing set of proportions and a clear pattern of building openings.
4. Fixtures and finishes should be selected for their contribution to the overall theme of the development.
5. Require a high degree of street level transparency for safety especially along sidewalks, important outdoor spaces, and heavily trafficked areas.
6. Appropriate
 - a. All buildings and structures shall comply with the applicable provisions of the City-wide Design Guidelines.
 - b. American Farmhouse and Spanish Colonial architectural styles respond to the region's climate, have established historic precedence in the West Haven Specific Plan area, and are also designated alternative commercial thematic styles for Planning Area 2 for their local historic significance, their inherent attractiveness and sense of elegance. (Refer to **Section 9.4.4, "Residential Architectural Styles"** for style descriptions.)
 - c. Differentiate between the base, middle and top levels of a building; for instance, street-oriented shops may feature 1) a bulkhead, 2) display windows, and 3) transom and detailed cornice.
 - d. Use architectural details to enhance a building's appearance; careful detailing is especially appropriate at the base of buildings, along cornices, eaves, parapets or ridgetops, and around entries and windows.
7. Inappropriate / Prohibited
 - a. Glass shall not be mirrored.
 - b. Use of opaque and darkly tinted glass should be restricted.

- c. Pre-engineered metal buildings from any public view.

9.6.6 Exterior Materials and Colors

1. Materials are to be durable, relatively maintenance free, and sympathetic in scale and aesthetic to the overall Neighborhood Center Commercial environment.
2. Appropriate
 - a. Promote visual interest, using at least two different building materials; for instance, materials may be used to highlight a building entrance or distinguish the building base.
 - b. Stucco: Textures should be consistent with the architectural style(s).
 - c. Finishes shall be non-reflective. Colors shall consistent with the architectural style. The use of bright colors or black shall be limited to building accents.
 - d. Finishes should match or coordinate with stucco or masonry wall finishes. Textured surfaces should be limited primarily to vertical surfaces.
3. Inappropriate / Prohibited
 - a. "Tacked-on" appearance of canopies or awnings and details that are not designed as an integral part of the building architecture.

9.6.7 Roof Forms and Materials

1. Express roofs in a visually interesting manner that complements the composition of the building and the surrounding area.
2. Appropriate
 - a. Sculpted roof forms or a strong and attractively detailed cornice.
 - b. Clay or concrete tile.
 - c. Colored or prefinished standing seam metal roofs.

- d. Flat roof designs, when visible from adjacent properties, shall be crushed rock or mineral surfaced cap sheet resulting in a familiar uniform coverage treatment. Roof surfacing is to be an earth tone color.
 - e. Skylights shall be designed as an integral part of the roof. The glazing shall be clear or solar bronze; white glazing is prohibited. The framing materials shall be colored to blend with the roof.
3. Inappropriate / Prohibited
- a. False facades and mansard roofs when unrelated to the style of the building.

9.6.8 Walls and Fences

- 1. Decorative walls and/or walls screening yards, parking lot or enclosures are encouraged to provide security, privacy, and landscape definition, and they shall be designed to integrate with the architecture of the building, as well as the landscape design. This can be accomplished by gradually building up the massing of the walls as they attach to a building or creating openings for entry gates.
- 2. Appropriate
 - a. Wall treatments will be consistent with *Exhibits 9-16, "Community Walls and Fences – Locations"* and *Exhibit 9-17, "Community Walls and Fences – Details"*.
- 3. Inappropriate / Prohibited
 - a. Wood, vinyl or other non-masonry fencing, framed (non-solid) stucco fencing, hollow non-grouted masonry less than four inches thick.

9.6.9 Accessory Structures and Services

- 1. Appropriate
 - a. Any accessory building and/or enclosures, whether attached to the main building or not, shall be of similar design to the main building.

- b. Patio structures, trellises, pergolas, and other exterior structures shall be constructed of a complimentary material and color, and integrated into the building form to add articulation to otherwise large unbroken wall masses.
2. Inappropriate / Prohibited
 - a. Metal or other prefabricated structures such as storage sheds.

9.6.10 Street / Plaza Furniture and Bus Shelters

1. Street, bus and plaza furniture and bus shelters within the West Haven Specific Plan shall be designed to coordinate in design, style and color with the principal architectural themes and/or architectural details of the primary structure and building in the development.
2. Bus shelter design shall be compatible with Neighborhood Center architecture.

9.6.11 Signage and Outdoor Lighting

1. Establish a hierarchy of illumination levels based on design intent; for example, the illumination of entry monumentation is highly encouraged.
2. Require signs that are in balance and scaled to the building, site and surrounding area; avoid repetitive signage and visual clutter on a building frontage.
2. Design monument signs to complement the building architecture and the streetscape; colors and materials should be consistent with the structures on site and enhance landscape elements.
3. Design tenant identification signs to fit comfortably with the storefront architecture; wall signs and pedestrian-oriented signage should not obscure architectural features and should be incorporated as an integral part of the building façade.
4. Establish a coordinated sign program to accommodate multiple tenants; a commercial development's signs, including tenant identification signs, should complement, but not necessarily replicate the style of one another.
5. Offer a clear, simple message; the number of lettering styles should be limited, and the use of identifiable symbols and logos is encouraged.

6. Encourage external sign illumination for entry monument signage, using unobtrusive, yet attractive fixtures.
7. Provide sufficient lighting to ensure the safety and well being of the community; in addition, outdoor lighting should visually enhance the project by highlighting and accentuating architectural or landscape features.
8. Appropriate Signage:
 - a. Orient signs away from neighboring residences.
 - b. Construct high quality signs with durable materials; individual channel letters are encouraged for wall signs.
 - c. Require a comprehensive program for outdoor lighting associated with all new developments, including security lighting within parking areas; the Planning and Police Departments shall approve all proposed lighting programs.
 - d. Utilize attractive light fixtures and standards that complement the site and building architecture; in general, lighting standards and fixtures should be consistent in style, color and materials, maintaining uniformity throughout the project.
 - e. Locate and direct outdoor lighting (including security lighting) to avoid unwanted glare and minimize impacts on neighboring residential uses.
 - f. Encourage subtle lighting that provides a soft wash of light over illuminated objects.
 - g. Encourage low, shielded walkway lighting.
 - h. Screen site lighting from direct view by adjacent residential neighborhoods.
9. Inappropriate / Prohibited Signage:
 - a. Intensely bright or "hot" lighting of architectural and landscape features is discouraged.
 - b. High-mast type fixtures and wall packs should be avoided.

- c. Internally illuminated cabinet signs, painted signs, as well as paper and cloth signs are not allowed, although temporary signs (i.e., "grand opening" signs, etc.) are permitted subject to the restrictions of the City's Sign Ordinance.
- d. Blinking and flashing signs are prohibited.
- e. The illumination of outdoor lighting shall not spill over and adversely affect adjacent properties.

9.6.12 Mechanical Equipment

1. Appropriate

- a. Parapets or other architectural elements that are fully integrated into the overall building design and massing are encouraged.
- b. All roof mounted mechanical equipment shall be screened from ground level view by the parapet/roof to a minimum sight distance of 1,320 feet and shall not be visible from public view.
- c. No exposed electrical, mechanical or service equipment of any type shall be allowed.
- d. Downspouts or roof access ladders are not to be visible from any street.
- e. Use screening materials which are similar or complementary to the external materials used in the building architecture.

2. Inappropriate / Prohibited

- a. The final surface of screening materials shall not include plywood and/or open trellis or precision block.

Section 10. Development Standards

10.1 Introduction

The following is a general description of planning objectives, which pertain to the West Haven Specific Plan development. Development standards specific to each of the 9 Planning Areas are addressed in **Section 10.3, "Planning Area Development Standards"**. Residential Development Standards pertaining to minimum lots sizes are presented on **Table 10-1, "Detached Residential Single-Family Development Standards"**.

10.2 Planning Objectives

The West Haven Specific Plan is being prepared within the framework of a detailed and comprehensive multi-disciplinary planning program. In addition to considering issues such as engineering feasibility, market acceptance, economic viability, city General Plan goals and objectives, development phasing and local community goals, additional planning objectives were identified to assure the environmental compatibility, aesthetic satisfaction and functional integrity of the Specific Plan as a whole. With these planning objectives in mind, the West Haven Specific Plan:

- Considers topographic, prior land uses, geologic and hydrologic environmental opportunities and constraints to create a design that conforms to the character of the land. The project will require minimal alteration of existing landforms, since the West Haven site is uniformly and gently sloping.
- Reflects anticipated marketing needs and public demand by providing a range of architectural styles, which will be marketable within the developing economic profile of the City of Ontario.
- Provides residential development, adequate support facilities (*Neighborhood Center/commercial, parks, paseos, schools, open space and recreation*) and circulation in a convenient and efficient manner.
- Provides planning provisions for a safe and efficient circulation system composed of a network of planned local roadways designed for appropriate traffic and user needs.
- Establishes a unique open space environment utilizing a greenbelt/paseo system, neighborhood edges and expanded parkways to link the Neighborhood Park, recreation areas, school and Neighborhood Center.
- Constructs the required on-site and off-site infrastructure improvements in order to provide a coordinated development schedule consistent with surrounding land uses and in accordance with requirements and needs of the City's local utility and service districts.
- Encourages architectural forward residential building design, incorporating innovative architectural styles along with successful site planning techniques, which together bring about unique streetscenes.
- Allows transfer of residential units within the Specific Plan area.

Table 10-1
 Detached Residential Single Family Development Standards

DETACHED SINGLE FAMILY							
Minimum Lot Size	Minimum 7,000 S.F. Lot or Greater	Minimum 6,500 S.F. Lot	Minimum 6,000 S.F. Lot	Minimum 5,500 S.F. Lot	Minimum 5,000 S.F. Lot	Minimum 4,000 S.F. Lot	Minimum 3,000 S.F. Lot
Minimum Lot Width at Front Property Line (1)(2)	60 Feet	55 Feet	50 Feet	40 Feet	40 Feet	40 Feet	35 Feet
Minimum Lot Width at Front Setback Line	60 Feet	55 Feet	50 Feet	45 Feet	45 Feet	40 Feet	40 Feet
Minimum Lot Depth	100 Feet	95 Feet	95 Feet	95 Feet	90 Feet	80 Feet	70 Feet
Setbacks (3)(4)							
▪ Front							
- Porch	10 Feet	10 Feet	10 Feet	8 Feet	8 Feet	8 Feet	8 Feet
- Living Space	15 Feet	15 Feet	15 Feet	15 Feet	10 Feet	10 Feet	10 Feet
- Garage	20 Feet	20 Feet	20 Feet	20 Feet	20 Feet	20 Feet	20 Feet
▪ Rear (5)	15 Feet	15 Feet	10 Feet	10 Feet	10 Feet	10 Feet	10 Feet
- Living Space Over Garages	Offset 5 Feet	Offset 2 Feet	Offset 2 Feet	Offset 2 Feet	Offset 2 Feet	Offset 2 Feet	Offset 2 Feet
▪ Side Yard							
- Living Space/Garage At Street on Paseo Side	5 Feet 10 Feet	5 Feet 10 Feet	5 Feet 10 Feet	5 Feet 10 Feet	5 Feet 10 Feet	5 Feet 10 Feet	5 Feet 10 Feet
Minimum Building Separation	10 Feet	10 Feet	10 Feet	10 Feet	10 Feet	10 Feet	10 Feet
Lot Site Coverage	55% (Max)	55% (Max)	50% (Max)	60% (Max)	60% (Avg)	60% (Avg)	65% (Avg)
Building Height (Max)	35 Feet	35 Feet	35 Feet	35 Feet	35 Feet	35 Feet	35 Feet
Interior Walls (6)(7)	3 ft. min./6 ft. max	3 ft. min./6 ft. max	3 ft. min./6 ft. max	3 ft. min./6 ft. max	3 ft. min./6 ft. max	3 ft. min./6 ft. max	3 ft. min./6 ft. max
Perimeter Walls & Fences (7)	6 Feet	6 Feet	6 Feet	6 Feet	6 Feet	6 Feet	6 Feet
Parking (Minimum)	2 Garage Spaces	2 Garage Spaces	2 Garage Spaces	2 Garage Spaces	2 Garage Spaces	2 Garage Spaces	2 Garage Spaces

- (1) Staggered unit placement from the front setback will be utilized in combination with floor plan variation, to eliminate a straight edge look along the street.
- (2) Flag lots shall have a 20-foot wide minimum flag.
- (3) All setbacks are measured from habitable area, not architectural appurtenance or projection. An architectural projection is defined as an element that articulates the building elevation such as pot shelves, pop outs, eaves, enhanced window sills, shutter details, window trim, balconies and entry features, but does not include pools, spas, patio covers, porches, trellises or other accessory structures. Unenclosed patios, balconies, decks, pools, spas, gazebos and trellises are permitted anywhere within the rear yard setback area.
- (4) No additional setback required adjacent to arterials and collector due to additional landscaped buffer area dedications.
- (5) Rear yard setbacks on lots fronting a cul-de-sac, knuckle or curve may be reduced by one-third, provided an unobstructed minimum yard area of 15' x 15' is maintained.
- (6) Except for courtyard walls with a maximum height of 36-inches, walls are not permitted in front yards.
- (7) Walls may be higher than 6' if required for sound attenuation or retaining. Maximum height to be established by sound attenuation study, if exceeding 10-feet.
- (8) Interior garage minimum dimensions shall be 20-feet by 20-feet (clear).
- (9) Porch minimum dimensions shall be 6-feet deep (clear) and 60 square feet total (clear).

10.2.1 Residential Unit Transfer Between Planning Areas

Exhibit 3-1, "West Haven Land Use Plan" and Table 3-1, "Residential Summary" set forth the planning area identification, total residential acreage, density and total dwelling units planned for each residential Planning Area. Residential unit transfer allows for the redistribution of residential units from one Planning Area to another. For example, if the number of units developed within a Planning Area is below the designated units, then the remainder of those units may be transferred to another Planning Area. The City of Ontario shall approve a change in the designated units for a Planning Area upon a determination that the transfer meets all of the following conditions:

- a. The total number of approved residential units and the total number of projected future residential units, when combined, shall not exceed the allowed maximum of 753 dwelling units.
- b. A developer may transfer unused residential units from a previously approved Planning Area (*or Planning Areas*) to a proposed Planning Area(s) as unused residential units, eligible for residential unit transfer. When a development application is submitted to the City for a Planning Area(s), the developer must submit, concurrently with the application, a project residential unit reconciliation summary that identifies units previously declared eligible for residential unit transfer and the total number of projected future residential units remaining to be developed in the balance of the project.
- c. The number of excess residential units identified for transfer to a Planning Area(s) may not exceed 10% of the total residential units in the receiving Planning Area, as identified in *Table 3-1, "Residential Summary"*.
- d. There would be no significant adverse effect on projected demands on parks, schools, infrastructure and community facilities.
- e. Grading and landform alteration would substantially comply with that previously approved for the Specific Plan.
- f. No new significant environmental issues would result.

10.3 Planning Area Development Standards

10.3.1 Introduction

For specific Residential Development Standards, please refer to *Table 10-1, "Detached Residential Single Family Development Standards"* in this Section of the Specific Plan.

Likewise, refer to the following sections for additional general development standards that apply site-wide:

- Section 3, "Land Use Plan"
- Section 4, "Circulation Plan"
- Section 5, "Infrastructure and Public Services Plan"
- Section 6, "Open Space and Recreation Plan"
- Section 7, "Grading Plan"
- Section 8, "Landscaping Plan"

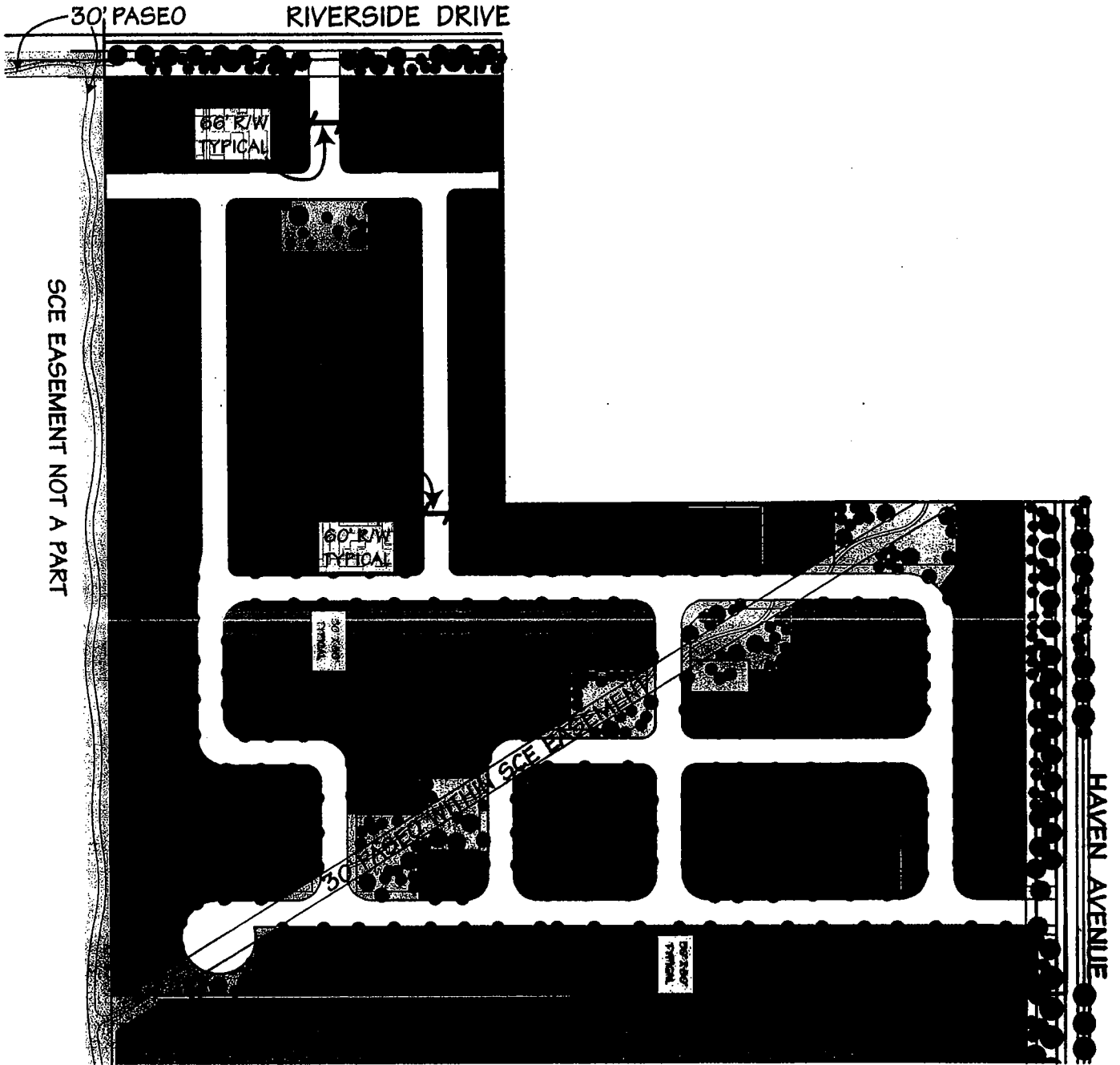
What follows is a description of standards for Planning Areas within the West Haven Project.

10.3.1(a) Planning Area 1: Residential Description

Planning Area 1, as depicted in *Exhibit 10-1, "Planning Area 1 – Conceptual Lotting"*, provides for 28.52 acres of single-family detached use. A total of 177 dwelling units (DU), at 3,000 square foot minimum lot size, are planned at a density of 6.2 DU/AC. Single-family detached product types are proposed for development. Mini parks, at various configurations, are provided along the SCG Easement. Specific lot and street configurations shall be determined at the Tentative Map stage.

Planning Area 1: Planning Standards

1. Access into Planning Area 1 shall be provided from Riverside Drive and Haven Avenue with a possible internal access through Planning Area 3. Specific location of the access points shall be determined at the Tentative Map stage.
2. Please refer to **Section 9, "Design Guidelines"** for specific residential architectural and landscaping guidelines.
3. Neighborhood edge landscape treatments shall be provided along Riverside Drive and Haven Avenue. Refer to *Exhibit 9-5, "Haven Avenue Streetscene at Residential"* and *Exhibit 9-3, "Riverside Drive Streetscene at Residential"*.
4. A 30-foot paseo is provided within the SCE easement along the western boundary of the Planning Area and within the SCG easement, which runs diagonally through the Planning Area with multiple pedestrian connections. A minimum of one (1) connection to the westerly SCE easement paseos will be provided.



NOTE : 177 TOTAL D.U.
MINIMUM LOT SIZE
=3,000 SF

 NORTH
LDKING
Not to Scale

Planning Area 1 - Conceptual Lotting

(December 15, 2004)

Exhibit
10-1

10.3.1(b) Planning Area 2: Neighborhood Center Description

Planning Area 2 provides for approximately 9.8 net acres (*approximately 11.7 acres gross*), including 87,000 square feet of building area and a parking lot(s).

Planning Area 2: Planning Standards

1. Access into Planning Area 2 shall be provided from Riverside Drive and Haven Avenue. Specific location of these access points shall be determined at the Entitlement stage.
2. Please refer to **Section 9, "Design Guidelines"** for specific commercial architectural and landscaping guidelines.
3. A major community monumentation and landscaping is provided at the corner of Riverside Drive and Haven Avenue. Refer to **Exhibit 9-12, "Major Community Monumentation at Haven Avenue and Riverside Drive"**.
4. Neighborhood edge landscape treatments shall be provided along Riverside Drive and Haven Avenue. Refer to **Exhibit 9-4, "Haven Avenue Streetscene at Neighborhood Center Commercial"** and **Exhibit 9-2, "Riverside Drive Streetscene at Neighborhood Center Commercial"**.

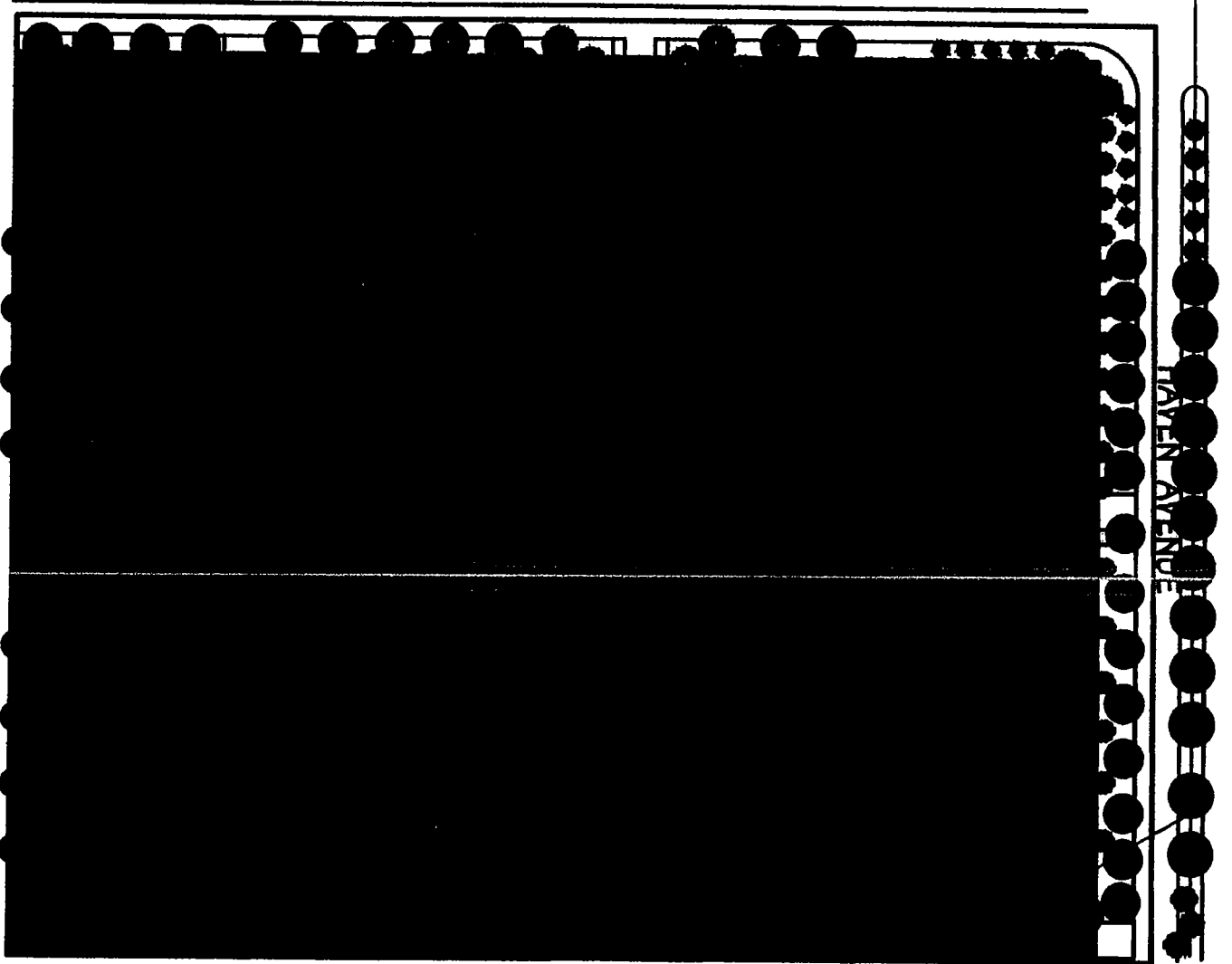
Please refer to **Exhibit 10-2, "Planning Area 2 – Conceptual Neighborhood Center Site Plan"**. Please note that specific building and parking configurations shall be determined at the Entitlement stage.

10.3.1(c) Planning Area 3: Residential Description

Planning Area 3 provides for 20.11 acres of Residential Low Density uses. A total of 92 dwelling units (DU) are planned at a density of 4.6 DU/AC. Single family detached product types on lot sizes between 4,000 to 5,000 square feet are proposed for future development.

For Specific Residential Development Standards, please refer to **Table 10-1, "Detached Residential Single Family Development Standards"** in this section of the Specific Plan.

RIVERSIDE DRIVE



RETAIL SPACE =
APPROXIMATELY
87,000 SF

PARKING LOT =
APPROXIMATELY
476 SPACES



NORTH

LDKING

Not to Scale

Planning Area 2 -
Conceptual Neighborhood Center Site Plan

December 15, 2008

Exhibit
10-2

Planning Area 3: Planning Standards

1. Access into Planning Area 3 shall be provided from Haven Avenue, with possible internal access through Planning Areas 1 and 4. Specific location of the access point shall be determined at the Tentative Map stage.
2. Please refer to **Section 9, "Design Guidelines"** for specific residential architectural and landscaping guidelines.
3. Neighborhood edge landscape treatments shall be provided along Haven Avenue. Refer to **Exhibit 9-5, "Haven Avenue Streetscene at Residential"**.
4. A 30-foot paseo shall be provided within the SCE easement along the western boundary of the Planning Area. A minimum of one (1) connection to the paseo will be provided.
5. A westerly local street right-of-way will be provided to connect with Planning Areas 1 and 4 to provide for circulation and utility connections.

Specific lot and street configurations shall be determined at the Tentative Map stage.

10.3.1(d) Planning Area 4: Residential Description

Planning Area 4 provides for 20.1 acres of residential use. A total of 96 dwelling units (DU), at 5,000 square foot minimum lot size, are planned at a density of 4.8 DU/AC. Single family detached product types are proposed for development.

For specific Residential Development Standards, please refer to **Table 10-1, "Detached Residential Single Family Development Standards"** in this Section of the Specific Plan.

Planning Area 4: Planning Standards

1. Access into Planning Area 4 shall be provided from Haven and Chino Avenues, with internal access through Planning Area 3. Specific location of the access points shall be determined at the Tentative Map stage.
2. Please refer to **Section 9, "Design Guidelines"** for specific residential architectural and landscaping guidelines.

3. A Secondary Community Entry Monumentation and landscaping is provided at the northwesterly and southwesterly corners of Haven and Chino Avenues. Refer to **Exhibit 9-13, "Typical Secondary Community Monumentation"**.
4. Neighborhood edge landscape treatments shall be provided along Haven and Chino Avenues. Refer to **Exhibit 9-5, "Haven Avenue Streetscene at Residential"** and **Exhibit 9-7, "Chino Avenue Streetscene at Residential and SCE Easement"**.
5. A 30-foot paseo shall be provided within the SCE easement along the western boundary of the Planning Area. Access will be provided along the neighborhood edge along Chino Avenue:

Please refer to **Exhibit 10-3 "Planning Area 4 – Conceptual Lotting"**. Specific lot and street configurations shall be determined at the entitlement stage.

10.3.1(e) Planning Area 5: Residential Description

Planning Area 5 provides for 27.2 acres of residential use. A total of 145 dwelling units (DU), on lots ranging from 4,000 to 5,000 square feet, are planned at a density of 5.3 DU/AC. Higher density detached or attached product types may be provided in the area around the Neighborhood Park.

For specific Residential Development Standards, please refer to **Table 10-1, "Detached Residential Single Family Development Standards"** in this Section of the Specific Plan.

Planning Area 5: Planning Standards

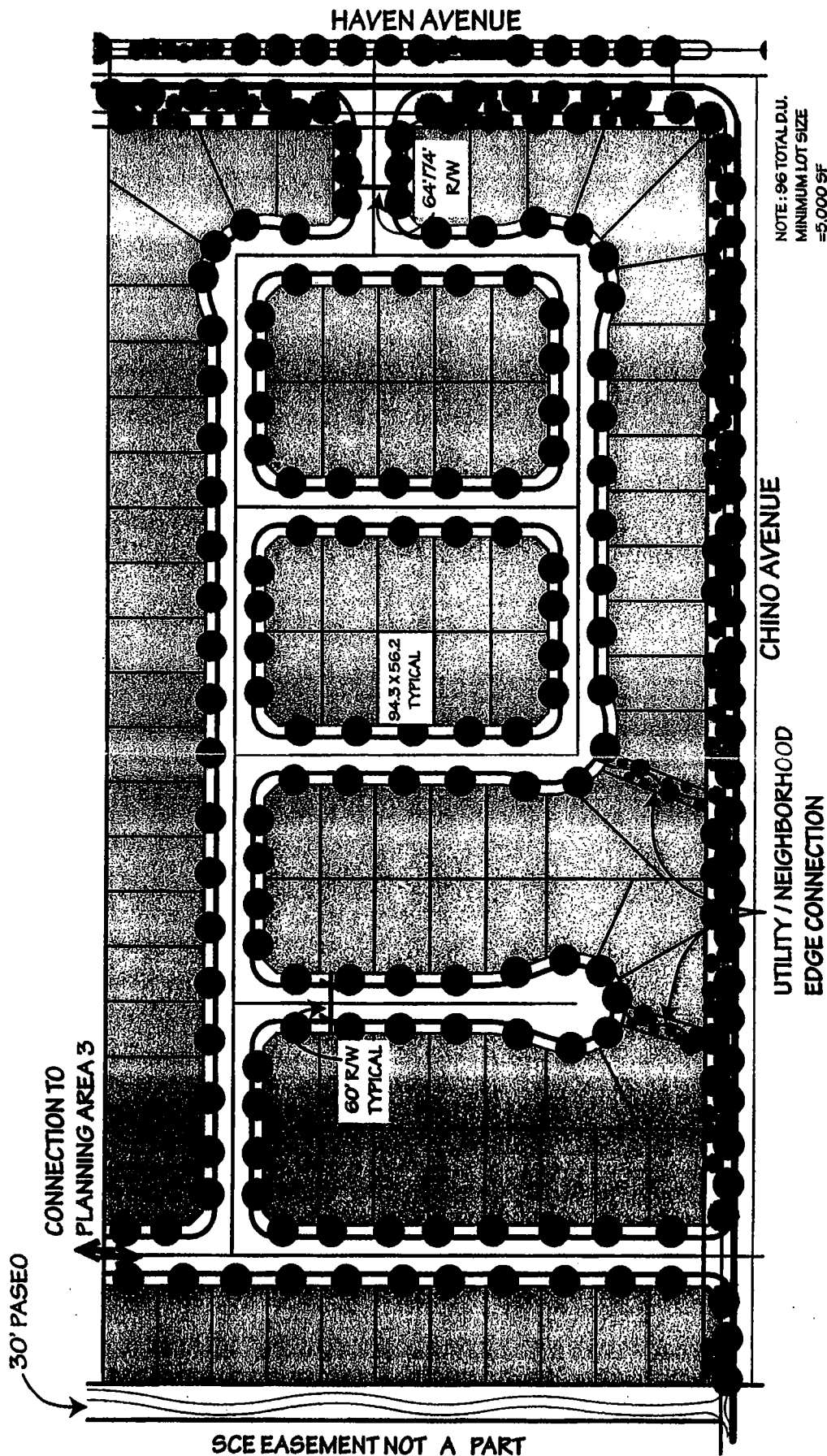
1. Access into Planning Area 5 is provided from Haven Avenue, with possible internal access through Planning Area 8. Specific location of these access points shall be determined at the Tentative Map stage.
2. Please refer to **Section 9, "Design Guidelines"** for specific residential architectural and landscaping guidelines.
3. Neighborhood edge landscape treatments shall be provided along Haven and Chino Avenues and along the Planning Area 7. Refer to **Exhibit 9-5, "Haven Avenue Streetscene at Residential"**, **Exhibit 9-7, "Chino Avenue Streetscene at Residential and SCE Easement"** and **Exhibit 9-11 "School at Residential Edge"**.

Section 10 - Development Standards

CENTEX HOMES
RICHLAND COMMUNITIES, INC.
STRATHAM PROPERTIES, INC.

WEST HAVEN

Draft Specific Plan



LDKING
Not to Scale

Planning Area 4 - Conceptual Lotting

December 15, 2009

Exhibit
10-3

Prepared by LD KING, INC. ENGINEERS/PLANNERS/SURVEYORS 2151 Convention Center Way, Suite 100, Ontario, California 91764-4664 (909) 937-4200, Fax: (909) 937-4200, E-mail: ldking@ldking.com
In association with HRP LAND DESIGN / MEES + PARTNERS / Inc.

4. A 30-foot paseo shall be provided within the SCE easement, along the western boundary of the Planning Area, and within the SCE easement, along the northern boundary of the Planning Area. Access to the northern and western paseos shall be provided.
5. The Planning Area will provide access to both the five (5) acre Neighborhood Park and ten (10) acre elementary school along the access street from Haven Avenue.
6. A westerly local street right-of-way will be provided to connect with Planning Area 8 to provide for circulation and utility connections.

Specific lot and street configurations shall be determined at the Tentative Map stage.

10.3.1(f) Planning Area 6: Neighborhood Park Description

Planning Area 6 provides for 5.0 acres of Neighborhood Park recreational uses.

Planning Area 6: Planning Standards

1. Access into Planning Area 6 shall be provided by a local interior street system.
2. Please refer to **Section 9, "Design Guidelines"** for specific landscaping guidelines.
3. A 30-foot paseo shall be provided along the western boundary of Planning Area 6, within the SCE Easement.

Please refer to **Section 9.2.3(a), "Five (5) Acre Neighborhood Park", Exhibit 9-18, "Five (5) Acre Neighborhood Park Concept"**. Please note that specific building, parking and park amenity configurations shall be determined at the Entitlement stage.

10.3.1(g) Planning Area 7: Elementary School Description

Planning Area 7 provides 10.0 acres for elementary school uses. This elementary school site is within the Mountain View School District and the school district will determine the final configuration of parking, buildings and other relevant school uses.

Planning Area 7: Planning Standards

1. Access into Planning Area 7 is provided from Haven Avenue, via a local street. Specific location of these access points shall be determined at the Entitlement stage.

2. The elementary school Design Guidelines will be determined at the time of build-out and coordinated with Mountain View School District.
3. Neighborhood edge landscape treatments shall be provided along Haven Avenue and along Planning Area 5. Refer to ***Exhibit 9-5, "Haven Avenue Streetscene at Residential"*** and ***Exhibit 9-11 "School at Residential Edge"***.

10.3.1(h) Planning Area 8: Residential Description

Planning Area 8 provides for 20.4 acres of residential use. A total of 100 dwelling units (DU), at 5,000 square foot minimum lot size, are planned at a density of 4.9 DU/AC. Higher density detached or attached product types may be provided in the area around the Neighborhood Park.

For specific Residential Development Standards, please refer to ***Table 10-1, "Detached Residential Single Family Development Standards"*** in this Section of the Specific Plan.

Planning Area 8: Planning Standards

1. Access into Planning Area 8 shall be provided from Haven Avenue, with possible internal access through Planning Area 5. Specific location of the access points shall be determined at the Tentative Map stage.
2. Please refer to ***Section 9, "Design Guidelines"*** for specific residential architectural and landscaping guidelines.
3. Neighborhood edge landscape treatments shall be provided along Haven Avenue. Refer to ***Exhibit 9-5, "Haven Avenue Streetscene at Residential"***.
4. A 30-foot paseo shall be provided within the SCE easement/property, along the western boundary of the Planning Area, and within the SCE easement, along the southern boundary of the Planning Area. Connections to these paseos are provided along the western and southern boundaries of this Planning Area.

Please note that specific lot and street configurations shall be determined at the entitlement stage.

10.3.1(i) Planning Area 9: Residential Description

Planning Area 9 provides for 30.5 acres of residential use. A total of 143 dwelling units (DU), at 5,000 square foot minimum lot size, are planned at a density of 4.7 DU/AC. Single-family detached product types are proposed for development.

For specific Residential Development Standards, please refer to **Table 10-1, "Detached Residential Single Family Development Standards"** in this Section of the Specific Plan.

Planning Area 9: Planning Standards

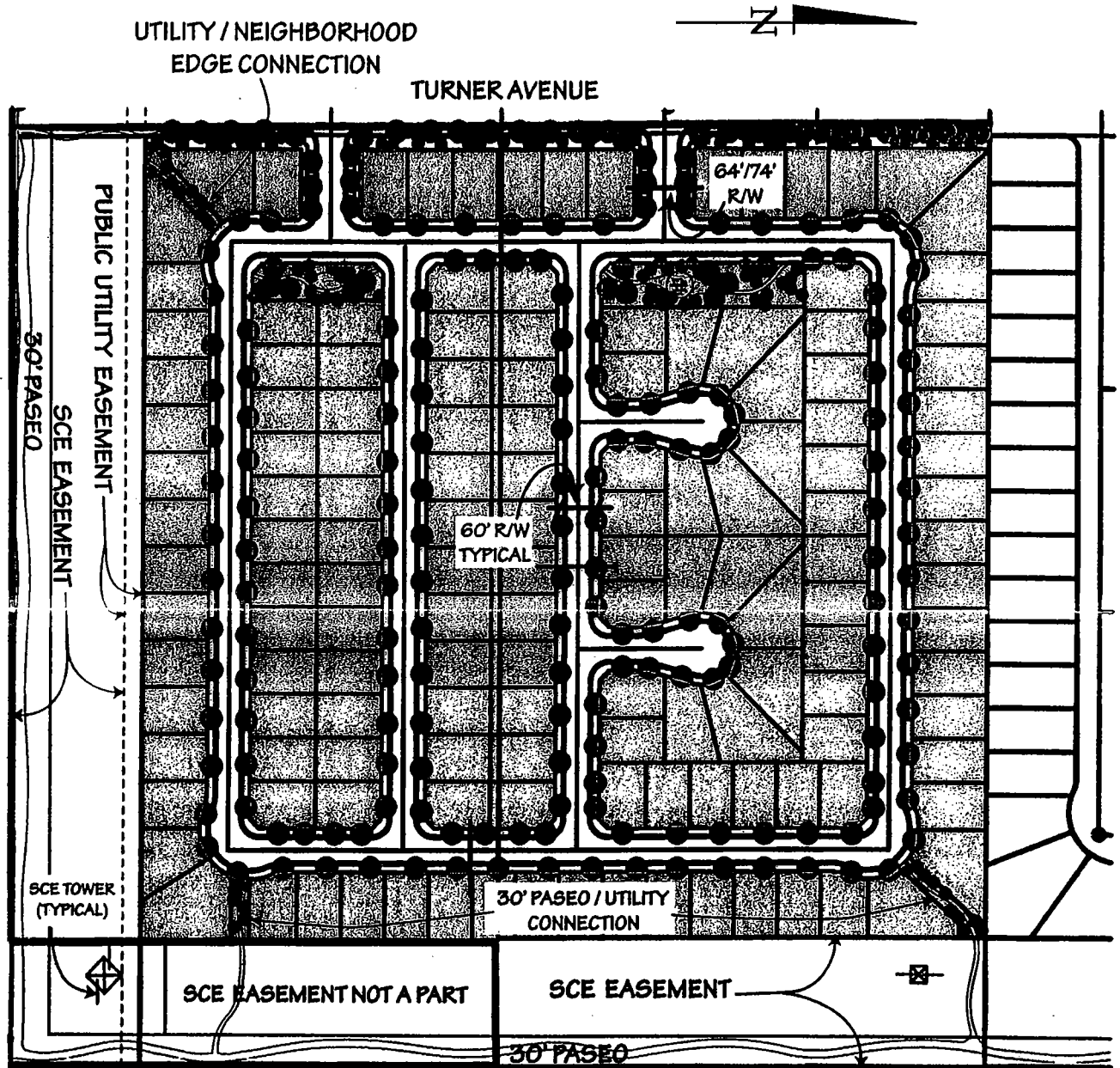
1. Access into Planning Area 9 shall be provided by two (2) points along Turner Avenue. Specific location of the access points shall be determined at the Tentative Map stage.
2. Please refer to **Section 9, "Design Guidelines"** for specific residential architectural and landscaping Guidelines.
3. Neighborhood edge landscape treatments shall be provided along Turner Avenue Refer to **Exhibit 9-6, "Turner Avenue Streetscene at Residential"**.
4. A 30-foot paseo shall be provided within the SCE easement, along the easterly and southerly boundary of the Planning Area. Paseo connections will be provided in these paseos.

Please refer to **Exhibit 10-4, "Planning Area 9 – Conceptual Lotting"**. Please note that specific building and parking configurations shall be determined at the entitlement stage.

10.4 Residential Architectural Development Standards

The following development standards shall apply in all residential categories in the West Haven Specific Plan area. Please also refer to **Table 10-1** for **"Residential Single Family Architectural Development Standards"**.

1. No more than 25% of homes in any neighborhood area shall have street facing garages set back closer to the street than the living area (side loaded garages exempted from this ratio.)
2. A minimum of 75% of dwelling units in any neighborhood shall incorporate architecture forward designs.
3. Porches shall be a minimum six feet (6') deep, 60 s.f. in area.
4. Minimum interior garage dimensions to be 20' x 20' clear, one step may encroach, but water heaters may not encroach into this area.



NOTE: 143 TOTAL D.U.
 MINIMUM LOT SIZE
 = 5,000 SF

 NORTH	 Not to Scale	<h2 style="margin: 0;">Planning Area 9 - Conceptual Lotting</h2>	(December 15, 2004) Exhibit 10-4
----------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------	------------------------------------------------------------------	-----------------------------------------------------------------

5. Garage door plane will vary at least 5-feet (5') from the adjacent living area façade.
6. Garage doors shall be recessed a minimum of 12-inches (12") from adjacent walls.
7. In front loaded garage homes, minimum driveway length from garage door shall be 20 feet from back of sidewalk (14-foot maximum).
8. Deep recessed garages and patio covers shall maintain a five-foot (5') rear yard setback.
9. For garages on rear access lots, the minimum alley setback shall be three-feet (3') with a five foot (5') average setback for second story elements over the garage.
10. Alleys serving as access ways to residential parking facilities shall be designed in accordance with the following standards. The alleys shall provide 26-feet of back up area as measured from the garage face. On both sides of the alley, between each garage (*approximately every 30-feet*), a landscaped planter shall be installed and shall project three feet (3') beyond the face of the garage toward the alley. A minimum 20-foot clearance is required at all times along the length of the alley. A 14-foot (minimum) alley taper will be incorporated at the entries of residential alleys to reduce cut through traffic and traffic speeds (see *Exhibit 10-5, "Alley Concept"*).
11. The Director of Planning or Planning Commission may approve modifications to these standards up to 10% (Administrative Exception) for innovative and quality designs that meet the intent of the provisions for this Specific Plan.
12. Unless modified by *Table 10-1, "Detached Residential Single Family Development Standards"* criteria contained in Sec. 9-1.1410 of the City of Ontario Development Code shall apply.

10.5 Residential Signage

The residential signage of the West Haven Specific Plan shall conform with the City of Ontario's signage program for the NMC.

A primary wall-mounted monument sign for the residential community shall be placed at the southwesterly corner of Riverside Drive and Haven Avenue, as illustrated on *Exhibit 9-12, "Major Community Monumentation at Haven Avenue and Riverside Drive"*. Secondary wall-mounted monument signs shall be placed at the northwesterly and southwesterly corners of Haven Avenue and Chino Avenue, as illustrated on *Exhibit 9-13, "Typical Secondary Community Monumentation"*. These monument signs shall be designed to harmonize with the Neighborhood Center entry signage while utilizing similar materials and colors used in the residential architecture.

At the time that the City of Ontario's signage program is adopted, detailed signage plans and description will be submitted for City approval.