



## **CITY OF ONTARIO DEVELOPMENT ADVISORY BOARD**

### **AGENDA**

**September 17, 2018**

- ▶ **All documents for public review are on file in the Planning Department located in City Hall at 303 East “B” St., Ontario, CA 91764.**

**MEETING WILL BE HELD AT 1:30 PM IN ONTARIO CITY COUNCIL CHAMBERS  
LOCATED AT 303 East “B” St.**

Scott Ochoa, City Manager  
Scott Murphy, Executive Director, Development Agency  
John P. Andrews, Executive Director, Economic Development  
Kevin Shear, Building Official  
Cathy Wahlstrom, Planning Director  
Louis Abi-Younes, City Engineer  
Chief Derek Williams, Police Department  
Fire Marshal Paul Ehrman, Fire Department  
Scott Burton, Utilities General Manager  
Julie Bjork, interim Executive Director, Housing and Neighborhood Preservation

#### **PUBLIC COMMENTS**

*Citizens wishing to address the Development Advisory Board on any matter that is not on the agenda may do so at this time. Please state your name and address clearly for the record and limit your remarks to five minutes.*

*Please note that while the Development Advisory Board values your comments, the members cannot respond nor take action until such time as the matter may appear on the forthcoming agenda.*

## **AGENDA ITEMS**

*For each of the items listed below the public will be provided an opportunity to speak. After a staff report is provided, the chairperson will open the public hearing. At that time the applicant will be allowed five (5) minutes to make a presentation on the case. Members of the public will then be allowed five (5) minutes each to speak. The Development Advisory Board may ask the speakers questions relative to the case and the testimony provided. The question period will not count against your time limit. After all persons have spoken, the applicant will be allowed three minutes to summarize or rebut any public testimony. The chairperson will then close the public hearing portion of the hearing and deliberate the matter.*

## **CONSENT CALENDAR ITEMS**

### **A. MINUTES APPROVAL**

Development Advisory Board Minutes of August 20, 2018, approved as written.

## **PUBLIC HEARING ITEMS**

- B. ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE NO. PDEV18-013:** A Development Plan (File No. PDEV18-013) to construct 79 single-family dwellings on approximately 19.30 gross acres of land located at the southeast corner of Eucalyptus and Celebration Avenues, within Planning Area 22 of the Subarea 29 Specific Plan. The environmental impacts of this project were reviewed in conjunction with the Subarea 29 Specific Plan Environmental Impact Report (File No. PSP03-003, SCH# 200411009), certified by the City Council on October 17, 2006. The project introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP). The project site is also located within the Airport Influence area of Chino Airport and is consistent with policies and criteria set forth within the 2011 California Airport Land Use Planning Handbook published by the California Department of Transportation, Division of Aeronautics. (APNs: 0218-014-03 and 0218-014-04) **submitted by Richmond American Homes of Maryland, Inc. Planning Commission action is required.**

#### **1. CEQA Determination**

No action necessary – use of previous EIR

#### **2. File No. PDEV18-013** (Development Plan)

Motion to recommend Approval/Denial

- C. ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE NO. PDEV18-015:** A Development Plan to construct an 8,869-square foot clubhouse on 2.29 acres of land generally located at the southwest corner of Hamner

Avenue and Eucalyptus Avenue, within Planning Area 5 (4-Pack Courtyard) of the Esperanza Specific Plan. The environmental impacts of this project were previously analyzed in an addendum to the Esperanza Specific Plan EIR (SCH# 2002061047) that was adopted by the Planning Commission on June 24, 2014. This project introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP); (APNs: 0218-252-17) **submitted by Lennar Homes of CA, Inc.**

1. **CEQA Determination**

No action necessary – use of previous EIR

2. **File No. PDEV18-015** (Development Plan)

Motion to Approve / Deny

**D. ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE NO. PDEV18-018:** A Development Plan (File No. PDEV18-018) to construct 47 single-family dwellings on 8.9 acres of land located near the southwest corner of Celebration Avenue and Eucalyptus Avenue, within PA 21 of the Subarea 29 Specific Plan. The environmental impacts of this project were previously reviewed in conjunction with an Addendum to the Subarea 29 Specific Plan Environmental Impact Report (File No. PSPA14-002, SCH #2004011009), certified by the City Council on April 21, 2015. This project introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP). The project site is also located within the Airport Influence area of Chino Airport and is consistent with policies and criteria set forth within the 2011 California Airport Land Use Planning Handbook published by the California Department of Transportation, Division of Aeronautics. (APN: 0218-014-02) **submitted by Pulte Homes. Planning Commission action is required.**

1. **CEQA Determination**

No action necessary – use of previous EIR

2. **File No. PDEV18-018** (Development Plan)

Motion to recommend Approval/Denial

**E. ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE NO. PDEV18-020:** A Development Plan (File No. PDEV18-020) to construct 48 single-family homes (6-Pack Cluster), 126 multi-family homes (Rowtowns) and 91 multi-family homes (Townhomes) on 23.66 acres of land located at the northeast corner of Archibald Avenue and Ontario Ranch Road, within the Low Medium Density Residential (LMDR) district of Planning Area 7 of The Avenue Specific Plan. The environmental impacts of this project were previously analyzed in an addendum to The Avenue Specific

Plan Environmental Impact Report (SCH# 2005071109), certified by the City Council on June 17, 2014. This project introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP). The project site is also located within the Airport Influence area of Chino Airport and is consistent with policies and criteria set forth within the 2011 California Airport Land Use Planning Handbook published by the California Department of Transportation, Division of Aeronautics. (APN: 0218-201-18) **submitted by Brookfield Homes Southern California. Planning Commission action is required.**

1. **CEQA Determination**

No action necessary – use of previous EIR

2. **File NO. PDEV18-20** (Development Plan)


Motion to recommend Approval/Denial

If you wish to appeal a decision of the **Development Advisory Board**, you must do so within ten (10) days of the **Development Advisory Board** action. Please contact the **Planning Department** for information regarding the appeal process.

If you challenge any action of the **Development Advisory Board** in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the **Development Advisory Board** at, or prior to, the public hearing.

The next **Development Advisory Board** meets on **October 1, 2018**.

I, Maureen Duran, Office Specialist of the City of Ontario, or my designee, hereby certify that a true, accurate copy of the foregoing agenda was posted on or before **September 13, 2018**, at least 72 hours prior to the meeting per Government Code Section 54954.2 at 303 East “B” Street, Ontario.

  
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**CITY OF ONTARIO**

**Development Advisory Board**

**Minutes**

**August 20, 2018**

**BOARD MEMBERS PRESENT**

Charles Mercier, Acting Chairman, Planning Department  
Kevin Shear, Building Department  
Charity Hernandez, Economic Development Agency  
Paul Ehrman, Fire Department, arrived at 1:39 PM  
Joe De Sousa, Housing and Municipal Services Agency  
Jesus Plasencia, Engineering Department  
Doug Sorel, Police Department

**BOARD MEMBERS ABSENT**

Khoi Do, Engineering Department  
Ahmed Aly, Municipal Utilities Company  
Rudy Zeledon, Planning Department

**STAFF MEMBERS PRESENT**

Gwen Berendsen, Planning Department  
Maureen Duran, Planning Department  
Henry Noh, Planning Department  
Dean Williams, Engineering Department

**PUBLIC COMMENTS**

No one responded from the audience.

**CONSENT CALENDAR ITEMS**

- A. **APPROVAL OF MINUTES:** Motion to approve the minutes of the July 16, 2018, meeting of the Development Advisory Board was made by Mr. Shear; seconded by Mr. De Sousa; and approved unanimously by those present (6-0).

**PUBLIC HEARING ITEMS**

- B. ENVIRONMENTAL ASSESSMENT AND TENTATIVE TRACT MAP REVIEW FOR FILE NO. PMTT13-016/TT 18929:** A Tentative Tract Map (File No. PMTT13-016/TT 18929) to subdivide 54.81 acres of land into 207 residential numbered lots and 24 lettered lots for public streets, pocket park and landscape neighborhood edges, for property located at the southwest corner of Archibald Avenue and Eucalyptus Avenue, within the Conventional Small Lot Residential district of Planning Area 1 and within the Neighborhood Commercial Center district of Planning Area 2 of the Subarea 29 Specific Plan. The environmental impacts of this project were previously reviewed in conjunction with the Subarea 29 Specific Plan EIR (SCH# 2004011009) that was adopted by the City Council on October 17, 2006. The project site is located within the Airport Influence Area of the Ontario International Airport (ONT), and has been found to be consistent with the policies and criteria set forth within the ALUCP for ONT. The project site is also located within the Airport Influence area of Chino Airport and is consistent with policies and criteria set forth within the 2011 California Airport Land Use Planning Handbook published by the California Department of Transportation, Division of Aeronautics. (APNs: 0218-271-11) **submitted by Richland Communities. Planning Commission action is required.**

Representative Craig Cristina of Richland Communities was present. Mr. Mercier asked Mr. Cristina if he had reviewed the conditions of approval. Mr. Cristina said he did and had been in correspondence with city staff to clarify four conditions. He stated he received an email from Project Engineer Mr. Plasencia to clarify some language in section 2.26 regarding the sewer area in the master plan. He also stated section 2.34 would be revised by city staff to remove any conflicting conditions. Mr. Cristina had no further comments. There were no comments from the board.

Motion recommending approval of **File No. PMTT13-016/TT 18929** subject to conditions to the Planning Commission was made by Mr. Shear; seconded by Mr. De Sousa; and approved unanimously by those present (7-0).

- C. ENVIRONMENTAL ASSESSMENT AND TENTATIVE TRACT MAP REVIEW FOR FILE NO. PMTT13-017/TT 18930:** A Tentative Tract Map (File No. PMTT13-017/TT 18930) to subdivide 49.45 acres of land into 225 residential numbered lots and 26 lettered lots for public streets, pocket parks and landscape neighborhood edges, for property located at the northwest corner of Archibald Avenue and Eucalyptus Avenue, within the Conventional Small Lot Residential district of Planning Area 1 of the Subarea 29 Specific Plan. The environmental impacts of this project were previously reviewed in conjunction with the Subarea 29 Specific Plan EIR (SCH# 2004011009) that was adopted by the City Council on October 17, 2006. The project site is located within the Airport Influence Area of the Ontario International Airport (ONT), and has been found to be consistent with the policies and criteria set forth within the ALUCP for ONT. The project site is also located within the Airport Influence area of Chino Airport and is consistent with policies and criteria set forth within the 2011 California Airport Land Use Planning Handbook published by the California Department of Transportation, Division of Aeronautics. (APNs: 0218-271-19) **submitted by Richland Communities. Planning Commission action is required.**

Representative Craig Cristina of Richland Communities was present and informed the board the initial comments were pertaining to this tract and not the previous tract. Mr. Cristina also stated that both tracts have almost identical conditions, so the comments will apply. Mr. Mercier stated there were no further questions or concerns.

Motion recommending approval of **File No. PMTT13-017/TT 18930** subject to conditions to the Planning Commission was made by Mr. Shear; seconded by Mr. Plasencia; and approved unanimously by those present (7-0).

- D. ENVIRONMENTAL ASSESSMENT AND TENTATIVE TRACT MAP REVIEW FOR FILE NO. PMTT17-010/TT 19978:** A Tentative Parcel Map (File No. PMTT17-010/TT 19978) to subdivide 10.06 acres of land into 9 numbered lots, for property located at the southwest corner of Ontario Ranch Road and Haven Avenue, within the Retail land use district of Planning Area 10B of The Avenue Specific Plan. The environmental impacts of this project were previously analyzed in The Avenue Specific Plan EIR (SCH# 2005071109) that was certified by the City Council on December 19, 2006. This project introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP). (APN: 0218-412-02) **submitted by Frontier Real Estate Investments. Planning Commission Action is required.**

Representative Gavin Reid of Frontier Real Estate Investments was present. Mr. Mercier asked if he had read the conditions of approval. Mr. Reid said he had and had no questions or concerns.

Motion recommending approval of **File No. PMTT17-010/TT 19978** subject to conditions to the Planning Commission was made by Mr. Shear; seconded by Mr. De Sousa; and approved unanimously by those present (7-0).

- E. ENVIRONMENTAL ASSESSMENT, CONDITIONAL USE PERMIT, AND DEVELOPMENT PLAN REVIEW FOR FILE NOS. PCUP18-008 & PDEV18-008:** A Conditional Use Permit and Development Plan to establish and construct a 6-story, 208-room hotel and 8,000-square foot restaurant pad on 4.95 acres of land, generally located on the southeast corner of Archibald Avenue and Inland Empire Boulevard, within the OH (High Intensity Office) zoning district. The proposed project is categorically exempt from the requirements of the California Environmental Quality Act of 1970 (CEQA), as amended, and the Guidelines promulgated thereunder, pursuant to Section 15332 (Class 32, In-Fill Development Projects) of the CEQA Guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP). (APNs: 0210-191-29, 0210-191-30, 0210-191-31 and 0210-191-32); **submitted by Heartland Alliance, LLC. Planning Commission action is required.**

Owner Julie Jiang of Heartland Alliance, LLC, was present along with Gene Fong, Project Architect. Ms. Jiang stated they both had a chance to review the conditions and had no questions or concerns. Civil Engineer Kristin Werksman of Rick Engineering was also present and had a question regarding the issuance of permit section. She referred to the conditions which stated that offsite improvements were to be constructed before any permits would be issued. Project Engineer Mr. Plasencia stated these are common standard conditions stipulating that they need to be concluded before any grading permit or bond can be in place. Ms. Werksman stated the condition was vague in that it did not state this specifically. Mr. Plasencia stated since it is public improvement the conditions of approval would include an agreement that would stipulate there would have to be a permit or bond in place before they are able to do the work. He included that there are usually different conditions of approval to be included which applies to all public improvement requirements.

Ms. Werksman inquired about options regarding the addresses. Building Official Mr. Shear asked if they were referring to feng shui at which time she responded that this was the reason. Mr. Shear instructed them to email him the numbers that were in question, and he would work with them.

Mr. Shear asked Project Architect Mr. Fong if they would continue with the six-story plans. Mr. Fong informed Mr. Shear that they would be keeping it a five-story building to stay within the B Occupancy. Mr. Mercier asked if they would be eliminating the terrace? Mr. Fong said they would reduce the area of the terrace to 750 square feet for viewing only. Mr. Mercier confirmed they would keep the terrace but have limited space. Mr. Fong stated it would be for viewing only and confirmed that it would no longer include a bar. There were no further questions or concerns.

Motion recommending approval of **File Nos. PCUP18-008 & PDEV18-008** subject to conditions to the Planning Commission was made by Mr. Shear; seconded by Mr. De Sousa; and approved unanimously by those present (7-0).

There being no further business, the meeting was adjourned.

Respectfully submitted,



Maureen Duran  
Recording Secretary





# Development Advisory Board Decision

September 17, 2018

**DECISION NO.:** [insert #]

**FILE NO.:** PDEV18-013

**DESCRIPTION:** A Development Plan to construct 79 single-family dwellings on 19.30 gross acres of land located at the southeast corner of Eucalyptus and Celebration Avenues, within Planning Area 22 of the Subarea 29 Specific Plan. APNs: 0218-014-03 and 0218-014-04; **submitted by Richmond American Homes of Maryland, Inc.**

## **Part I—BACKGROUND & ANALYSIS**

RICHMOND AMERICAN HOMES OF MARYLAND, INC, (herein after referred to as "Applicant") has filed an application requesting Development Plan approval, File No. PDEV18-013, as described in the subject of this Decision (herein after referred to as "Application" or "Project").

**Project Setting:** The project site is comprised of 19.30 gross acres of land located at the southeast corner of Eucalyptus and Celebration Avenues, and is depicted in Exhibit A: Aerial Photograph, attached. Existing land uses, General Plan and zoning designations, and specific plan land uses on and surrounding the project site are as follows:

	<i>Existing Land Use</i>	<i>General Plan Designation</i>	<i>Zoning Designation</i>	<i>Specific Plan Land Use</i>
<i>Site</i>	Vacant	Low Density (2.1-5 du/ac)	Subarea 29 Specific Plan	PA 22 - Conventional Large Lot (3-6 du/ac)
<i>North</i>	Vacant	Open Space - Parkland	AG (Agricultural)	N/A
<i>South</i>	Single-Family Residential	Low Density (2.1-5 du/ac)	Subarea 29 Specific Plan	PA 23 - Conventional Small Lot (5-9 du/ac)
<i>East</i>	Vacant	Low Density (2.1-5 du/ac)	Subarea 29 Specific Plan	PA 30 - Conventional Large Lot (3-6 du/ac)
<i>West</i>	Vacant	Low Density (2.1-5 du/ac)	Subarea 29 Specific Plan	PA 21 - Conventional Medium Lot (4-6 du/ac)

### **Project Description:**

[1] **Background** — The Subarea 29 Specific Plan (539 acres) and the Environmental Impact Report (EIR) were approved by the City Council on November 7, 2006. The Specific Plan established the land use designations, development standards, and design guidelines for Subarea 29, which includes the potential development of 2,293 single-family units and 87,000 square feet of commercial space.

On January 23, 2007, the Planning Commission approved Tentative Tract Map 18067 (PMTT06-009) which subdivided 21.3 acres of Planning Area 22 into 79 residential numbered lots and two lettered lots (a neighborhood pocket park and an enhanced landscape buffer). The lots range in size from 6,300 square feet to 12,863 square feet, with an average lot size of 6,884 square feet.

On April 23, 2018 the Applicant submitted a Development Plan application for the construction of the 79 single-family units.

[2] Site Design/Building Layout - The Project proposes the development of 79 single-family homes within Planning Area 22 of the Subarea 29 Specific Plan (see **Exhibit B – Site Plan**). The homes are all oriented toward the street (architecture forward). Three single-story floor plans are proposed, each with three elevations per plan. The three plans include the following:

- Plan 1 (“Paige”): 2,494 square feet, 3 bedrooms, 2 bathrooms, flex space/optional 4<sup>th</sup> bedroom with 3<sup>rd</sup> bathroom, optional 5<sup>th</sup> bedroom with 4<sup>th</sup> bathroom, and a 3-car garage.
- Plan 2 (“Dominic”): 2,495 square feet, 3 bedrooms, 2 bathrooms, a den/optional dining room, a teen room/optional 4<sup>th</sup> bedroom, a 2-car garage and a 1-car side-on garage.
- Plan 3 (“Oxford”): 2,610 square feet, 3 bedrooms, 2.5 bathrooms, a study/optional 4<sup>th</sup> bedroom, and a 2-car garage.

All plans incorporate various design features, such as varied entryways, covered porches, and a mixture of hipped and gabled roofs. A 3-car garage is proposed for Plan 1 and Plan 2, and a 2-car garage is proposed for Plan 3. To create visual interest along the streetscape, varied rooflines and architectural projections are provided for the front and enhanced elevations of the homes.

[3] Site Access/Circulation – On August 27, 2013, the Planning Commission approved Tentative Tract 17821 (“A” Map) to facilitate the construction of the backbone streets within the Specific Plan, which include the primary access points to the Subarea 29 community from Archibald Avenue. The applicant will construct Eucalyptus Avenue and the interior tract streets to provide access to the future residents.

[4] Parking – Each unit provides a minimum a two-car garage, for a total of 158 parking spaces. In addition, 53 units offer a third parking space (with an option for conversion to living space), which may provide a maximum of 211 garage parking spaces. Approximately 119 on-street parking spaces will also be available throughout the neighborhood. The maximum total parking provided is 330 spaces, with a ratio of 4.2 parking spaces per dwelling unit.

[5] Architecture – The proposed architectural designs of the homes are reflective of those found within Ontario’s historic neighborhoods, exhibit function and tradition, and are simple in massing plans and roof forms. In addition, the architectural styles selected are consistent with the design style and plan mix outlined within the Subarea 29 Specific Plan Residential Design Guidelines. The architectural styles proposed include Spanish, Andalusian, and Craftsman. The styles complement one another through the overall scale, massing, proportions, and details. The proposed home designs are consistent with the design guidelines of the Specific Plan.

The three architectural styles proposed will include the following (see **Exhibit C - Exterior Elevations** for all plans proposed):

- Spanish: Low-pitched “S” tile rooflines, decorative shutters and gable end elements, arched entryways and windows, tile, and stucco exterior.
- Andalusian: Low-pitched “S” tile rooflines, decorative stone veneer, arched entries and windows, and pot shelves.
- Craftsman: High-pitched rooflines with concrete tiles, decorative popouts and shutters, stone veneer, and horizontal wood siding.

[6] Landscaping/Park and Paseos – The Project features sidewalks separated by landscaped parkways, which provides visual interest and promotes pedestrian mobility. All homes will be provided with front lawn landscaping (lawn, shrubs, and trees) and an automatic irrigation system to be installed by the

applicant. The homeowner will be responsible for front, side, and rear yard landscaping maintenance and for side and rear landscape improvements, and the homeowner's association will be responsible for the maintenance of landscaping and irrigation within the park, common areas, and parkways.

Decorative 6' split-face walls with pilasters are proposed for all public-facing front, side, and rear walls, and the interior property line privacy fencing will be 6' high colored masonry block material to match.

The Project proposes the construction of a neighborhood pocket park. The 1.4-acre park will feature both passive and active areas, including a large earth-themed and small moon-themed playground and play equipment (see **Exhibit E – Conceptual Park Plan**). In addition to the neighborhood pocket parks, residents will have access to a private, 16,000 square-foot recreation facility, located on the northeast corner of Parkplace Avenue and Merrill Avenue, featuring a clubhouse, pool and cabana, tennis courts, and playground area.

### **Part II—RECITALS**

WHEREAS, the Application is a project pursuant to the California Environmental Quality Act (Public Resources Code Section 21000 et seq.) ("CEQA"); and

WHEREAS, the environmental impacts of this project were previously reviewed in conjunction with File No. PSP03-003, the Subarea 29 Specific Plan for which an Environmental Impact Report (SCHO#2004011009) was adopted by the City Council on November 7, 2006, and this Application introduces no new significant environmental impacts; and

WHEREAS, the City's "Local Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board ("DAB") the responsibility and authority to review and make recommendation to the Planning Commission on the subject Application; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan ("ALUCP"), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed;

WHEREAS, on September 17, 2018, the DAB of the City of Ontario conducted a hearing on the Application and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.

### **Part III—THE DECISION**

NOW, THEREFORE, IT IS HEREBY FOUND AND DETERMINED by the Development Advisory Board of the City of Ontario, as follows:

**SECTION 1: *Environmental Determination and Findings.*** As the recommending body for the Project, the DAB has reviewed and considered the information contained in the previous Certified EIR and supporting documentation. Based upon the facts and information contained in the previous Certified EIR and supporting documentation, the DAB finds as follows:

(1) The environmental impacts of this project were previously reviewed in conjunction with File No. PSP03-003, the Subarea 29 Specific Plan, for which an Environmental Impact Report (SCHO#2004011009) was adopted by the City Council on November 7, 2006.

(2) The previous Certified EIR contains a complete and accurate reporting of the environmental impacts associated with the Project; and

(3) The previous Certified EIR was completed in compliance with CEQA and the Guidelines promulgated thereunder, and the City of Ontario Local CEQA Guidelines; and

(4) The previous Certified EIR reflects the independent judgment of the DAB; and

(5) The proposed project will introduce no new significant environmental impacts beyond those previously analyzed in the previous Certified EIR, and all mitigation measures previously adopted with the Certified EIR, are incorporated herein by this reference.

**SECTION 2: *Subsequent or Supplemental Environmental Review Not Required.*** Based on the information presented to the DAB, and the specific findings set forth in Section 1, above, the DAB finds that the preparation of a subsequent or supplemental Certified EIR is not required for the Project, as the Project:

(1) Does not constitute substantial changes to the Certified EIR that will require major revisions to the Certified EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and

(2) Does not constitute substantial changes with respect to the circumstances under which the Certified EIR was prepared, that will require major revisions to the Certified EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of the previously identified significant effects; and

(3) Does not contain new information of substantial importance that was not known and could not have been known with the exercise of reasonable diligence at the time the Certified EIR was certified/adopted, that shows any of the following:

(a) The project will have one or more significant effects not discussed in the Certified EIR; or

(b) Significant effects previously examined will be substantially more severe than shown in the Certified EIR; or

(c) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the Project, but the City declined to adopt such measures; or

(d) Mitigation measures or alternatives considerably different from those analyzed in the Certified EIR would substantially reduce one or more significant effects on the environment, but which the City declined to adopt.

**SECTION 3: Housing Element Compliance.** Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the recommending body for the Project, the DAB finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan, as the project site is not one of the properties in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix.

**SECTION 4: Ontario International Airport Land Use Compatibility Plan (“ALUCP”) Compliance.** The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land use Compatibility Plan (“ALUCP”), establishing the Airport Influence Area for Ontario International Airport (“ONT”), which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the recommending body for the Project, the DAB has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the DAB, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

**SECTION 5: Concluding Facts and Reasons.** Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the specific findings set forth in Sections 1 through 4, above, the DAB hereby concludes as follows:

(1) **The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.** The proposed Project is located within the Low Density (2.1-5 du/ac) land use district of the Policy Plan Land Use Map, and Planning Area 22 (Conventional Large Lot residential district) of the Subarea 29 Specific Plan. The development standards and conditions under which the proposed Project will be constructed and maintained, is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan; and

(2) **The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located.** The Project has been designed consistent with the requirements of the City of Ontario Development Code and Planning Area 22 (Conventional Large Lot residential district) of the Subarea 29 Specific Plan, including standards relative to the particular land use proposed (single-family residential), as-well-as building intensity, building and parking setbacks, building height, number of off-street parking and loading spaces, on-site and off-site

landscaping, and fences, walls and obstructions. The site is physically suitable for the proposed development of 79 single-family homes. The related Tentative Tract Map 18067, which subdivided the land, was approved by the Planning Commission in January of 2007; and

(3) ***The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed project.*** The Development Advisory Board has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the Subarea 29 Specific Plan are maintained; [ii] the project will not endanger the public health, safety or general welfare; [iii] the project will not result in any significant environmental impacts; [iv] the project will be in harmony with the area in which it is located; and [v] the project will be in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan, and the Subarea 29 Specific Plan. The Development Plan will facilitate the construction of 79 single-family homes. The environmental impacts of this project were analyzed in the EIR (SCH#2004011009), prepared for the Subarea 29 Specific Plan (File No. PSP03-003). All adopted mitigation measures of the related EIR shall be a condition of project approval and are incorporated herein by reference; and

(4) ***The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.*** The proposed Project has been reviewed for consistency with the general development standards and guidelines of the Subarea 29 Specific Plan that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of off-street parking and loading spaces, parking lot dimensions, design and landscaping, bicycle parking, on-site landscaping, and fences and walls, as-well-as those development standards and guidelines specifically related to the particular land use being proposed (single-family homes). As a result of this review, the Development Advisory Board has determined that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the development standards and guidelines described in the Subarea 29 Specific Plan.

**SECTION 6: *Development Advisory Board Action.*** Based on the findings and conclusions set forth in Sections 1 through 5, above, the DAB hereby recommends the Planning Commission APPROVES the Application subject to each and every condition set forth in the Department reports included as Attachment A of this Decision, and incorporated herein by this reference.

**SECTION 7: *Indemnification.*** The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**SECTION 8: *Custodian of Records.*** The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

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APPROVED AND ADOPTED this 17th day of September, 2018.

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Development Advisory Board Chairman

**Exhibit A—PROJECT LOCATION MAP**

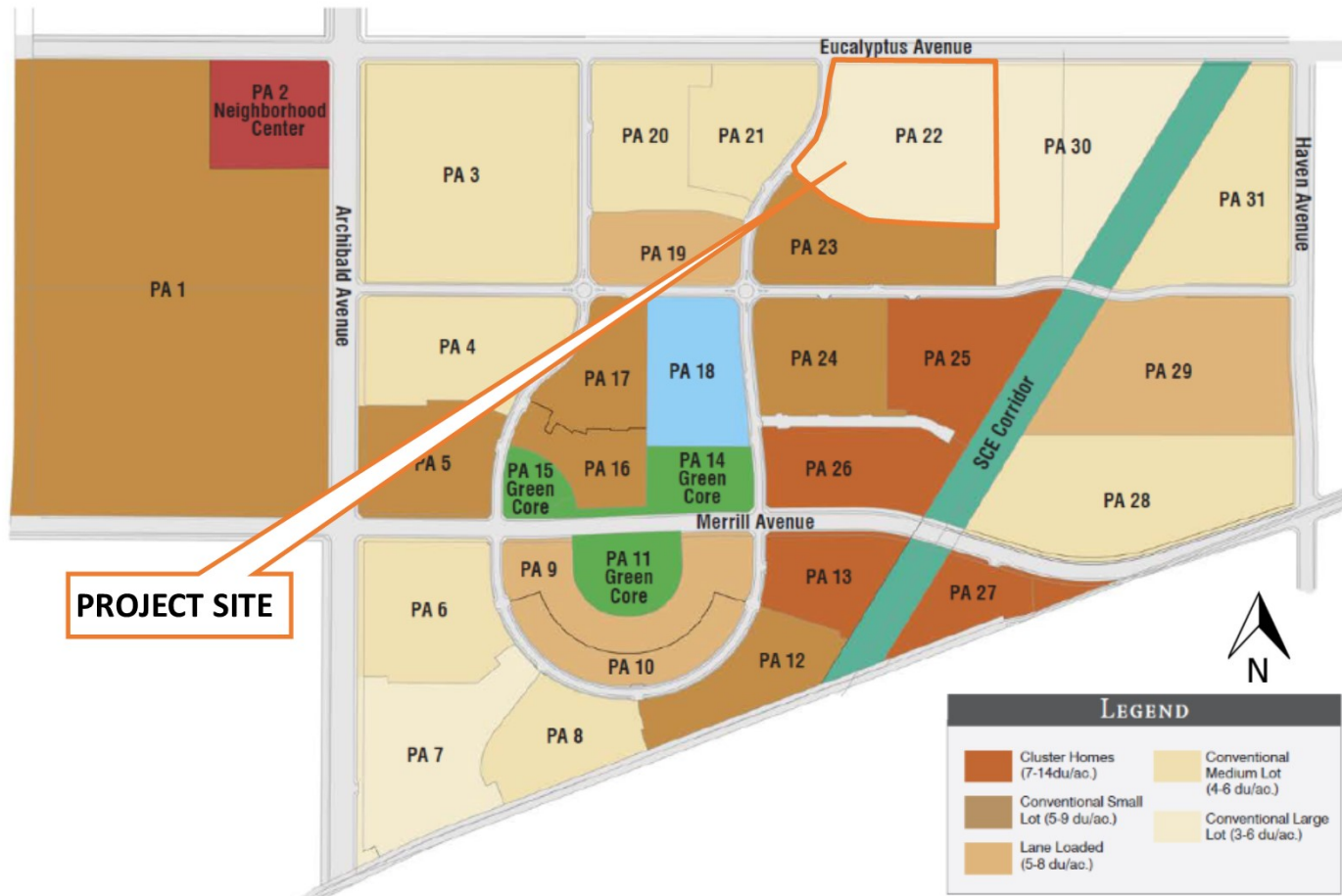


EXHIBIT 3—LAND USE PLAN

**Exhibit B—SITE PLAN**





**Exhibit C—EXTERIOR ELEVATIONS**

**Paige Front Elevation – Architectural Styles**



**A | Spanish**



**C | Cottage**



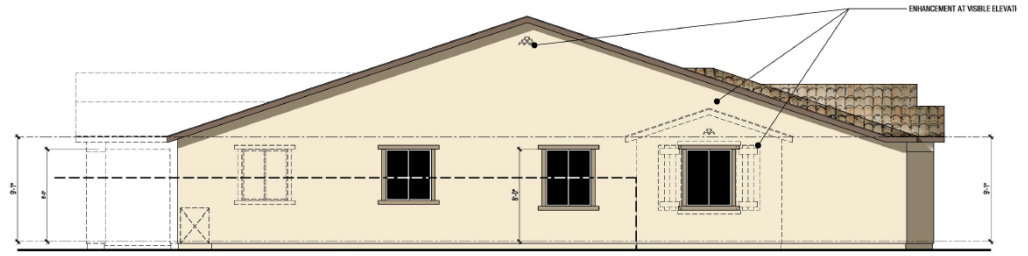
**B | Andalusian**

**PAIGE S24P**  
Front Elevations

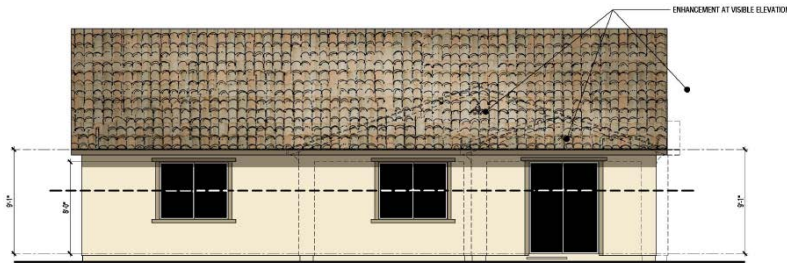
**Paige Spanish Elevations**



Front

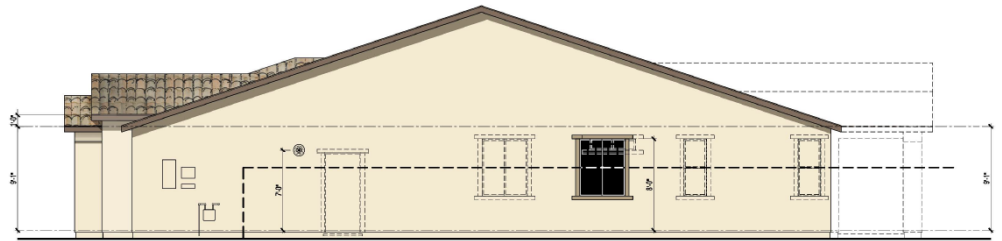


Left



Rear

**PAIGE S24P | A - SPANISH**  
Building Elevations



Right

**PAIGE S24P | A - SPANISH**  
Building Elevations

**Dominic Front Elevation – Architectural Styles**



**A | Spanish**



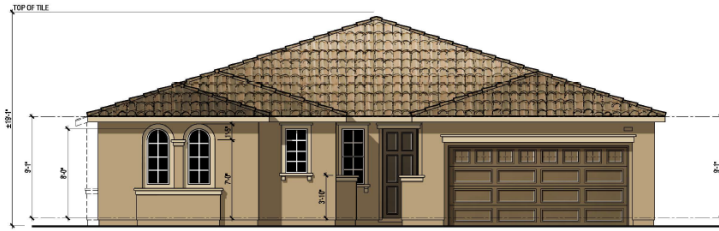
**C | Cottage**



**B | Andalusian**

**DOMINIC S254**  
Front Elevations

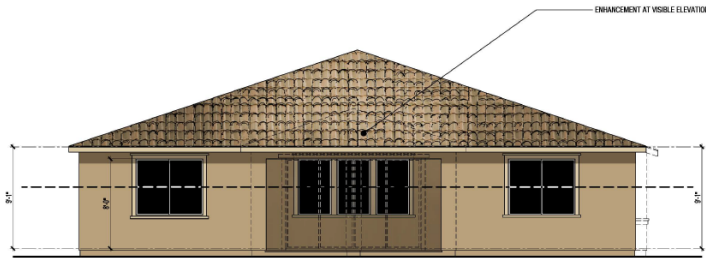
**Dominic Andalusian Elevations**



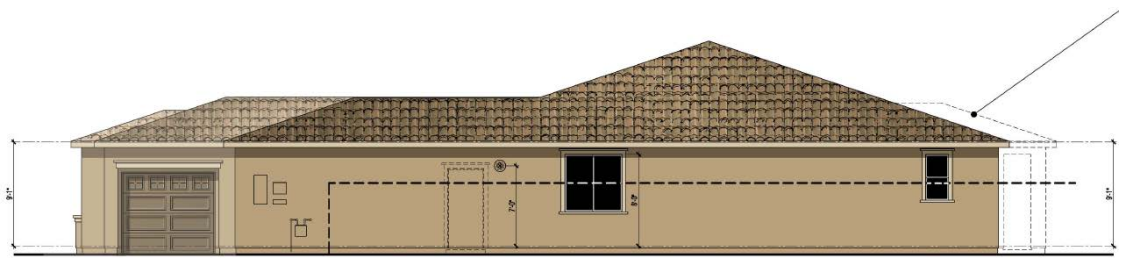
Front



Left



Rear



Right

**DOMINIC S254 | B - ANDALUSIAN**  
Building Elevations

**DOMINIC S254 | B - ANDALUSIAN**  
Building Elevations

**Oxford Front Elevation – Architectural Styles**



**A | Spanish**



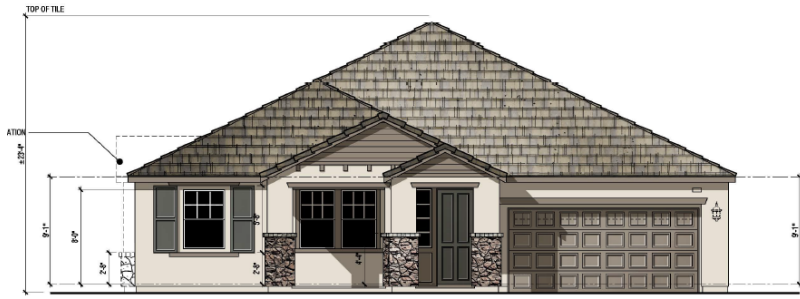
**C | Cottage**



**B | Andalusian**

**OXFORD S760**  
Front Elevations

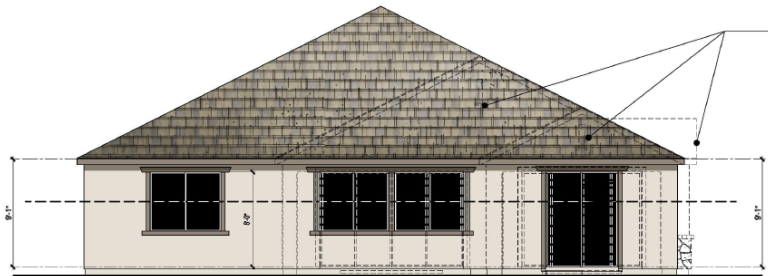
**Oxford Cottage Elevations**



Front



Left



Rear



Right

**OXFORD S760 | C - COTTAGE**  
Building Elevations




**OXFORD S760 | C - COTTAGE**  
Building Elevations

**Exhibit D—TYPICAL/CONCEPTUAL LANDSCAPE PLAN**



**Exhibit E—CONCEPTUAL PARK PLAN**

CONCEPT PLANT SCHEDULE

-  VERTICAL ACCENT TREES
-  CANOPY TREES
-  FLOWERING ACCENT TREES

 TURF AREA

SHRUB AND GROUNDCOVER AREA (TO INCLUDE BUT NOT LIMITED TO):  
 ALICE BRIDGES  
 ANGIOSANTHOS X 'BIG RED'  
 SENNA ARTEMISIOIDES  
 DAPHNIPYRUS NIGELLA  
 DANIELLA REVOLUTA 'MAY BLOSS'  
 DISTICTIS BUCONARTICA  
 ECHINUM GARDICANS  
 FERTUCA MARIEI  
 RHIS OVALTA  
 RUSSULA EQUISSETIFORMIS  
 SENECTIO MANDRALISCAE  
 Coral Aloe  
 Redwinged Par  
 Fraxino Cassia  
 Sweet Birch  
 Ruby Pine Lily Plant  
 Blood Red Flower Vine  
 Pride of Madeira  
 Alder Sarsaparilla  
 Sugar Bush  
 Freckled Plant  
 Blue Chalk Grass

 PARKWAY PER SEPERATE STREETScape PLANS

ALL EQUIPMENT SUPPLIED BY PACIFIC PLAN SYSTEMS, INC.  
 PAM FLEMING 760.599.7355

LEGEND

SYMBOL	AMENITY
①	BENCH
②	TRASH RECEPTACLE
③	PICNIC BENCH
④	LARGE PLAY AREA WITH RESILIENT SURFACING AND WOOD CHIP MIX TO CREATE EARTH IMAGE ON THE GROUND PLANE
⑤	DRINKING FOUNTAIN
⑥	BIKE RACK
⑦	SMALL PLAY AREA WITH WOOD CHIPS, MOON THEMED
⑧	DOG WASTE BAG STATION



A SPACE SHUTTLE SPRING RIDER PC 1392



B DYNAMO GENESIS DX 101



C BIGGO DUO SWING DX 3200



E ASTRO RIDER PC 1347

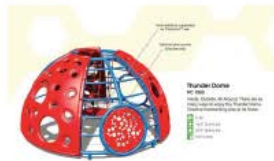
EARTH PLAY AREA (LARGE PLAY AREA)



D TELESCOPE



E ASTRO RIDER PC 1347



G THUNDER DOME PC 1905



F SPIN MAX GO-ROUND PC 2477



E ASTRO RIDER PC 1347

MOON PLAY AREA (SMALL PLAY AREA)



## Attachment A—Departmental Conditions of Approval

*(Departmental conditions of approval follow this page)*



City of Ontario  
Planning Department  
303 East B Street  
Ontario, California 91764  
Phone: 909.395.2036  
Fax: 909.395.2420

*Planning Department  
Land Development Division  
Conditions of Approval*

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**Meeting Date:** September 17, 2018

**File No:** PDEV18-013

**Related Files:** PMTT 06-009 (TT 18067)

**Project Description:** A Development Plan to construct 79 single-family dwellings on approximately 19.30 gross acres of land located at the southeast corner of Eucalyptus and Celebration Avenues, within Planning Area 22 of the Subarea 29 Specific Plan. APNs: 0218-014-03 and 0218-014-04; **submitted by Richmond American Homes of Maryland, Inc.**

**Prepared By:** Alexis Vaughn, Assistant Planner  
Phone: 909.395.2416 (direct)  
Email: [avaughn@ontarioca.gov](mailto:avaughn@ontarioca.gov)

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The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

**1.0 Standard Conditions of Approval.** The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

**2.0 Special Conditions of Approval.** In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

**2.1** Time Limits.

**(a)** Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

**2.2** General Requirements. The Project shall comply with the following general requirements:

**(a)** All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

**(b)** The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

(c) The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

(d) The development of this project shall conform to the City's Development Code and the regulations of the Subarea 29 Specific Plan.

(e) All applicable conditions of approval of the Subarea 29 Specific Plan (File No. PSP03-003) shall apply to this Development Plan.

(f) All applicable conditions of approval of the related TT18067 (File No. PMTT06-009) shall apply.

### **2.3** Landscaping.

(a) The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

(b) Comply with the conditions of approval of the Planning Department; Landscape Planning Division.

(c) Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

(d) Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

**2.4** Walls and Fences. All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

(a) A six-foot high decorative masonry block wall, with a decorative cap, shall be constructed at the following locations:

(i) Along the perimeter of all new residential developments, including all interior side and rear project boundaries, and street frontages without front-on units.

(ii) Along all street side and interior side yard property lines, and connecting between dwellings, with appropriate gates for rear yard access. Within the front yard setback, walls shall be reduced to three feet in height.

(iii) Along all rear property lines.

(b) Long expanses of fence or wall adjacent to public right-of-way shall have offset areas (decorative pilasters) and shall be architecturally designed to prevent monotony.

(c) Construction drawings shall indicate materials, colors, and height of proposed and existing walls/fences, and shall include a cross section of walls/fences indicating adjacent grades. Walls shall be designed as an integral part of the architecture for the development.

### **2.5** Parking, Circulation and Access.

(a) The Project shall comply with the applicable off-street parking, loading and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

### **2.6** Mechanical Equipment.

(a) All residential mechanical, heating and air conditioning equipment, and all appurtenances thereto, shall be completely screened from public view by walls.

(b) All ground-mounted utility equipment and structures, such as tanks, transformers, HVAC equipment, and backflow prevention devices, shall be located out of view from a public street, or adequately screened through the use of landscaping and/or decorative low garden walls.

**2.7** Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

**2.8** Signs. All Project signage shall comply with the requirements of Ontario Development Code Division 8.1 (Sign Regulations).

(a) Off-Site Subdivision Signs:

(i) The City Council has authorized the Baldy View Chapter of the Building Industry Association to manage a standardized off-site directional sign program on a non-profit basis. The program uses uniform sign structures and individual identification and directional signs for residential development. **No other off-site signage is authorized.** (For additional information, contact the Baldy View Chapter BIA at (909) 945-1884.)

**2.9** Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noised levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

**2.10** Covenants, Conditions and Restrictions (CC&Rs)/Mutual Access and Maintenance Agreements.

(a) CC&Rs shall be prepared for the Project and shall be recorded prior to the issuance of a building permit.

(b) The CC&Rs shall be in a form and contain provisions satisfactory to the City. The articles of incorporation for the property owners association and the CC&Rs shall be reviewed and approved by the City.

(c) CC&Rs shall ensure reciprocal parking and access between parcels, and common maintenance of:

(i) Landscaping and irrigation systems within common areas;

(ii) Landscaping and irrigation systems within parkways adjacent to the project site, including that portion of any public highway right-of-way between the property line or right-of-way boundary line and the curb line and also the area enclosed within the curb lines of a median divider (Ontario Municipal Code Section 7-3.03), pursuant to Ontario Municipal Code Section 5-22-02;

(iii) Utility and drainage easements.

(d) CC&Rs shall include authorization for the City's local law enforcement officers to enforce City and State traffic and penal codes within the project area.

(e) The CC&Rs shall grant the City of Ontario the right of enforcement of the CC&R provisions.

(f) A specific methodology/procedure shall be established within the CC&Rs for enforcement of its provisions by the City of Ontario, if adequate maintenance of the development does not

occur, such as, but not limited to, provisions that would grant the City the right of access to correct maintenance issues and assess the property owners association for all costs incurred.

#### **2.11** Disclosure Statements.

**(a)** A copy of the Public Report from the Department of Real Estate, prepared for the subdivision pursuant to Business and Professions Code Section 11000 et seq., shall be provided to each prospective buyer of the residential units and shall include a statement to the effect that:

**(i)** This tract is subject to noise from the Ontario International Airport and may be more severely impacted in the future.

**(ii)** Some of the property adjacent to this tract is zoned for agricultural uses and there could be fly, odor, or related problems due to the proximity of animals.

**(iii)** The area south of Riverside Drive lies within the San Bernardino County Agricultural Preserve. Dairies currently existing in that area are likely to remain for the foreseeable future.

**(iv)** This tract is part of a Landscape Maintenance District. The homeowner(s) will be assessed through their property taxes for the continuing maintenance of the district.

#### **2.12** Environmental Review.

**(a)** The environmental impacts of this project were previously reviewed in conjunction with the Subarea 29 Specific Plan, File No. PSP03-003, for which an EIR (SCH# 200411009) was previously adopted by the City Council on October 17, 2006. This application introduces no new significant environmental impacts. The City's "Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed. The previously adopted mitigation measures shall be a condition of project approval, and are incorporated herein by this reference.

**(b)** If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

**(c)** If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

**2.13** Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

#### **2.14** Additional Fees.

**(a)** Within 5 days following final application approval, the Notice of Determination (NOD) filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act (CEQA). Failure to provide said fee within the time specified may result in a 180-day extension to the statute of limitations for the filing of a CEQA lawsuit.

**(b)** After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

**2.15** Additional Requirements.

**(a)** The neighborhood park (Lot A) shall be constructed prior to the issuance of the certificate of occupancy of the 40<sup>th</sup> home.

**(b)** Enhanced elevations shall be provided for all elevations significantly visible from all public rights-of-way, including streets, paseos, parks, etc.

**(c)** Final sets of architectural plans shall be supplied to the Planning Department that include corrected elevations, call outs, roof plans, etc. Corrections shall also be reflected on the construction plans.

**(d)** Final architecture for the proposed project shall be reviewed and approved by the Planning Department prior to the issuance of building permits.

**(e)** The applicant shall contact the Ontario Post Office to determine the quantity, size, and location of mailboxes for this project.



# CITY OF ONTARIO

## MEMORANDUM

### ENGINEERING DEPARTMENT CONDITIONS OF APPROVAL

(Engineering Services Division [Land Development and Environmental], Traffic/Transportation Division, Ontario Municipal Utilities Company, IT Department and Management Services Department)

**DATE:** August 20, 2018

**DAB MEETING DATE:** September 5, 2018

**PROJECT ENGINEER:** Jesus Plasencia, Senior Associate Civil Engineer  
909-395-2128

**PROJECT PLANNER:** Alexis Vaughn, Assistant Planner  
909-395-2416

**PROJECT:** PDEV18-013 - A Development Plan to construct 79 single-family dwellings on approximately 19.30 gross acres of land generally located at the southeast corner of Eucalyptus and Celebration Avenues, within Planning Area 22 of the Subarea 29 Specific Plan. Related File: PMTT06-009 (TT 18067).

**APPLICANT:** Richmond American Homes of Maryland, Inc.  
**LOCATION:** SEC of Eucalyptus Avenue and Celebration Avenue

This project shall comply with the requirements set forth in the General Standard Conditions of Approval adopted by the City Council (Resolution No. 2017-027) and the Project Specific Conditions of Approval specified herein. The Applicant shall be responsible for the completion of all conditions prior to issuance of permits and/or occupancy clearance.

1. The applicant/developer shall be responsible for the completion of all conditions of approval for TM-18067 and the Development Agreement.
2. For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available



from the Santa Ana Regional Water Quality Control Board at [http://geotracker.waterboards.ca.gov/profile\\_report?global\\_id=T10000004658](http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658).

3. The applicant/developer shall submit all final survey documents prepared by a Licensed Surveyor registered in the State of California detailing all survey monuments that have been preserved, revised, adjusted or set along with any maps, corner records or Records of Survey needed to comply with these Conditions of Approvals and the latest edition of the California Professional Land Survey Act. These documents are to be reviewed and approved by the City Survey Office.
4. For developments located at an intersection of any two collector or arterial streets, the applicant/developer shall set a monument if one does not already exist at that intersection. Contact the City Survey office for information on reference benchmarks, acceptable methodology and required submittals.
5. Prior to issuance of any permits or approval of any plans, a Sewer Sub-Area Master Plan with Sewer Sizing and Design Calculations (SSAMP) shall be prepared for the Tract Map area and include any areas that are tributary to this tract map (Sewer Master Plan Section 4-8) and the proposed downstream sewer system to the Sewer System Point of Connection. The SSAMP shall demonstrate that the sewer is hydraulically and physically capable of receiving sewer flows from the entire tributary area; and each Sub-Area. All Tract Map design and construction shall conform to the approved SSAMP and any revisions shall require the SSAMP to be updated and to be submitted to OMUC for review and approval.
6. This development shall comply with City Ordinance 2689 and make use of recycled water for all approved uses, including but not limited to landscaping irrigation for HOA maintained areas and parks. Appropriately sized public and private mains shall be installed throughout the Tract to meet this requirement, as approved by the City.
7. In order to receive recycled water service, the applicant shall comply with each of the following:
  - a. *Prior to Precise Grading Plan Approval and Building Permits Issuance:*
    - i. Provide two hard copies and the digital files (in PDF and AutoCAD format) for both on-site and off-site utility plans, including landscape and irrigation improvements.
    - ii. Submit an Engineering Report (ER) to the City detailing recycled water usage for review and approval by the City and the State. The review process for the ER is typically 3 months. City will coordinate the State's approval of the ER.
  - b. *Prior to Occupancy Release/Finalizing:*
    - i. Pass start-up and cross-connection test successfully.
    - ii. Provide evidence demonstrating the training of on-site supervisor or designee as determined in the ER.
8. Prior to approval of any building permits, a Solid Waste Handling Plan Sheet shall be submitted accompanying the Precise Grading Plan Submittal to the City/OMUC for review and approval. The SWHP Sheet shall demonstrate compliance with the Services Standards in the City's Solid Waste Planning Manual (<http://www.ontarioca.gov/municipal-utilities-company/solid-waste>) and shall contain, at a minimum, the following elements:
  - a. A statement identifying the Service Requirements being used (e.g. Single Family Detached with automated cans, Multi-family/ Commercial with bins, etc.) and describing the solid waste handling operation (for instance, will there be scouting services, etc.)
  - b. A table utilizing the metrics on Page 8 of the Planning Manual and calculating the volume

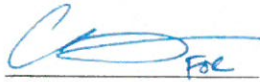


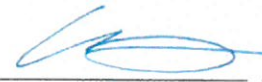


(gallons or cubic yards), quantity, and service schedule for each type of can and bin required for each Service Category (refuse, recycled, etc.).

c. An Engineering Site Plan drawn to scale that shows:

- A detail of the Solid Waste Vehicle with dimensions and annotation that states the minimum turning radii and path of travel widths actually being used on the plan.
- The Solid Waste Vehicle turning movements and paths of travel in each direction of travel and at all intersections. All paths of travel shall be 15 feet wide minimum.
- All parking stalls and parallel parking spaces along all streets, alleys, or aisles.
- All proposed curbs and areas designated and striped/signed as "No Parking".
- All proposed trash enclosures and the ADA paths of travel from the buildings.
- A detail for each enclosure footprint delineating the number and size of the bins in order to demonstrate that the enclosure is adequately sized and oriented.

  
Bryan Lirley, P.E.      8/21/10  
Principal Engineer      Date

  
Khoi Do, P. E.      8/21/10  
Assistant City Engineer      Date

cc: Khoi Do, P.E., Engineering/Land Development  
Bryan Lirley, P.E., Engineering/Land Development



# CITY OF ONTARIO

## MEMORANDUM

TO: Scott Murphy, Development Director  
Cathy Wahlstrom, Planning Director  
Diane Ayala, Advanced Planning Division  
Charity Hernandez, Economic Development  
Kevin Shear, Building Official  
Khoi Do, Assistant City Engineer  
Carolyn Bell, Landscape Planning Division  
Ahmed Aly, Municipal Utility Company  
Doug Sorel, Police Department  
Paul Ehrman, Deputy Fire Chief/Fire Marshal  
Jay Bautista, T. E., Traffic/Transportation Manager  
Lorena Mejia, Airport Planning  
Steve Wilson, Engineering/NPDES  
Joe De Sousa, Code Enforcement (Copy of memo only)  
Jimmy Chang, IT Department

FROM: Alexis Vaughn, Assistant Planner

DATE: July 23, 2018

SUBJECT: FILE #: PDEV18-013 Finance Acct#:

The following project has been resubmitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Monday, August 6, 2018**.

**PROJECT DESCRIPTION:** A Development Plan to construct 79 single-family dwellings on approximately 19.30 gross acres of land generally located at the southeast corner of Eucalyptus and Celebration Avenues, within Planning Area 22 of the Subarea 29 Specific Plan (APNs: 0218-014-03, 0218-014-04). Related File: PMTT06-009 (TT 18067).

The plan does adequately address the departmental concerns at this time.

- No comments
- See previous report for Conditions
- Report attached (1 copy and email 1 copy)
- Standard Conditions of Approval apply

The plan does not adequately address the departmental concerns.

- The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

8/8/18  
Landscape Planning Carolyn Bell S. Landscape Architect  
Department Signature Title Date

**CITY OF ONTARIO**  
**LANDSCAPE PLANNING DIVISION**  
 303 East "B" Street, Ontario, CA 91764

**PRELIMINARY PLAN CORRECTIONS**

Sign Off

*Carolyn Bell*  
 Carolyn Bell, Sr. Landscape Planner

8/8/18  
 Date

Reviewer's Name:  
**Carolyn Bell, Sr. Landscape Planner**

Phone:  
**(909) 395-2237**

D.A.B. File No.:  
 PDEV18-013 Rev 1  
 Project Name and Location:  
 Park Place PA 22

Case Planner:  
 Alexis Vaughn

TM18067 SEC Eucalyptus and Celebration  
 Applicant/Representative:  
 Richmond American Homes – Edgar Gomez, Sr. Project manager  
 5171 California Ave ste 120  
 Irvine, CA

<input checked="" type="checkbox"/>	<b>A Preliminary Landscape Plan (dated 7/17/18) meets the Standard Conditions for New Development and has been approved with the consideration that the following conditions below be met upon submittal of the landscape construction documents.</b>
<input type="checkbox"/>	<b>A Preliminary Landscape Plan (dated ) has not been approved. Corrections noted below are required prior to Preliminary Landscape Plan approval.</b>

**CORRECTIONS REQUIRED – REVISION 1 CORRECTION IN ITALICS**

Civil/ Site Plans

1. Show roughly transformer locations set back 3' from paving for small units and 5' setback for large transformer greater than 4' high. Located on level grade. Coordinate with landscape plans. *See SCE aesthetics Improvement Manual pages 3, 7, 11 and 13 for landscaping at transformers. Provide space for landscape screening.*
2. Locate utilities including light standards, fire hydrants, water and sewer lines to not conflict with required street tree locations. Coordinate civil plans with landscape plans. Show utilities at the minimum set back to allow an 8' clear space for street trees 30' apart. *Not corrected. Move utilities to allow even spacing for street trees. Coordinate with landscape architect. See parkway lots 2, 8,9, 19, 20, 32, 61,*
3. Note and show on plans: all AC units shall be located in utility or trash storage areas away from proposed patio spaces or locate in side yards, Provide a second gate and solid surface path on the opposite side yard for access if AC unit block side yard access path. *Not corrected, AC units shall be shown in side yards clear of main access path to make full use on the back yard space.*

Landscape Plans

4. Change Pyrus calleryana trees; not allowed due to disease and short life span
5. Add Pistache to plant legend as noted on the response sheet.
6. After a project's entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council. Fees are:
 

Plan Check—5 or more acres .....	\$2,326.00
Inspection—Construction (up to 3 inspections per phase) .....	<u>\$278.00</u>
Inspection—Field – any additional.....	<u>\$83.00</u>

Landscape construction plans with building permit number for plan check may be emailed to:  
[landscapeplancheck@ontarioca.gov](mailto:landscapeplancheck@ontarioca.gov)



# CITY OF ONTARIO

## MEMORANDUM

**TO:** Henry Noh, Senior Planner  
Planning Department

**FROM:** Paul Ehrman, Deputy Fire Chief/Fire Marshal  
Fire Department

**DATE:** May 9, 2018

**SUBJECT:** PDEV18-013 - A Development Plan to construct 79 single-family dwellings on approximately 19.30 gross acres of land generally located at the southeast corner of Eucalyptus and Celebration Avenues, within Planning Area 22 of the Subarea 29 Specific Plan (APNs: 0218-014-03, 0218-014-04). Related File: PMTT06-009 (TT 18067).

- 
- The plan **does** adequately address Fire Department requirements at this time.
- Standard Conditions of Approval apply, as stated below.
- 

### **SITE AND BUILDING FEATURES:**

- A. 2016 CBC Type of Construction: Type V
- B. Type of Roof Materials: Ordinary
- C. Ground Floor Area(s): 2,000 Sq. Ft. (Varies)
- D. Number of Stories: One
- E. Total Square Footage: 2,000 Sq. Ft. (Varies)
- F. 2016 CBC Occupancy Classification(s): R

## **CONDITIONS OF APPROVAL:**

### **1.0 GENERAL**

- 1.1 The following are the Ontario Fire Department ("Fire Department") requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards ("Standards.") It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at [www.ontarioca.gov](http://www.ontarioca.gov), click on "[Fire Department](#)" and then on "[Standards and Forms.](#)"
- 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

### **2.0 FIRE DEPARTMENT ACCESS**

- 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See [Standard #B-004](#).
- 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25') inside and forty-five feet (45') outside turning radius per [Standard #B-005](#).
- 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150') in length shall have an approved turn-around per [Standard #B-002](#).
- 2.4 Access drive aisles which cross property lines shall be provided with CC&Rs, access easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of building plan check.
- 2.5 "No Parking-Fire Lane" signs and /or red painted curbs with lettering are required to be installed in interior access roadways, in locations where vehicle parking would obstruct the minimum clear width requirement. Installation shall be per [Standard #B-001](#).
- 2.6 Security gates or other barriers on fire access roadways shall be provided with a Knox brand key switch or padlock to allow Fire Department access. See [Standards #B-003, B-004 and H-001](#).
- 2.7 Any time PRIOR to on-site combustible construction and/or storage, a minimum twenty-six (26) ft. wide circulating all weather access roads shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved by fire department and other emergency services.

### **3.0 WATER SUPPLY**

- 3.1 The required fire flow per Fire Department standards, based on the 2016 California Fire Code, Appendix B, is 1500 gallons per minute (g.p.m.) for 2 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.
- 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300') apart, per Engineering Department specifications.
- 3.4 The water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

### **4.0 FIRE PROTECTION SYSTEMS**

- 4.3 An automatic fire sprinkler system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard Choose an item.. All new fire sprinkler systems, except those in single family dwellings, which contain twenty (20) sprinkler heads or more shall be monitored by an approved listed supervising station. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- 4.4 Wood frame buildings that are to be sprinkled shall have these systems in service (but not necessarily finalized) before the building is enclosed.

### **5.0 BUILDING CONSTRUCTION FEATURES**

- 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.
- 5.3 Single station smoke alarms and carbon monoxide alarms are required to be installed per the California Building Code and the California Fire Code.
- 5.5 All residential chimneys shall be equipped with an approved spark arrester meeting the requirements of the California Building Code.



CITY OF ONTARIO  
MEMORANDUM

TO: Hassan Haghani, Development Director  
Scott Murphy, Assistant Development Director ( Copy of memo only)  
Cathy Wahlstrom, Principal Planner (Copy of memo only)  
Charity Hernandez, Economic Development  
Kevin Shear, Building Official  
Khoi Do, Assistant City Engineer  
Carolyn Bell, Landscape Planning Division  
Ahmed Aly, Municipal Utility Company  
Doug Sorel, Police Department  
Paul Ehrman, Deputy Fire Chief/Fire Marshal  
Jay Bautista, T. E., Traffic/Transportation Manager  
Lorena Mejia, Senior Planner  
Steve Wilson, Engineering/NPDES  
Joe De Sousa, Code Enforcement (Copy of memo only)  
Jimmy Chang, IT Department  
David Simpson, IT Department (Copy of memo only)

FROM: Henry Noh, Senior Planner

DATE: April 25, 2018

SUBJECT: FILE #: PDEV18-013 Finance Acct#:

The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Wednesday, May 9, 2018**.

- Note:
- Only DAB action is required
  - Both DAB and Planning Commission actions are required
  - Only Planning Commission action is required
  - DAB, Planning Commission and City Council actions are required
  - Only Zoning Administrator action is required

**PROJECT DESCRIPTION:** A Development Plan approval to construct 79 single-family dwellings on approximately 19.30 gross acres of land located at the southeast corner of Eucalyptus and Celebration Avenues, within PA22 of the Subarea 29 Specific Plan (APNs: 0218-014-03, 0218-014-04). Related File: PMTT06-009.

- The plan does adequately address the departmental concerns at this time.
  - No comments
  - Report attached (1 copy and email 1 copy)
  - Standard Conditions of Approval apply
- The plan does not adequately address the departmental concerns.
  - The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

*Police*  
Department

*Douglas Sorel*  
Signature

*MANAGEMENT ANALYST*  
Title

*5/16/18*  
Date



# AIRPORT LAND USE COMPATIBILITY PLANNING

## CONSISTENCY DETERMINATION REPORT



Project File No.: PDEV18-013

Address: SEC Eucalyptus Ave and Celebration Ave

APN: 218-014-03 & 218-014-04

Existing Land Use: Vacant

Proposed Land Use: A Development Plan to construct 79 Single Family homes

Site Acreage: 19.30 acres Proposed Structure Height: 25 FT

ONT-IAC Project Review: n/a

Airport Influence Area: ONT

Reviewed By: Lorena Mejia

Contact Info: 909-395-2276

Project Planner: Henry Noh

Date: 6/12/18

CD No.: 2018-034

PALU No.: n/a

### The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input type="radio"/> High Terrain Zone	<input type="radio"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input type="radio"/> FAA Notification Surfaces	<input type="radio"/> Recorded Overflight Notification
<input type="radio"/> Zone 2	<input type="radio"/> 65 - 70 dB CNEL	<input type="radio"/> Airspace Obstruction Surfaces	<input checked="" type="checkbox"/> Real Estate Transaction Disclosure
<input type="radio"/> Zone 3	<input type="radio"/> 60 - 65 dB CNEL	<input type="radio"/> Airspace Avigation Easement Area	
<input type="radio"/> Zone 4		Allowable Height: 200 ft +	
<input type="radio"/> Zone 5			

### The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1   
  Zone 2   
  Zone 3   
  Zone 4   
  Zone 5   
  Zone 6

Allowable Height: 90 FT - 130 FT

## CONSISTENCY DETERMINATION

This proposed Project is:  Exempt from the ALUCP     Consistent     Consistent with Conditions     Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

See Attached Real Estate Disclosure Condition:

Airport Planner Signature: \_\_\_\_\_

# AIRPORT LAND USE COMPATIBILITY PLANNING

## CONSISTENCY DETERMINATION REPORT

CD No.: 2018-034  
PALU No.: \_\_\_\_\_

### PROJECT CONDITIONS

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the Airport Land Use Compatibility Plan (ALUCP) for ONT. The applicant is required to meet the Real Estate Transaction Disclosure in accordance with California Codes (Business and Professions Code Section 11010-11024). New residential subdivisions within an Airport Influence Area are required to file an application for a Public Report consisting of a Notice of Intention (NOI) and a completed questionnaire with the Department of Real Estate and include the following language within the NOI:

#### NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you.

# CITY OF ONTARIO MEMORANDUM

**TO:** PLANNING DEPARTMENT, Henry Noh  
**FROM:** BUILDING DEPARTMENT, Kevin Shear  
**DATE:** May 7, 2018  
**SUBJECT:** PDEV18-013

- 
- The plan **does** adequately address the departmental concerns at this time.  
 No comments  
 Report below.

---

### Conditions of Approval

1. Standard Conditions of Approval apply.

KS:lm





# CITY OF ONTARIO

## MEMORANDUM

TO: Hassan Haghani, Development Director  
Scott Murphy, Assistant Development Director ( Copy of memo only)  
Cathy Wahlstrom, Principal Planner (Copy of memo only)  
Charity Hernandez, Economic Development  
Kevin Shear, Building Official  
Khoi Do, Assistant City Engineer  
Carolyn Bell, Landscape Planning Division  
Ahmed Aly, Municipal Utility Company  
Doug Sorel, Police Department  
Paul Ehrman, Deputy Fire Chief/Fire Marshal  
Jay Bautista, T. E., Traffic/Transportation Manager  
Lorena Mejia, Senior Planner  
Steve Wilson, Engineering/NPDES  
Joe De Sousa, Code Enforcement (Copy of memo only)  
Jimmy Chang, IT Department  
David Simpson, IT Department (Copy of memo only)

FROM: Henry Noh, Senior Planner

DATE: April 25, 2018

SUBJECT: FILE #: PDEV18-013

Finance Acct#:

The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Wednesday, May 9, 2018**.

- Note:
- Only DAB action is required
  - Both DAB and Planning Commission actions are required
  - Only Planning Commission action is required
  - DAB, Planning Commission and City Council actions are required
  - Only Zoning Administrator action is required

**PROJECT DESCRIPTION:** A Development Plan approval to construct 79 single-family dwellings on approximately 19.30 gross acres of land located at the southeast corner of Eucalyptus and Celebration Avenues, within PA22 of the Subarea 29 Specific Plan (APNs: 0218-014-03, 0218-014-04). Related File: PMTT06-009.

- The plan does adequately address the departmental concerns at this time.
  - No comments
  - Report attached (1 copy and email 1 copy)
  - Standard Conditions of Approval apply
- The plan does not adequately address the departmental concerns.
  - The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

Department

Signature

Title

Date

*Building*



# CITY OF ONTARIO

## MEMORANDUM

TO: Hassan Haghani, Development Director  
Scott Murphy, Assistant Development Director ( Copy of memo only)  
Cathy Wahlstrom, Principal Planner (Copy of memo only)  
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FROM: Henry Noh, Senior Planner

DATE: April 25, 2018

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*Ad. Planning*  
Department

*Clarice Burde*  
Signature

*Assa Plomer*  
Title

*4/30/18*  
Date



# CITY OF ONTARIO MEMORANDUM

TO: Hassan Haghani, Development Director  
 Scott Murphy, Assistant Development Director ( Copy of memo only)  
 Cathy Wahlstrom, Principal Planner (Copy of memo only)  
 Charity Hernandez, Economic Development  
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FROM: Henry Noh, Senior Planner

DATE: April 25, 2018

SUBJECT: FILE #: PDEV18-013

Finance Acct#:


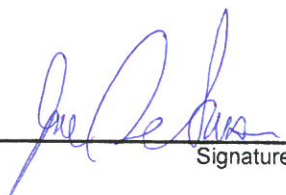

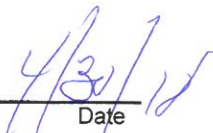


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- The plan does not adequately address the departmental concerns.
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Department \_\_\_\_\_ Signature \_\_\_\_\_ Title \_\_\_\_\_ Date \_\_\_\_\_



# Development Advisory Board Decision

September 17, 2018

**DECISION NO.:** [insert #]

**FILE NO.:** PDEV18-015

**DESCRIPTION:** A Development Plan to construct an 8,869-square foot clubhouse on 2.29 acres of land generally located at the southwest corner of Hamner Avenue and Eucalyptus Avenue, within Planning Area 5 (4-Pack Courtyard) of the Esperanza Specific Plan. APN: 0218-252-17; **submitted by Lennar Homes of CA, Inc.**

## **Part I—BACKGROUND & ANALYSIS**

LENNAR HOMES OF CA, INC, (herein after referred to as “Applicant”) has filed an application requesting Development Plan approval, File No. PDEV18-015, as described in the subject of this Decision (herein after referred to as “Application” or “Project”).

(1) **Project Setting:** The project site is comprised of 2.29 acres of land located at the southwest corner of Hamner Avenue and Eucalyptus Avenue, and is depicted in Exhibit A: Aerial Photograph, attached. Existing land uses, General Plan and zoning designations, and specific plan land uses on and surrounding the project site are as follows:

	<i>Existing Land Use</i>	<i>General Plan Designation</i>	<i>Zoning Designation</i>	<i>Specific Plan Land Use</i>
<i>Site</i>	Mass Graded	Low Density Residential	Esperanza Specific Plan	Planning Area 5 (4-Pack Courtyard)
<i>North</i>	Vacant	Low Density Residential	Esperanza Specific Plan	Planning Area 4 (6-Pack Courtyard)
<i>South</i>	Mass Graded	Low Density Residential	Esperanza Specific Plan	Planning Area 6 (SFR)
<i>East</i>	City of Eastvale	N/A	N/A	N/A
<i>West</i>	Vacant with Agricultural Uses	Low Density Residential	Esperanza Specific Plan	Planning Area 7 (SFR)

(2) **Project Description/Background:** The Esperanza Specific Plan and Environmental Impact Report (EIR) were approved by the City Council on February 6, 2007. The Esperanza Specific Plan established the land use designations, development standards, and design guidelines for 223 acres, which includes the potential development of 1,410 dwelling units.

On June 24, 2014, the Planning Commission approved Tentative Tract Map 18878 (File No. PMTT13-006) to subdivide 18.69 acres of land into 135 residentially numbered lots and 27 lettered lots for streets, landscape neighborhood edges and common open space purposes (**Figure 2: The Esperanza Specific Plan Land Use Map**).



Figure 2: The Esperanza Specific Plan Land Use Map

Site Design/Building Layout — The project proposes the development of an 8,869-square foot clubhouse, Planning Area 5 (4-Pack Courtyard) of the Esperanza Specific Plan (**Exhibit B – Site Plan**). The clubhouse will include the following uses:

- A Fitness and Movement Studio;
- Men’s and Women’s Showers and Locker Rooms;
- Two Club Rooms;
- Two Gathering Areas;
- Coffee Bar;
- Kitchen Prep and Buffet Area; and
- A Veranda.

In addition to the clubhouse, the project will include a recreation facility that will provide the following:

- Bocce Ball Courts;



- Pool and Spa;
- Patio;
- Two Fire Pits; and
- Pickle Ball Courts.

Site Access/Circulation — The project street frontage improvements along Eucalyptus Avenue, Hamner Avenue and Mill Creek Avenue will be constructed as part of the Tract Maps 17749 and 18380 “A” Maps and various “B” Maps. The project site will have direct access from Eucalyptus Avenue and South El Rey Privado, which runs north and south along the northern frontage of the site and has direct access to Eucalyptus Avenue. Vehicular access to the clubhouse will be provided by a circular entry plaza that will be constructed with enhanced pavement.

Parking – The Project is in compliance with off-street parking pursuant to the “Recreation Facilities” parking standards specified in the Development Code that requires 1 space per 1,000 square feet of Gross Floor Area. The project proposes a total building area of 8,869 square feet, which requires a total of 44 parking spaces. The project is proposing to provide a total of 45 parking spaces, which exceeds the Development Code requirement.

Architecture — The clubhouse proposes a Spanish architectural style that will include the following (***Exhibit C – Clubhouse Floor Plans and Elevations***):

- Varying gable and hipped roofs with “S” concrete roof tiles;
- Smooth Stucco and Hardiboard Panel finishes;
- Recessed Beveled Arched entries;
- Decorative Rafter Tails;
- Decorative Foam Cornice Eaves;
- Decorative Wrought Iron with recess below gable ends; and
- Square and Arched Windows.

The proposed architectural style for the clubhouse will complement the related Development Plan (File No. PDEV18-026) for the 464 age-qualified single-family homes through the overall scale, massing, proportions and details. The proposed clubhouse design is consistent with the design guidelines of the Specific Plan.

## ***Part II—RECITALS***

WHEREAS, the Application is a project pursuant to the California Environmental Quality Act (Public Resources Code Section 21000 et seq.) (“CEQA”); and

WHEREAS, the environmental impacts of this project were previously reviewed in conjunction with File No. PMTT13-006, a tentative tract map for which an addendum to the Esperanza Specific Plan EIR (SCH# 2002061047) was adopted by the Planning Commission on June 24, 2014, and this Application introduces no new significant environmental impacts; and

WHEREAS, the City's "Local Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed; and

WHEREAS, the Application is a project pursuant to CEQA (Public Resources Code Section 21000 et seq.), and an initial study has been prepared to determine possible environmental impacts; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board (“DAB”) the responsibility and authority to act on the subject Application; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan ("ALUCP"), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed;

WHEREAS, on September 17, 2018, the DAB of the City of Ontario conducted a hearing on the Application and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.

### ***Part III—THE DECISION***

NOW, THEREFORE, IT IS HEREBY FOUND AND DETERMINED by the Development Advisory Board of the City of Ontario, as follows:

**SECTION 1: *Environmental Determination and Findings.*** As the decision-making body for the Project, the DAB has reviewed and considered the information contained in the previous addendum to the Esperanza Specific Plan EIR (SCH# 2002061047) and supporting documentation. Based upon the facts and information contained in the previous addendum to the Esperanza Specific Plan EIR (SCH# 2002061047) and supporting documentation, the DAB finds as follows:

(1) The environmental impacts of this project were previously reviewed in conjunction with File No. PSPA13-003, an amendment to the Esperanza Specific Plan for which an addendum to the Esperanza Specific Plan EIR (SCH# 2002061047) was adopted by the City Council on June 24, 2014.

(2) The previous addendum to the Esperanza Specific Plan EIR (SCH# 2002061047) contains a complete and accurate reporting of the environmental impacts associated with the Project; and

(3) The previous addendum to the Esperanza Specific Plan EIR (SCH# 2002061047) was completed in compliance with CEQA and the Guidelines promulgated thereunder, and the City of Ontario Local CEQA Guidelines; and

(4) The previous addendum to the Esperanza Specific Plan EIR (SCH# 2002061047) reflects the independent judgment of the Planning Commission; and

(5) The proposed project will introduce no new significant environmental impacts beyond those previously analyzed in the previous addendum to the Esperanza Specific Plan EIR (SCH# 2002061047),

and all mitigation measures previously adopted with the addendum to the Esperanza Specific Plan EIR (SCH# 2002061047), are incorporated herein by this reference.

**SECTION 2: Subsequent or Supplemental Environmental Review Not Required.** Based on the information presented to the DAB, and the specific findings set forth in Section 1, above, the DAB finds that the preparation of a subsequent or supplemental addendum to the Esperanza Specific Plan EIR (SCH# 2002061047) is not required for the Project, as the Project:

(1) Does not constitute substantial changes to the addendum to the Esperanza Specific Plan EIR (SCH# 2002061047) that will require major revisions to the addendum to the Esperanza Specific Plan EIR (SCH# 2002061047) due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and

(2) Does not constitute substantial changes with respect to the circumstances under which the addendum to the Esperanza Specific Plan EIR (SCH# 2002061047) was prepared, that will require major revisions to the addendum to the Esperanza Specific Plan EIR (SCH# 2002061047) due to the involvement of new significant environmental effects or a substantial increase in the severity of the previously identified significant effects; and

(3) Does not contain new information of substantial importance that was not known and could not have been known with the exercise of reasonable diligence at the time the addendum to the Esperanza Specific Plan EIR (SCH# 2002061047) was certified/adopted, that shows any of the following:

(a) The project will have one or more significant effects not discussed in the addendum to the Esperanza Specific Plan EIR (SCH# 2002061047); or

(b) Significant effects previously examined will be substantially more severe than shown in the addendum to the Esperanza Specific Plan EIR (SCH# 2002061047); or

(c) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the Project, but the City declined to adopt such measures; or

(d) Mitigation measures or alternatives considerably different from those analyzed in the addendum to the Esperanza Specific Plan EIR (SCH# 2002061047) would substantially reduce one or more significant effects on the environment, but which the City declined to adopt.

**SECTION 3: Housing Element Compliance.** Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the decision-making body for the Project, the DAB finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan, as the project site is not one of the properties in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix.

**SECTION 4: Ontario International Airport Land Use Compatibility Plan (“ALUCP”) Compliance.** The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land use Compatibility Plan (“ALUCP”), establishing the Airport Influence Area for Ontario International Airport (“ONT”), which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the decision-making body for the Project, the

DAB has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the DAB, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

**SECTION 5: Concluding Facts and Reasons.** Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the specific findings set forth in Sections 1 through 4, above, the DAB hereby concludes as follows:

(1) **The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.** The proposed Project is located within the Low Density Residential land use district of the Policy Plan Land Use Map, and the Planning Area 5 (4-Pack Courtyard) land use district of the Esperanza Specific Plan. The development standards and conditions under which the proposed Project will be constructed and maintained, is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan. The Development Plan has been required to comply with all provisions of the Esperanza Specific Plan. Future neighborhoods within the Esperanza Specific Plan and surrounding area will provide for diverse housing and highly amenitized neighborhoods that will be compatible in design, scale and massing to the proposed development; and

(2) **The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located.** The Project has been designed consistent with the requirements of the City of Ontario Development Code and the Planning Area 5 (4-Pack Courtyard) land use district of The Esperanza Specific Plan, including standards relative to the particular land use proposed (clubhouse and recreation facility), as-well-as building intensity, building and parking setbacks, building height, number of off-street parking and loading spaces, on-site and off-site landscaping, and fences, walls and obstructions; and

(3) **The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed project.** The Development Advisory Board has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the Esperanza Specific Plan are maintained; [ii] the project will not endanger the public health, safety or general welfare; [iii] the project will not result in any significant environmental impacts; [iv] the project will be in harmony with the area in which it is located; and [v] the project will be in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan, and the Esperanza Specific Plan; and

(4) **The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.** The proposed Project has been reviewed for consistency with the general development standards and guidelines of the Esperanza Specific Plan that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of off-street parking and loading spaces, parking lot dimensions, design and landscaping, bicycle parking, on-site landscaping, and fences and walls, as-well-as those development standards and guidelines specifically related to the particular land use being proposed (clubhouse and recreation facility). As a result of this review, the Development Advisory Board has determined that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the development standards and guidelines described in the Esperanza Specific Plan.

**SECTION 6: Development Advisory Board Action.** Based on the findings and conclusions set forth in Sections 1 through 5, above, the DAB hereby APPROVES the Application subject to each and every condition set forth in the Department reports included as Attachment A of this Decision, and incorporated herein by this reference.

**SECTION 7: Indemnification.** The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**SECTION 8: Custodian of Records.** The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

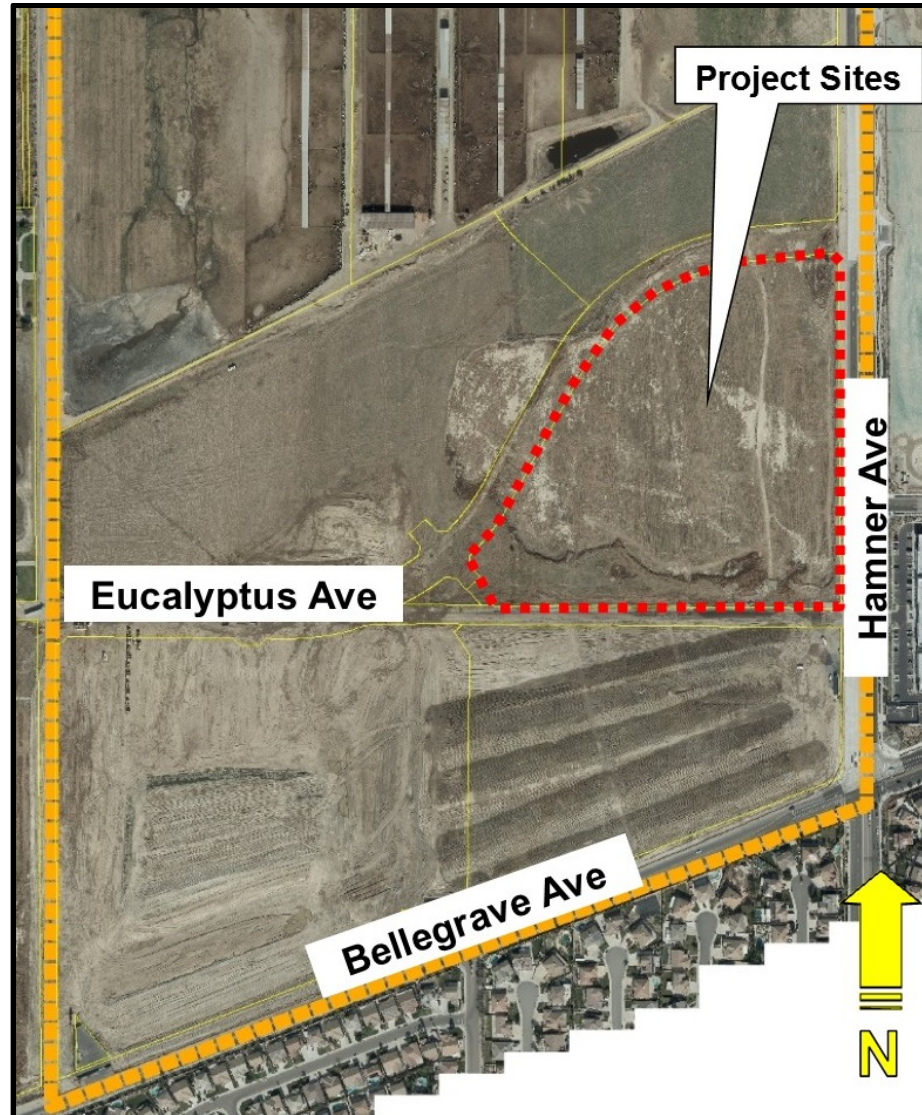
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APPROVED AND ADOPTED this 17<sup>th</sup> day of September 2018.

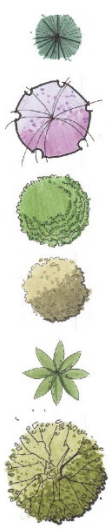
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Development Advisory Board Chairman

Exhibit A—PROJECT LOCATION MAP



**Exhibit B—SITE PLAN**



**TREE LEGEND:**

**COMMUNITY PERIMETER BACKDROP TREES**  
 LOPHOSTEMON CONFERTUS BRISBANE BOX  
 PINUS ELDARICA AFGHAN PINE  
 PINUS CANARIENSIS CANARY ISLAND PINE

**ACCENT TREES**  
 JACARANDA ACUTIFOLIA JACARANDA  
 CERCIUM X 'DESERT MUSEUM' BLUE PALO VERDE  
 SCHINUS MOLLE CALIFORNIA PEPPER TREE

**SHADE TREES**  
 OLEA EUROPEA EUROPEAN OLIVE  
 SCHINUS MOLLE CALIFORNIA PEPPER TREE

**STREET TREES**  
 QUERCUS AGRIFOLIA COAST LIVE OAK  
 QUERCUS ILEX HOLLY OAK

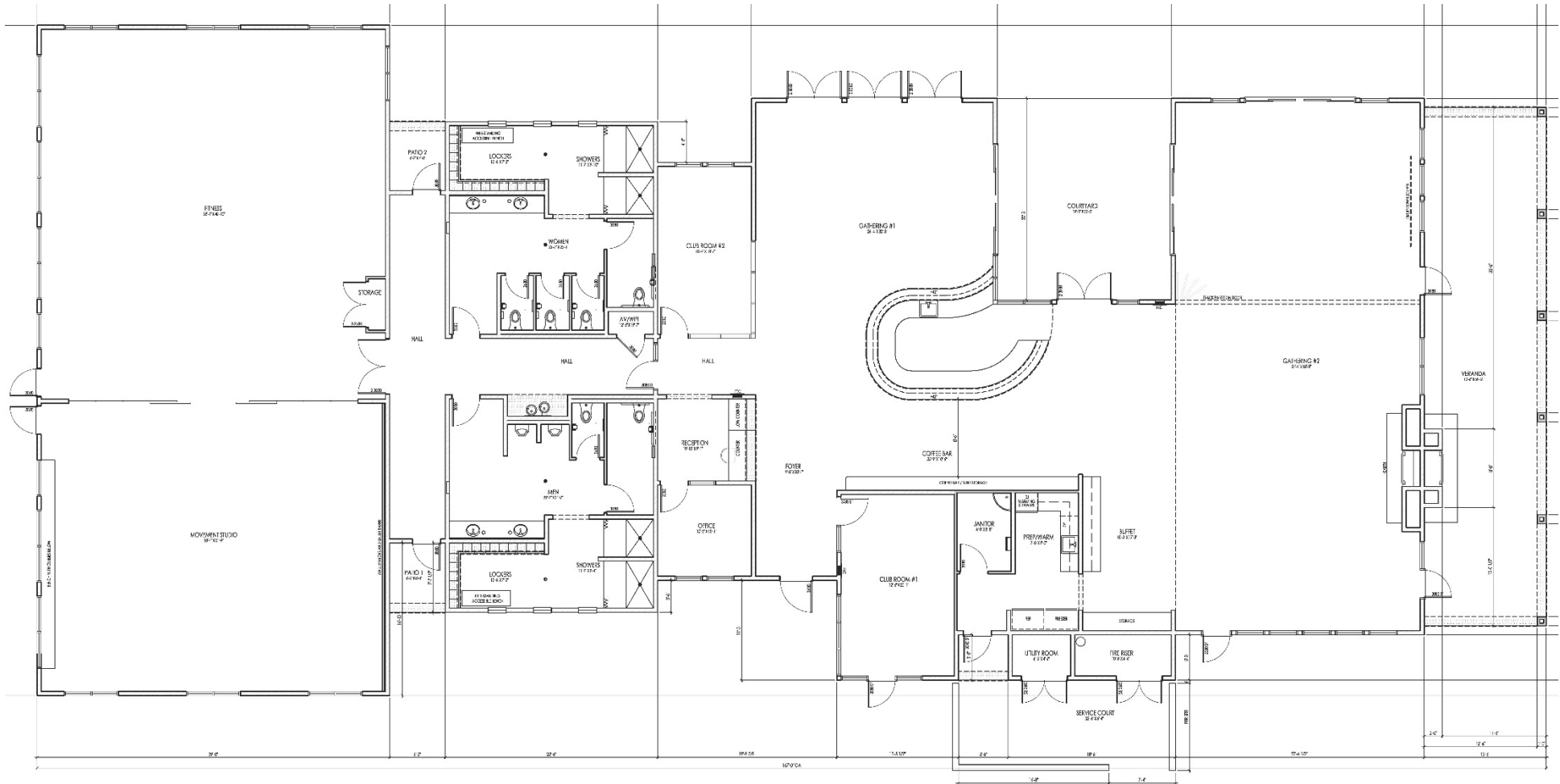
**PALM TREES**  
 CHAMAEROPS HUMULIS MEDITERRANEAN FAN PALM  
 PHOENIX DACTYLIFERA MEDJOOL MEDJOOL DATE PALM  
 PHOENIX ROEBELENI PIGMY DATE PALM  
 WASHINGTONIA FILIFERA CALIFORNIA FAN PALM

**SPECIMEN TREES**  
 MAGNOLIA GRANDIFLORA SOUTHERN MAGNOLIA  
 QUERCUS AGRIFOLIA COAST LIVE OAK  
 SCHINUS MOLLE CALIFORNIA PEPPER  
 OLEA EUROPAEA EUROPEAN OLIVE

\*REFER TO THE PLANT PALETTE SHEET FOR A LIST OF SHRUBS AND GROUND COVERS.



**Exhibit C—CLUBHOUSE FLOOR PLAN AND ELEVATIONS**



FLOOR PLAN  
1/4" = 1'-0"



**Exhibit C—CLUBHOUSE FLOOR PLAN AND ELEVATIONS**



	<p><b>STUCCO BODY</b>        RA738P01 - SPECTRUM FINISH        SUEWAIN WALLMATS        SW 738L - WHISKEY HONEY AND        WHITE</p>		<p><b>TRIM &amp; FACIA</b>        210-110N WALLMATS        SW 207 - WELL-SERVED GROWN</p>		<p><b>PANELING</b>        PANELED SPAN PL        PANELED CEMENTAL VERTICAL FIBER CEMENT        BOARD FINISH S        SW 7027 - WILDBLIND ELEGANCE</p>		<p><b>METAL</b>        WICKOCH 110N        4x4x1/2 GALV STEEL</p>		<p><b>TILE ROOF</b>        CONCRETE TILE        BURNAL 15' SPECIFIC        MATCH - TMA-001 15'x18' HE        CALIFORNIA MISSION BLEND</p>
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**Exhibit C—CLUBHOUSE FLOOR PLAN AND ELEVATIONS**



## Attachment A—Departmental Conditions of Approval

*(Departmental conditions of approval follow this page)*



City of Ontario  
Planning Department  
303 East B Street  
Ontario, California 91764  
Phone: 909.395.2036  
Fax: 909.395.2420

## ***Planning Department Land Development Division Conditions of Approval***

**Meeting Date:** September 17, 2018  
**File No:** PDEV18-015  
**Related Files:** PMTT13-006/TT 18878

**Project Description:** A Development Plan to construct an 8,869-square foot clubhouse on 2.29 acres of land generally located at the southwest corner of Hamner Avenue and Eucalyptus Avenue, within Planning Area 5 (4-Pack Courtyard) of the Esperanza Specific Plan. APN: 0218-252-17; **submitted by Lennar Homes of CA, Inc.**

**Prepared By:** Henry K. Noh, Senior Planner  
**Phone:** 909.395.2429 (direct)  
**Email:** hnoh@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

**1.0 Standard Conditions of Approval.** The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

**2.0 Special Conditions of Approval.** In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

**2.1 Time Limits.**

(a) Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

**2.2 General Requirements.** The Project shall comply with the following general requirements:

(a) All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

(b) The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

(c) The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

**2.3** Landscaping.

(a) The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

(b) Comply with the conditions of approval of the Planning Department; Landscape Planning Division.

(c) Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

(d) Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

**2.4** Walls and Fences. All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

**2.5** Parking, Circulation and Access.

(a) The Project shall comply with the applicable off-street parking, loading and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

(b) The required number of off-street parking spaces and/or loading spaces shall be provided at the time of site and/or building occupancy. All parking and loading spaces shall be maintained in good condition for the duration of the building or use.

**2.6** Site Lighting.

(a) All off-street parking facilities shall be provided with nighttime security lighting pursuant to Ontario Municipal Code Section 4-11.08 (Special Residential Building Provisions) and Section 4-11.09 (Special Commercial/Industrial Building Provisions), designed to confine emitted light to the parking areas. Parking facilities shall be lighted from sunset until sunrise, daily, and shall be operated by a photocell switch.

(b) Unless intended as part of a master lighting program, no operation, activity, or lighting fixture shall create illumination on any adjacent property.

**2.7** Mechanical and Rooftop Equipment.

(a) All exterior roof-mounted mechanical, heating and air conditioning equipment, and all appurtenances thereto, shall be completely screened from public view by parapet walls or roof screens that are architecturally treated so as to be consistent with the building architecture.

(b) All ground-mounted utility equipment and structures, such as tanks, transformers, HVAC equipment, and backflow prevention devices, shall be located out of view from a public street, or adequately screened through the use of landscaping and/or decorative low garden walls.

**2.8** Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

**2.9** Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noised levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

**2.10** Environmental Review.

(a) The environmental impacts of this project were previously reviewed in conjunction with File No. PMTT13-006, a tentative tract map for which an addendum to the Esperanza Specific Plan EIR (SCH# 2002061047) was adopted by the Planning Commission on June 24, 2014. This application introduces no new significant environmental impacts. The City's "Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed. The previously adopted mitigation measures shall be a condition of project approval, and are incorporated herein by this reference.

(b) If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

(c) If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

**2.11** Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**2.12** Additional Fees.

(a) Within 5 days following final application approval, the Notice of Determination (NOD) filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act (CEQA). Failure to provide said fee within the time specified may result in a 180-day extension to the statute of limitations for the filing of a CEQA lawsuit.

(b) After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

**2.13** Additional Requirements.

(a) Dairy Separation Requirement for Residential Development.

The following separation requirements from existing dairies/feed lots shall apply to new residential development or structures used for public assembly purposes from existing dairies/feed lots.

A minimum 100' separation shall be required between a new residential, commercial or industrial development or structure used for public assembly and an existing animal feed trough, corral/pen or an existing dairy/feed lot including manure stockpiles and related wastewater detention basins. The 100-foot separation requirement may be satisfied by an off-site easement acceptable to the Planning Director with adjacent properties, submitted with the initial final map and recorded prior to or concurrent with the final map.

**(b)** Prior to the issuance of building permits, the final architecture of the proposed clubhouse shall be reviewed and approved by the Planning Department.

**(c)** The entry plaza shall be constructed with a decorative pavement that shall be reviewed and approved by the Planning Department.

**(d)** All proposed fencing shall be decorative and provide decorative post and shall be reviewed and approved by the Planning Department.

**(e)** The trash enclosure shall be relocated out of the R-O-W and shall be designed to be consistent with the proposed clubhouse architecture.

**(f)** All proposed fencing shall be setback a minimum of 5' from the back of sidewalk.

**(g)** All applicable conditions of approval of Development Agreement (File No. PDA14-004) shall apply to this tract.

**(h)** All applicable conditions of approval of the Esperanza Specific Plan shall apply to this tract.

**(i)** All applicable conditions of approval of the "A" Maps TT 17749 and TT 18380 and "B" Maps TT 17932, TT 17933, 17935, TT 17936, and TT 18878 shall apply to this development plan.



# CITY OF ONTARIO MEMORANDUM

## ENGINEERING DEPARTMENT CONDITIONS OF APPROVAL

(Engineering Services Division [Land Development and Environmental], Traffic/Transportation Division, Ontario Municipal Utilities Company, IT Department and Management Services Department)

**DATE:** September 5, 2018

**DAB MEETING DATE:** September 17, 2018

**PROJECT ENGINEER:** Miguel Sotomayor, Associate Engineer MS  
909-395-2108

**PROJECT PLANNER:** Henry Noh, Senior Planner  
909-395-2429

**PROJECT:** PDEV18-015 - A Development Plan to construct a 8,800 square foot recreation center building approximately 2.29 acres of land located within Planning Area 5 (4-Pack Courtyard) land use district of the Esperanza Specific Plan (APN: 0218-252-17)

**APPLICANT:** Lennar Homes of CA, Inc.

**LOCATION:** SWC of Hamner Avenue and Eucalyptus Avenue

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This project shall comply with the requirements set forth in the General Standard Conditions of Approval adopted by the City Council (Resolution No. 2017-027) and the Project Specific Conditions of Approval specified herein. The Applicant shall be responsible for the completion of all conditions prior to issuance of permits and/or occupancy clearance.

1. The applicant/developer shall be responsible for the completion of all public improvements for this tract and the public improvements specified in Esperanza Specific Plan, the Development Agreement and the Conditions of Approval for TM-18878.
2. The applicant/developer shall submit a Water Quality Management Plan (WQMP). This plan shall be approved by the Engineering Department prior to approval of any grading plan. The WQMP shall be submitted, utilizing the current San Bernardino County Stormwater Program template, available at: <http://www.sbcounty.gov/dpw/land/npdes.asp>.





3. Pay all Development Impact Fees (DIF) to the Building Department. Storm Drain Development Impact Fee, approximately \$96,407.00, shall be paid to the Building Department. Final fee shall be determined based on the approved site plan.
4. Solid Waste Handling Plan (SWHP): Prior to approval of the any building permits, a Solid Waste Handling Plan Sheet shall be submitted accompanying the Precise Grading Plan Submittal to the City/OMUC for review and approval. The SWHP Sheet shall demonstrate compliance with the PDEV18-015 SWHP, dated 08/06/2018, and any deviation from this plan shall require the SWHP to be updated and resubmitted to OMUC for review and approval.
5. Prior to Precise Grading Plan Approval and Building Permits Issuance:
  - i. Provide two hard copies and the digital files (in PDF and AutoCAD format) for both on-site and off-site utility plans, including landscape and irrigation improvements.
  - ii. Submit an Engineering Report (ER) to the City detailing recycled water usage for review and approval by the City and the State. The review process for the ER is typically 3 months. City will coordinate the State's approval of the ER.

  
Khoi Do, P. E.      9/5/18  
Assistant City Engineer      Date

c: Khoi Do, P.E., Engineering/Land Development



# CITY OF ONTARIO MEMORANDUM

TO: Scott Murphy, Development Director  
Cathy Wahlstrom, Planning Director  
Diane Ayala, Advanced Planning Division  
Charity Hernandez, Economic Development  
Kevin Shear, Building Official  
Khoi Do, Assistant City Engineer  
Carolyn Bell, Landscape Planning Division  
Ahmed Aly, Municipal Utility Company  
Doug Sorel, Police Department  
Paul Ehrman, Deputy Fire Chief/Fire Marshal  
Jay Bautista, T. E., Traffic/Transportation Manager  
Lorena Mejia, Airport Planning  
Steve Wilson, Engineering/NPDES  
Joe De Sousa, Code Enforcement (Copy of memo only)  
Jimmy Chang, IT Department

FROM: Henry Noh, Senior Planner

DATE: August 17, 2018

REVISION NO. 1

SUBJECT: FILE #: PDEV18-015

Finance Acct#:

The following project has been resubmitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by Friday, August 31, 2018.

**PROJECT DESCRIPTION:** A Development Plan to construct an approximate 8,800-square foot recreation building on 2.29 acres of land generally located at the southwest corner of Hamner Avenue and Eucalyptus Avenue, within Planning Area 5 (4-Pack Courtyard) of the Esperanza Specific Plan (APN: 0218-252-17).

The plan does adequately address the departmental concerns at this time.

- No comments
- See previous report for Conditions
- Report attached (1 copy and email 1 copy)
- Standard Conditions of Approval apply

The plan does not adequately address the departmental concerns.

- The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

9/15/18

Landscape Planning Carolyn Bell Sr. Landscape Architect  
Department Signature Title Date

**CITY OF ONTARIO**  
**LANDSCAPE PLANNING DIVISION**  
 303 East "B" Street, Ontario, CA 91764

**CONDITIONS OF APPROVAL**

**Sign Off**

*Carolyn Bell*  
 Carolyn Bell, Sr. Landscape Planner

9/5/18  
 Date

Reviewer's Name:  
**Carolyn Bell, Sr. Landscape Planner**

Phone:  
**(909) 395-2237**

D.A.B. File No.:  
 PDEV18-015 Rev 1

Case Planner:  
 Henry Noh

Project Name and Location:  
 Esperanza Recreation Center  
 SWC Hamner and Eucalyptus

Applicant/Representative:  
 Lennar Homes/ Ryan Woosley  
 980 Montecito Dr # 300  
 Corona CA 92879

**A Preliminary Landscape Plan (dated 8/17/18) meets the Standard Conditions for New Development and has been approved with the consideration that the following conditions below be met upon submittal of the landscape construction documents.**

**A Preliminary Landscape Plan (dated ) has not been approved. Corrections noted below are required prior to Preliminary Landscape Plan approval.**

**CORRECTIONS REQUIRED**

**PREVIOUS DAB CORRECTIONS – 06/08/18**

Civil/ Site Plans

1. Show any storm water infiltration areas and show basins and swales to be no greater than 50% of the landscape area width to allow for ornamental landscape. Provide a setback min 4' from paving for top of slope.
2. Show transformers located in planter areas, and set back 5' from paving. Coordinate with landscape plans.
3. Move backflow devices min 3' from paving each side to allow for landscape screening. Move 2 backflows on South Afton Privado and 1- South Luna Privado – not corrected.
4. Show utilities including light standards, fire hydrants, water and sewer lines to not conflict with required tree locations. Move storm drain line shown in the middle of planters to within 12" of paving to allow for shade trees.
5. Dimension all planters to have a minimum 5' wide inside dimension with 6" curbs and 12" wide curbs, or 12" wide pavers or DG paving with edging at parking spaces adjacent to planters.
6. Show parking lot island tree planters 1 for every 10 parking spaces and at each row end. Ramps on South Afton Privado do not align with north side of street. How are pedestrians supposed to cross?

Landscape Plans

7. Show backflows, trash enclosures and transformers, with setbacks for landscape screening 36" high strappy leaf shrubs at backflows and 4-5' high evergreen hedge for transformers.
8. Show all utilities clear of required tree locations.
9. Show parking lot shade trees with 30' canopy at maturity: Pistache, Ulmus, Quercis ilex, etc.
10. Call out type of proposed irrigation system and include preliminary MAWA calculation.

11. Show landscape hydrozones to separate low water from moderate water landscape.
12. Provide a planting list of water efficient plants. Proposed water use must meet water budget.
13. Replace invasive, high water using, short lived, high maintenance or poor performing plants: Casuarina, Grevilla robusta, Cercidium, Prosopis, Parkinsonia, Acacia, Agonia, Ligustrum lucidum, Rhus, Syagrus.
14. Parkways without pedestrian traffic shall be planted with lawn replacement plants or groundcovers such as Kurapia, Yarrow, Fragaria, Lonicera, Sesleria or similar.
15. Provide park space or useful play area and reduce size of community vegetable garden or enclose with hedges and cohesive design. Revise circular arrangement for rectangular boxes. Design an attractive space for those not gardening.
16. Call out fences and wall heights.
17. Show concrete mowstrips to identify property lines, or separate maintenance areas.
18. Show minimum on-site tree sizes per the Landscape Development standards, see the **Landscape Planning website**. 5% 48" box, 10% 36 box, 30% 24" box, 55% 15 gallon.
19. Show 25% of trees as California native (Platanus racemosa, Quercus agrifolia, Quercus wislizenii, Quercus douglasii, Cercis occidentalis, etc.) in appropriate locations.
20. Landscape construction plans shall meet the requirements of the Landscape Development Guidelines. See <http://www.ontarioca.gov/landscape-planning/standards>
21. **After a project's entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council. Fees are:**

Plan Check—5 or more acres .....	\$2,326.00
Inspection—Construction (up to 3 inspections per phase) .....	\$278.00
Total.....	\$2,604.00

Landscape construction plans with building permit number for plan check may be emailed to: [landscapeplancheck@ontarioca.gov](mailto:landscapeplancheck@ontarioca.gov)



# CITY OF ONTARIO

## MEMORANDUM

**TO:** Henry Noh, Senior Planner  
Planning Department

**FROM:** Paul Ehrman, Deputy Fire Chief/Fire Marshal  
Fire Department

**DATE:** May 9, 2018

**SUBJECT:** PDEV18-015 - A Development Plan to construct an approximate 8,800-square foot recreation building on 2.29 acres of land generally located at the southwest corner of Hamner Avenue and Eucalyptus Avenue, within Planning Area 5 (4-Pack Courtyard) of the Esperanza Specific Plan (APN: 0218-252-17).

- 
- The plan **does** adequately address Fire Department requirements at this time.
- Standard Conditions of Approval apply, as stated below.
- 

### **SITE AND BUILDING FEATURES:**

- A. 2016 CBC Type of Construction: Type V
- B. Type of Roof Materials: Ordinary
- C. Ground Floor Area(s): 8,800 Sq. Ft.
- D. Number of Stories: One
- E. Total Square Footage: 8,800 Sq. Ft.
- F. 2016 CBC Occupancy Classification(s): A3

## **CONDITIONS OF APPROVAL:**

### **1.0 GENERAL**

- 1.1 The following are the Ontario Fire Department ("Fire Department") requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards ("Standards.") It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at [www.ontarioca.gov](http://www.ontarioca.gov), click on "Fire Department" and then on "Standards and Forms."
- 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

### **2.0 FIRE DEPARTMENT ACCESS**

- 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See Standard #B-004.
- 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25') inside and forty-five feet (45') outside turning radius per Standard #B-005.
- 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150') in length shall have an approved turn-around per Standard #B-002.
- 2.4 Access drive aisles which cross property lines shall be provided with CC&Rs, access easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of building plan check.
- 2.5 "No Parking-Fire Lane" signs and /or red painted curbs with lettering are required to be installed in interior access roadways, in locations where vehicle parking would obstruct the minimum clear width requirement. Installation shall be per Standard #B-001.
- 2.6 Security gates or other barriers on fire access roadways shall be provided with a Knox brand key switch or padlock to allow Fire Department access. See Standards #B-003, B-004 and H-001.
- 2.7 Any time PRIOR to on-site combustible construction and/or storage, a minimum twenty-six (26) ft. wide circulating all weather access roads shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved by fire department and other emergency services..

### 3.0 WATER SUPPLY

- 3.1 The required fire flow per Fire Department standards, based on the 2016 California Fire Code, Appendix B, is 2500 gallons per minute (g.p.m.) for 2 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.
- 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300') apart, per Engineering Department specifications.
- 3.3 Buildings that exceed 100,000 square feet in floor area shall provide an onsite looped fire protection water line around the building(s.) The loops shall be required to have two or more points of connection from a public circulating water main.
- 3.4 The water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

### 4.0 FIRE PROTECTION SYSTEMS

- 4.3 An automatic fire sprinkler system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard ~~Choose an item.~~ All new fire sprinkler systems, except those in single family dwellings, which contain twenty (20) sprinkler heads or more shall be monitored by an approved listed supervising station. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- 4.4 Wood frame buildings that are to be sprinkled shall have these systems in service (but not necessarily finalized) before the building is enclosed.
- 4.5 Fire Department Connections (FDC) shall be located on the address side of the building within one hundred fifty feet (150') of a public fire hydrant on the same side of the street. Provide identification for all fire sprinkler control valves and fire department connections per Standard #D-007. Raised curbs adjacent to Fire Department connection(s) shall be painted red, five feet either side, per City standards.
- 4.6 A fire alarm system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 72. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- 4.7 Portable fire extinguishers are required to be installed prior to occupancy per Standard #C-001. Please contact the Fire Prevention Bureau to determine the exact number, type and placement required.

## 5.0 BUILDING CONSTRUCTION FEATURES

- ☒ 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
  
- ☒ 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.
  
- ☒ 5.3 Single station smoke alarms and carbon monoxide alarms are required to be installed per the California Building Code and the California Fire Code.





# CITY OF ONTARIO

## MEMORANDUM

**TO:** Henry Noh, Planning Department

**FROM:** Douglas Sorel, Police Department

**DATE:** May 22, 2018

**SUBJECT:** PDEV18-015: A DEVELOPMENT PLAN TO CONSTRUCT A RECREATION CENTER GENERALLY LOCATED AT HAMNER AVENUE AND EUCALYPTUS AVENUE

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The “Standard Conditions of Approval” contained in Resolution No. 2017-027 apply. The applicant shall read and be thoroughly familiar with these conditions, including but not limited to, the requirements listed below.

- Required lighting for all walkways, driveways, doorways, parking areas, and other areas used by the public shall be provided and operate on photosensor. Photometrics shall be provided to the Police Department. Photometrics shall include the types of fixtures proposed and demonstrate that such fixtures meet the vandal-resistant requirement. Planned landscaping shall not obstruct lighting.
- The Applicant shall comply with all construction site security requirements as stated in the Standard Conditions.

The Applicant is invited to call Douglas Sorel at (909) 395-2873 regarding any questions or concerns.

# AIRPORT LAND USE COMPATIBILITY PLANNING

## CONSISTENCY DETERMINATION REPORT



Project File No.: PDEV18-015  
 Address: NWC of Hamner Avenue & Eucalyptus Avenue  
 APN: 0218-252-17  
 Existing Land Use: Vacant  
 Proposed Land Use: An 8,000 SF Recreation Center for a community park  
 Site Acreage: 2.29 ac Proposed Structure Height: 35 ft  
 ONT-IAC Project Review: n/a  
 Airport Influence Area: ONT

Reviewed By: Lorena Mejia  
 Contact Info: 909-395-2276  
 Project Planner: Henry Noh  
 Date: 6/11/18  
 CD No.: 2016-031  
 PALU No.: n/a

### The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input type="radio"/> High Terrain Zone	<input type="radio"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input type="radio"/> FAA Notification Surfaces	<input type="radio"/> Recorded Overflight Notification
<input type="radio"/> Zone 2	<input type="radio"/> 65 - 70 dB CNEL	<input type="radio"/> Airspace Obstruction Surfaces	<input checked="" type="checkbox"/> Real Estate Transaction Disclosure
<input type="radio"/> Zone 3	<input type="radio"/> 60 - 65 dB CNEL	<input type="radio"/> Airspace Avigation Easement Area	
<input type="radio"/> Zone 4		Allowable Height: 200 ft +	
<input type="radio"/> Zone 5			

### The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1   
  Zone 2   
  Zone 3   
  Zone 4   
  Zone 5   
  Zone 6

Allowable Height: \_\_\_\_\_

## CONSISTENCY DETERMINATION

This proposed Project is:  Exempt from the ALUCP   
  Consistent   
  Consistent with Conditions   
  Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

Airport Planner Signature: 

# CITY OF ONTARIO

## MEMORANDUM

**TO:** PLANNING DEPARTMENT, Henry Noh  
**FROM:** BUILDING DEPARTMENT, Kevin Shear  
**DATE:** May 7, 2018  
**SUBJECT:** PDEV18-015

- 
- The plan **does** adequately address the departmental concerns at this time.
- No comments
- Report below.

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### Conditions of Approval

1. Standard Conditions of Approval apply.

KS:lm



# Development Advisory Board Decision

September 17, 2018

**DECISION NO.:** [insert #]

**FILE NO.:** PDEV18-018

**DESCRIPTION:** A Development Plan to construct 47 single-family dwellings on 8.9 acres of land, located near the southwest corner of Celebration Avenue and Eucalyptus Avenue, within PA 21 of the Subarea 29 Specific Plan (APN: 0218-014-02); **submitted by Pulte Homes.**

## **Part I—BACKGROUND & ANALYSIS**

PULTE HOMES, (herein after referred to as “Applicant”) has filed an application requesting Development Plan approval, File No. PDEV18-018, as described in the subject of this Decision (herein after referred to as "Application" or "Project").

(1) **Project Setting:** The project site is comprised of 8.9 acres of land located at the southwest corner of Eucalyptus Avenue and Celebration Avenue, within Planning Area 21 of the Subarea 29 Specific Plan, and is depicted in Exhibit A: Aerial Photograph, attached. Existing land uses, General Plan and zoning designations, and specific plan land uses on and surrounding the project site are as follows:

	<i>Existing Land Use</i>	<i>General Plan Designation</i>	<i>Zoning Designation</i>	<i>Specific Plan Land Use</i>
<i>Site</i>	Mass Graded	Low Density Residential	Subarea 29 Specific Plan	Planning Area 21 (Conventional Medium Lot)
<i>North</i>	Vacant with Previous Agricultural/Dairy Uses	Public School/ Open Space	Grand Park Specific Plan	Great Park
<i>South</i>	Single-Family Residential	Low Density Residential	Subarea 29 Specific Plan	Planning Area 19 (Lane Loaded)
<i>East</i>	Mass Graded	Low Density Residential	Subarea 29 Specific Plan	Planning Area 30 (Conventional Large Lot)
<i>West</i>	Mass Graded	Low Density Residential	Subarea 29 Specific Plan	Planning Area 20 (Conventional Medium Lot)

(2) **Project Description:** On August 27, 2013, the Planning Commission approved Tentative Tract 17821 (“A” Map) to facilitate the construction of the backbone streets within the Specific Plan, which included the primary access points to the Subarea 29 community from Archibald Avenue and Eucalyptus Avenue. The developer will construct the private lanes and interior neighborhood streets of Travertine Street, Parkplace Avenue, Parkview Street, and Celebration Avenue, to serve the project.

The Applicant is proposing the development of 47 single-family homes on the 8.9-acre project site (see Exhibit B: Site Plan), at an overall density of 4.89 dwelling units per acre. The homes will be oriented toward the street (architecture forward) or toward landscaped paseos or a pocket park that that are interior

to the project. Three, two-story floor plans are proposed, each with two elevations per plan. The three plans include the following:

- Plan 1: 3,067 square feet, 3 bedrooms, loft and 2.5 baths
- Plan 2: 3,368 to 3,602 square feet, 4 bedrooms, loft and 2.5 baths
- Plan 3: 3,576 to 4,166 square feet, 4 bedrooms, loft and 2.5 baths

All plans incorporate various design features, such as single and two-story massing, varied entries, covered patios, second floor laundry facilities, and open dining and living areas. In addition, each home features shallow-recessed garages, which locates the garage a minimum of 5 feet to 7 feet behind the front elevation/main living space, depending on the plan chosen. To further minimize the visual impact of garages, design techniques such as single-story massing at the front entries, second story balconies above garages, varied first and second story roof massing, and door header trim and details above garages have been incorporated into the various elevations.

The proposed single-family homes provide a two-car garage and a standard driveway, two cars in width. In addition, plans 2 and 3 provide a tandem third-card garage space, for a total of 221 off-street parking spaces provided for the project, exceeding the off-street parking requirements of the Subarea 29 Specific Plan and the City's Development Code.

The architectural philosophy of Subarea 29 Specific Plan is based on architectural styles found in Ontario's historic neighborhoods. The inspiration and design intent is to re-capture the charm and essence of the historic home styles in Ontario and express them in the simple, honest manner that they originated. The proposed architectural styles include Spanish Colonial and Santa Barbara. The styles were chosen to complement one another through the overall scale, massing, proportions, details and the ability to establish an attractive backdrop that will age gracefully over time.

## ***Part II—RECITALS***

WHEREAS, the Application is a project pursuant to the California Environmental Quality Act (Public Resources Code Section 21000 et seq.) ("CEQA"); and

WHEREAS, the environmental impacts of this project were previously reviewed in conjunction with an Addendum to the Subarea 29 Specific Plan EIR (SCH #2004011009), which was prepared in conjunction with File No. PSPA14-002, and was certified by the City Council on April 21, 2015. This application introduces no new significant environmental impacts; and

WHEREAS, the City's "Local Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed; and

WHEREAS, the Application is a project pursuant to CEQA (Public Resources Code Section 21000 et seq.), and an initial study has been prepared to determine possible environmental impacts; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board ("DAB") the responsibility and authority to review and recommendation to the Planning Commission on the subject Application; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code

Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan (“ALUCP”), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, on September 17, 2018, the DAB of the City of Ontario conducted a hearing on the Application and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.

### **Part III—THE DECISION**

NOW, THEREFORE, IT IS HEREBY FOUND AND DETERMINED by the Development Advisory Board of the City of Ontario, as follows:

**SECTION 1: *Environmental Determination and Findings.*** As the recommending body for the Project, the DAB has reviewed and considered the information contained in the previous addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) and supporting documentation. Based upon the facts and information contained in the previous addendum to Subarea 29 Specific Plan EIR (SCH# 2004011009) and supporting documentation, the DAB finds as follows:

(1) The environmental impacts of this project were previously reviewed in conjunction with File No. PSPA14-002, an Amendment to the Subarea 29 Specific Plan for which an addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) was adopted by the City Council on April 21, 2015.

(2) The previous addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) contains a complete and accurate reporting of the environmental impacts associated with the Project; and

(3) The previous addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) was completed in compliance with CEQA and the Guidelines promulgated thereunder, and the City of Ontario Local CEQA Guidelines; and

(4) The previous addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) reflects the independent judgment of the Planning Commission; and

(5) The proposed project will introduce no new significant environmental impacts beyond those previously analyzed in the previous addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009), and all mitigation measures previously adopted with the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009), are incorporated herein by this reference.

**SECTION 2: *Subsequent or Supplemental Environmental Review Not Required.*** Based on the information presented to the DAB, and the specific findings set forth in Section 1, above, the DAB finds

that the preparation of a subsequent or supplemental addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) is not required for the Project, as the Project:

(1) Does not constitute substantial changes to the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) that will require major revisions to the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and

(2) Does not constitute substantial changes with respect to the circumstances under which the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) was prepared, that will require major revisions to the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) due to the involvement of new significant environmental effects or a substantial increase in the severity of the previously identified significant effects; and

(3) Does not contain new information of substantial importance that was not known and could not have been known with the exercise of reasonable diligence at the time the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) was certified/adopted, that shows any of the following:

(a) The project will have one or more significant effects not discussed in the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009); or

(b) Significant effects previously examined will be substantially more severe than shown in the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009); or

(c) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the Project, but the City declined to adopt such measures; or

(d) Mitigation measures or alternatives considerably different from those analyzed in the addendum to the Subarea 29 Specific Plan EIR (SCH# 2004011009) would substantially reduce one or more significant effects on the environment, but which the City declined to adopt.

**SECTION 3: *Housing Element Compliance.*** Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the recommending body for the Project, the DAB finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan. The project site is one of the properties listed in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix, and the proposed project is consistent with the number of dwelling units (47) and density (4.89 DU/AC) specified in the Available Land Inventory.

**SECTION 4: *Ontario International Airport Land Use Compatibility Plan ("ALUCP") Compliance.*** The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land use Compatibility Plan ("ALUCP"), establishing the Airport Influence Area for Ontario International Airport ("ONT"), which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the recommending body for the Project, the DAB has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP

Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the DAB, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

**SECTION 5: Concluding Facts and Reasons.** Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the specific findings set forth in Sections 1 through 4, above, the DAB hereby concludes as follows:

(1) **The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.** The proposed Project is located within the Low Density Residential land use district of the Policy Plan Land Use Map, and the Conventional Medium Lot (Planning Area 21) zoning district. The development standards and conditions under which the proposed Project will be constructed and maintained, is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan. The Development Plan has been required to comply with all provisions of Conventional Medium Lot: Village Homes Residential Development Standards of the Subarea 29 Specific Plan. Future neighborhoods within the Subarea 29 Specific Plan and surrounding area will provide for diverse housing and highly amenitized neighborhoods that will be compatible in design, scale and massing to the proposed development; and

(2) **The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located.** The Project has been designed consistent with the requirements of the City of Ontario Development Code and the Conventional Medium Lot (Planning Area 21) land use district of the Subarea 29 Specific Plan, including standards relative to the particular land use proposed (Village Homes residential product), as-well-as building intensity, building and parking setbacks, building height, number of off-street parking and loading spaces, on-site and off-site landscaping, and fences, walls and obstructions; and

(3) **The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed project.** The Development Advisory Board has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the Subarea 29 Specific Plan are maintained; [ii] the project will not endanger the public health, safety or general welfare; [iii] the project will not result in any significant environmental impacts; [iv] the project will be in harmony with the area in which it is located; and [v] the project will be in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan, and the Subarea 29 Specific Plan. Additionally, the environmental impacts of this project were previously reviewed in conjunction with the Subarea 29 Specific Plan Environmental Impact Report (SCH#2004011009). This application is consistent with the previously adopted EIR and introduces no new significant environmental impacts; and

(4) **The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.** The proposed Project has been reviewed for consistency with the general development standards and guidelines of the Subarea 29 Specific Plan that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of off-street parking, design and landscaping, on-site landscaping, and fences and walls, as-well-as those development standards and guidelines specifically related to the particular land use being proposed (Conventional Medium Lot residential product). As a result of this review, the Development Advisory Board has determined that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the development standards and guidelines described in the Subarea 29 Specific Plan. Additionally, the



Development Plan complies with all provisions of Conventional Medium Lot: Village Homes Development Standards of the Subarea 29 Specific Plan.

**SECTION 6: *Development Advisory Board Action.*** Based on the findings and conclusions set forth in Sections 1 through 5, above, the DAB hereby recommends the Planning Commission APPROVE the Application subject to each and every condition set forth in the Department reports included as Attachment A of this Decision, and incorporated herein by this reference.

**SECTION 7: *Indemnification.*** The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**SECTION 8: *Custodian of Records.*** The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

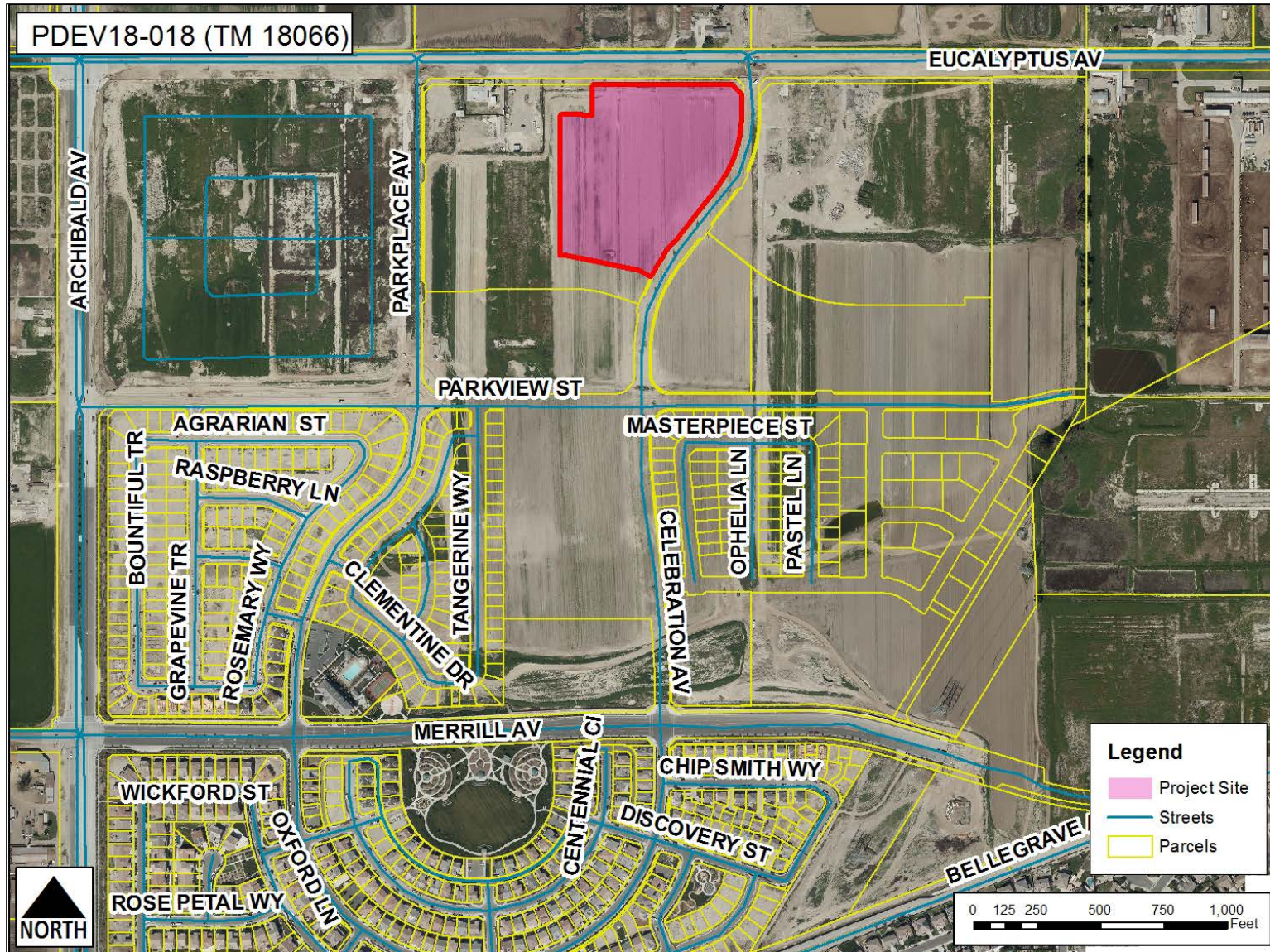
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APPROVED AND ADOPTED this 17th day of September 2018.

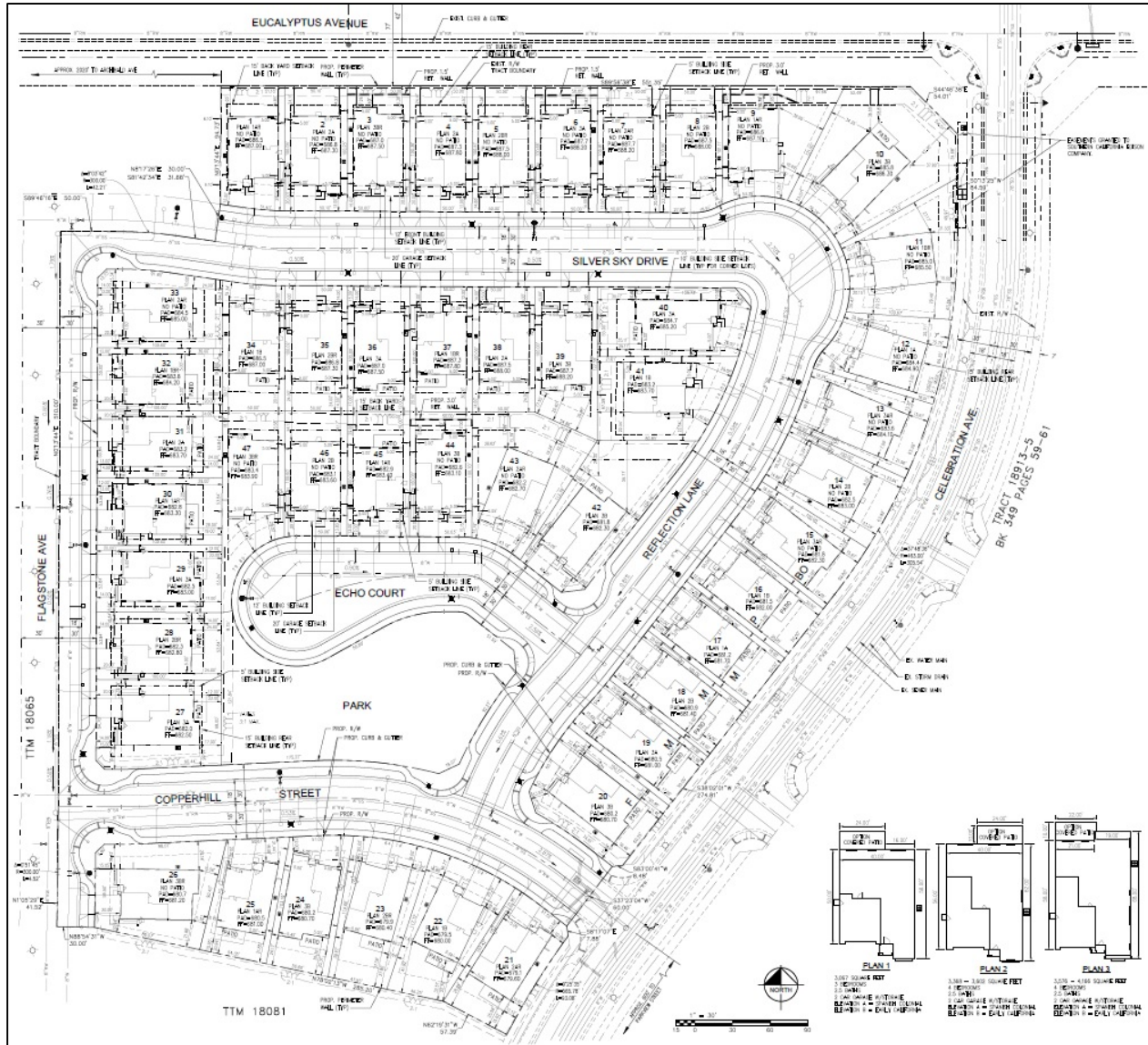
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Development Advisory Board Chairman

Exhibit A—PROJECT LOCATION MAP



**Exhibit B—SITE PLAN**



**Exhibit C—STREETSCAPE**



4033-2  
A - SANTA BARBARA



4030-4  
B - SPANISH COLONIAL



4035-4  
A - SANTA BARBARA

**Exhibit D—PLAN 1**



**A - SANTA BARBARA**  
Color Scheme 1



**B - SPANISH COLONIAL**  
Color Scheme 6

**Exhibit D—PLAN 2**



**A - SANTA BARBARA**  
Color Scheme 3



**B - SPANISH COLONIAL**  
Color Scheme 5

**Exhibit D—PLAN 3**

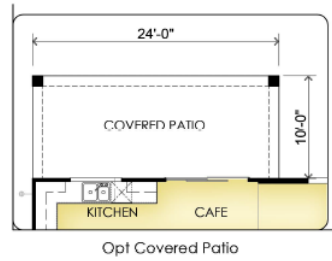


**A - SANTA BARBARA**  
Color Scheme 2

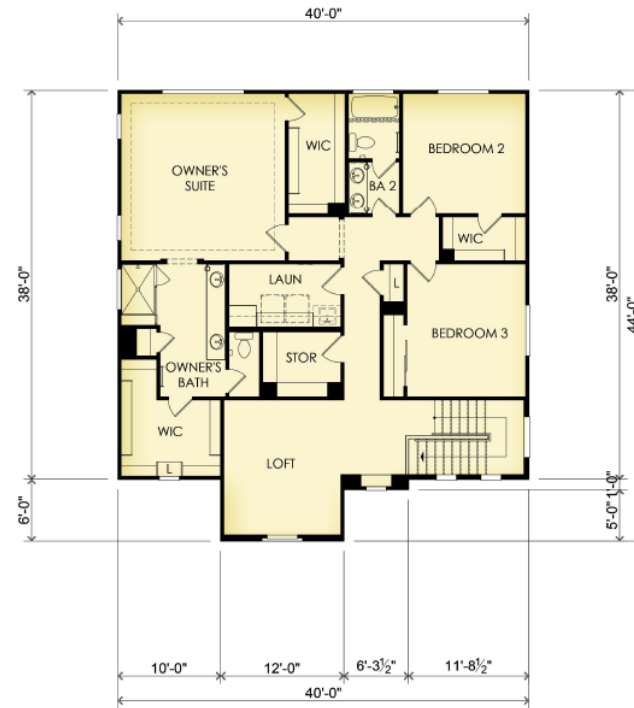


**B - SPANISH COLONIAL**  
Color Scheme 4

**Exhibit E—PLAN 1 FLOOR PLAN**



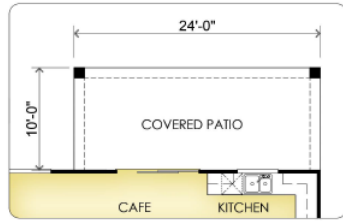
First Floor Plan



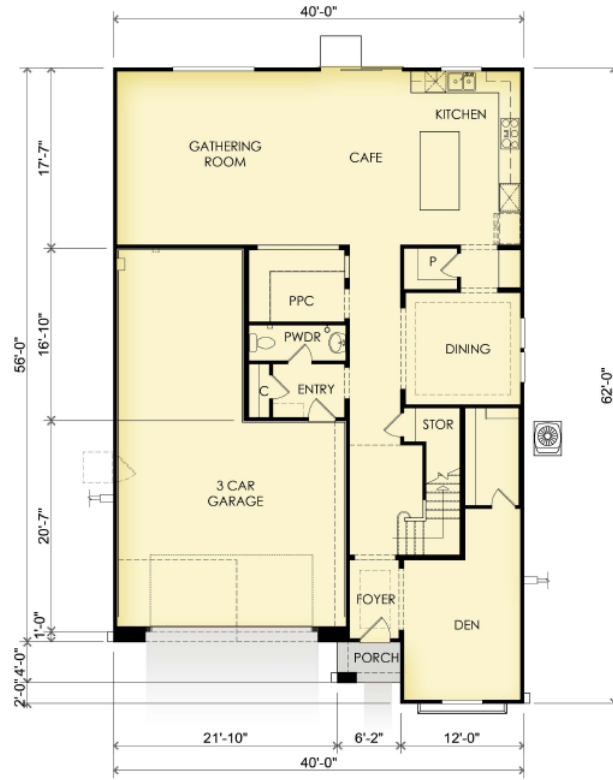
Second Floor Plan



**Exhibit E—PLAN 2 FLOOR PLAN**



Opt Covered Patio



First Floor Plan



Second Floor Plan

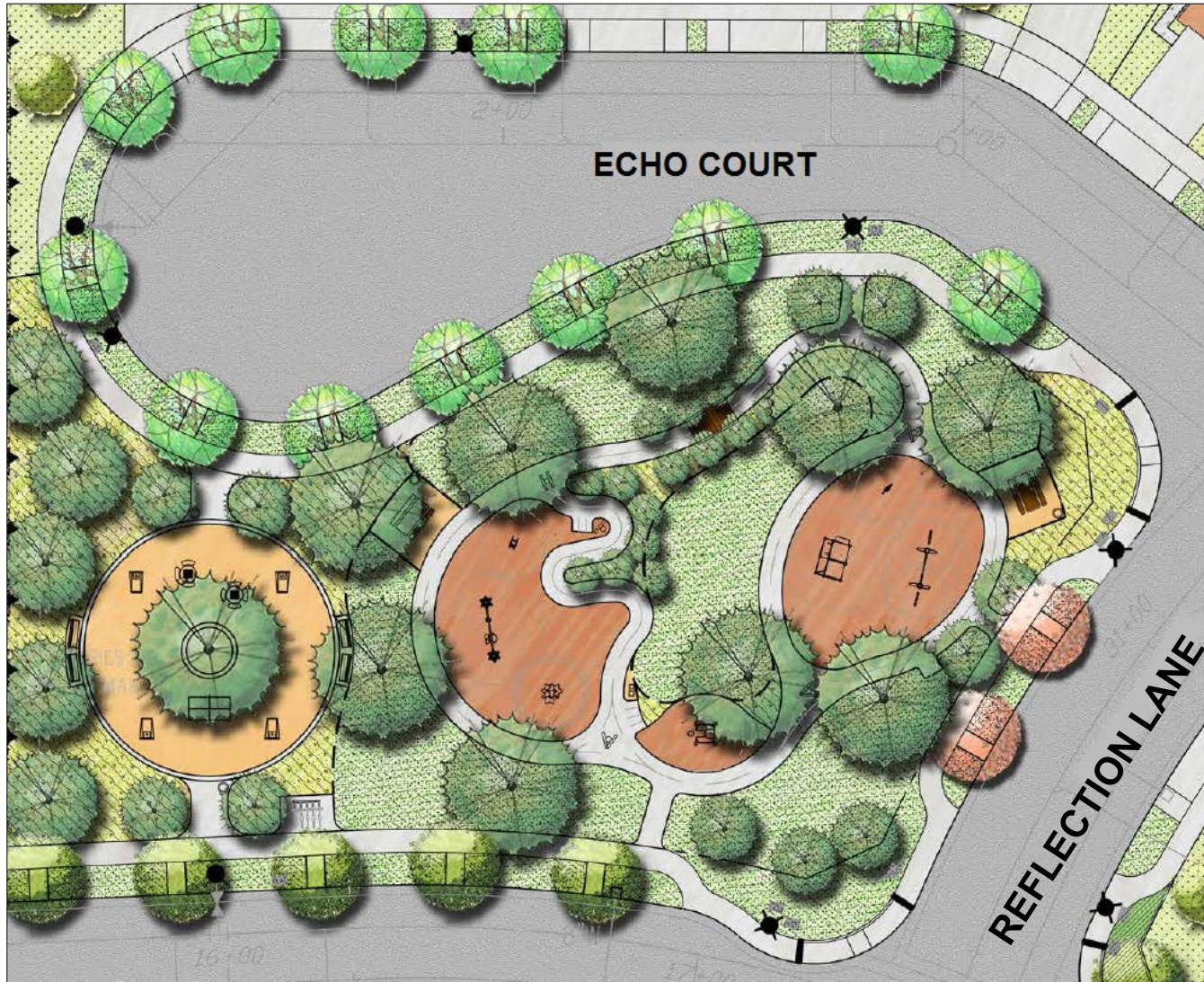
**Exhibit E—PLAN 3 FLOOR PLAN**



**Exhibit D—TYPICAL LANDSCAPE PLAN**



**Exhibit F—POCKET PARK PLAN**



## Attachment A—Departmental Conditions of Approval

*(Departmental conditions of approval follow this page)*



City of Ontario  
Planning Department  
303 East B Street  
Ontario, California 91764  
Phone: 909.395.2036  
Fax: 909.395.2420

## ***Planning Department Land Development Division Conditions of Approval***

**Meeting Date:** September 17, 2018

**File No:** PDEV18-018

**Related Files:** PMTT06-012 (TM 18066)

**Project Description:** A Development Plan approval to construct 47 single-family dwellings on 8.9 acres of land, located near the southwest corner of Celebration Avenue and Eucalyptus Avenue, within PA 21 of the Subarea 29 Specific Plan (APN: 0218-014-02); **submitted by Pulte Homes.**

**Prepared By:** Jeanie Irene Aguilo, Assistant Planner  
Phone: 909.395.2418 (direct)  
Email: jaguilo@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

**1.0 Standard Conditions of Approval.** The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

**2.0 Special Conditions of Approval.** In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

**2.1 Time Limits.** Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

**2.2 General Requirements.** The Project shall comply with the following general requirements:

**(a)** All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

**(b)** The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

**(c)** The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

**2.3**     Landscaping.

(a)     The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

(b)     Comply with the conditions of approval of the Planning Department; Landscape Planning Division.

(c)     Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

(d)     Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

**2.4**     Walls and Fences. All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

**2.5**     Parking, Circulation and Access.

(a)     The Project shall comply with the applicable off-street parking, loading and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

(b)     All drive approaches shall be provided with an enhanced pavement treatment. The enhanced paving shall extend from the back of the approach apron, into the site, to the first intersecting drive aisle or parking space.

(c)     Areas provided to meet the City's parking requirements, including off-street parking and loading spaces, access drives, and maneuvering areas, shall not be used for the outdoor storage of materials and equipment, nor shall it be used for any other purpose than parking.

**2.6**     Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

**2.7**     Signs. All Project signage shall comply with the requirements of Ontario Development Code Division 8.1 (Sign Regulations).

**2.8**     Off-Site Subdivision Signs. The City Council has authorized the Baldy View Chapter of the Building Industry Association to manage a standardized off-site directional sign program on a non-profit basis. The program uses uniform sign structures and individual identification and directional signs for residential development. **No other off-site signing is authorized.** (For additional information, contact the Baldy View Chapter BIA at 909.945.1884.

**2.9**     Dairy Separation Requirement for Residential Development. The following separation requirements from existing dairies/feed lots shall apply to new residential development or structures used for public assembly purposes from existing dairies/feed lots.

(a)     A minimum 100-FT separation shall be required between a new residential, commercial or industrial development or structure used for public assembly and an existing animal feed trough, corral/pen or an existing dairy/feed lot including manure stockpiles and related wastewater detention basins. The 100-FT separation requirement may be satisfied by an off-site easement acceptable to the

Planning Director with adjacent properties, submitted with the initial final map and recorded prior to or concurrent with the final map.

**2.10** Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noised levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

**2.11** Covenants, Conditions and Restrictions (CC&Rs)/Mutual Access and Maintenance Agreements.

**(a)** CC&Rs shall be prepared for the Project and shall be recorded prior to the issuance of a building permit.

**(b)** The CC&Rs shall be in a form and contain provisions satisfactory to the City. The articles of incorporation for the property owners association and the CC&Rs shall be reviewed and approved by the City.

**(c)** CC&Rs shall ensure reciprocal parking and access between parcels.

**(d)** CC&Rs shall ensure reciprocal parking and access between parcels, and common maintenance of:

**(i)** Landscaping and irrigation systems within common areas;

**(ii)** Landscaping and irrigation systems within parkways adjacent to the project site, including that portion of any public highway right-of-way between the property line or right-of-way boundary line and the curb line and also the area enclosed within the curb lines of a median divider (Ontario Municipal Code Section 7-3.03), pursuant to Ontario Municipal Code Section 5-22-02;

**(iii)** Shared parking facilities and access drives; and

**(iv)** Utility and drainage easements.

**(e)** CC&Rs shall include authorization for the City's local law enforcement officers to enforce City and State traffic and penal codes within the project area.

**(f)** The CC&Rs shall grant the City of Ontario the right of enforcement of the CC&R provisions.

**(g)** A specific methodology/procedure shall be established within the CC&Rs for enforcement of its provisions by the City of Ontario, if adequate maintenance of the development does not occur, such as, but not limited to, provisions that would grant the City the right of access to correct maintenance issues and assess the property owners association for all costs incurred.

**2.12** Disclosure Statements.

**(a)** A copy of the Public Report from the Department of Real Estate, prepared for the subdivision pursuant to Business and Professions Code Section 11000 et seq., shall be provided to each prospective buyer of the residential units and shall include a statement to the effect that:

**(i)** This tract is subject to noise from the Ontario International Airport and may be more severely impacted in the future.

**(ii)** Some of the property adjacent to this tract is zoned for agricultural uses and there could be fly, odor, or related problems due to the proximity of animals.

**(iii)** The area south of Riverside Drive lies within the San Bernardino County Agricultural Preserve. Dairies currently existing in that area are likely to remain for the foreseeable future.



(iv) This tract is part of a Landscape Maintenance District. The homeowner(s) will be assessed through their property taxes for the continuing maintenance of the district.

**2.13** Environmental Review.

(a) The environmental impacts of this project were previously reviewed in conjunction with an Addendum to the Subarea 29 Specific Plan EIR (SCH #2004011009), which was prepared in conjunction with File No. PSPA14-002, and was adopted by the City Council on April 21, 2015. This application introduces no new significant environmental impacts. The City's "Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed. The previously adopted mitigation measures shall be a condition of project approval.

(b) If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

(c) If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

**2.14** Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**2.15** Additional Fees.

(a) Within 5 days following final application approval, the Notice of Determination (NOD) filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act (CEQA). Failure to provide said fee within the time specified may result in a 180-day extension to the statute of limitations for the filing of a CEQA lawsuit.

(b) After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

**2.16** Additional Requirements.

(a) Shutters shall be constructed of wood or vinyl.

(b) Provide window mullion and shutter treatments on the front and enhanced rear and side elevations that abut a street. The final design shall be subject to Planning Director approval.

(c) Remove all wainscot base treatment on the Spanish Colonial exterior elevation, for all plan types.

**(d)** The Applicant shall contact the Ontario Post Office to determine the size and location of mailboxes for this project. The location of the mailboxes shall be submitted to the Planning Department for review and approval prior to the issuance of building permits.

**(e)** The Applicant (Developer) shall be responsible for providing fiber optic lines to each home per City requirements and standards.

**(f)** All applicable conditions of approval of Development Agreement (File No. PDA13-003) shall apply to this tract.

**(g)** All applicable conditions of approval of the Subarea 29 Specific Plan shall apply to this tract.

**(h)** All applicable conditions of approval of "B" Map TT 18066 (File No. PMTT06-012) shall apply to this Development Plan.

**(i)** The Pocket Park shall be constructed prior to the issuance of the certificate of occupancy of the 23rd home.



# CITY OF ONTARIO MEMORANDUM

## ENGINEERING DEPARTMENT CONDITIONS OF APPROVAL

(Engineering Services Division [Land Development and Environmental], Traffic/Transportation Division, Ontario Municipal Utilities Company, IT Department and Management Services Department)

DATE: **August 30, 2018**

DAB MEETING DATE: **September 17, 2018**

PROJECT ENGINEER: **Jesus Plasencia, Senior Associate Civil Engineer  
909-395-2128**

PROJECT PLANNER: **Jeanie Irene Aguilo, Assistant Planner  
909-395-2418**

PROJECT: **PDEV18-018 - A Development Plan to construct 47 single-family dwellings on 8.9 acres of land within Planning Area 21 of the Subarea 29 Specific Plan (APN: 0218-014-02). Related File: TM 18066.**

APPLICANT: **Pulte Group**

LOCATION: **SWC of Eucalyptus Avenue and Celebration Avenue**

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This project shall comply with the requirements set forth in the General Standard Conditions of Approval adopted by the City Council (Resolution No. 2017-027) and the Project Specific Conditions of Approval specified herein. The Applicant shall be responsible for the completion of all conditions prior to issuance of permits and/or occupancy clearance.


1. The applicant/developer shall be responsible for the completion of all conditions of approval for TM-18066 and the Development Agreement.
2. For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at [http://geotracker.waterboards.ca.gov/profile\\_report?global\\_id=T10000004658](http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658).




3. The applicant/developer shall submit all final survey documents prepared by a Licensed Surveyor registered in the State of California detailing all survey monuments that have been preserved, revised, adjusted or set along with any maps, corner records or Records of Survey needed to comply with these Conditions of Approvals and the latest edition of the California Professional Land Survey Act. These documents are to be reviewed and approved by the City Survey Office.
4. For developments located at an intersection of any two collector or arterial streets, the applicant/developer shall set a monument if one does not already exist at that intersection. Contact the City Survey office for information on reference benchmarks, acceptable methodology and required submittals.
5. This development shall comply with City Ordinance 2689 and make use of recycled water for all approved uses, including but not limited to landscaping irrigation for HOA maintained areas and parks. Appropriately sized public and private mains shall be installed throughout the Tract to meet this requirement, as approved by the City.
6. In order to receive Recycled Water service, the applicant shall comply with each of the following:
  - a. Prior to Precise Grading Plan Approval and Building Permits Issuance:
    - i. Provide two hard copies and the digital files (in PDF and AutoCAD format) for both on-site and off-site utility plans, including landscape and irrigation improvements.
    - ii. Submit an Engineering Report (ER) to the City detailing recycled water usage for review and approval by the City and the State. The review process for the ER is typically 3 months. City will coordinate the State's approval of the ER.
  - b. Prior to Occupancy Release/Finalizing:
    - i. Pass start-up and cross-connection test successfully.
    - ii. Provide evidence demonstrating the training of on-site supervisor or designee as determined in the ER.
7. Solid and Organic Waste Handling: This project must comply with the City's and State's Solid Waste Collection requirements and with the City's "SOLID WASTE DEPARTMENT REFUSE AND RECYCLING PLANNING MANUAL" (<http://www.ontarioca.gov/municipal-utilities-company/solid-waste>)  
Please note that all projects are subject to the requirements of State Assembly Bill AB 1826 which requires the separation and collection of organic waste in addition to refuse and recycling
8. Prepare a SWHP and be submitted with Precise Grading Plan for review and approval of Ontario Municipal Utility Company. The SWHP shall follow the SWHP Guidance Document available from OMUC and demonstrate compliance with the Services Standards in the City's Solid Waste Planning Manual (available online at: <http://www.ontarioca.gov/municipal-utilities-company/solid-waste>). The SWHP shall contain, at a minimum, the following elements:
  - a. A statement identifying the Service Requirements being used (e.g. Single Family Detached with automated cans, Multi-family/ Commercial with bins, etc.) and describing the solid waste handling operation (for instance, will there be scouting services, etc.)
  - b. A table utilizing the metrics of the Planning Manual and calculating the volume (gallons or cubic yards), quantity, and service schedule for each type of can and bin required for each Service Category (refuse, recycled, organics, etc.).



- c. An Engineering Site Plan drawn to scale that shows:
- A detail of the Solid Waste Vehicle with dimensions and annotation that states the minimum turning radii and path of travel widths actually being used on the plan.
  - The Solid Waste Vehicle turning movements and paths of travel in each direction of travel and at all intersections. All paths of travel shall be 15 feet wide minimum.
  - All parking stalls and parallel parking spaces along all streets, alleys, or aisles.

  
Bryan Lirley, P.E.      8/30/18  
Principal Engineer      Date

  
Khoi Do, P. E.      8/30/18  
Assistant City Engineer      Date

cc:      Khoi Do, P.E., Engineering/Land Development  
         Bryan Lirley, P.E., Engineering/Land Development



# CITY OF ONTARIO

## MEMORANDUM

TO: Scott Murphy, Development Director  
Cathy Wahlstrom, Planning Director  
Diane Ayala, Advanced Planning Division  
Charity Hernandez, Economic Development  
Kevin Shear, Building Official  
Khoi Do, Assistant City Engineer  
Carolyn Bell, Landscape Planning Division  
Ahmed Aly, Municipal Utility Company  
Doug Sorel, Police Department  
Paul Ehrman, Deputy Fire Chief/Fire Marshal  
Jay Bautista, T. E., Traffic/Transportation Manager  
Lorena Mejia, Airport Planning  
Steve Wilson, Engineering/NPDES  
Joe De Sousa, Code Enforcement (Copy of memo only)  
Jimmy Chang, IT Department

FROM: Jeanie Irene Aguilo, Assistant Planner

DATE: June 08, 2018

SUBJECT: FILE #: PDEV18-018 Finance Acct#:

The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Friday, June 22, 2018**.

- Note:**
- Only DAB action is required
  - Both DAB and Planning Commission actions are required
  - Only Planning Commission action is required
  - DAB, Planning Commission and City Council actions are required
  - Only Zoning Administrator action is required

**PROJECT DESCRIPTION:** A Development Plan approval to construct 47 single-family dwellings on approximately 8.9 acres of land located near the southwest corner of Celebration Avenue and Eucalyptus Avenue, within PA 21 of the Subarea 29 Specific Plan (APN:0218-014-02). Related File: TM18066

- The plan does adequately address the departmental concerns at this time.
- No comments
  - Report attached (1 copy and email 1 copy)
  - Standard Conditions of Approval apply
- The plan does not adequately address the departmental concerns.
- The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

Landscape Planning Carolyn Bell Sr. Landscape Architect  
Department Signature Title Date 6/20/18

**CITY OF ONTARIO**  
**LANDSCAPE PLANNING DIVISION**  
 303 East "B" Street, Ontario, CA 91764

**CONDITIONS OF APPROVAL**

Sign Off	
<i>Carolyn Bell</i>	6/20/18
Carolyn Bell, Sr. Landscape Planner	Date

Reviewer's Name: <b>Carolyn Bell, Sr. Landscape Planner</b>	Phone: <b>(909) 395-2237</b>
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D.A.B. File No.: PDEV18-018	Case Planner: Jeanie Irene Aguilo
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Project Name and Location:  
 Park Place PA 21 47 SF DU's  
 SWC Celebration and Eucalyptus

Applicant/Representative:  
 SL Ontario, LLC; Cole Theel  
 1156 N Mountain Ave  
 Upland Ca 91785

<input checked="" type="checkbox"/>	<b>A Preliminary Landscape Plan (dated 6/5/18) meets the Standard Conditions for New Development and has been approved with the consideration that the following conditions below be met upon submittal of the landscape construction documents.</b>
<input type="checkbox"/>	<b>A Preliminary Landscape Plan (dated ) has not been approved. Corrections noted below are required prior to Preliminary Landscape Plan approval.</b>

**CORRECTIONS REQUIRED**

Civil/ Site Plans

1. Locate utilities including light standards, fire hydrants, water and sewer lines, storm drain lines to not conflict with required tree locations. For example see lot 17, water meter, light and sewer line clearances spaced out instead of reduced. Move water meter toward light or sewer line to provide a 10'- 15' wide space for street trees. Include storm drain lines on plan clear of tree locations.
2. Show transformers located in planter areas, and set back pad min. 3' from driveways or sidewalks. Located on level grade.
3. Show backflow devices shall be located in planter areas, not turf, and set back min 3' from paving. Locate on level grade. Coordinate with landscape plans.
4. Note for compaction to be no greater than 85% at landscape areas. All finished grades at 1 1/2" below finished surfaces. Slopes to be maximum 3:1.
5. Show single family residence with side yard walls 5' from the sidewalk to allow for homeowner maintained landscape; see lots 20, 26, 27, 33, 40, 42. Show a mow strip separating the HOA maintained landscape from the private property maintained landscape at each corner
6. Typical lot drainage shall include a catch basin with gravel sump below before exiting property.
7. Note and show on plans: AC units shall be located in utility or trash storage areas away from proposed patio spaces; in residential side yards, opposite the main back yard access path with gate, or a second gate and solid surface path on the opposite side shall be added for access.

Landscape Plans

8. Show backflows and transformers, with setbacks noted above. Landscape screening for

backflows: 36" high strappy leaved shrubs and transformers: 4-5' high evergreen shrubs on back and sides, groundcovers in front.

9. Show all utilities on the landscape plans. Coordinate so utilities are clear of required tree locations.
10. Show parkway landscape and street trees spaced 30' apart. Coordinate on site tree to be clear of parkway trees.
11. Call out type of proposed irrigation system and include preliminary MAWA calculation.
12. Show landscape hydrozones to separate low water from moderate water landscape.
13. Note that irrigation plans shall provide separate systems for tree stream bubblers with pc screens for HOA maintained parks and parkways. New: Front yard irrigation shall use drip line systems with pop up tree stream/ spray bubblers on drip systems such as Rainbird Xeri-pop with SQ half 4'x8' or Hunter Trio-spray TS-TH set for a 5' radius or equal.
14. Replace invasive, high water using, short lived, high maintenance or poor performing plants: Albizia, Gleditsia, Echium, Russelia, Trichostema. Lantana, Rhus, Acacia, Yucca. Avoid short lived perennials and large quantities of ornamental grasses that require cutting to the ground each winter. Limit moderate water shrubs and groundcovers to low water plant or show as part shade plant palettes for north and east facing sites. Consider low water shrubs instead of moderate water shrubs such as: Elaeagnus, Grevillea, Ilex vomitoria, Quercus, Salvia melifera, Westringia 'Grey Box', Fruitless Olive, Prunus ilicifolia,
15. Parkways may be planted with lawn replacement plants such as Kurapia, Yarrow, Fragaria or similar. Turf grass may be used where appropriate. Provide an 8' wide mulch square at trees in parkways or 8' radius mulch circle area at trees in lawns or planters.
16. Provide agronomical soil tests at 12" depth and include independent lab report on landscape construction plans. Sewage sludge or biosolids are not allowed. Note "Contractor shall install amendments per plan and then take a new soil test and provide report to landscape architect and city inspector to verify amendments installed are satisfactory prior to planting. Landscape architect shall verify report with amendments receipts on certificate of compliance. For phased projects, a new report is required for each phase or a minimum of every 7 homes in residential developments.
17. Correct driveway apron layout (to dust pan style) to match civil plan
18. Call out concrete mowstrips to identify property lines to separate ownership and between maintenance areas.
19. Show 25% of trees as California native (Platanus racemosa, Quercus agrifolia, Quercus wislizenii, Quercus douglasii, Cercis occidentalis, etc.) in appropriate locations.
20. Add accent trees at street corners. Add 1 evergreen and 1 deciduous tree for each front yard.
21. Landscape construction plans shall meet the requirements of the Landscape Development Guidelines. See <http://www.ontarioca.gov/landscape-planning/standards>
22. Provide phasing map for multi-phase projects.
23. Add Note to Grading and Landscape Plans: Landscape areas where compaction has occurred due to grading activities and where trees or storm water infiltration areas are located shall be loosened by soil fracturing. For trees a 12'x12'x18" deep area; for storm water infiltration the entire area shall be loosened. Add the following information on the plans: The back hoe method of soil fracturing shall be used to break up compaction. A 4" layer of Compost is spread over the soil surface before fracturing is begun. The back hoe shall dig into the soil lifting and then drop the soil immediately back into the hole. The bucket then moves to the adjacent soil and repeats. The Compost falls into the spaces between the soil chunks created. Fracturing shall leave the soil surface quite rough with large soil clods. These must be broken by additional tilling. Tilling in more Compost to the surface after fracturing per the soil report will help create an A horizon soil. Imported or reused Topsoil can be added on top of the fractured soil as needed for grading. The Landscape Architect shall be present during this process and provide certification of the soil fracturing. For additional reference see Urban Tree



Foundation – Planting Soil Specifications.

24. After a project’s entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council. Typical fees are:

Plan Check—5 or more acres .....	\$2,326.00
Inspection—Construction (up to 3 inspections per phase) .....	<u>\$278.00</u>
Total.....	\$2,604.00
Inspection—Field – any additional.....	\$83.00

Landscape construction plans with building permit number for plan check may be emailed to:

[landscapeplancheck@ontarioca.gov](mailto:landscapeplancheck@ontarioca.gov)



# CITY OF ONTARIO

## MEMORANDUM

**TO:** Jeanie Irene Aguilo, Assistant Planner  
Planning Department

**FROM:** Paul Ehrman, Deputy Fire Chief/Fire Marshal  
Fire Department

**DATE:** June 12, 2018

**SUBJECT:** PDEV18-018 - A Development Plan approval to construct 47 single-family dwellings on 8.9 acres of land located near the southwest corner of Celebration Avenue and Eucalyptus Avenue, within PA 21 of the Subarea 29 Specific Plan (APN:0218-014-02). Related File: PMTT06-012 (TM18066)

- 
- The plan **does** adequately address Fire Department requirements at this time.
- Standard Conditions of Approval apply, as stated below.
- 

### **SITE AND BUILDING FEATURES:**

- A. 2016 CBC Type of Construction: Type V
- B. Type of Roof Materials: Ordinary
- C. Ground Floor Area(s): 1750 Sq. Ft.
- D. Number of Stories: 2
- E. Total Square Footage: 3500 Sq. Ft.
- F. 2016 CBC Occupancy Classification(s): R

## **CONDITIONS OF APPROVAL:**

### **1.0 GENERAL**

- ☒ 1.1 The following are the Ontario Fire Department (“Fire Department”) requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards (“Standards.”) It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at [www.ontarioca.gov](http://www.ontarioca.gov), click on “Fire Department” and then on “Standards and Forms.”
- ☒ 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

### **2.0 FIRE DEPARTMENT ACCESS**

- ☒ 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See Standard #B-004.
- ☒ 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25’) inside and forty-five feet (45’) outside turning radius per Standard #B-005.
- ☒ 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150’) in length shall have an approved turn-around per Standard #B-002.
- ☒ 2.4 Access drive aisles which cross property lines shall be provided with CC&Rs, access easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of building plan check.
- ☒ 2.5 "No Parking-Fire Lane" signs and /or red painted curbs with lettering are required to be installed in interior access roadways, in locations where vehicle parking would obstruct the minimum clear width requirement. Installation shall be per Standard #B-001.
- ☒ 2.6 Security gates or other barriers on fire access roadways shall be provided with a Knox brand key switch or padlock to allow Fire Department access. See Standards #B-003, B-004 and H-001.
- ☒ 2.7 Any time PRIOR to on-site combustible construction and/or storage, a minimum twenty-six (26) ft. wide circulating all weather access roads shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved by fire department and other emergency services.

### **3.0 WATER SUPPLY**

- ☒ 3.1 The required fire flow per Fire Department standards, based on the 2016 California Fire Code, Appendix B, is 1750 gallons per minute (g.p.m.) for 3 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.
- ☒ 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300') apart, per Engineering Department specifications.
- ☒ 3.4 The water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

### **4.0 FIRE PROTECTION SYSTEMS**

- ☒ 4.3 An automatic fire sprinkler system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard Choose an item.. All new fire sprinkler systems, except those in single family dwellings, which contain twenty (20) sprinkler heads or more shall be monitored by an approved listed supervising station. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- ☒ 4.4 Wood frame buildings that are to be sprinkled shall have these systems in service (but not necessarily finalized) before the building is enclosed.

### **5.0 BUILDING CONSTRUCTION FEATURES**

- ☒ 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- ☒ 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.
- ☒ 5.3 Single station smoke alarms and carbon monoxide alarms are required to be installed per the California Building Code and the California Fire Code.
- ☒ 5.4 Multiple unit building complexes shall have building directories provided at the main entrances. The directories shall be designed to the requirements of the Fire Department, see Section 9-1 6.06 of the Ontario Municipal Code and Standard #H-003.
- ☒ 5.5 All residential chimneys shall be equipped with an approved spark arrester meeting the requirements of the California Building Code.

# CITY OF ONTARIO

## MEMORANDUM

**TO:** PLANNING DEPARTMENT, Jeanie Irene Aguilo  
**FROM:** BUILDING DEPARTMENT, Kevin Shear  
**DATE:** June 15, 2018  
**SUBJECT:** PDEV18-018

- 
- The plan **does** adequately address the departmental concerns at this time.
- No comments
- Report below.

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### Conditions of Approval

1. Standard Conditions of Approval apply.

KS:lm



# CITY OF ONTARIO

## MEMORANDUM

TO: Scott Murphy, Development Director  
Cathy Wahlstrom, Planning Director  
Diane Ayala, Advanced Planning Division  
Charity Hernandez, Economic Development  
Kevin Shear, Building Official  
Khoi Do, Assistant City Engineer  
Carolyn Bell, Landscape Planning Division  
Ahmed Aly, Municipal Utility Company  
Doug Sorel, Police Department  
Paul Ehrman, Deputy Fire Chief/Fire Marshal  
Jay Bautista, T. E., Traffic/Transportation Manager  
Lorena Mejia, Airport Planning  
Steve Wilson, Engineering/NPDES  
Joe De Sousa, Code Enforcement (Copy of memo only)  
Jimmy Chang, IT Department

FROM: Jeanie Irene Aguilo, Assistant Planner

DATE: June 08, 2018

SUBJECT: FILE #: PDEV18-018

Finance Acct#:

The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Friday, June 22, 2018**.

- Note:
- Only DAB action is required
  - Both DAB and Planning Commission actions are required
  - Only Planning Commission action is required
  - DAB, Planning Commission and City Council actions are required
  - Only Zoning Administrator action is required

**PROJECT DESCRIPTION:** A Development Plan approval to construct 47 single-family dwellings on approximately 8.9 acres of land located near the southwest corner of Celebration Avenue and Eucalyptus Avenue, within PA 21 of the Subarea 29 Specific Plan (APN:0218-014-02). Related File: TM18066

- The plan does adequately address the departmental concerns at this time.
  - No comments
  - Report attached (1 copy and email 1 copy)
  - Standard Conditions of Approval apply
- The plan does not adequately address the departmental concerns.
  - The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

POLICE  
Department

DOUGLAS SOREL  
Signature

MANAGEMENT ANALYST  
Title

6/19/18  
Date



# CITY OF ONTARIO MEMORANDUM

TO: Scott Murphy, Development Director  
 Cathy Wahlstrom, Planning Director  
 Diane Ayala, Advanced Planning Division  
 Charity Hernandez, Economic Development  
 Kevin Shear, Building Official  
 Khoi Do, Assistant City Engineer  
 Carolyn Bell, Landscape Planning Division  
 Ahmed Aly, Municipal Utility Company  
 Doug Sorel, Police Department  
 Paul Ehrman, Deputy Fire Chief/Fire Marshal  
 Jay Bautista, T. E., Traffic/Transportation Manager  
 Lorena Mejia, Airport Planning  
 Steve Wilson, Engineering/NPDES  
 Joe De Sousa, Code Enforcement (Copy of memo only)  
 Jimmy Chang, IT Department

*Chance*

FROM: Jeanie Irene Aguilo, Assistant Planner

DATE: June 08, 2018

SUBJECT: FILE #: PDEV18-018

Finance Acct#:

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*PMTT 06-012*

- The plan does adequately address the departmental concerns at this time.
  - No comments
  - Report attached (1 copy and email 1 copy)
  - Standard Conditions of Approval apply
- The plan does not adequately address the departmental concerns.
  - The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

*Ad. Planning*  
Department

*Chance Burde*  
Signature

*Assoc. Planner*  
Title

*6/12/18*  
Date



# CITY OF ONTARIO MEMORANDUM

TO: Scott Murphy, Development Director  
 Cathy Wahlstrom, Planning Director  
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 Kevin Shear, Building Official  
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 Joe De Sousa, Code Enforcement (Copy of memo only)  
 Jimmy Chang, IT Department

FROM: Jeanie Irene Aguilo, Assistant Planner

DATE: June 08, 2018

SUBJECT: FILE #: PDEV18-018 Finance Acct#:

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  - Both DAB and Planning Commission actions are required
  - Only Planning Commission action is required
  - DAB, Planning Commission and City Council actions are required
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- The plan does adequately address the departmental concerns at this time.
  - No comments
  - Report attached (1 copy and email 1 copy)
  - Standard Conditions of Approval apply
- The plan does not adequately address the departmental concerns.
  - The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

Code Department *Joe De Sousa* Signature *Supervisor* Title *6-10-18* Date





# Development Advisory Board Decision

September 17, 2018

**DECISION NO.:** [insert #]

**FILE NO.:** PDEV18-020

**DESCRIPTION:** A Development Plan (File No. PDEV18-020) to construct 48 single-family homes (6-Pack Cluster), 126 multi-family homes (Solstice Rowtowns) and 91 multi-family homes (Holiday Townhomes) on 23.66 acres of land located at the northeast corner of Archibald Avenue and Ontario Ranch Road, within the Low Medium Density Residential (LMDR) district of Planning Area 7 of The Avenue Specific Plan. APN: 0218-201-18; **submitted by Brookfield Homes Southern California.**

## **Part I—BACKGROUND & ANALYSIS**

BROOKFIELD HOMES SOUTHERN CALIFORNIA, (herein after referred to as “Applicant”) has filed an application requesting Development Plan approval, File No. PDEV18-020, as described in the subject of this Decision (herein after referred to as "Application" or "Project").

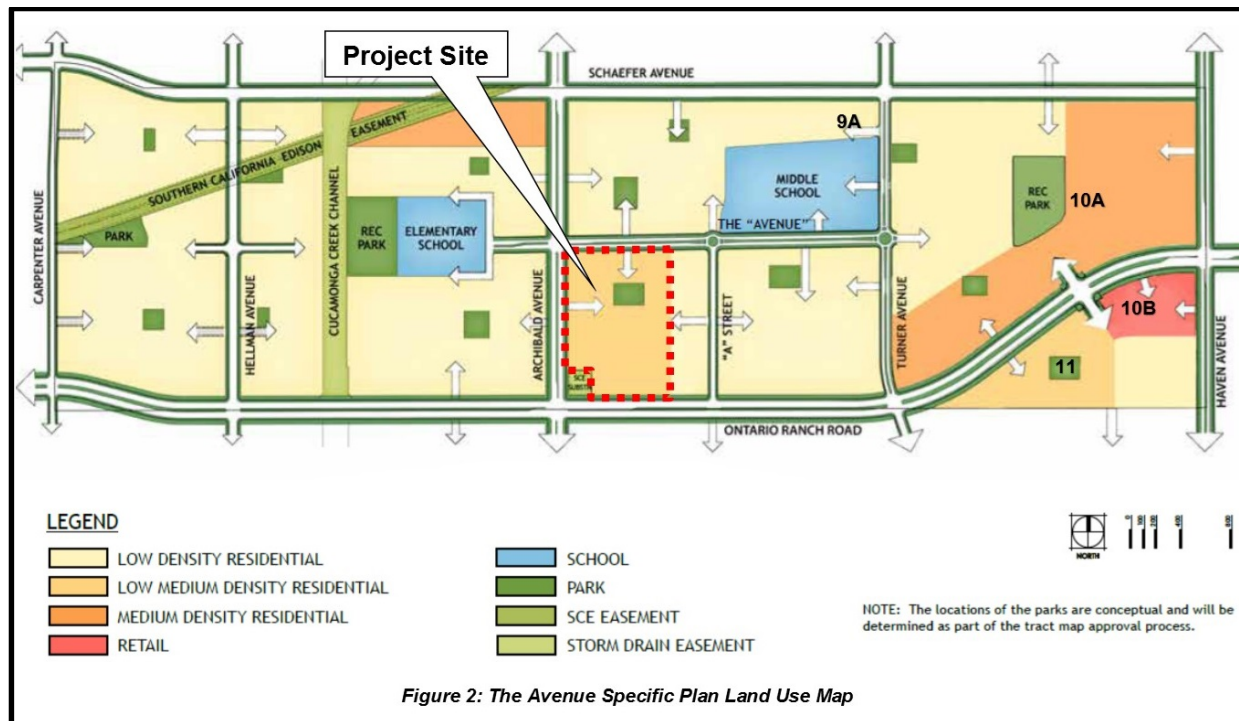
(1) **Project Setting:** The project site is comprised of 23.66 acres of land located at northeast corner of Archibald Avenue and Ontario Ranch Road, and is depicted in Exhibit A: Aerial Photograph, attached. Existing land uses, General Plan and zoning designations, and specific plan land uses on and surrounding the project site are as follows:

	<i>Existing Land Use</i>	<i>General Plan Designation</i>	<i>Zoning Designation</i>	<i>Specific Plan Land Use</i>
<i>Site</i>	Vacant	Low Density Residential	The Avenue Specific Plan	Planning Area 7 – (LMDR)
<i>North</i>	Vacant	Low Density Residential	The Avenue Specific Plan	Planning Area 6A – (LDR)
<i>South</i>	Agriculture/Dairy	Medium Density Residential	Grand Park Specific Plan	Planning Areas 7 and 8 – (HDR)
<i>East</i>	Vacant	Low Density Residential	The Avenue Specific Plan	Planning Area 8A – (LDR)
<i>West</i>	Agriculture/Dairy	Low Density Residential	The Avenue Specific Plan	Planning Area 5 – (LDR, OS and Elem. School)

(2) **Project Description/Background:** The Avenue Specific Plan and Environmental Impact Report (EIR) were approved by the City Council on December 19, 2006. The Avenue Specific Plan established the land use designations, development standards, and design guidelines for 568 acres, which includes the potential development of 2,875 dwelling units and approximately 131,000 square feet of commercial.

On October 24, 2017, the Planning Commission approved Tentative Tract Map 18937 (File No. PMTT17-002) to subdivide 23.66 acres of land into: 1) 48 single-family numbered lots (6-Pack Cluster); 2) 7 multi-family numbered lots for Condominium Purposes (Lots 49 thru 55); and 3) 41 lettered lots for public streets,

landscape neighborhood edges and common open space purposes (**Figure 2: The Avenue Specific Plan Land Use Map**). The lots range in size from residential lots range in size from 2,854 to 3,361 square feet for the single-family cluster lots and from 30,820 to 91,237 square feet for the multi-family attached condominium lots. Brookfield Homes Southern California has submitted a development plan application to construct 48 single-family homes (6-Pack Cluster), 126 multi-family homes (Solstice Rowtowns) and 91 multi-family homes (Holiday Townhomes).



**Site Design/Building Layout** — The project proposes the development of 48 single-family homes (6-Pack Cluster), 126 multi-family homes (Solstice Rowtowns) and 91 multi-family homes (Holiday Townhomes), within the Low Medium Density Residential (LMDR) district of Planning Area 7 of The Avenue Specific Plan (**Exhibit B – Site Plan**).

The 6-Pack Cluster includes three floor plans and three architectural styles per plan. The three floor plans include the following:

- Plan 1: 2,158 square feet, 4 bedrooms, great room and 3 baths.
- Plan 2: 2,275 square feet, 4 bedrooms, great room and 3 baths.
- Plan 3: 2,513 square feet, 4 bedrooms (option for 5<sup>th</sup> bedroom), great room and 3 baths.

The proposed multi-family rowtown product proposes 6-unit complexes within the proposed project that includes three (3) floor plans and two architectural styles. The three (3) floor plans include the following:

- Plan 1: 1,125 square feet, 2 bedroom and 2 baths.
- Plan 2: 1,306 square feet, 3 bedrooms and 2.5 baths.
- Plan 3: 1,552 square feet, 3 bedrooms and 2.5 baths.

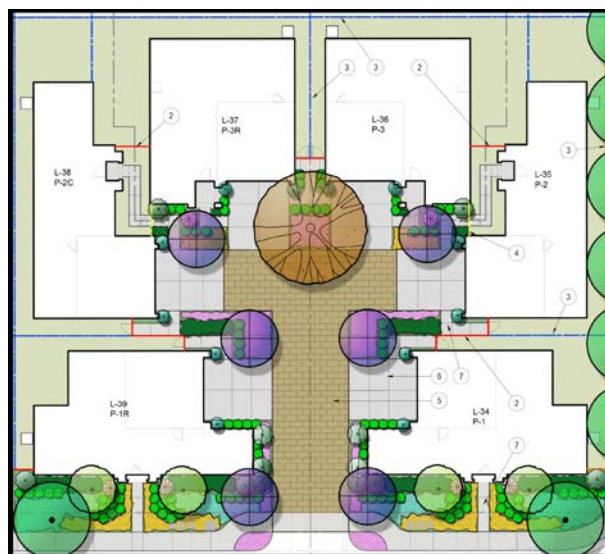
The proposed multi-family townhome product proposes 14-unit complexes within the proposed project that includes six (6) floor plans and two architectural styles. The six (6) floor plans include the following:

- Plan 1: 974 square feet, 1 bedroom and 1 bath.

- Plan 2: 1,050 square feet, 2 bedrooms and 2.5 baths.
- Plan 3: 1,529 square feet, 2 bedrooms and 2 baths.
- Plan 4: 1,693 square feet, 3 bedrooms and 2.5 baths.
- Plan 5: 1,754 square feet, 3 bedrooms and 2.5 baths.
- Plan 6: 1,814 square feet, 3 bedrooms and 2.5 baths.

The proposed 6-Pack Cluster incorporates various design features, such as single and two-story massing, varied entries and a great room. The 6-pack cluster product is characterized by a decorative paved private lane that provides both garage and front entry access to each unit. Each unit will provide a two-car garage and a two-car driveway for a total of four parking spaces per unit.

The Plan 1 is oriented toward the public street (architecture forward), with the front entry and walkway fronting the street and garage access being provided from the private lane. The Plan 2 (center units) and Plan 3 (rear units) are marginally visible from the public street and both floor plans front onto the private lane. The Plan 2 and Plan 3 will provide front entry and garage access from the private lane. Additionally, use easements extend into the Plan 2 lots to provide a more useable yard area for the Plan 3 lots (see **Figure 3: 6-Pack Cluster Site Plan**).



**Figure 3: Conceptual 6-Pack Cluster Site Plan**

The proposed multi-family townhome and rowtown products have garage access from a private lane with main entrances of the units fronting the street or garden court. The primary access into each unit will be from a garden court area landscaped with accent trees and decorative lighted bollards to provide visual interest and promote pedestrian mobility (see **Figure 4: Conceptual Rowtown Site Plan** and **Figure 5: Conceptual Townhome Site Plan**).

All plans incorporate various design features such as horizontal and vertical building articulation, varied entry designs, private patios, 1<sup>st</sup> or 2<sup>nd</sup> floor laundry facilities, and 2<sup>nd</sup> floor decks/balconies. All homes will have a two-car garage with the exception of the townhome Plan 1, which will provide a one-car garage. To minimize the visual impact of garages, the applicant proposes access off a private lane/autocourt and includes varied massing, second story projections over garages, recessed garage doors, landscaped finger planters and varied roof lines.



**Figure 4: Conceptual Rowtown Site Plan**



**Figure 5: Conceptual Townhome Site Plan**

Site Access/Circulation — The project street frontage improvements along Archibald Avenue and Ontario Ranch Road were constructed as part of the adjacent New Haven Community (Tract Map 18922 (“A” Map) and various “B” Maps). The project site will have access from Archibald Avenue and La Avenida Drive, which runs east and west along the northern frontage of the site and has direct access to Archibald Avenue. The applicant is required to construct the interior tract streets and private lanes that will provide access to the future residents.

Parking – The proposed 6-pack Cluster single-family homes will each provide an enclosed two-car garage, which is consistent with the requirements of The Avenue Specific Plan and Development Code. In addition, each unit will have a standard two-car driveway and 41 on-street parking spaces are provided in the vicinity of the 6-Pack Cluster single-family homes. As demonstrated within Table 1 below, the project is required

to provide a total of 96 parking spaces that are within an enclosed garage. The project is providing a total of 233 parking spaces (garage, driveway and on-street parking), based on the parking requirements the development will be over parked by 137 parking spaces and will provide 4.85 spaces per unit, which should be more than adequate to accommodate both resident and visitor parking.

Summary of Parking Analysis						
Product	Number of Units	Required 2-Car Garage Spaces	2-Car Driveway Spaces	On-Street Parking	Total Provided	+/- Parking
SF 6-Pack Cluster	48	96	96	41	233	+137
					4.85 spaces per unit	

The parking requirement for the multi-family attached products are consistent with The Avenue Specific Plan, requiring 1.75 spaces (one within a garage) for one-bedroom units, 2 spaces (one within a garage) for two-bedroom units, and 2.5 spaces (one within a garage) for three-bedroom units. Visitor parking is required at 1 parking space for every five units following (see **Exhibit C – Parking Plan**).

The proposed multi-family development, the one-bedroom units will have a one-car garage and the two and three-bedroom units have a two-car garage. With the 217 units proposed, a total of 802 parking spaces are being provided (542 required). Additional resident and visitor parking will be provided along the neighborhood streets and private lanes within the community. Based on the parking requirements, the development will be over parked by 260 parking spaces and provide 3.70 spaces per unit (see **Summary of Parking Table** below), providing more than adequate parking on-site to accommodate visitors and residents of the proposed development.

Summary of Parking Analysis						
Number of Units	Req. Parking Per Unit	Req. Guest Parking	Total Req. Parking	Garage Space Provided	On-Street/ Driveway Parking Spaces	Total Provided
1 Bedroom – 13 units	1.75 – Including 1-car garage (22.75 spaces)	1 space per 5 units (2.6 spaces)	25.35	1-car garage (13 spaces)		13
2 Bedrooms – 68 units	2 – Including 1-car garage (136 spaces)	1 space per 5 units (13.6 spaces)	149.6	2-car garage (102 spaces)		136
3 Bedrooms – 136 units	2.5 – Including 1-car garage (340 spaces)	1 space per 5 units (27.2 spaces)	367.2	2-car garage (272 spaces)		272
<b>217 units</b>	<b>498.75</b>	<b>43.4</b>	<b>542</b>	<b>387</b>	<b>415</b>	<b>802</b>
					<b>3.70 spaces per unit</b>	

The total parking required for all products (6-Pack Cluster and multi-family: Solstice Rowtown and Holiday Townhome) is 638 parking spaces. The project is providing a total of 1,035 parking spaces (garage, driveway and on-street parking), based on the parking requirements the development will be over parked by 397 parking spaces and will provide 3.91 spaces per unit, which should be more than adequate to accommodate both resident and visitor parking.

**Architecture** — The architectural styles proposed for the 6-Pack Cluster product include Spanish Colonial, California Ranch and American Farmhouse. Each architectural style will include the following (**Exhibit D – 6-Pack Cluster Floor Plans and Elevations**):

Spanish Colonial: Varying gable and shed roofs with “S” concrete roof tiles; stucco finish; arched entries; cantilevered elements with corbels; decorative foam eaves; decorative barrel tile elements below gable ends; decorative shutters and window framing.

California Ranch: Varying gable roofs with flat concrete roof tiles, wooden knee braces and vertical siding below gable ends, a combination of horizontal siding, stone veneer and stucco exterior, cantilevered elements with corbels; gable front entries treated with horizontal siding and stone veneer bases; decorative shutters and window framing.

American Farmhouse: Varying gable and shed roofs with flat concrete roof tiles, vertical siding below gable ends, a combination of vertical siding, brick veneer and stucco exterior; cantilevered elements with corbels; gable front entries with either vertical siding and brick veneer bases or square columns; decorative shutters and window framing.

The proposed Rowtown (Solstice) architecture include Spanish and Farmhouse. The two architectural styles proposed will include the following (see **Exhibit E – Rowtown Floor Plans and Elevations**):

Spanish: Varying gable and shed roofs with concrete “S” roof tiles; a moderate roof overhang; second story pop-out features; stucco exterior; square entry openings with stucco trim; decorative barrel clay barrel accents below gable ends; decorative wrought iron balcony railing; square window openings with stucco trim; decorative window sills; corbels; decorative wood trellises; and false chimneys.

Farmhouse: Varying gable roofs with concrete roof tile; a moderate roof overhang; second story pop-out features; decorative wood out-lookers; stucco exterior; square entry openings with stucco surrounds; decorative vent accents below gable ends; square window openings with stucco trim; corbels; decorative standing metal seam awnings; and vertical siding.

The proposed Townhome (Holiday) architecture includes Spanish and Monterey. The two architectural styles proposed will include the following (see **Exhibit F – Townhome Floor Plans and Elevations**):

Monterey: Varying gable, Dutch gable and hipped roofs with concrete roof tile; a moderate roof overhang; second-story pop-out features; decorative wood out-lookers; stucco exterior; square entry openings with stucco surround; decorative clay barrel accents below gable ends; wood balconies; square window openings with stucco trim; corbels; decorative wood shutters; and first-story pot shelves with stucco trim.

Spanish: Varying gable and hipped roofs with concrete “S” tile roof; a moderate roof overhang; second story pop-out features; two-inch recessed arches; stucco exterior; square and arched entry openings with stucco trim; decorative wrought iron accents below gable ends; decorative wrought iron balcony railing; square window openings with stucco trim; decorative wrought iron pot shelves; corbels; decorative wood shutters; and first-story pot shelves with a decorative cap.

The architectural styles proposed for all products complement one another through the overall scale, massing, proportions and details. The proposed home designs are consistent with the design guidelines of the Specific Plan.

Open Space — The related Tentative Tract Map (File No. PMTT17-002/TT 18937) will facilitate the construction of sidewalks, parkways, and open space areas within the project site. TOP Policy Plan (Policy PR1-1) requires new developments to provide a minimum of 2 acres of private park per 1,000 residents. The proposed project is required to provide 1.83 acres of park to meet the minimum Policy Plan private park requirement. To satisfy the park requirement, the applicant is constructing a 1.98 acre neighborhood park that is centrally located within the tract (**Exhibit G – Park Renderings**). The park is divided into three areas: 1) The Plunge (Pool), 2) The Lawn, and 3) The Trees. The park will include various amenities such as, a pool, restroom and shower facilities, BBQ's, picnic tables, shade structure, nature playground, exercise stations and open turf play area. In addition, residents of the proposed community will have access to the 6.8 acre park, amenities, and clubhouse located north of Ontario Ranch Road within the center of the New Haven Community (Planning Area 10).

The existing SCE Substation will remain, therefore the surrounding landscape buffer along the perimeter of the substation is vital to minimize the visual impact for the future adjacent residents. An approximate 47-foot landscape buffer will be provided along the northern frontage between the SCE perimeter wall and the closest adjacent Solstice patio wall. The buffer along the eastern substation frontage is approximately 79-foot (25' landscape buffer, 24' drive aisle, 20' parking stalls, and 4' sidewalk and 6' landscape planter) between the SCE perimeter wall and the closest adjacent Holiday patio wall (**Exhibit H – SCE Substation Landscape Renderings**). The landscape design will include: Trailing Lantana ground cover, Fortnight Lily and Indian Laurel hedges, and Broad-Leaved Paperbark and California Pepper trees.

#### **Part II—RECITALS**

WHEREAS, the Application is a project pursuant to the California Environmental Quality Act (Public Resources Code Section 21000 et seq.) ("CEQA"); and

WHEREAS, the environmental impacts of this project were previously reviewed in conjunction with File No. PSPA13-003, an amendment to The Avenue Specific Plan for which an addendum to The Avenue Specific Plan EIR (SCH# 2005071109) was adopted by the City Council on June 17, 2014, and this Application introduces no new significant environmental impacts; and

WHEREAS, the City's "Local Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed; and

WHEREAS, the Application is a project pursuant to CEQA (Public Resources Code Section 21000 et seq.), and an initial study has been prepared to determine possible environmental impacts; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board ("DAB") the responsibility and authority to review and make recommendation to the Planning Commission on the subject Application; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is

subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan (“ALUCP”), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed;

WHEREAS, on September 17, 2018, the DAB of the City of Ontario conducted a hearing on the Application and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.

### **Part III—THE DECISION**

NOW, THEREFORE, IT IS HEREBY FOUND AND DETERMINED by the Development Advisory Board of the City of Ontario, as follows:

**SECTION 1: Environmental Determination and Findings.** As the recommending body for the Project, the DAB has reviewed and considered the information contained in the previous addendum to The Avenue Specific Plan EIR (SCH# 2005071109) and supporting documentation. Based upon the facts and information contained in the previous addendum to The Avenue Specific Plan EIR (SCH# 2005071109) and supporting documentation, the DAB finds as follows:

(1) The environmental impacts of this project were previously reviewed in conjunction with File No. PSPA13-003, an amendment to The Avenue Specific Plan for which an addendum to The Avenue Specific Plan EIR (SCH# 2005071109) was adopted by the City Council on June 17, 2014.

(2) The previous addendum to The Avenue Specific Plan EIR (SCH# 2005071109) contains a complete and accurate reporting of the environmental impacts associated with the Project; and

(3) The previous addendum to The Avenue Specific Plan EIR (SCH# 2005071109) was completed in compliance with CEQA and the Guidelines promulgated thereunder, and the City of Ontario Local CEQA Guidelines; and

(4) The previous addendum to The Avenue Specific Plan EIR (SCH# 2005071109) reflects the independent judgment of the Planning Commission; and

(5) The proposed project will introduce no new significant environmental impacts beyond those previously analyzed in the previous addendum to The Avenue Specific Plan EIR (SCH# 2005071109), and all mitigation measures previously adopted with the addendum to The Avenue Specific Plan EIR (SCH# 2005071109), are incorporated herein by this reference.

**SECTION 2: Subsequent or Supplemental Environmental Review Not Required.** Based on the information presented to the DAB, and the specific findings set forth in Section 1, above, the DAB finds that the preparation of a subsequent or supplemental addendum to The Avenue Specific Plan EIR (SCH# 2005071109) is not required for the Project, as the Project:

(1) Does not constitute substantial changes to the addendum to The Avenue Specific Plan EIR (SCH# 2005071109) that will require major revisions to the addendum to The Avenue Specific Plan EIR (SCH# 2005071109) due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and



(2) Does not constitute substantial changes with respect to the circumstances under which the addendum to The Avenue Specific Plan EIR (SCH# 2005071109) was prepared, that will require major revisions to the addendum to The Avenue Specific Plan EIR (SCH# 2005071109) due to the involvement of new significant environmental effects or a substantial increase in the severity of the previously identified significant effects; and

(3) Does not contain new information of substantial importance that was not known and could not have been known with the exercise of reasonable diligence at the time the addendum to The Avenue Specific Plan EIR (SCH# 2005071109) was certified/adopted, that shows any of the following:

(a) The project will have one or more significant effects not discussed in the addendum to The Avenue Specific Plan EIR (SCH# 2005071109); or

(b) Significant effects previously examined will be substantially more severe than shown in the addendum to The Avenue Specific Plan EIR (SCH# 2005071109); or

(c) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the Project, but the City declined to adopt such measures; or

(d) Mitigation measures or alternatives considerably different from those analyzed in the addendum to The Avenue Specific Plan EIR (SCH# 2005071109) would substantially reduce one or more significant effects on the environment, but which the City declined to adopt.

**SECTION 3: Housing Element Compliance.** Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the recommending body for the Project, the DAB finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan. The project site is one of the properties listed in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix, and the proposed project is consistent with the maximum number of dwelling units (287) and density (9.5 DU/AC) specified within The Avenue Specific Plan. Per the Available Land Inventory, The Avenue Specific Plan is required to provide 2,552 dwelling units with a density range of 2-12 DU/AC.

**SECTION 4: Ontario International Airport Land Use Compatibility Plan (“ALUCP”) Compliance.** The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land Use Compatibility Plan (“ALUCP”), establishing the Airport Influence Area for Ontario International Airport (“ONT”), which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the recommending body for the Project, the DAB has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the DAB, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

**SECTION 5: Concluding Facts and Reasons.** Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the specific findings set forth in Sections 1 through 4, above, the DAB hereby concludes as follows:

(1) ***The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.*** The proposed Project is located within the Low Density Residential land use district of the Policy Plan Land Use Map, and the Low Medium Density Residential (Planning Area 7) land use district of The Avenue Specific Plan. The development standards and conditions under which the proposed Project will be constructed and maintained, is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan. The Development Plan has been required to comply with all provisions of Product Types 3e, 6 and 7 Residential Development Standards of The Avenue Specific Plan. Future neighborhoods within The Avenue Specific Plan and surrounding area will provide for diverse housing and highly amenitized neighborhoods that will be compatible in design, scale and massing to the proposed development; and

(2) ***The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located.*** The Project has been designed consistent with the requirements of the City of Ontario Development Code and the Low Medium Density Residential (Planning Area 7) land use district of The Avenue Specific Plan, including standards relative to the particular land use proposed (single-family and multi-family residential dwellings), as-well-as building intensity, building and parking setbacks, building height, number of off-street parking and loading spaces, on-site and off-site landscaping, and fences, walls and obstructions; and

(3) ***The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed project.*** The Development Advisory Board has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of The Avenue Specific Plan are maintained; [ii] the project will not endanger the public health, safety or general welfare; [iii] the project will not result in any significant environmental impacts; [iv] the project will be in harmony with the area in which it is located; and [v] the project will be in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan, and The Avenue Specific Plan; and

(4) ***The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.*** The proposed Project has been reviewed for consistency with the general development standards and guidelines of The Avenue Specific Plan that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of off-street parking and loading spaces, parking lot dimensions, design and landscaping, bicycle parking, on-site landscaping, and fences and walls, as-well-as those development standards and guidelines specifically related to the particular land use being proposed (single-family and multi-family residential dwellings). As a result of this review, the Development Advisory Board has determined that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the development standards and guidelines described in The Avenue Specific Plan.

**SECTION 6: Development Advisory Board Action.** Based on the findings and conclusions set forth in Sections 1 through 5, above, the DAB hereby recommends the Planning Commission APPROVES the Application subject to each and every condition set forth in the Department reports included as Attachment A of this Decision, and incorporated herein by this reference.

**SECTION 7: Indemnification.** The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul this

approval. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**SECTION 8: Custodian of Records.** The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

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APPROVED AND ADOPTED this 17<sup>th</sup> day of September 2018.

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Development Advisory Board Chairman

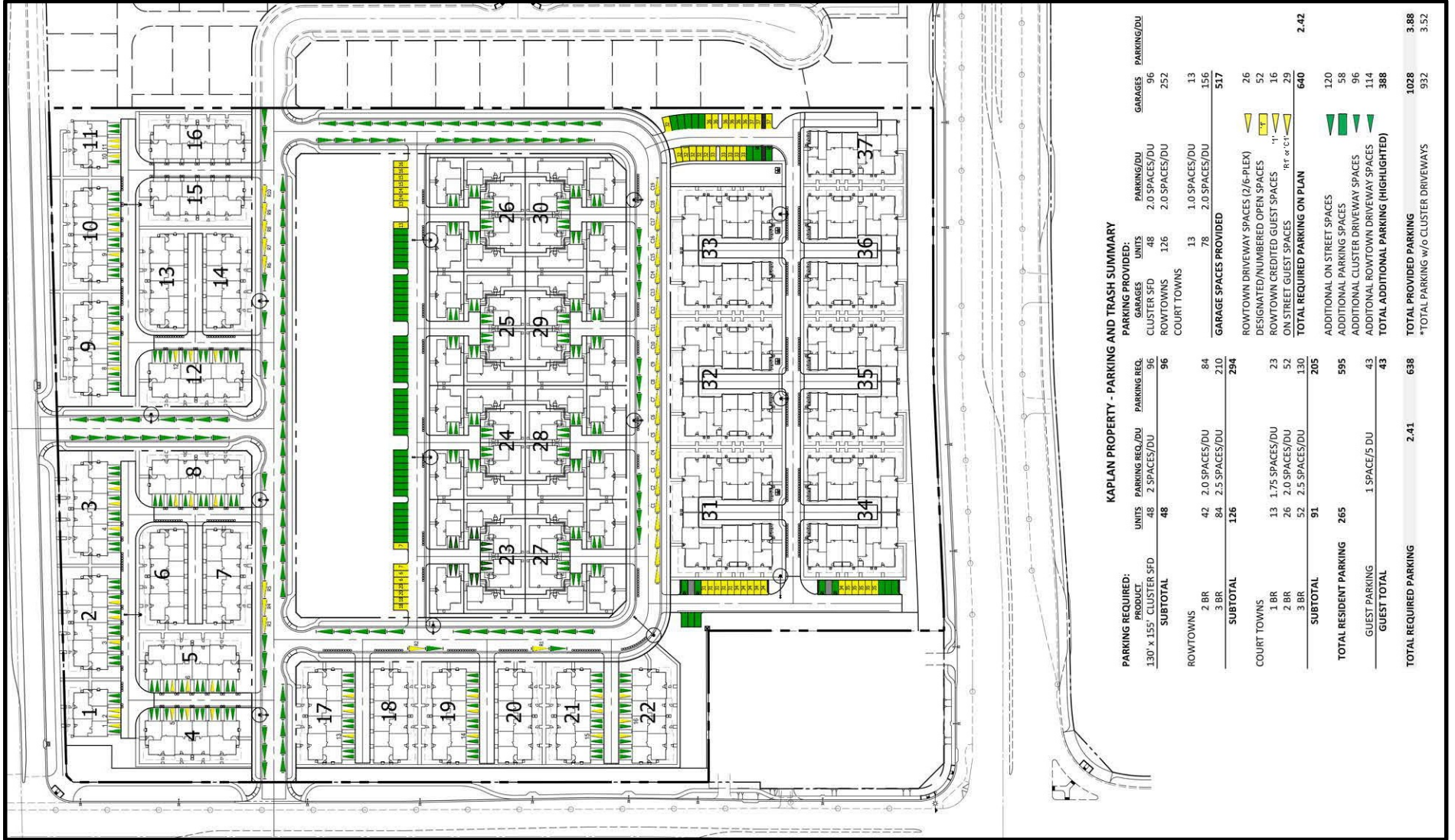
Exhibit A—PROJECT LOCATION MAP



**Exhibit B—SITE PLAN**



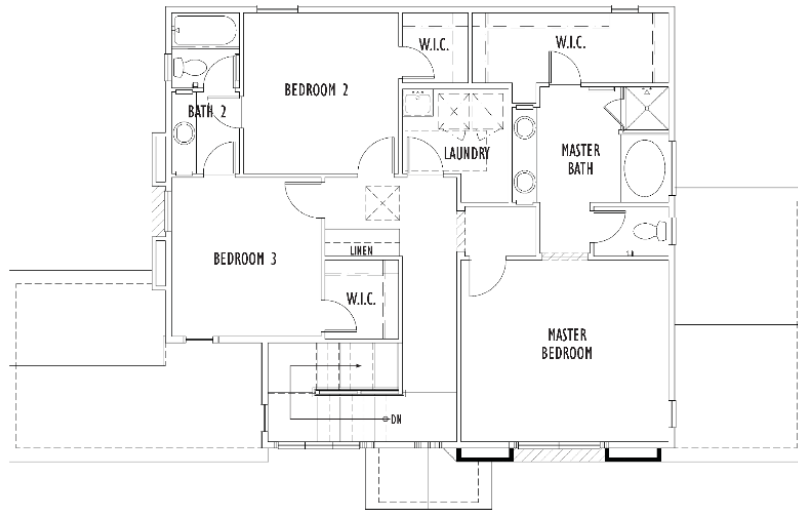
Exhibit C—PARKING PLAN



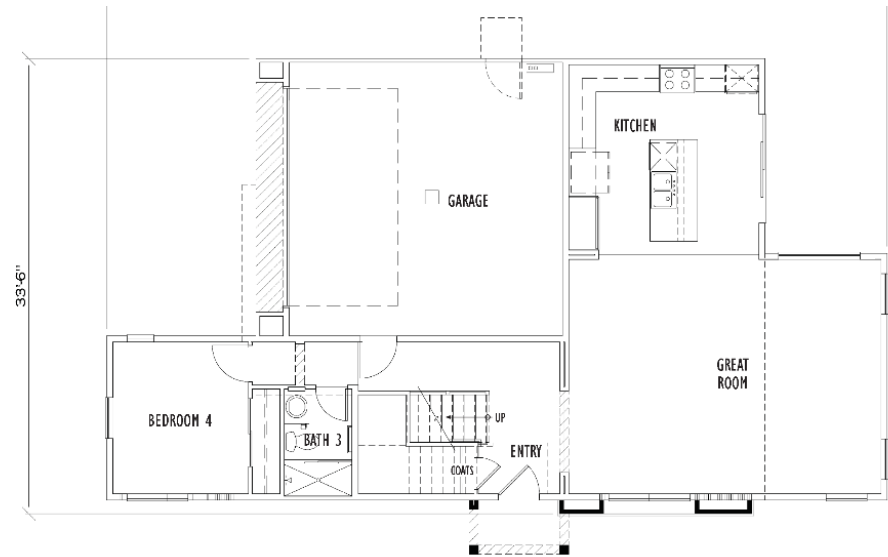
**KAPLAN PROPERTY - PARKING AND TRASH SUMMARY**

PARKING REQUIRED:		PARKING PROVIDED:		PARKING/DU	
PRODUCT	UNITS	GARAGES	UNITS	GARAGES	
130' x 155' CLUSTER SFD	48	96	48	96	
<b>SUBTOTAL</b>	<b>48</b>	<b>96</b>	<b>48</b>	<b>96</b>	<b>2.0 SPACES/2.0 SPACES/DU</b>
ROWTOWNS	42	84	13	13	1.0 SPACES/DU
2 BR	84	210	78	156	2.0 SPACES/DU
3 BR	126	294	13	517	2.0 SPACES/DU
<b>SUBTOTAL</b>	<b>126</b>	<b>294</b>	<b>13</b>	<b>156</b>	<b>1.0 SPACES/DU</b>
COURT TOWNS	13	23	26	52	2.0 SPACES/2.0 SPACES/DU
1 BR	26	52	16	16	1.0 SPACES/1.0 SPACES/DU
2 BR	52	130	29	29	0.5 SPACES/0.5 SPACES/DU
3 BR	91	205	29	29	0.3 SPACES/0.3 SPACES/DU
<b>SUBTOTAL</b>	<b>91</b>	<b>205</b>	<b>29</b>	<b>29</b>	<b>0.3 SPACES/0.3 SPACES/DU</b>
<b>TOTAL RESIDENT PARKING</b>	<b>265</b>	<b>595</b>	<b>640</b>	<b>640</b>	<b>2.42</b>
GUEST PARKING	1	43	1	1	1 SPACE/5 DU
<b>GUEST TOTAL</b>	<b>1</b>	<b>43</b>	<b>1</b>	<b>1</b>	<b>1 SPACE/5 DU</b>
<b>TOTAL REQUIRED PARKING</b>	<b>266</b>	<b>638</b>	<b>641</b>	<b>641</b>	<b>2.41</b>
ADDITIONAL ON STREET SPACES			120	120	120
ADDITIONAL PARKING SPACES			58	58	58
ADDITIONAL CLUSTER DRIVEWAY SPACES			96	96	96
ADDITIONAL ROWTOWN DRIVEWAY SPACES			114	114	114
<b>TOTAL ADDITIONAL PARKING (HIGHLIGHTED)</b>			<b>388</b>	<b>388</b>	<b>388</b>
<b>TOTAL PROVIDED PARKING</b>			<b>1028</b>	<b>1028</b>	<b>3.88</b>
<b>*TOTAL PARKING w/o CLUSTER DRIVEWAYS</b>			<b>932</b>	<b>932</b>	<b>3.52</b>

**EXHIBIT D — 6-PACK CLUSTER FLOOR PLANS AND EXTERIOR ELEVATIONS – PLAN 1**



UPPER LEVEL



LOWER LEVEL

**EXHIBIT D — 6-PACK CLUSTER FLOOR PLANS AND EXTERIOR ELEVATIONS — PLAN 1**



**ELEVATION 1A - CALIFORNIA RANCH**

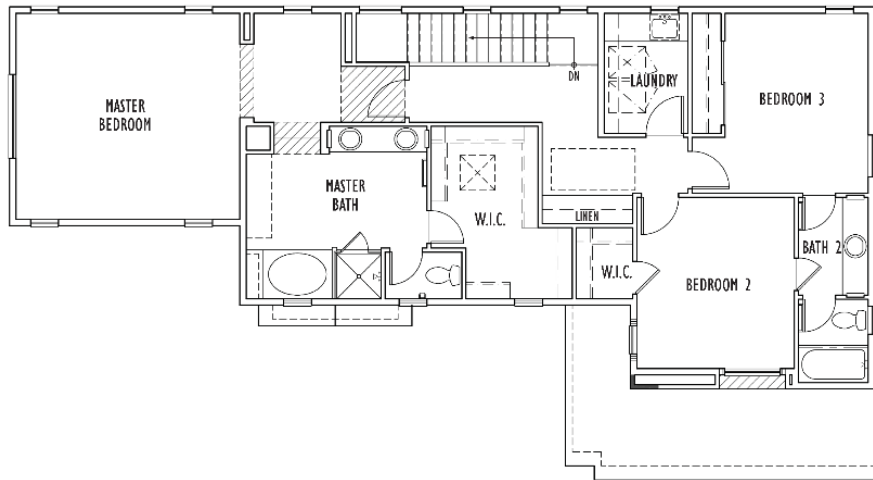


**ELEVATION 1B - AMERICAN FARMHOUSE**

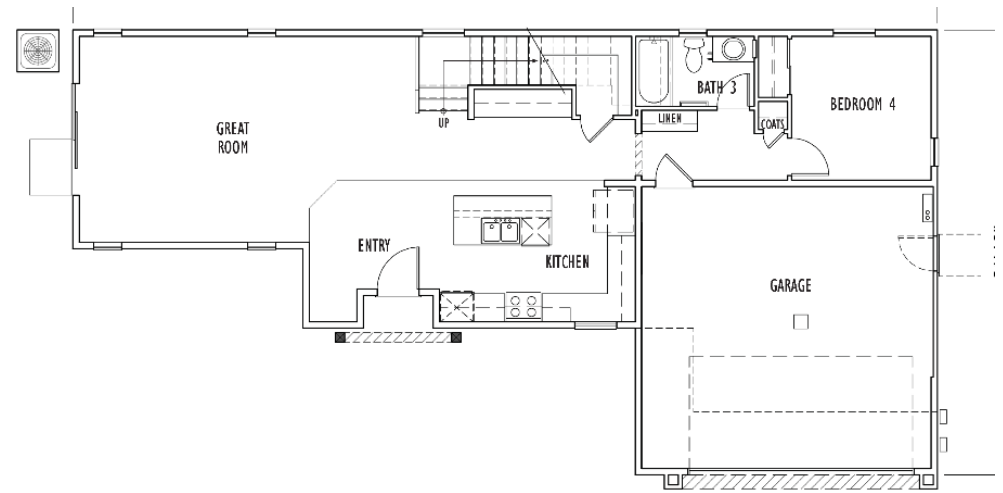
**ELEVATION 1C - SPANISH COLONIAL**



**EXHIBIT D — 6-PACK CLUSTER FLOOR PLANS AND EXTERIOR ELEVATIONS – PLAN 2**



UPPER LEVEL



LOWER LEVEL

**EXHIBIT D — 6-PACK CLUSTER FLOOR PLANS AND EXTERIOR ELEVATIONS – PLAN 2**



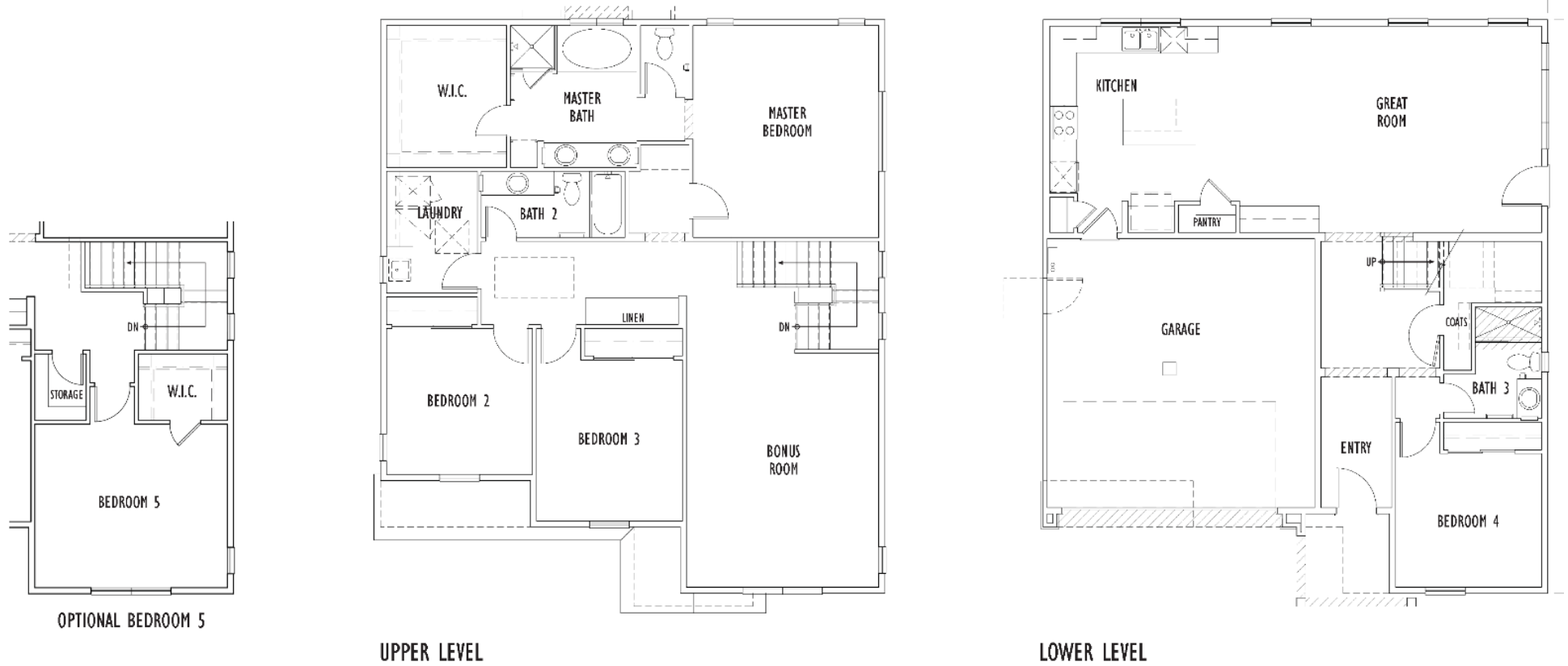
ELEVATION 2A - CALIFORNIA RANCH



ELEVATION 2B - AMERICAN FARMHOUSE

ELEVATION 2C - SPANISH COLONIAL

**EXHIBIT D — 6-PACK CLUSTER FLOOR PLANS AND EXTERIOR ELEVATIONS – PLAN 3**



**Exhibit D—6-PACK CLUSTER FLOOR PLANS AND EXTERIOR ELEVATIONS – PLAN 3**



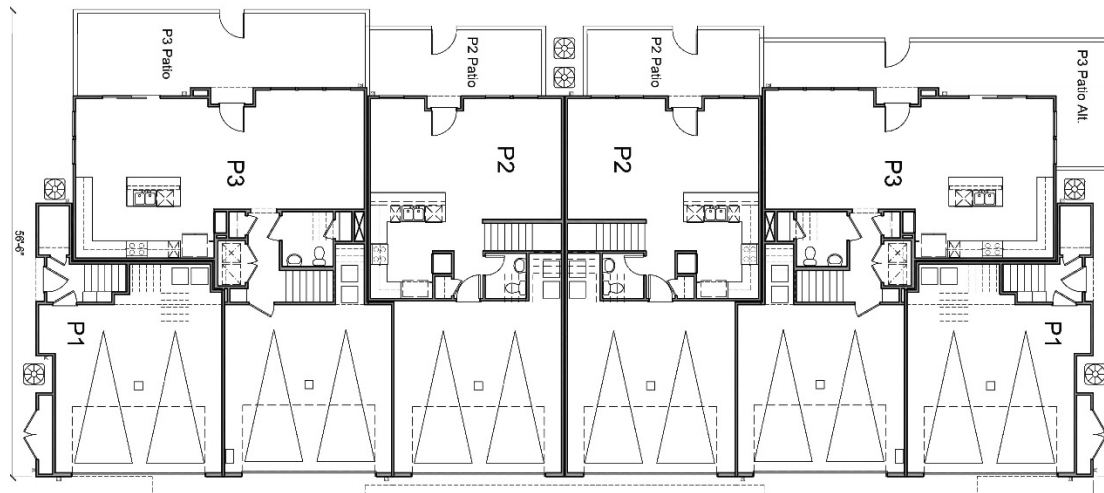
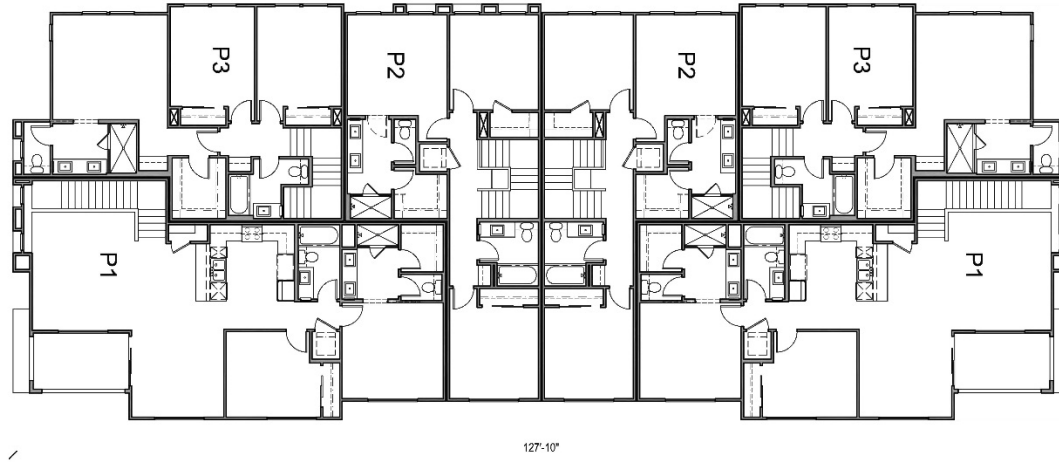
**ELEVATION 3A - CALIFORNIA RANCH**



**ELEVATION 3B - AMERICAN FARMHOUSE**

**ELEVATION 3C - SPANISH COLONIAL**

**Exhibit E—ROWTOWN FLOOR PLANS AND EXTERIOR ELEVATIONS**



**Exhibit E—ROWTOWN FLOOR PLANS AND EXTERIOR ELEVATIONS - SPANISH**



3. Front Elevation



1. Left Elevation



4. Rear Elevation



2. Right Elevation

**Exhibit E—ROWTOWN FLOOR PLANS AND EXTERIOR ELEVATIONS - FARMHOUSE**



3. Front Elevation



1. Left Elevation

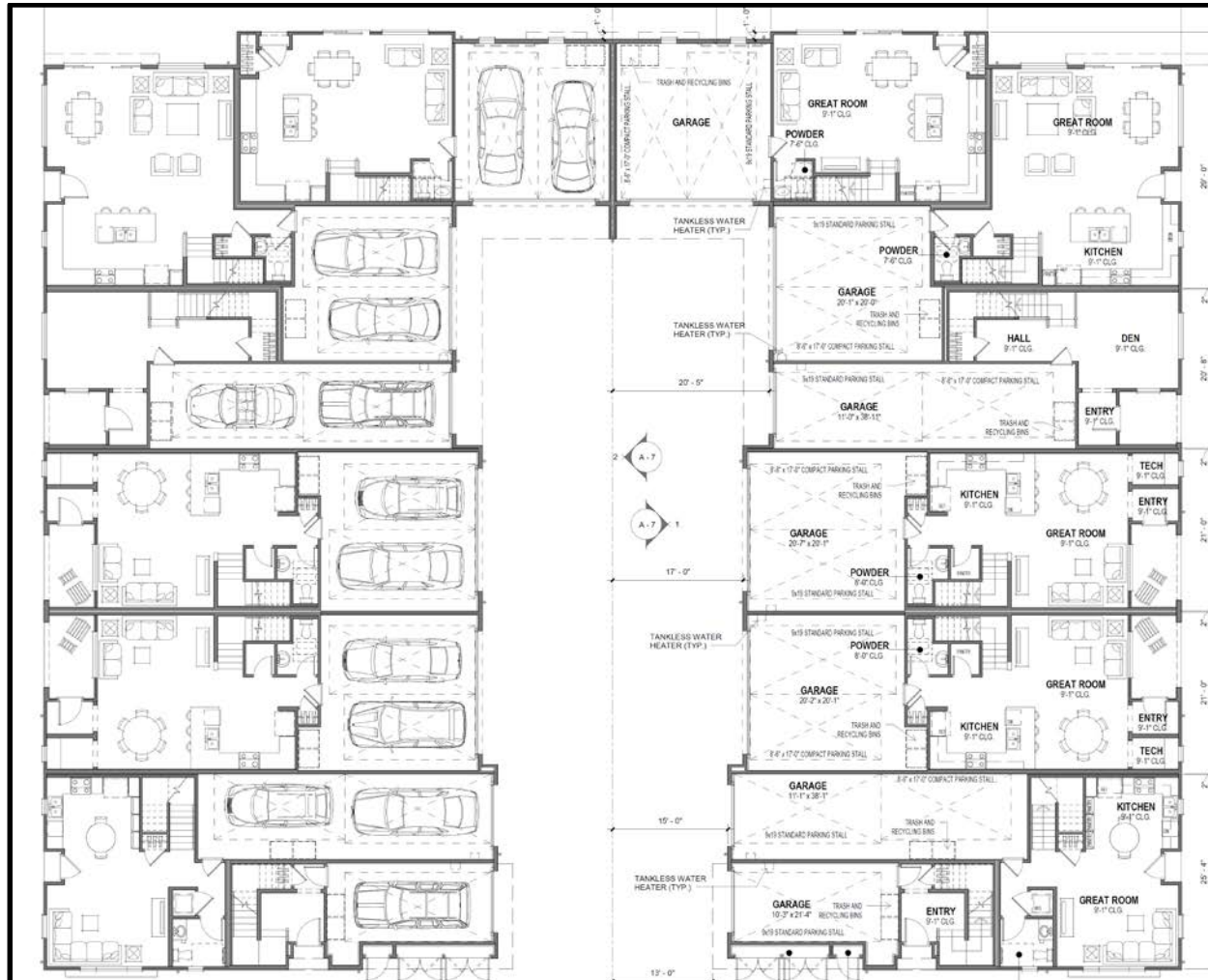


4. Rear Elevation



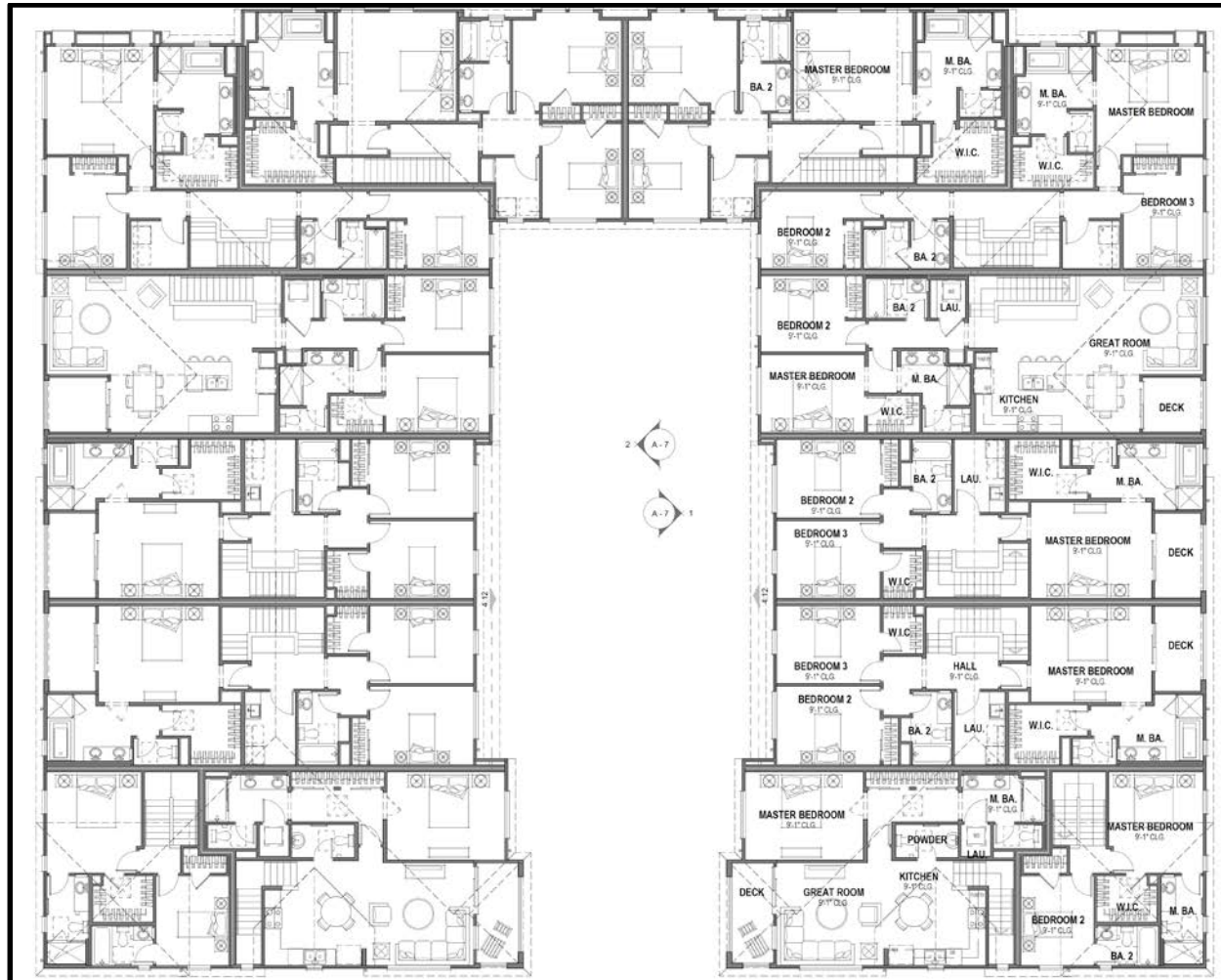
2. Right Elevation

**Exhibit F—TOWNHOME FLOOR PLANS AND EXTERIOR ELEVATIONS – 1<sup>ST</sup> FLOOR PLAN**





**Exhibit F—TOWNHOME FLOOR PLANS AND EXTERIOR ELEVATIONS – 2<sup>ND</sup> FLOOR PLAN**



**Exhibit F—TOWNHOME FLOOR PLANS AND EXTERIOR ELEVATIONS – SPANISH**



**SPANISH - 14 PLEX**  
COLOR SCHEME S-3



**SPANISH - 14 PLEX**  
COLOR SCHEME S-3

**Exhibit F—TOWNHOME FLOOR PLANS AND EXTERIOR ELEVATIONS – MONTEREY**



MONTEREY-7PLEX  
COLOR SCHEME M-1



MONTEREY-7PLEX  
COLOR SCHEME M-1



MONTEREY-14PLEX  
COLOR SCHEME M-2



MONTEREY-14PLEX  
COLOR SCHEME M-2

**Exhibit G— PARK RENDERINGS**



**Exhibit G— PARK RENDERINGS**



**Exhibit G— PARK RENDERINGS**



**Exhibit G— PARK RENDERINGS**



**Exhibit G— PARK RENDERINGS**





**Exhibit H— SCE SUBSTATION LANDSCAPE RENDERINGS**



**Exhibit H— SCE SUBSTATION LANDSCAPE RENDERINGS**



*Ficus nitida* / Indian Laurel



*Dietes Bicolor* / Fortnight Lily



*Lantana montevidensis* / Trailing Lantana



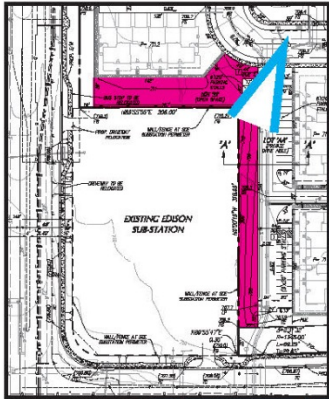
*Melaleuca quinquenervia*  
Broad-Leaved Paperbark



*Schinus molle*  
California Pepper

L

**Exhibit H— SCE SUBSTATION LANDSCAPE RENDERINGS**



## Attachment A—Departmental Conditions of Approval

*(Departmental conditions of approval follow this page)*



City of Ontario  
Planning Department  
303 East B Street  
Ontario, California 91764  
Phone: 909.395.2036  
Fax: 909.395.2420

## ***Planning Department Land Development Division Conditions of Approval***

**Meeting Date:** September 17, 2018  
**File No:** PDEV18-020  
**Related Files:** PMTT17-002/TT 18937

**Project Description:** A Development Plan (File No. PDEV18-020) to construct 48 single-family homes (6-Pack Cluster), 126 multi-family homes (Solstice Rowtowns) and 91 multi-family homes (Holiday Townhomes) on 23.66 acres of land located at the northeast corner of Archibald Avenue and Ontario Ranch Road, within the Low Medium Density Residential (LMDR) district of Planning Area 7 of The Avenue Specific Plan. APN: 0218-201-18; **submitted by Brookfield Homes Southern California.**

**Prepared By:** Henry K. Noh, Senior Planner  
Phone: 909.395.2429 (direct)  
Email: hnoh@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

**1.0 Standard Conditions of Approval.** The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

**2.0 Special Conditions of Approval.** In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

**2.1 Time Limits.**

(a) Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

**2.2 General Requirements.** The Project shall comply with the following general requirements:

(a) All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

(b) The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

(c) The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

**2.3** Landscaping.

(a) The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

(b) Comply with the conditions of approval of the Planning Department; Landscape Planning Division.

(c) Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

(d) Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

**2.4** Walls and Fences. All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

**2.5** Parking, Circulation and Access.

(a) The Project shall comply with the applicable off-street parking, loading and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

(b) The required number of off-street parking spaces and/or loading spaces shall be provided at the time of site and/or building occupancy. All parking and loading spaces shall be maintained in good condition for the duration of the building or use.

**2.6** Site Lighting.

(a) Unless intended as part of a master lighting program, no operation, activity, or lighting fixture shall create illumination on any adjacent property.

**2.7** Mechanical and Rooftop Equipment.

(a) All ground-mounted utility equipment and structures, such as tanks, transformers, HVAC equipment, and backflow prevention devices, shall be located out of view from a public street, or adequately screened through the use of landscaping and/or decorative low garden walls.

**2.8** Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

**2.9** Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noised levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

**2.10** Disclosure Statements.

(a) A copy of the Public Report from the Department of Real Estate, prepared for the subdivision pursuant to Business and Professions Code Section 11000 et seq., shall be provided to each prospective buyer of the residential units and shall include a statement to the effect that:

(i) This tract is subject to noise from the Ontario International Airport and may be more severely impacted in the future.

(ii) Some of the property adjacent to this tract is zoned for agricultural uses and there could be fly, odor, or related problems due to the proximity of animals.

(iii) The area south of Riverside Drive lies within the San Bernardino County Agricultural Preserve. Dairies currently existing in that area are likely to remain for the foreseeable future.

(iv) This tract is part of a Landscape Maintenance District. The homeowner(s) will be assessed through their property taxes for the continuing maintenance of the district.

#### 2.11 Environmental Review.

(a) The environmental impacts of this project were previously reviewed in conjunction with File No. PSPA13-003, an amendment to The Avenue Specific Plan for which an addendum to The Avenue Specific Plan EIR (SCH# 2005071109) was adopted by the City Council on June 17, 2014. This application introduces no new significant environmental impacts. The City's "Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed. The previously adopted mitigation measures shall be a condition of project approval, and are incorporated herein by this reference.

(b) If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

(c) If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

2.12 Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

#### 2.13 Additional Fees.

(a) Within 5 days following final application approval, the Notice of Determination (NOD) filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act (CEQA). Failure to provide said fee within the time specified may result in a 180-day extension to the statute of limitations for the filing of a CEQA lawsuit.

(b) After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

**2.14** Additional Requirements.

**(a)** Off-Site Subdivision Signs.

The City Council has authorized the Baldy View Chapter of the Building Industry Association to manage a standardized off-site directional sign program on a non-profit basis. The program uses uniform sign structures and individual identification and directional signs for residential development. **No other off-site signing is authorized.** (For additional information, contact the Baldy View Chapter BIA at (909) 945-1884.

**(b)** The applicant shall contact the Ontario Post Office to determine the size and location of mailboxes for this project. The location of the mailboxes shall be submitted to the Planning Department for review and approval prior to the issuance of building permits.

**(c)** The applicant (Developer) shall be responsible for providing fiber to each home per City requirements and standards.

**(d)** Dairy Separation Requirement for Residential Development.

The following separation requirements from existing dairies/feed lots shall apply to new residential development or structures used for public assembly purposes from existing dairies/feed lots.

A minimum 100' separation shall be required between a new residential, commercial or industrial development or structure used for public assembly and an existing animal feed trough, corral/pen or an existing dairy/feed lot including manure stockpiles and related wastewater detention basins. The 100-foot separation requirement may be satisfied by an off-site easement acceptable to the Planning Director with adjacent properties, submitted with the initial final map and recorded prior to or concurrent with the final map.

**(e)** Prior to the issuance of the 1<sup>st</sup> home Certificate of Occupancy within TT 18937, the Open Space Lot SS (SCE Substation Landscape Buffer) shall be fully constructed.

**(f)** Prior to the issuance of the 133<sup>rd</sup> home certificate of occupancy within TT 18937, the Open Space Lot PP (Neighborhood Park) shall be fully constructed.

**(g)** The entryways into the rowtown and townhome paseos shall be constructed with an enhanced trellis/arbor.


**(h)** All applicable conditions of approval of Development Agreement (File No. PDA10-002) shall apply to this tract.

**(i)** All applicable conditions of approval of The Avenue Specific Plan shall apply to this tract.

**(j)** All applicable conditions of approval of the "B" Map TT 18937 (File No. PMTT17-002) shall apply to this development plan.





 **CITY OF ONTARIO**  
**MEMORANDUM**

**ENGINEERING DEPARTMENT**  
**CONDITIONS OF APPROVAL**

(Engineering Services Division [Land Development and Environmental], Traffic/Transportation Division, Ontario Municipal Utilities Company, IT Department and Management Services Department)

DATE: **September 5, 2018**

DAB MEETING DATE: **September 17, 2018**

PROJECT ENGINEER: <sup>MS</sup> ~~for~~ **Bryan Lirley, Principal Engineer**  
**909-395-2137**

PROJECT PLANNER: **Henry Noh, Senior Planner**  
**909-395-2429**


PROJECT: **PDEV18-020 - A Development Plan to construct 265 dwelling units (48 single-family and 217 multiple-family) on 19.8 acres of land, within the Low Density land use designation of The Avenue Specific Plan (APN: 0218-201-18). Related File: PMTT17-002 Tract 18937.**

APPLICANT: **Brookfield Homes Southern California**

LOCATION: **SEC of La Avenida Drive and Archibald Avenue**

This project shall comply with the requirements set forth in the General Standard Conditions of Approval adopted by the City Council (Resolution No. 2017-027) and the Project Specific Conditions of Approval specified herein. The Applicant shall be responsible for the completion of all conditions prior to issuance of permits and/or occupancy clearance.

1. The applicant/developer shall be responsible for the completion of all public improvements for this tract and the public improvements specified in The Avenue Specific Plan, the Development Agreement and the Conditions of Approval for TM-18937.
2. Solid Waste Handling Plan (SWHP): Prior to approval of any building permits, a Solid Waste Handling Plan Sheet shall be submitted accompanying the Precise Grading Plan Submittal to the City/OMUC for review and approval. The SWHP Sheet shall demonstrate compliance with the "Solid Waste Handling Plan Requirements".

  
Khoi Do, P. E.                      9/6/18  
Assistant City Engineer              Date

c: Khoi Do, P.E., Engineering/Land Development

Bryan Lirley, P.E., Engineering/Land Development



# CITY OF ONTARIO

## MEMORANDUM

**TO:** Lorena Mejia, Senior Planner  
Planning Department

**FROM:** Paul Ehrman, Deputy Fire Chief/Fire Marshal  
Fire Department

**DATE:** July 6, 2018

**SUBJECT:** PDEV18-020 - A Development Plan to construct 265 dwelling units (48 single-family and 217 multiple-family) on 19.8 acres of land located at the southeast corner of Archibald Avenue and La Avenida, within the Low Density land use designation of The Avenue Specific Plan (APN: 0218-201-18). Related File: Tract 18937.

- 
- The plan **does** adequately address Fire Department requirements at this time.
- Standard Conditions of Approval apply, as stated below.
- 

### **SITE AND BUILDING FEATURES:**

- A. 2016 CBC Type of Construction: V
- B. Type of Roof Materials: Ordinary
- C. Ground Floor Area(s): Varies
- D. Number of Stories: 2
- E. Total Square Footage: 1,000 – 1,814 Sq. Ft.
- F. 2016 CBC Occupancy Classification(s): R

## **CONDITIONS OF APPROVAL:**

### **1.0 GENERAL**

- 1.1 The following are the Ontario Fire Department ("Fire Department") requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards ("Standards.") It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at [www.ontarioca.gov](http://www.ontarioca.gov), click on "Fire Department" and then on "Standards and Forms."
- 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

### **2.0 FIRE DEPARTMENT ACCESS**

- 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See Standard #B-004.
- 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25') inside and forty-five feet (45') outside turning radius per Standard #B-005.
- 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150') in length shall have an approved turn-around per Standard #B-002.
- 2.4 Access drive aisles which cross property lines shall be provided with CC&Rs, access easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of building plan check.
- 2.5 "No Parking-Fire Lane" signs and /or red painted curbs with lettering are required to be installed in interior access roadways, in locations where vehicle parking would obstruct the minimum clear width requirement. Installation shall be per Standard #B-001.
- 2.6 Security gates or other barriers on fire access roadways shall be provided with a Knox brand key switch or padlock to allow Fire Department access. See Standards #B-003, B-004 and H-001.
- 2.7 Any time PRIOR to on-site combustible construction and/or storage, a minimum twenty-six (26) ft. wide circulating all weather access roads shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved by fire department and other emergency services..

### 3.0 WATER SUPPLY

- 3.1 The required fire flow per Fire Department standards, based on the 2016 California Fire Code, Appendix B, is 1500 gallons per minute (g.p.m.) for 2 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.
- 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300') apart, per Engineering Department specifications.
- 3.4 The water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

### 4.0 FIRE PROTECTION SYSTEMS

- 4.2 Underground fire mains which cross property lines shall be provided with CC & R, easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of fire department plan check. The shared use of private fire mains or fire pumps is allowable only between immediately adjacent properties and shall not cross any public street.
- 4.3 An automatic fire sprinkler system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard ~~Choose an item.~~ All new fire sprinkler systems, except those in single family dwellings, which contain twenty (20) sprinkler heads or more shall be monitored by an approved listed supervising station. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- 4.4 Wood frame buildings that are to be sprinkled shall have these systems in service (but not necessarily finalized) before the building is enclosed.

### 5.0 BUILDING CONSTRUCTION FEATURES

- 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.
- 5.3 Single station smoke alarms and carbon monoxide alarms are required to be installed per the California Building Code and the California Fire Code.

- ☒ 5.4 Multiple unit building complexes shall have building directories provided at the main entrances. The directories shall be designed to the requirements of the Fire Department, see Section 9-1 6.06 of the Ontario Municipal Code and Standard #H-003.
- ☒ 5.5 All residential chimneys shall be equipped with an approved spark arrester meeting the requirements of the California Building Code.

# AIRPORT LAND USE COMPATIBILITY PLANNING

## CONSISTENCY DETERMINATION REPORT



Project File No.: PDEV18-020  
 Address: SEC of Archibald Ave & La Avenida  
 APN: 0218-201-18  
 Existing Land Use: Vacant  
 Proposed Land Use: Development Plan to construct 265 Single Family Residential homes  
 Site Acreage: 19.8 ac Proposed Structure Height: 32 FT  
 ONT-IAC Project Review: N/A  
 Airport Influence Area: ONT

Reviewed By: Lorena Mejia  
 Contact Info: 909-395-2276  
 Project Planner: Henry Noh  
 Date: 8/1/18  
 CD No.: 2018-061  
 PALU No.: n/a

### The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input type="radio"/> High Terrain Zone	<input type="radio"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input type="radio"/> FAA Notification Surfaces	<input type="radio"/> Recorded Overflight Notification
<input type="radio"/> Zone 2	<input type="radio"/> 65 - 70 dB CNEL	<input type="radio"/> Airspace Obstruction Surfaces	<input checked="" type="checkbox"/> Real Estate Transaction Disclosure
<input type="radio"/> Zone 3	<input type="radio"/> 60 - 65 dB CNEL	<input type="radio"/> Airspace Avigation Easement Area	
<input type="radio"/> Zone 4		Allowable Height: 200 + FT	
<input type="radio"/> Zone 5			

### The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1   
  Zone 2   
  Zone 3   
  Zone 4   
  Zone 5   
  Zone 6

Allowable Height: \_\_\_\_\_

## CONSISTENCY DETERMINATION

This proposed Project is:  Exempt from the ALUCP   
 Consistent   
 Consistent with Conditions   
 Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

See attached condition.

Airport Planner Signature: \_\_\_\_\_

# AIRPORT LAND USE COMPATIBILITY PLANNING

## CONSISTENCY DETERMINATION REPORT

CD No.: 2018-061

PALU No.: \_\_\_\_\_

### PROJECT CONDITIONS

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the Airport Land Use Compatibility Plan (ALUCP) for ONT. The applicant is required to meet the Real Estate Transaction Disclosure in accordance with California Codes (Business and Professions Code Section 11010-11024). New residential subdivisions within an Airport Influence Area are required to file an application for a Public Report consisting of a Notice of Intention (NOI) and a completed questionnaire with the Department of Real Estate and include the following language within the NOI:

#### NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you.

# CITY OF ONTARIO

## MEMORANDUM

**TO:** PLANNING DEPARTMENT, Lorena Mejia  
**FROM:** BUILDING DEPARTMENT, Kevin Shear  
**DATE:** June 15, 2018  
**SUBJECT:** PDEV18-020

- 
- The plan **does** adequately address the departmental concerns at this time.
- No comments
- Report below.

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### Conditions of Approval

1. Standard Conditions of Approval apply.

KS:lm





# CITY OF ONTARIO

## MEMORANDUM

TO: Scott Murphy, Development Director  
Cathy Wahlstrom, Planning Director  
Diane Ayala, Advanced Planning Division  
Charity Hernandez, Economic Development  
Kevin Shear, Building Official  
Khoi Do, Assistant City Engineer  
Carolyn Bell, Landscape Planning Division  
Ahmed Aly, Municipal Utility Company  
Doug Sorel, Police Department  
Paul Ehrman, Deputy Fire Chief/Fire Marshal  
Jay Bautista, T. E., Traffic/Transportation Manager  
Lorena Mejia, Airport Planning  
Steve Wilson, Engineering/NPDES  
Joe De Sousa, Code Enforcement (Copy of memo only)  
Jimmy Chang, IT Department

FROM: Lorena Mejia, Senior Planner

DATE: June 14, 2018

SUBJECT: FILE #: PDEV18-020

Finance Acct#:

The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Thursday, June 28, 2018**.

- Note:
- Only DAB action is required
  - Both DAB and Planning Commission actions are required
  - Only Planning Commission action is required
  - DAB, Planning Commission and City Council actions are required
  - Only Zoning Administrator action is required

**PROJECT DESCRIPTION:** A Development Plan approval to construct 265 dwelling units (48 single-family and 217 multi-family) on approximately 19.8 acres of land located at the southeast corner of Archibald Avenue and La Avenida, within the Low Density land use designation of The Avenue Specific Plan. (APN: 0218-201-18). Related file: Tract 18937.

- The plan does adequately address the departmental concerns at this time.
  - No comments
  - Report attached (1 copy and email 1 copy)
  - Standard Conditions of Approval apply
- The plan does not adequately address the departmental concerns.
  - The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

*POLICE*  
Department

*DOUGLAS  
SOREL*  
Signature

*MANAGEMENT  
ANALYST*  
Title

*6-20-18*  
Date

**CITY OF ONTARIO**  
**LANDSCAPE PLANNING DIVISION**  
 303 East "B" Street, Ontario, CA 91764

**CONDITIONS OF APPROVAL**

**Sign Off**

*Carolyn Bell*  
 Carolyn Bell, Sr. Landscape Architect

8/20/18  
 Date

Reviewer's Name:  
**Carolyn Bell, Sr Landscape Architect**

Phone:  
**(909) 395-2237**

D.A.B. File No.:  
 PDEV18-020 Rev 2

Case Planner:  
 Henry Noh

Project Name and Location:  
 Brookfield Homes/ Kaplan Holiday 14plex Townhomes, Solstice 6plex RowTowns/ Waverly 6 plex SFD Clusters, Grading, SCE landscape and parkway trees.  
 SEC of Archibald and La Avenida of the Avenue Specific Plan TM18937

Applicant/Representative:  
 Brookfield Homes – Mark Deschenes  
 3200 Park Center Dr Ste 1000  
 Costa Mesa, 92626

- A Preliminary Landscape Plan (dated 6/14/18) meets the Standard Conditions for New Development and has been approved with the consideration that the following conditions below be met upon submittal of the landscape construction documents.**
- A Preliminary Landscape Plan (dated ) has not been approved. Corrections noted below are required prior to Preliminary Landscape Plan approval.**

**A RESPONSE SHEET IS REQUIRED WITH RESUBMITTAL OR PLANS WILL BE RETURNED AS INCOMPLETE**

Civil/ Site Plans

1. SP-3 Revise Plan and section D-D for a 10' parkway on Ontario Ranch Road.
2. SP-3 Revise Plan and section E-E for a 10' parkway and 5' sidewalk on Archibald ave in a 50' neighborhood edge. No meandering sidewalk.
3. SP-3 Revise Plan and section G-G for a 7' parkway and 5' sidewalk on La Avenida. Use engineering dept standards for sidewalks at driveways.
4. Show transformers located in planter areas, and set back 3' from paving for small transformers less than 4' high and 5' setback for large transformer greater than 4' high. Located on level grade. Show backflow devices shall be located in planter areas, and set back min 3' from paving Locate on level grade. Coordinate with landscape plans.
5. Move utilities including light standards, fire hydrants, water, sewer and drainage lines to not conflict with required tree locations. Provide an 8' clear area 30' oc for street trees. Show utilities at the min spacing. Coordinate civil plans with landscape plans
6. Note for compaction to be no greater than 85% at landscape areas. All finished grades at 1 1/2" below finished surfaces. Slopes to be maximum 3:1.
7. Typical lot drainage shall include a catch basin with gravel sump below before exiting lot.
8. Note and show on plans: all AC units shall be located in utility or trash storage areas away from proposed patio spaces; in single family side yards, opposite the main back yard access path with gate, or a second gate and solid surface path on the opposite side shall be added.

Landscape Plans

- ~~9. Provide conceptual landscape plans for the park.~~
10. Show or call out light fixtures and address sign locations on unit walls coordinated with

- appropriate height landscape.
11. Add to legend or plan trees types proposed for accent, street tree or screening. Include medium to large shade trees missing from legend.
  12. Show evergreen trees or tall shrubs at perimeter planters,(missing at Holiday south edge).
  13. Show backflows, trash enclosures and transformers, with landscape screening coordinated with the proposed landscape, not a hedge surrounding utility.
  14. Coordinate so utilities are clear of required tree locations.
  15. **Show parkway landscape and street trees spaced 30' apart.** Show accent trees at corners (missing at Waverly).
  16. Call out **appropriate parking lot shade trees with min 30' canopy at maturity.**
  17. Call out type of proposed irrigation system (buried dripline with pop-up stream spray bubblers) and include preliminary MAWA calculation.
  18. Show separate landscape hydrozones or add L, M, H to legend. Show low water using plants for systems on south and west facing areas and low or moderate water using plants for systems for north and east facing areas.
  19. Replace short lived, high maintenance or poor performing plants: Alyogyne, Actostaphylos, Escallonia, Hemerocallis, Hibiscus, Lantana, Lavender, Phormium.
  20. Parkways shall be planted with lawn replacement plants such as Kurapia, Yarrow, Fragaria or similar. Low water using turf grass, Buffalo grass or San Diego Bent grass may be used in **large panels 6' clear each side of street trees shown in mulch or groundcover.**
  21. Replace CA Pepper, Melaleuca quinquenervia and Rhus trees for a durable low water trees such as Brachychiton, Callistemon citrinus, Koelreuteria paniculata, Melaleuca linarifolia, Fruitless Olive, Quercus species, Ulmus parvifolia.
  22. Show different trees on different street. Avoid a mono-culture.
  23. Provide agronomical soil tests at **12" depth and include independent lab report on landscape construction plans. Sewage sludge or biosolids are not allowed. Note "Contractor shall install amendments per plan and then take a new soil test and provide report to landscape architect and city inspector to verify amendments installed are satisfactory prior to planting. Landscape architect shall verify report with amendments receipts on certificate of compliance. For phased projects, a new report is required for each phase or a minimum of every 7 homes in residential developments.**
  24. Show concrete mowstrips to identify property lines along open areas or to separate ownership or between maintenance areas.
  25. Typical lot drainage shall include a catch basin with gravel sump below each before exiting property, if no other water quality infiltration is provided.
  26. Residential projects shall include a stub-out for future back yard irrigation systems.
  27. Show 25% of trees as California native (Platanus racemosa, Quercus agrifolia, Quercus wislizenii, Quercus douglasii, Cercis occidentalis, etc.) in appropriate locations.
  28. Landscape construction plans shall meet the requirements of the Landscape Development Guidelines. See <http://www.ontarioca.gov/landscape-planning/standards>
  29. Provide phasing map for multi-phase projects.
  30. Add Note to Grading and Landscape Plans: Landscape areas where compaction has occurred due to grading activities and where trees or storm water infiltration areas are located shall be **loosened by soil fracturing. For trees a 12'x12'x18" deep area or the entire planter width; for storm water infiltration the entire area shall be loosened.** Add the following information on the plans: **The back hoe method of soil fracturing shall be used to break up compaction. A 4" layer of Compost is spread over the soil surface before fracturing is begun. The back hoe shall dig into the soil lifting and then drop the soil immediately back into the hole. The bucket then moves to the adjacent soil and repeats. The Compost falls into the spaces between the soil chunks created. Fracturing shall leave the soil surface quite rough with large soil clods. These must be broken by additional tilling. Tilling in more Compost to the surface after fracturing per**

the soil report will help create an A horizon soil. Imported or reused Topsoil can be added on top of the fractured soil as needed for grading. The Landscape Architect shall be present during this process and provide certification of the soil fracturing. For additional reference see Urban Tree Foundation – Planting Soil Specifications.

31. Kaplan neighborhood Park; Replace high litter trees near pool area: Schinus molle, with durable low maintenance trees. Replace trees that damage pavement and are high water users Ficus rubiginosa.
32. And water use hydrozones or note on legend L,M,H water using plants. South and west facing areas must have low water using plants. North and east may have either moderate or low water using plants but not combined.
33. Replace high maintenance plants: Echium, leonotis, Lantana, Miscanthus, Pennisetum, Pyracantha, Tecoma, Tulbaghia, Yucca,
34. Show turfgrass in the picnic area to avoid having plants trampled.
35. **Keep trees inside the pool fence or 5' clear outside of the fence.**
36. Show parkway landscape to coordinate tree locations.
37. Move domestic water meter north to avoid backflow device location in the parking lot island planter.
38. Add shade trees in all parking lot island planters.
39. Add shade trees to the south and west sides of the basketball court and court benches.
40. **After a project's entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council. Fees are:**

Plan Check—5 or more acres .....	\$2,326.00
Inspection—Construction (up to 3 inspections per phase) .....	<u>\$278.00</u>
<b>Total</b> .....	<b>\$2,604.00</b>
Inspection—Field – any additional.....	\$83.00

Landscape construction plans with building permit number for plan check may be emailed to: [landscapeplancheck@ontarioca.gov](mailto:landscapeplancheck@ontarioca.gov)